

Dorney Park Sidewalks Hamilton Boulevard

PROFESSIONAL STAFF CONSULTATION 2023-405

Planning Commission, September 12, 2024

Attachments

Memorandum

Location and Intent

Previous Township Consideration

Reviewing Agencies Comments

Community Development Department Recommendation

Site Plan

Township Engineer Review

Township Geotechnical Consultant Review

Public Safety Commission Review

Frontage Improvement Agreement

Memorandum

TO: PLANNING COMMISSION

FROM: David Manhardt, AICP, Director of Community Development

SUBJECT: Dorney Park Sidewalks Hamilton Boulevard
PROFESSIONAL STAFF CONSULTATION 2023-405
REQUEST FOR PRELIMINARY/FINAL PLAN REVIEW

DATE: September 6, 2024

COPIES: BOARD OF COMMISSIONERS, T. PETRUCCI, D. MANHARDT, L. HARRIER, J. ZATOR, ESQ., J. ALDERFER, ESQ., A. TALLARIDA, S. PIDCOCK, APPLICANT, SUB. FILE 2023-405

Location and Intent

The Dorney Park Sidewalks Hamilton Boulevard Project was a condition of the Dorney Park 2024 Project. The sidewalk project connects the intersection of Haines Mill with the existing sidewalk at the driveway entrance to Dorney Park. This project is being presented as a “Direction and Discussion” item because the ultimate approval and modifications are under the purview of PennDOT.



Previous Township Consideration

The Dorney Park Project 2024 received Board of Commissioners approval at their April 19, 2023 meeting. The approving resolution required the applicant to execute an agreement the Township regarding frontage improvement. This agreement was executed on March 21, 2024.

Reviewing Agencies Comments

Township Engineer

The review letter dated September 5, 2024, includes comments related to sight triangles, slopes, drafting comments, and identifying other agency comments that may be addressed.

Township Geotechnical Consultant

The review letter dated August 26, 2024, seeks additional clarification including the location of a wall noted on the plan.

Public Safety Commission

The Public Safety Commission reviewed the plan at its September 9, 2024 meeting. Their comments are contained in Mr. John Frantz's email dated September 10, 2024. The Public Safety Commission recommended that illumination should be provided for the sidewalk.

Pennsylvania Department of Transportation

PennDOT has expressed support for the sidewalk layout per an email sent May 30, 2024 and requested formal engineering plans. The applicant can provide additional information relating to any correspondence with PennDOT.

Lehigh and Northampton Transit Agency. (LANTA)

Applicant should review any correspondence and involvement with LANTA.

South Whitehall Planning Document Review

Community Development staff has reviewed the project for consistency with current and in-development long-range plans. Staff has determined that this project is consistent with the transportation and land use goals of the Township Comprehensive Plan and forwards the prospective goals and recommendations of the Township's Active Transportation Plan/Safety Action Plan currently in development.

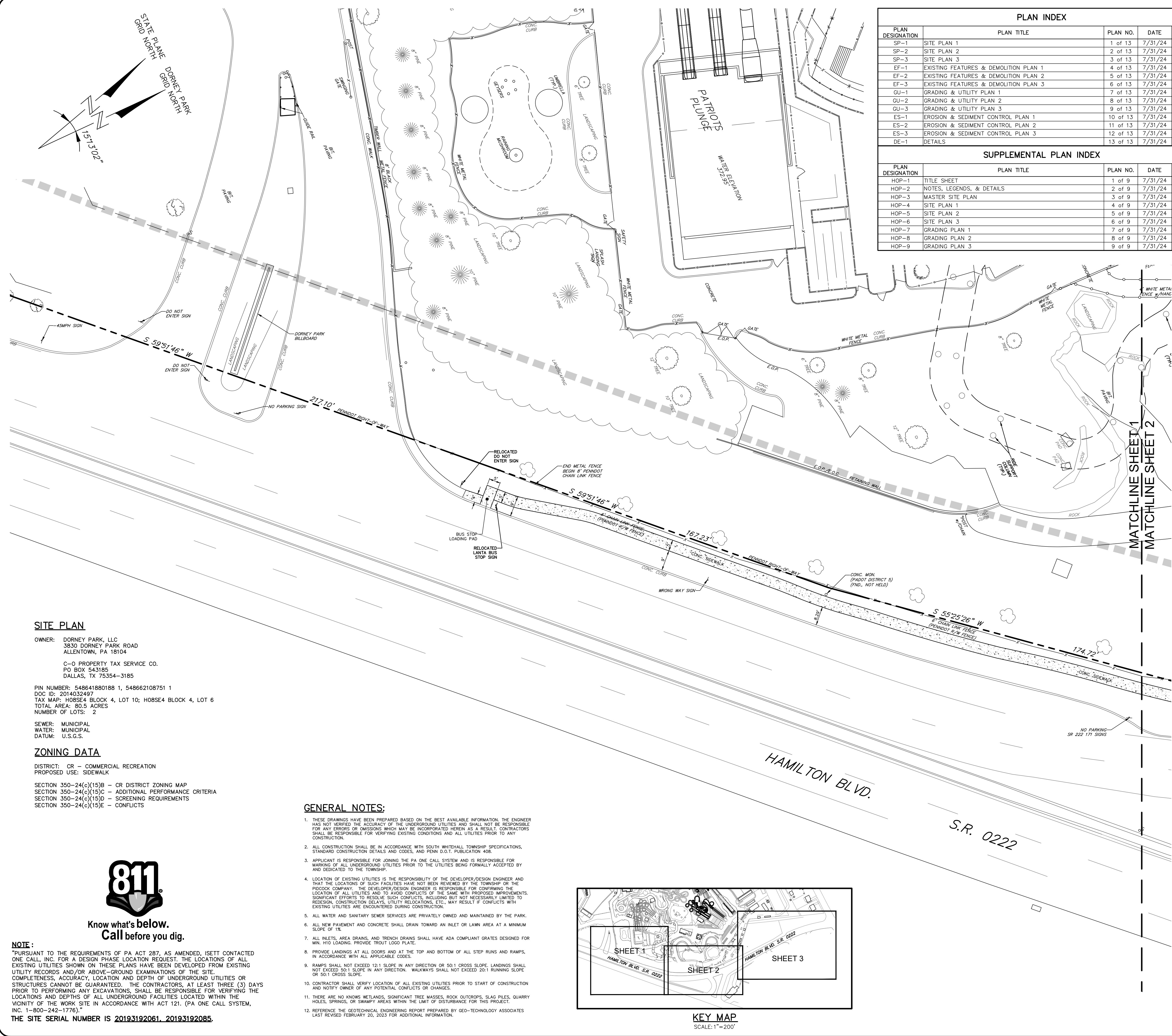
Community Development Department Recommendation

As a Direction and Discussion item, there is no formal action required.

Planning Commission deadline to act on the plan: **Not Applicable**

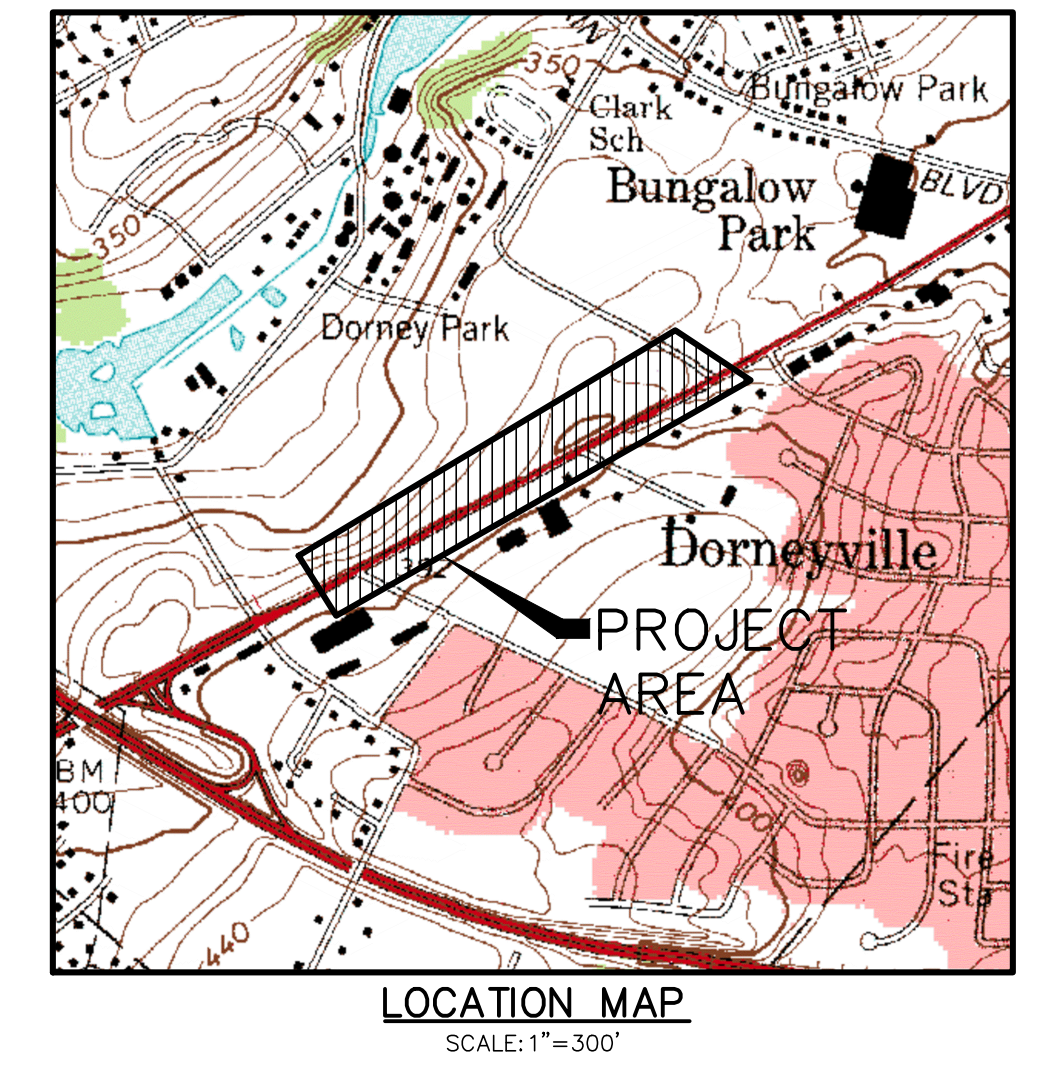
Board of Commissioners deadline to act on the plan: **Not Applicable**

Site Plan



PLAN INDEX				
PLAN DESIGNATION	PLAN TITLE	PLAN NO.	DATE	LAST REV.
SP-1	SITE PLAN 1	1 of 13	7/31/24	
SP-2	SITE PLAN 2	2 of 13	7/31/24	
SP-3	SITE PLAN 3	3 of 13	7/31/24	
EF-1	EXISTING FEATURES & DEMOLITION PLAN 1	4 of 13	7/31/24	
EF-2	EXISTING FEATURES & DEMOLITION PLAN 2	5 of 13	7/31/24	
EF-3	EXISTING FEATURES & DEMOLITION PLAN 3	6 of 13	7/31/24	
GJ-1	GRADING & UTILITY PLAN 1	7 of 13	7/31/24	
GJ-2	GRADING & UTILITY PLAN 2	8 of 13	7/31/24	
GJ-3	GRADING & UTILITY PLAN 3	9 of 13	7/31/24	
ES-1	EROSION & SEDIMENT CONTROL PLAN 1	10 of 13	7/31/24	
ES-2	EROSION & SEDIMENT CONTROL PLAN 2	11 of 13	7/31/24	
ES-3	EROSION & SEDIMENT CONTROL PLAN 3	12 of 13	7/31/24	
DE-1	DETAILS	13 of 13	7/31/24	

SUPPLEMENTAL PLAN INDEX				
PLAN DESIGNATION	PLAN TITLE	PLAN NO.	DATE	LAST REV.
HOP-1	TITLE SHEET	1 of 9	7/31/24	
HOP-2	NOTES, LEGENDS, & DETAILS	2 of 9	7/31/24	
HOP-3	MASTER SITE PLAN	3 of 9	7/31/24	
HOP-4	SITE PLAN 1	4 of 9	7/31/24	
HOP-5	SITE PLAN 2	5 of 9	7/31/24	
HOP-6	SITE PLAN 3	6 of 9	7/31/24	
HOP-7	GRADING PLAN 1	7 of 9	7/31/24	
HOP-8	GRADING PLAN 2	8 of 9	7/31/24	
HOP-9	GRADING PLAN 3	9 of 9	7/31/24	



SITE PLAN

OWNER: DORNEY PARK, LLC
 3830 DORNEY PARK ROAD
 ALLENTOWN, PA 18104

C-O PROPERTY TAX SERVICE CO.
 PO BOX 543185
 DALLAS, TX 75354-3185

PIN NUMBER: 548641880188 1, 548662108751 1
 DOC ID: 2014032497
 TAX MAP: HORSE4 BLOCK 4, LOT 10; HORSE4 BLOCK 4, LOT 6
 TOTAL AREA: 80.5 ACRES
 NUMBER OF LOTS: 2

SEWER: MUNICIPAL
 WATER: MUNICIPAL
 DATUM: U.S.G.S.

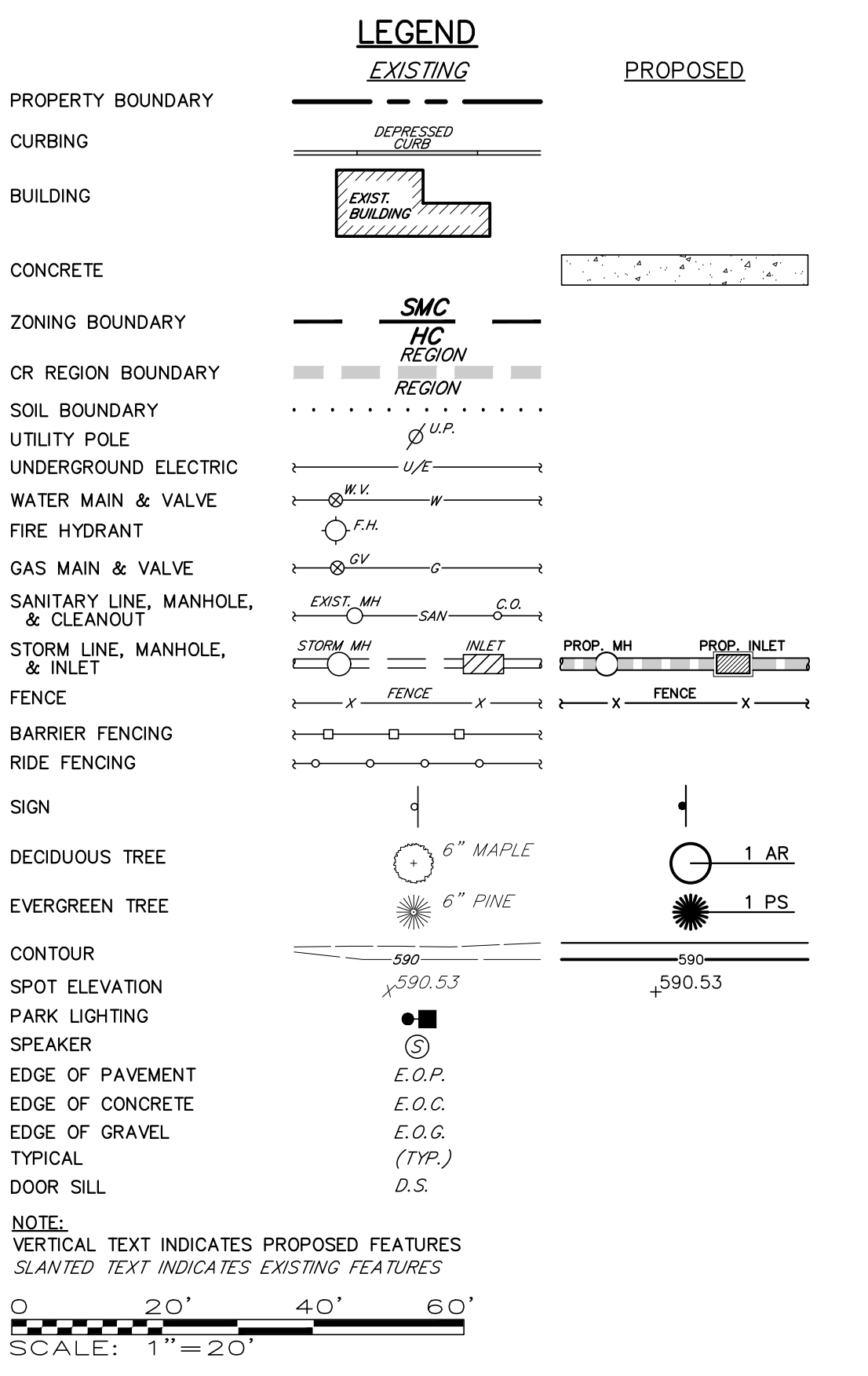
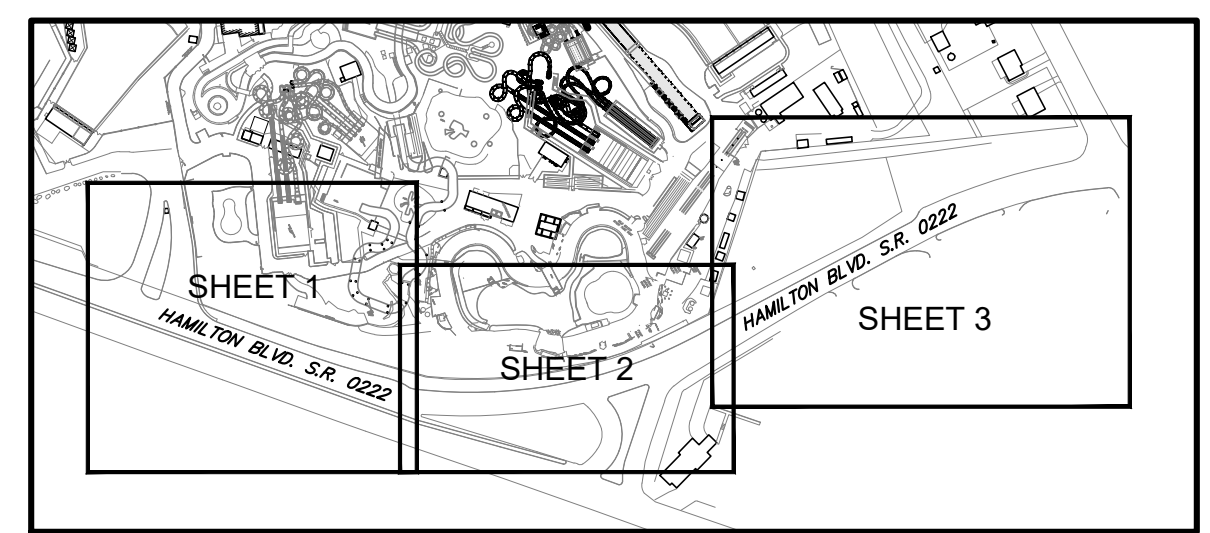
ZONING DATA

DISTRICT: CR - COMMERCIAL RECREATION
 PROPOSED USE: SIDEWALK

SECTION 350-24(c)(15)B - CR DISTRICT ZONING MAP
 SECTION 350-24(c)(15)C - ADDITIONAL PERFORMANCE CRITERIA
 SECTION 350-24(c)(15)D - SCREENING REQUIREMENTS
 SECTION 350-24(c)(15)E - CONFLICTS

GENERAL NOTES:

- THESE DRAWINGS HAVE BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE ENGINEER HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND ALL UTILITIES PRIOR TO ANY CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SOUTH WHITEHALL TOWNSHIP SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS AND CODES, AND PENN D.O.T. PUBLICATION 408.
- APPLICANT IS RESPONSIBLE FOR JOINING THE PA ONE CALL SYSTEM AND IS RESPONSIBLE FOR MARKING OF ALL UNDERGROUND UTILITIES PRIOR TO THE UTILITIES BEING FORMALLY ACCEPTED BY AND DEDICATED TO THE TOWNSHIP.
- LOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE DEVELOPER/DESIGN ENGINEER AND THAT THE LOCATIONS OF SUCH FACILITIES HAVE NOT BEEN REVIEWED BY THE TOWNSHIP OR THE PROCTOR COMPANY. THE DEVELOPER/DESIGN ENGINEER IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF ALL UTILITIES AND TO AVOID CONFLICTS OF THE SAME WITH PROPOSED IMPROVEMENTS. SIGNIFICANT EFFORTS TO RESOLVE SUCH CONFLICTS, INCLUDING BUT NOT NECESSARILY LIMITED TO REDESIGN, CONSTRUCTION DELAYS, UTILITY RELOCATIONS, ETC., MAY RESULT IF CONFLICTS WITH EXISTING UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION.
- ALL WATER AND SANITARY SEWER SERVICES ARE PRIVATELY OWNED AND MAINTAINED BY THE PARK.
- ALL NEW PAVEMENT AND CONCRETE SHALL DRAIN TOWARD AN INLET OR LAWN AREA AT A MINIMUM SLOPE OF 1%.
- ALL INLETS, AREA DRAINS, AND TRENCH DRAINS SHALL HAVE ADA COMPLIANT GRATES DESIGNED FOR MIN. 110 LBS. PROVIDE TROUT LOG PLATE.
- PROVIDE LANDINGS AT ALL DOORS AND AT THE TOP AND BOTTOM OF ALL STEP RUNS AND RAMPS, IN ACCORDANCE WITH ALL APPLICABLE CODES.
- RAMPS SHALL NOT EXCEED 12% SLOPE IN ANY DIRECTION OR 50:1 CROSS SLOPE. LANDINGS SHALL NOT EXCEED 50:1 SLOPE IN ANY DIRECTION. WALKWAYS SHALL NOT EXCEED 20:1 RUNNING SLOPE OR 50:1 CROSS SLOPE.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND NOTIFY OWNER OF ANY POTENTIAL CONFLICTS OR CHANGES.
- THERE ARE NO KNOWN WETLANDS, SIGNIFICANT TREE MASSES, ROCK OUTCROPPINGS, SLAG PILES, QUARRY HOLES, SPRINGS, OR SWAMPY AREAS WITHIN THE LIMIT OF DISTURBANCE FOR THIS PROJECT.
- REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY GEO-TECHNOLOGY ASSOCIATES LAST REVISED FEBRUARY 20, 2023 FOR ADDITIONAL INFORMATION.



SOUTH WHITEHALL SECTION 312-39(h)

NOTWITHSTANDING ANY PROVISIONS OF THE TOWNSHIP STORM WATER MANAGEMENT PLAN, INCLUDING EXEMPTION AND WAIVER PROVISIONS, ANY LANDOWNER AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT STORM WATER RUNOFF CHARACTERISTICS SHALL IMPLEMENT SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT INJURY TO HEALTH, SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REQUIRED TO MANAGE THE RATE, VOLUME, DIRECTION AND QUALITY OF STORM WATER RUNOFF IN A MANNER WHICH OTHERWISE ADEQUATELY PROTECTS HEALTH AND PROPERTY FROM INJURY AND DAMAGE.

SOUTH WHITEHALL SECTION 312-12(b)(7)

THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS SHALL BE THE RESPONSIBILITY OF THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE, DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERSEEN WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHT-OF-WAY, AND OTHER EXISTENCES ETC. ARE THE RESPONSIBILITY OF THE APPLICANT. THIS PLAN AND ANY OTHER RECORDS WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLLICITOR.

PROPERTY OF CEDAR FAIR, LP

THESE DOCUMENTS, THEIR SUBSTANCE, AND THE COPYRIGHTS AND TRADE SECRETS THEREIN ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF CEDAR FAIR, LP. THEY SHALL NOT BE DISCLOSED, DISPLAYED, OR FURNISHED, IN WHOLE OR IN PART, TO OR BY ANY THIRD PARTY, AND THEY SHALL NOT BE REPRODUCED, IN WHOLE OR IN PART, BY ANY THIRD PARTY WITHOUT THE PRIOR WRITTEN CONSENT OF CEDAR FAIR, LP. ANY VIOLATION OF THESE RIGHTS SHALL SUBJECT THE VIOLATOR TO ALL LEGAL AND EQUITABLE REMEDIES AVAILABLE AND CRIMINAL LIABILITY APPLICABLE UNDER STATE AND FEDERAL LAWS.

PROVIDED, HOWEVER, NOTHING HEREIN CONTAINED SHALL PROHIBIT OR RESTRICT THE RECORDING OF A COPY OF THIS PLAN IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY IN ACCORDANCE WITH THE PROVISIONS OF THE SOUTH WHITEHALL TOWNSHIP SUBORDINATE ORDINANCE OR THE DISCLOSURE OF THE PLAN BY THE SOUTH WHITEHALL TOWNSHIP TO ANY PERSON REQUESTING THE SAME, IN ACCORDANCE WITH APPLICABLE FEDERAL OR STATE RIGHT TO KNOW LAWS CONCERNING THE DISCLOSURE OF PUBLIC RECORDS.

SCALE: 1"=20'

DATE: 11/13/24

DRAWN: JH

CHECK: AAS

BARRY ISETT & Associates
 AN AFFILIATE OF THE ENGINEERING AND CONSULTING GROUP

Dorney Park & Wildwater Kingdom
 Cedar Fair Entertainment Company

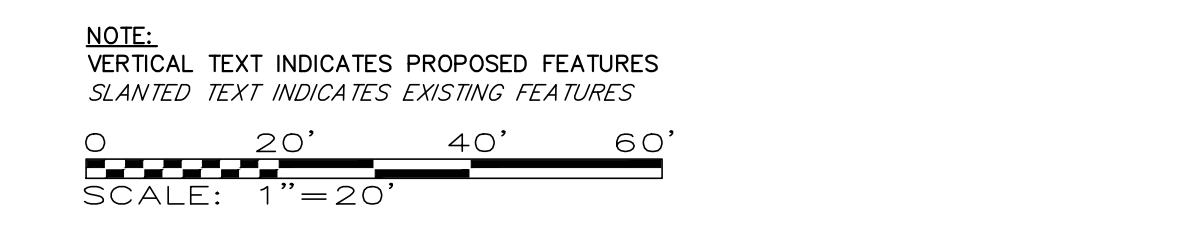
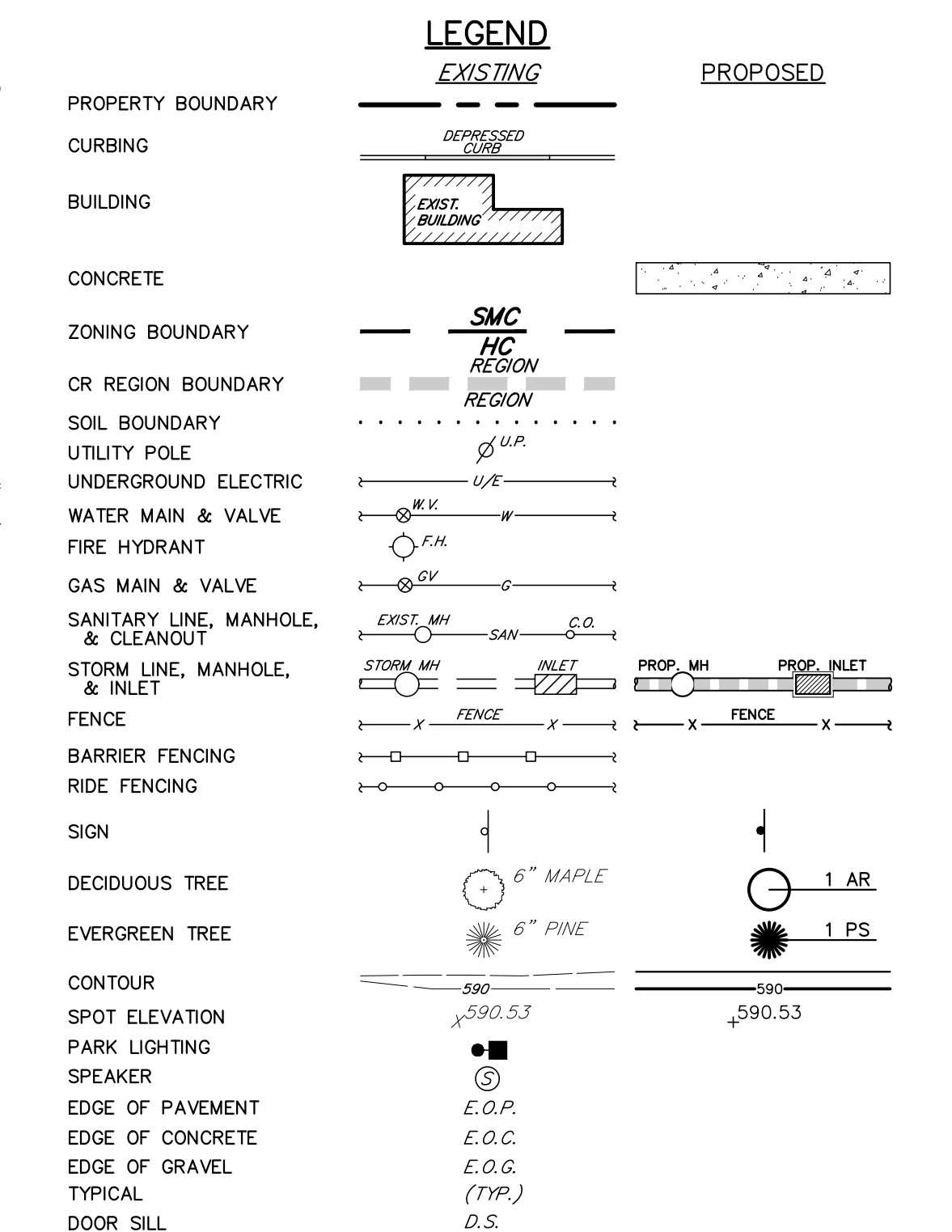
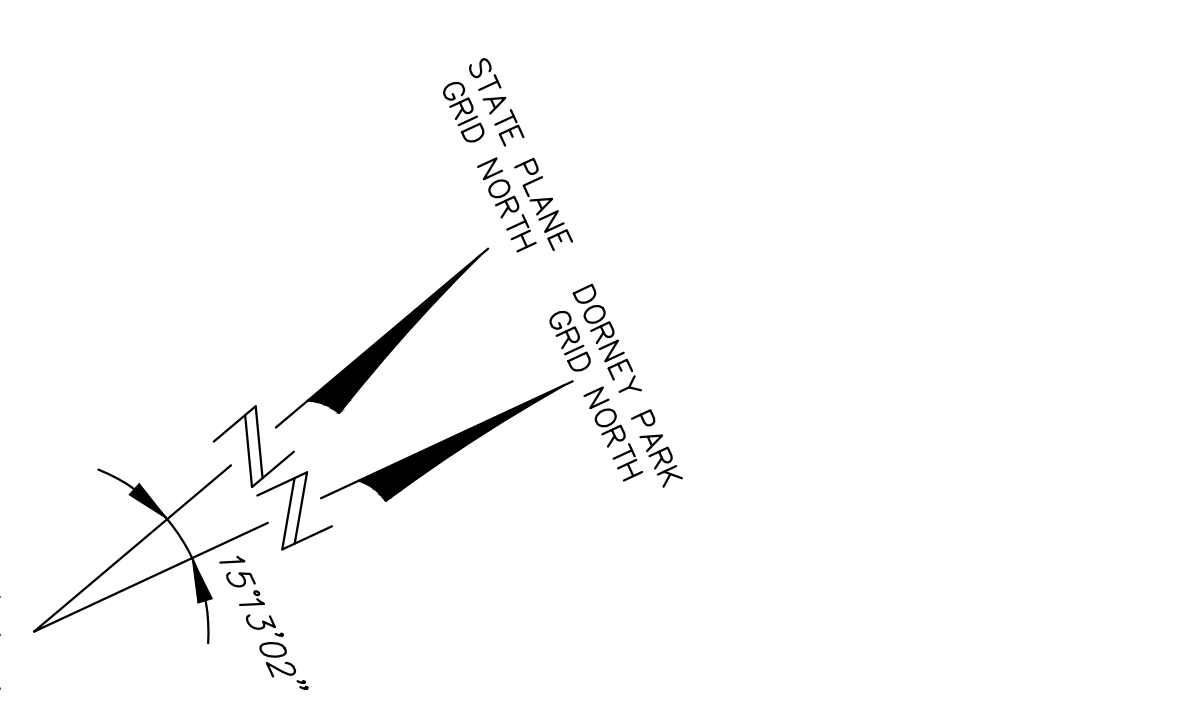
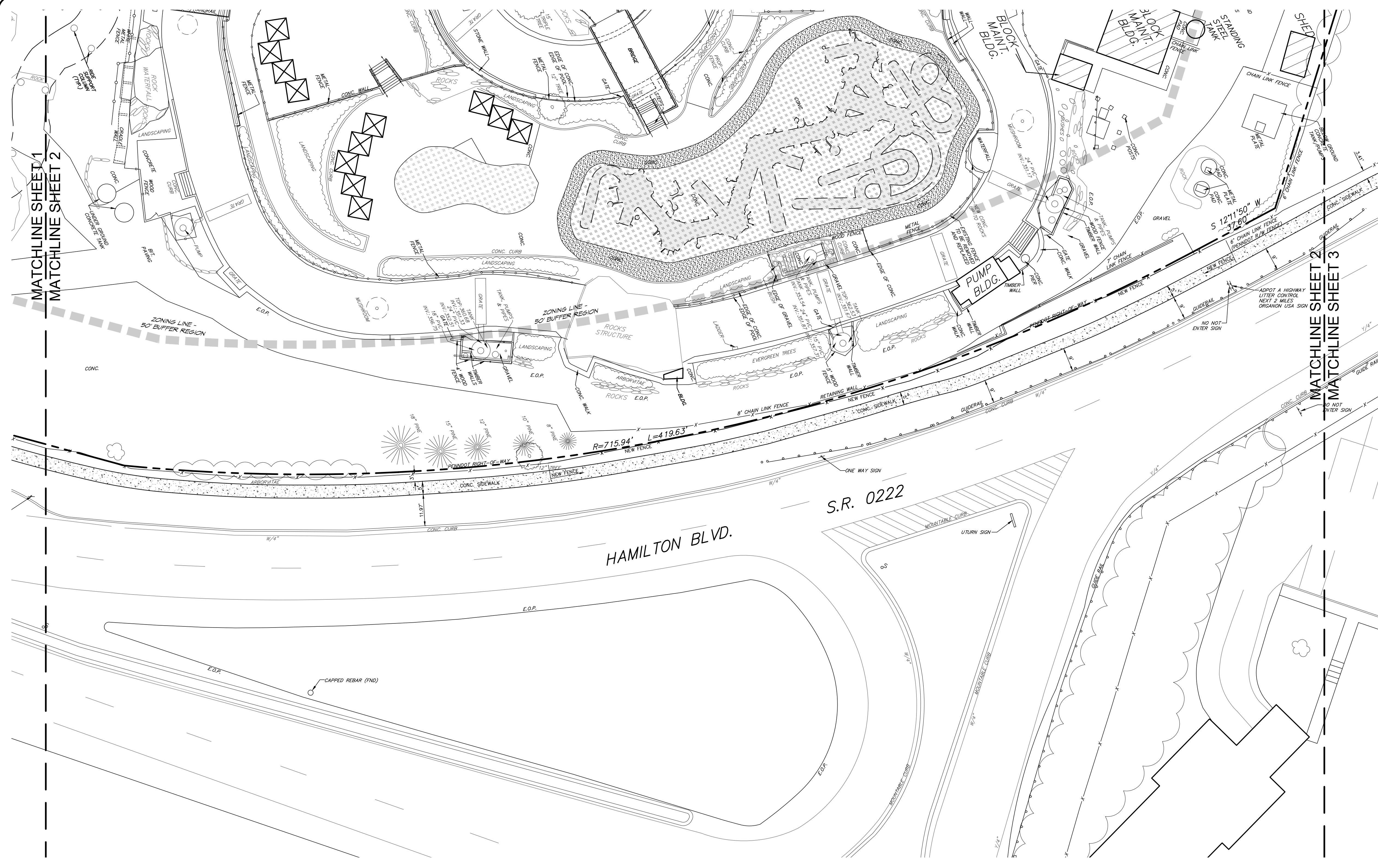
SITE PLAN 1

OFFSITE SIDEWALK
 DORNEY PARK & WILDWATER KINGDOM
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY, PA

SHEET NO. 1 OF 13

SP-1

ISSETT PROJECT NO.: 1026619.002



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PROPERTY OF CEDAR FAIR, LP

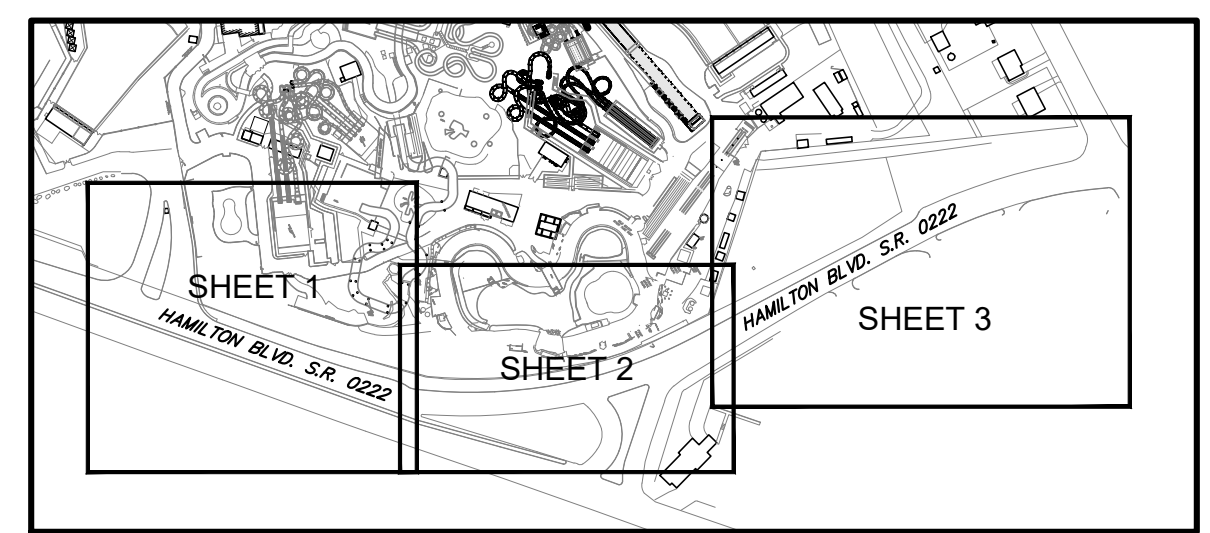
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NOTE:

*PURSUANT TO THE REQUIREMENTS OF PA ACT 287, AS AMENDED, ISETT CONTACTED ONE CALL, INC. FOR A DESIGN PHASE LOCATION REQUEST. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE IN ACCORDANCE WITH ACT 121. (PA ONE CALL SYSTEM, INC. 1-800-242-1776).

THE SITE SERIAL NUMBER IS 20193192061, 20193192085.



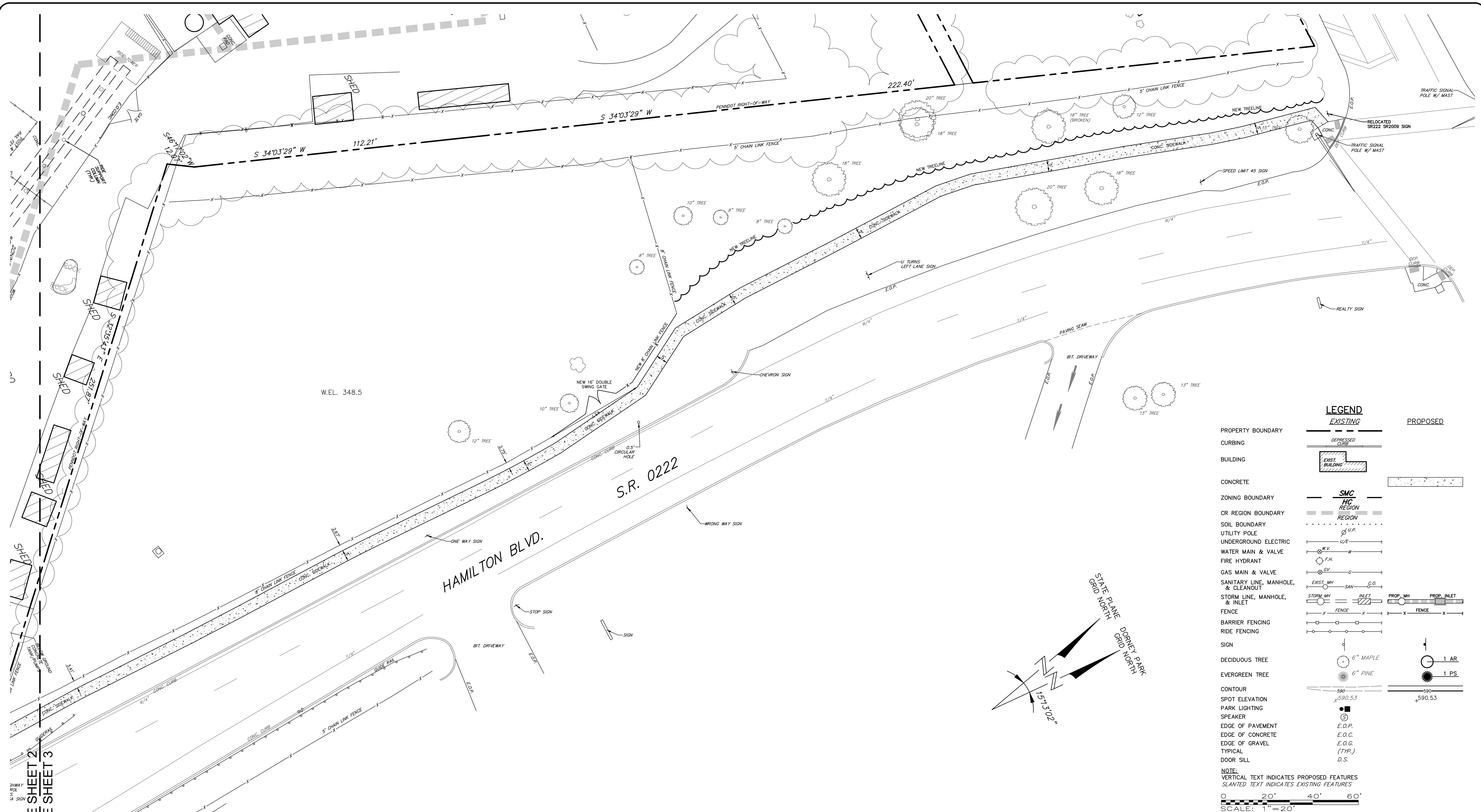
KEY MAP
SCALE: 1"=200'

SCALE 1"=20'
DATE 11/13/24
DRAWN JH
CHECK AAS



SITE PLAN 2
OFFSITE SIDEWALK
DORNEY PARK & WILDWATER KINGDOM
SOUTH WHITTHALL TOWNSHIP
LEIGH COUNTY, PA

SHEET NO.
2 OF 13
SP-2



LEGEND

EXISTING	PROPOSED
PROPERTY BOUNDARY	---
CURBING	---
BUILDING	---
CONCRETE	---
ZONING BOUNDARY	---
CR REGION BOUNDARY	---
SOIL BOUNDARY	---
UTILITY POLE	---
UNDERGROUND ELECTRIC	---
WATER MAIN & VALVE	---
FIRE HYDRANT	---
GAS MAIN & VALVE	---
SANITARY LINE, MANHOLE, & CLEANOUT	---
STORM LINE, MANHOLE, & INLET	---
FENCE	---
BARRIER FENCING	---
RIDE FENCING	---
SIGN	---
DECIDUOUS TREE	---
EVERGREEN TREE	---
CONTOUR	---
SPOT ELEVATION	---
PARK LIGHTING	---
SPEAKER	---
EDGE OF PAVEMENT	---
EDGE OF CONCRETE	---
EDGE OF GRAVEL	---
TYPICAL	---
DOOR SILL	---

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

0 20' 40' 60'
SCALE: 1"=20'

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SOUTH WHITEHALL SECTION 312-39(h)

NOTWITHSTANDING ANY PROVISIONS OF THE TOWNSHIP STORM WATER MANAGEMENT PLAN, INCLUDING EXEMPTION AND WAIVER PROVISIONS, ANY LANDOWNER AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT STORM WATER RUNOFF CHARACTERISTICS SHALL IMPLEMENT SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT INJURY TO HEALTH, SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REQUIRED TO MANAGE THE RATE VOLUME DIRECTION AND QUALITY OF RESULTING STORM WATER RUNOFF IN A MANNER WHICH OTHERWISE ADEQUATELY PROTECTS HEALTH AND PROPERTY FROM INJURY AND DAMAGE.

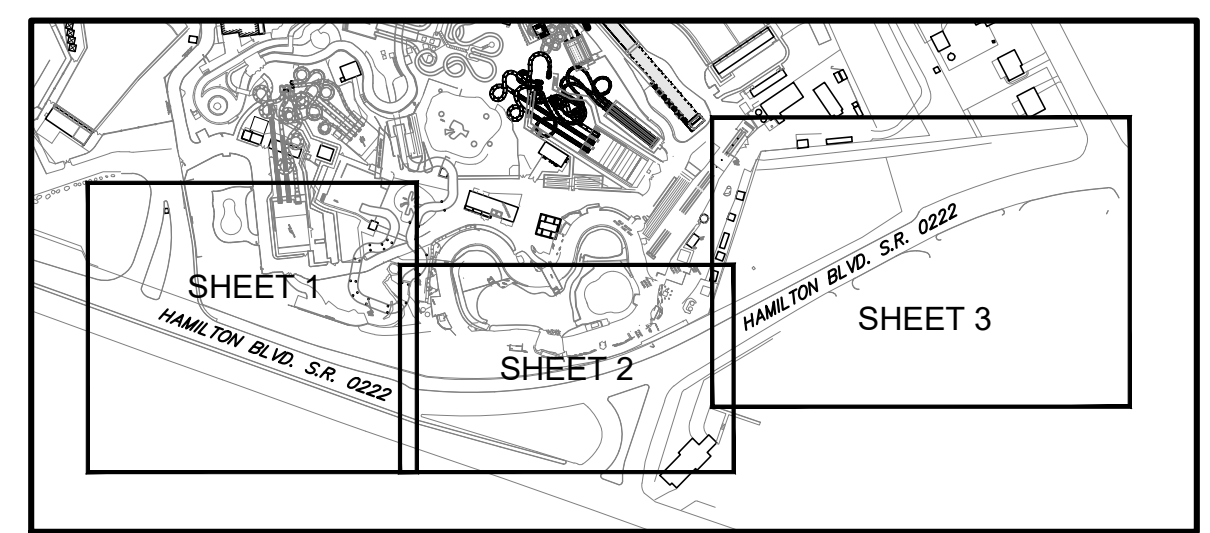
MUNICIPALITY REVIEW AND APPROVAL OF THE DRAINAGE PLAN OR THE SUBSEQUENT OBSERVATION AND APPROVAL OF STORM WATER MANAGEMENT FACILITIES, SHALL NOT CONSTITUTE LAND DEVELOPMENT ON BEHALF OF OR BY THE MUNICIPALITY OR OTHERWISE CAUSE THE MUNICIPALITY TO BE ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND. BY SUBMITTING AN APPLICATION UNDER THE TOWNSHIP STORM WATER MANAGEMENT PLAN, THE DEVELOPER HEREBY AGREES TO MAINTAIN, DEFEND, AND HOLD HARMLESS THE MUNICIPALITY AND ALL ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DAMAGES, CAUSES OF ACTION OR SUITS WHICH MAY BE ASSERTED AGAINST THE MUNICIPALITY, APPROVAL, CONSTRUCTION OR OBSERVATION OF THE DEVELOPER'S DRAINAGE PLAN AND STORM WATER MANAGEMENT FACILITIES.

SOUTH WHITEHALL SECTION 312-12(b)(7)

"THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS INCLUDING BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND THE TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERSEEN WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHT-OF-WAY, AND OTHER EXEMPTIONS, ETC. ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR."

PROPERTY OF CEDAR FAIR, LP

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KEY MAP
SCALE: 1"=200'

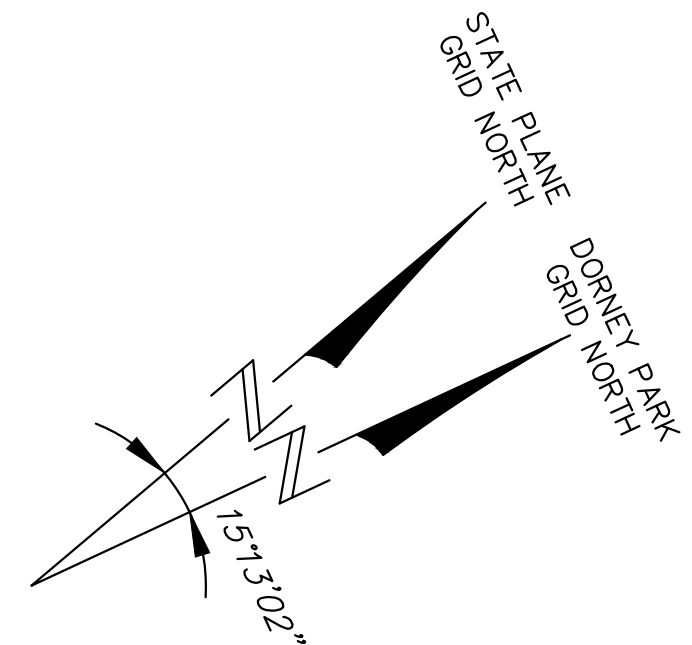
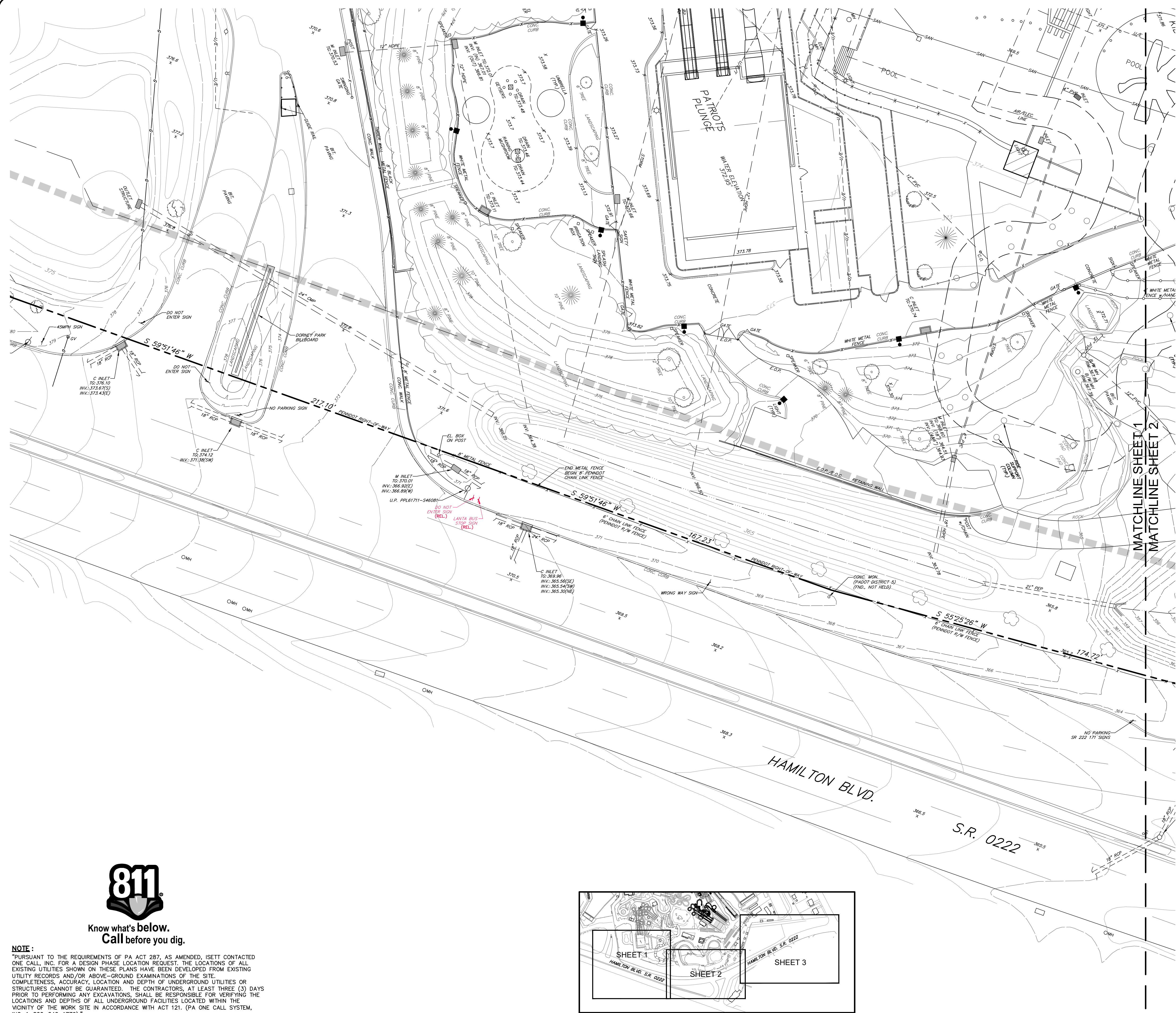


Know what's below.
Call before you dig.

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THE SITE SERIAL NUMBER IS 20193192061, 20193192085.



**NEW SOILS CLASSIFICATIONS
(ENTIRE PROJECT AREA)**

UmB - URBAN LAND - DUFFIELD COMPLEX
0 TO 8 PERCENT SLOPES

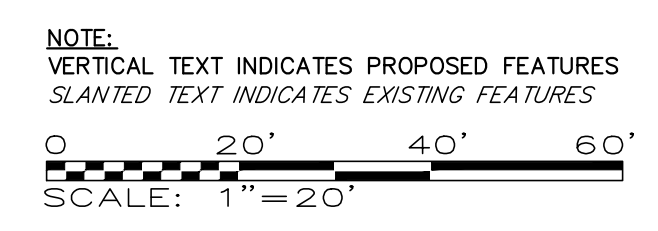
LEGEND

TO BE REMOVED, REPLACED, OR RELOCATED

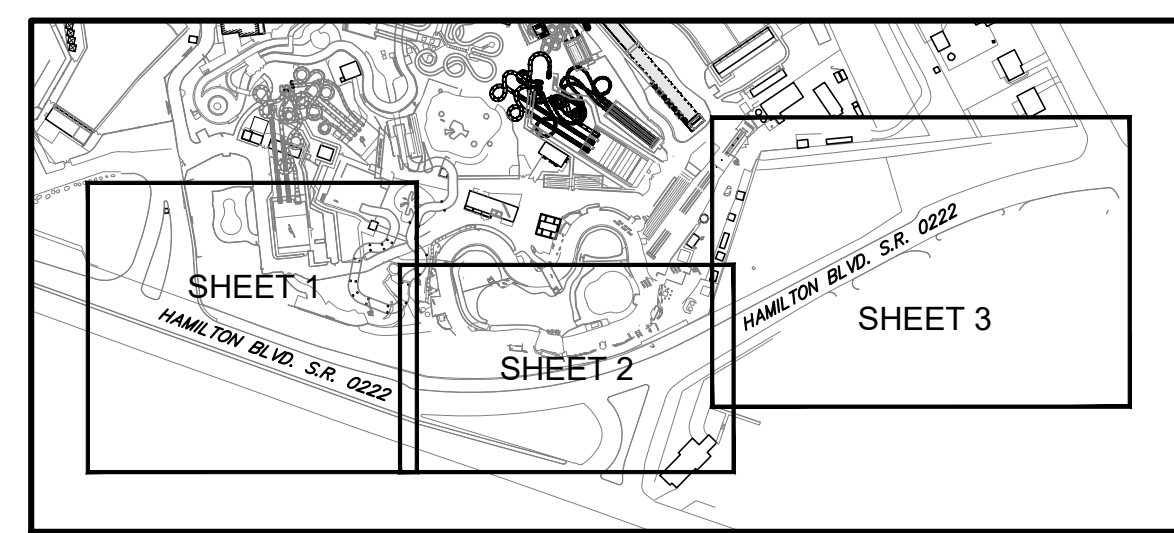
- FLARED END SECTION
- SIGN
- FENCE
- DECIDUOUS TREE
- EVERGREEN TREE
- TREELINE
- TO BE REMOVED (T.B.R.)
- TO BE RELOCATED (REL.)

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KEY MAP
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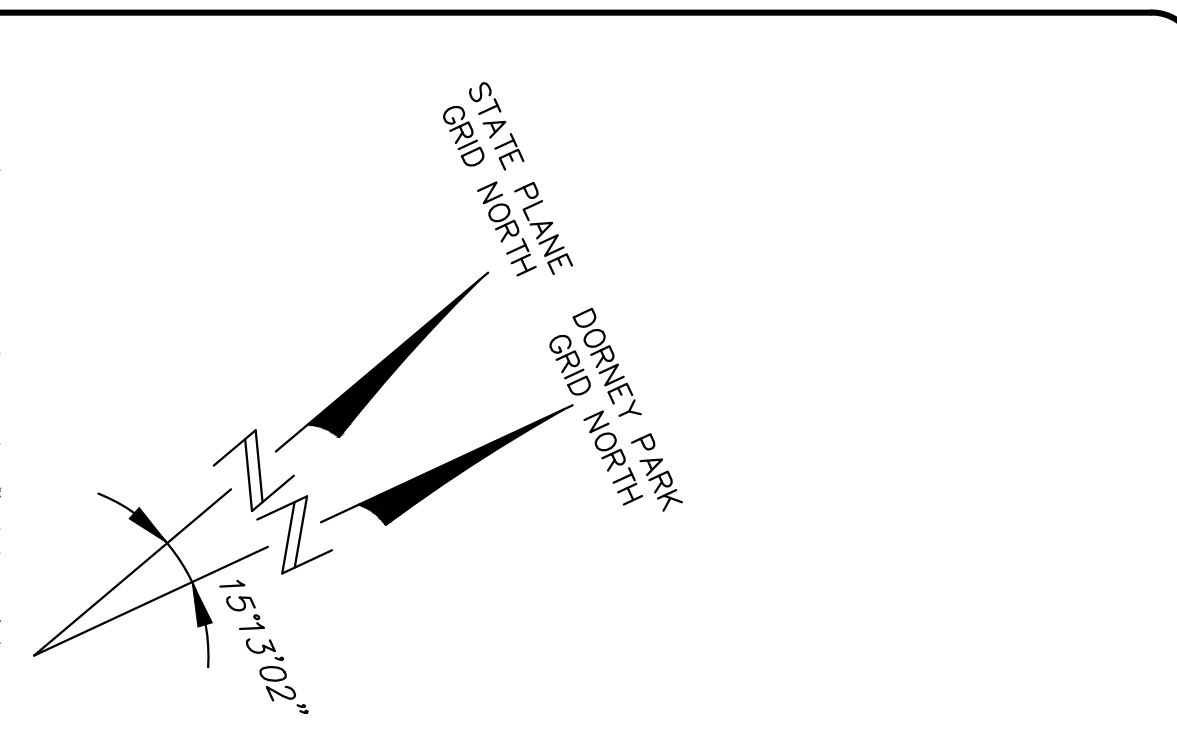
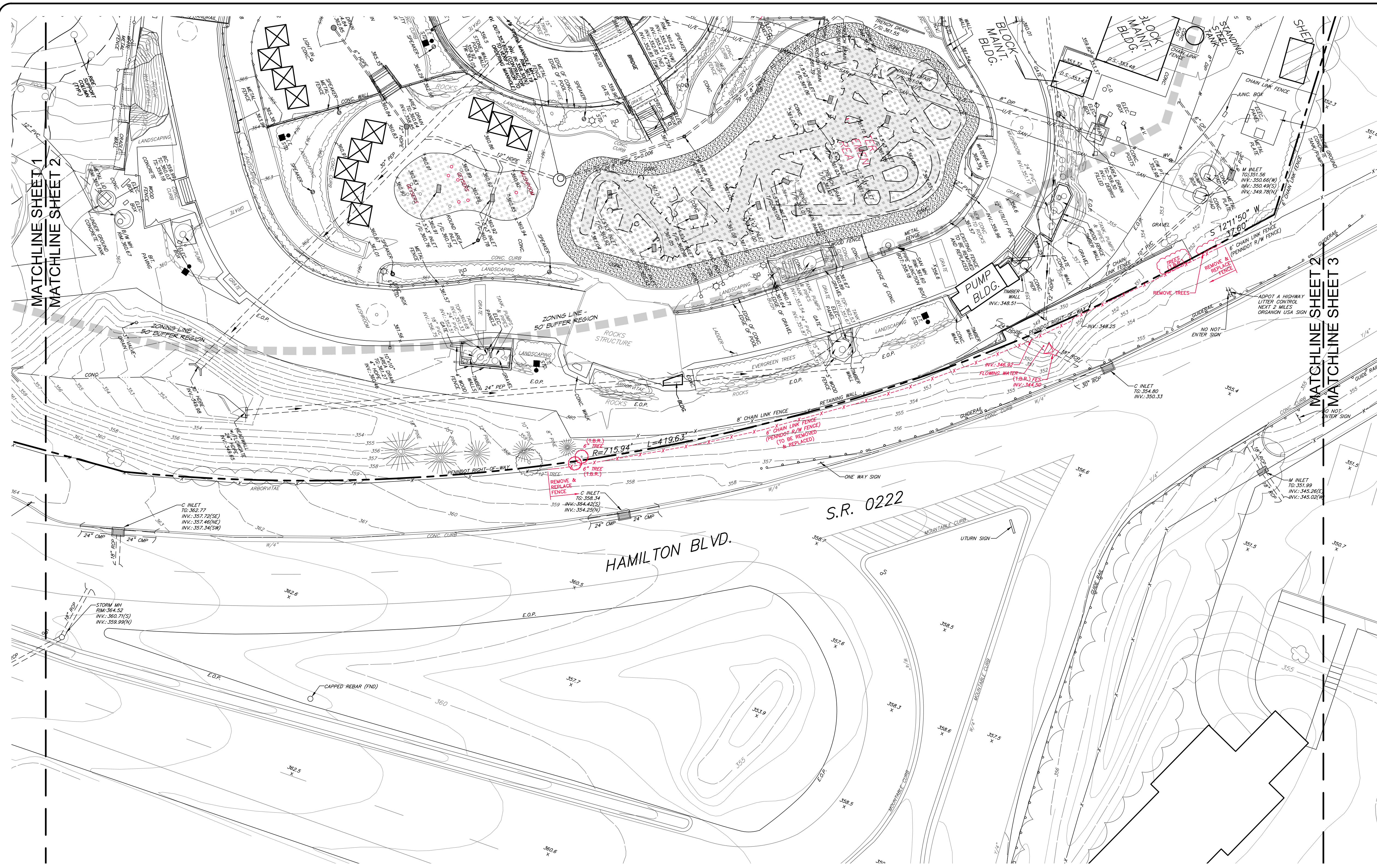
SCALE 1"=20'
DATE 11/13/24
DRAWN JH
CHECK AAS



Dorney Park & Wildwater Kingdom
Cedar Fair Entertainment Company

EXISTING FEATURES & DEMOLITION PLAN I
OFFSITE SIDEWALK
DORNEY PARK & WILDWATER KINGDOM
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

SHEET NO.
4 OF 13
II-1



SCALE 1"=20'
DATE 11/13/24
DRAWN JH
CHECK AAS



**NEW SOILS CLASSIFICATIONS
(ENTIRE PROJECT AREA)**

UmB - URBAN LAND - DUFFIELD COMPLEX
0 TO 8 PERCENT SLOPES

LEGEND

TO BE REMOVED, REPLACED, OR RELOCATED

- FLARED END SECTION
- SIGN
- FENCE
- DECIDUOUS TREE
- EVERGREEN TREE
- TREELINE
- TO BE REMOVED (T.B.R.)
- TO BE RELOCATED (REL.)

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NOTE:
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SLANTED TEXT INDICATES EXISTING FEATURES

SCALE: 1"=20'

PROPERTY OF CEDAR FAIR, LP

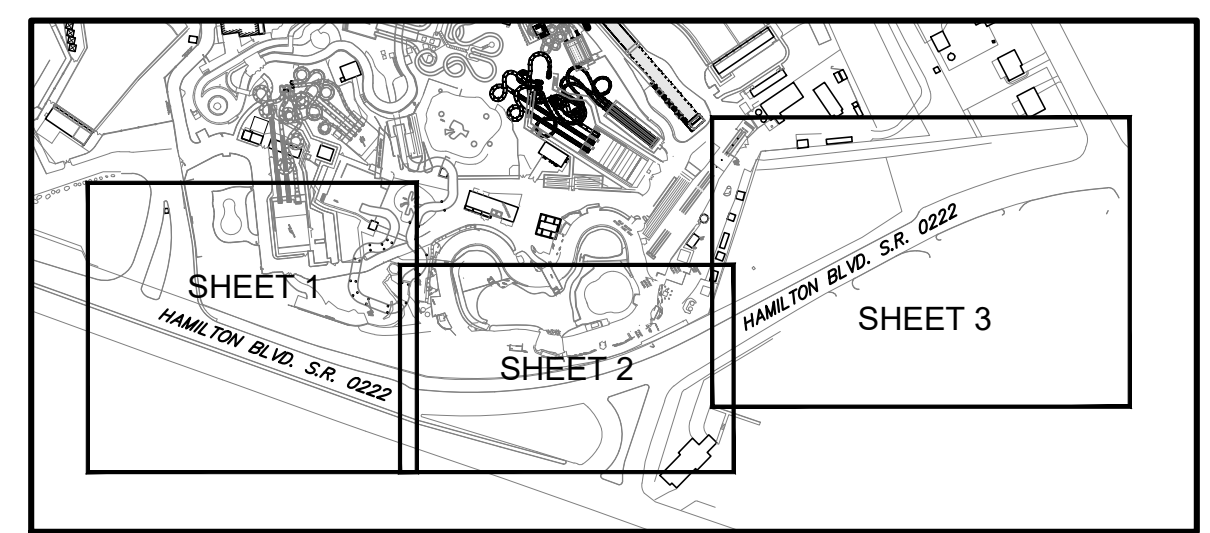
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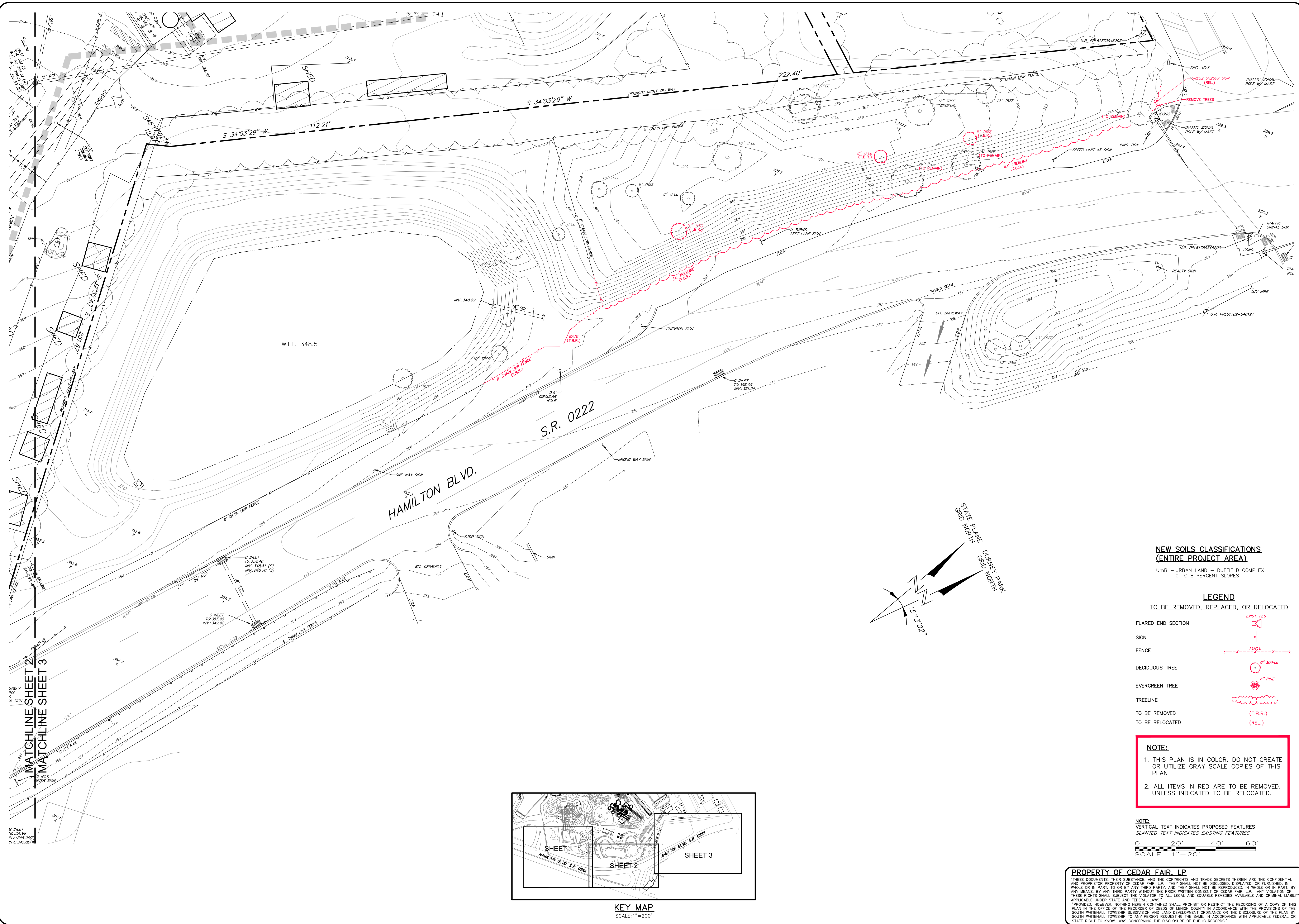
THE SITE SERIAL NUMBER IS 20193192061, 20193192085.



KEY MAP
SCALE: 1"=200'

EXISTING FEATURES & DEMOLITION PLAN 2
OFFSITE SIDEWALK
DORNEY PARK & WILDWATER KINGDOM
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

SHEET NO.
5 OF 13
EF-2



**NEW SOILS CLASSIFICATIONS
(ENTIRE PROJECT AREA)**

UmB - URBAN LAND - DUFFIELD COMPLEX
0 TO 8 PERCENT SLOPES

LEGEND

TO BE REMOVED, REPLACED, OR RELOCATED

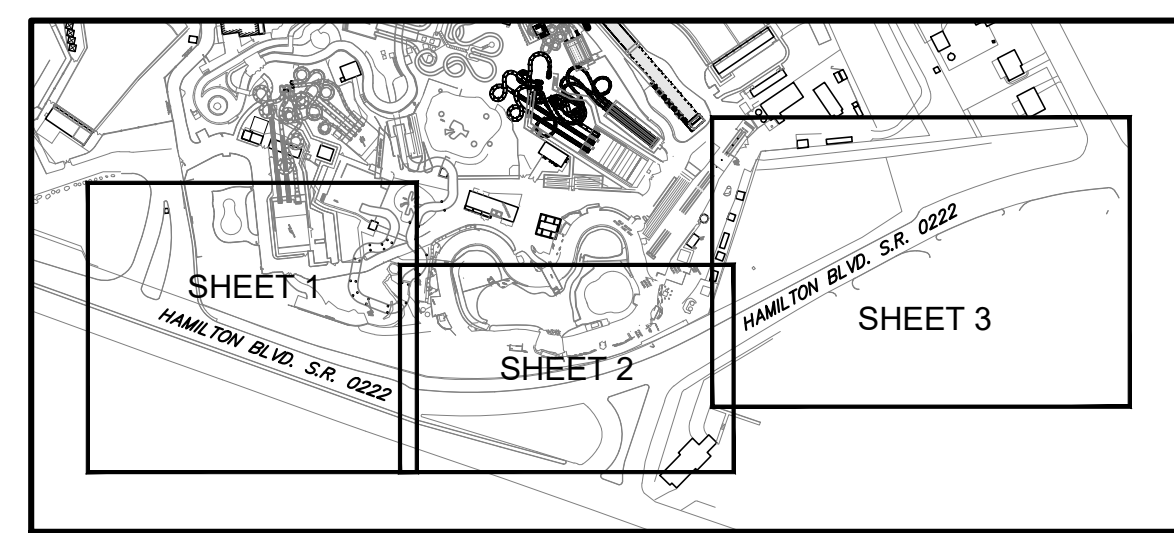
FLARED END SECTION		EXIST. FES
SIGN		
FENCE		FENCE
DECIDUOUS TREE		6" MAPLE
EVERGREEN TREE		6" PINE
TREELINE		
TO BE REMOVED		(T.B.R.)
TO BE RELOCATED		(REL.)

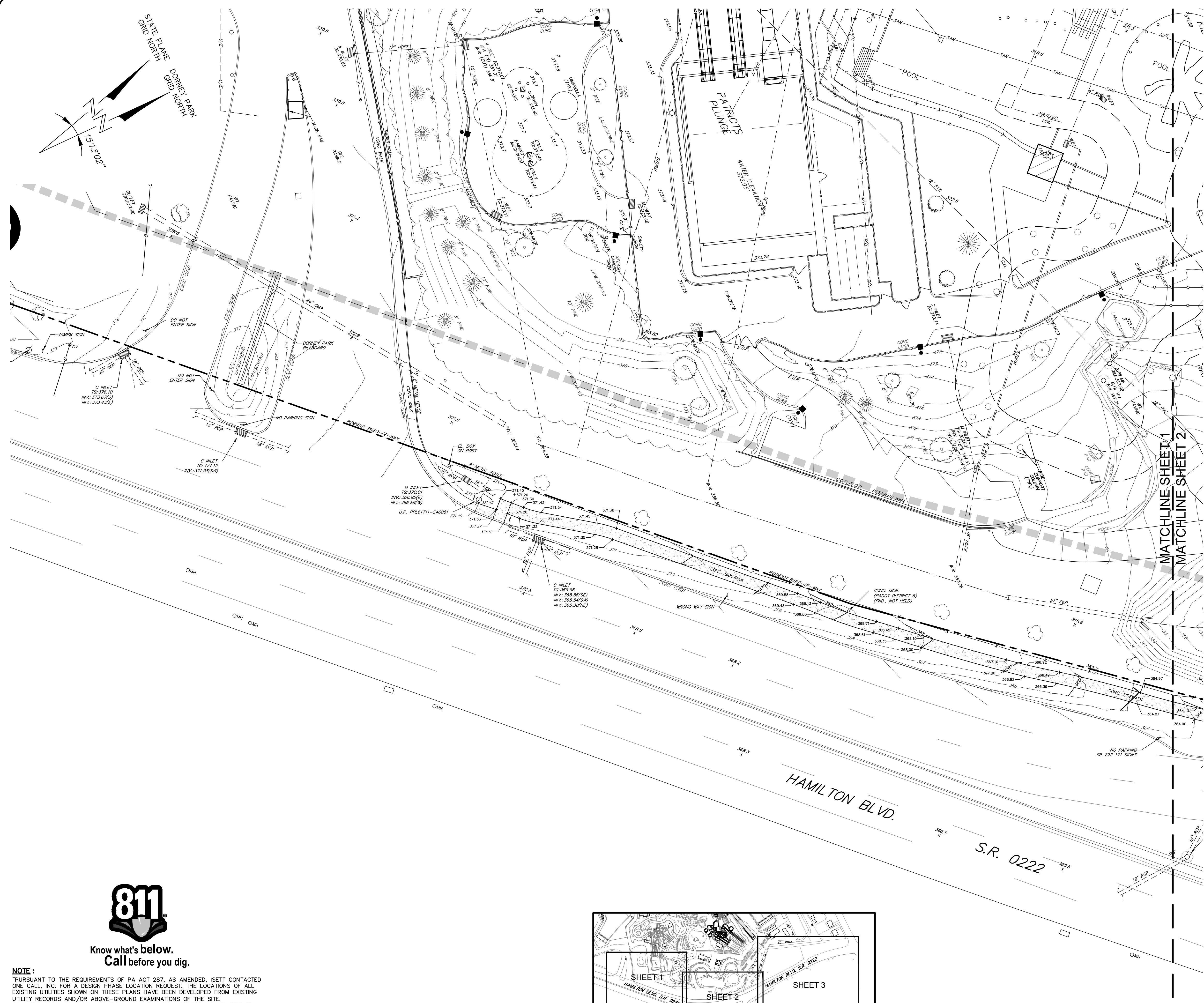
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GENERAL NOTES:

1. THESE DRAWINGS HAVE BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE ENGINEER HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND ALL UTILITIES PRIOR TO ANY CONSTRUCTION.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SOUTH WHITEHALL TOWNSHIP SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS AND CODES, AND PENN D.O.T. PUBLICATION 408.
3. APPLICANT IS RESPONSIBLE FOR JOINING THE PA ONE CALL SYSTEM AND IS RESPONSIBLE FOR MARKING OF ALL UNDERGROUND UTILITIES PRIOR TO THE UTILITIES BEING FORMALLY ACCEPTED BY AND DEDICATED TO THE TOWNSHIP.
4. LOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE DEVELOPER/DESIGN ENGINEER AND THAT THE LOCATIONS OF SUCH FACILITIES HAVE NOT BEEN REVIEWED BY THE TOWNSHIP OR THE FLOOD COMPANY. THE DEVELOPER/DESIGN ENGINEER IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF ALL UTILITIES AND TO AVOID CONFLICTS OF THE SAME WITH PROPOSED IMPROVEMENTS. SIGNIFICANT EFFORTS TO RESOLVE SUCH CONFLICTS, INCLUDING BUT NOT NECESSARILY LIMITED TO REVISION, CONSTRUCTION DELAYS, UTILITY RELOCATIONS, ETC., MAY RESULT IF CONFLICTS WITH EXISTING UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION.
5. ALL WATER AND SANITARY SEWER SERVICES ARE PRIVATELY OWNED AND MAINTAINED BY THE PARK.
6. ALL NEW PAVEMENT AND CONCRETE SHALL DRAIN TOWARD AN INLET OR LAWN AREA AT A MINIMUM SLOPE OF 1%.
7. ALL INLETS, AREA DRAINS, AND TRENCH DRAINS SHALL HAVE ADA COMPLIANT GRATES DESIGNED FOR MIN. H10 LOADING. PROVIDE TROUT LOGO PLATE.
8. PROVIDE LANDINGS AT ALL DOORS AND AT THE TOP AND BOTTOM OF ALL STEP RUNS AND RAMPS, IN ACCORDANCE WITH ALL APPLICABLE CODES.
9. RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION OR 50:1 CROSS SLOPE. LANDINGS SHALL NOT EXCEED 50:1 SLOPE IN ANY DIRECTION. WALKWAYS SHALL NOT EXCEED 20:1 RUNNING SLOPE OR 50:1 CROSS SLOPE.
10. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND NOTIFY OWNER OF ANY POTENTIAL CONFLICTS OR CHANGES.
11. THERE ARE NO KNOWN WETLANDS, SIGNIFICANT TREE MASSES, ROCK OUTCROPS, SLAG PILES, QUARRY HOLES, SPRINGS, OR SWAMPY AREAS WITHIN THE LIMIT OF DISTURBANCE FOR THIS PROJECT.
12. REFERENCE THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY GEO-TECHNOLOGY ASSOCIATES LAST REVISED FEBRUARY 20, 2023 FOR ADDITIONAL INFORMATION.

GRADING AND UTILITY NOTES:

1. THE TOPS/IRMS OF EXISTING UTILITY STRUCTURES, MANHOLES, VALVES, CLEANOUTS, ETC. SHALL BE ADJUSTED TO THE PROPOSED GRADE.
2. ALL PROPOSED AND EXISTING UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR FOR RELOCATION DUE TO CONFLICTS WITH FOOTINGS OR OTHER UTILITIES AND SHALL BE RECONNECTED ACCORDING TO ALL APPLICABLE SPECIFICATIONS AND REGULATIONS, AT THE DIRECTION OF DORNEY PARK.
3. CONTRACTOR SHALL ENSURE ADEQUATE COVER OVER ALL UTILITIES AFTER FINAL GRADING, AND SHALL RELOCATE EXISTING UTILITIES TO PROVIDE ADEQUATE COVER AS NECESSARY.
4. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
5. AT NO TIME SHALL STORM SEWER PIPES ENTER/EXIT THE CORNER OF INLET BOXES.
6. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE COVER OVER ALL STORMWATER AND UTILITY PIPING, PER THE MANUFACTURER'S SPECIFICATIONS.
7. ALL ELECTRICAL UTILITIES, INCLUDING POWER, STREET LIGHTS, TELEPHONE, AND TELEVISION CABLE SHALL BE PLACED UNDERGROUND AND SHALL BE PLACED A MINIMUM OF ONE FOOT FROM ALL PROPERTY LINES.
8. FENCE CONTRACTOR SHALL COORDINATE FENCE POST LOCATIONS WITH STORM SEWERS AND OTHER UTILITIES.
9. BOTTOM OF WALL ELEVATIONS (BW) LISTED ON GP-1 REFER TO FINISHED GRADE ALONG THE BOTTOM OF THE WALL, NOT THE BOTTOM OF THE WALL FOOTING.
10. COORDINATE SIGN LOCATIONS WITH STORM SEWERS AND OTHER UTILITIES.
11. CROSS SLOPE OF ALL NEW WALKWAYS SHALL NOT EXCEED 2% SLOPE.

LEGEND

	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
CURBING	---	---
BUILDING	---	---
CONCRETE	---	---
ZONING BOUNDARY	---	---
CR REGION BOUNDARY	---	---
SOIL BOUNDARY	---	---
UTILITY POLE	---	---
UNDERGROUND ELECTRIC	---	---
WATER MAIN & VALVE	---	---
FIRE HYDRANT	---	---
GAS MAIN & VALVE	---	---
SANITARY LINE, MANHOLE, & CLEANOUT	---	---
STORM LINE, MANHOLE, & INLET	---	---
FENCE	---	---
BARRIER FENCING	---	---
RIDE FENCING	---	---
SIGN	---	---
DECIDUOUS TREE	---	---
EVERGREEN TREE	---	---
CONTOUR	---	---
SPOT ELEVATION	---	---
PARK LIGHTING	---	---
SPEAKER	---	---
EDGE OF PAVEMENT	---	---
EDGE OF CONCRETE	---	---
EDGE OF GRAVEL	---	---
TYPICAL	---	---
DOOR SILL	---	---

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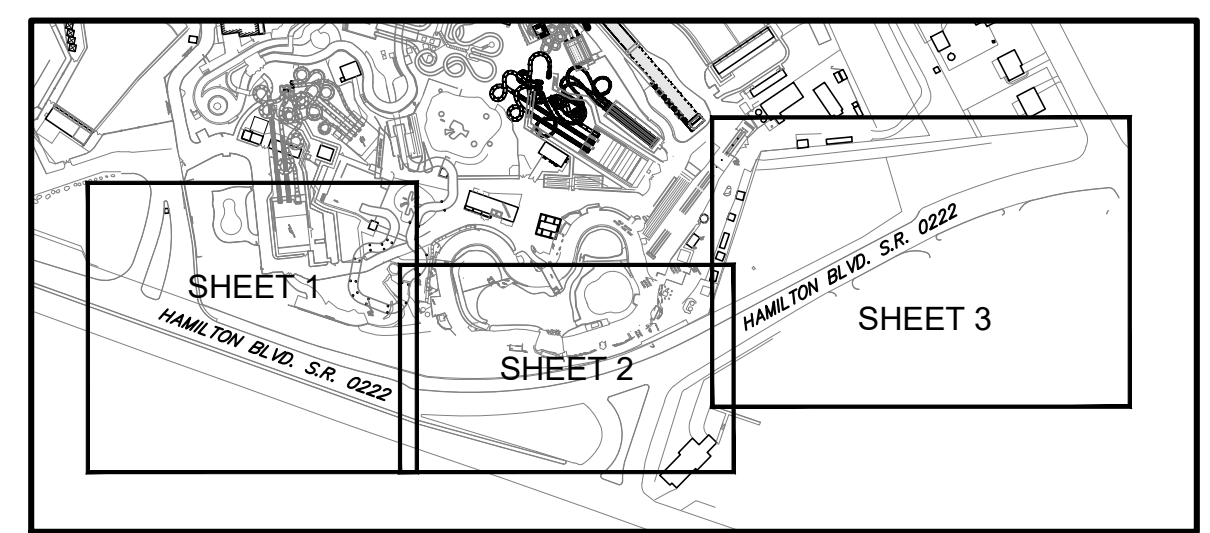
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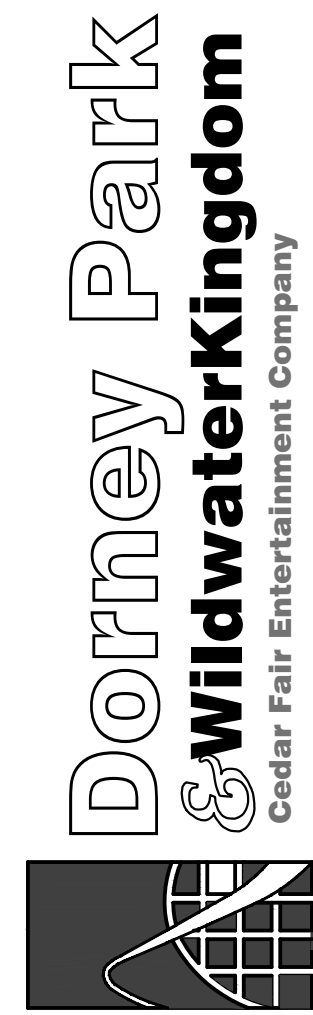


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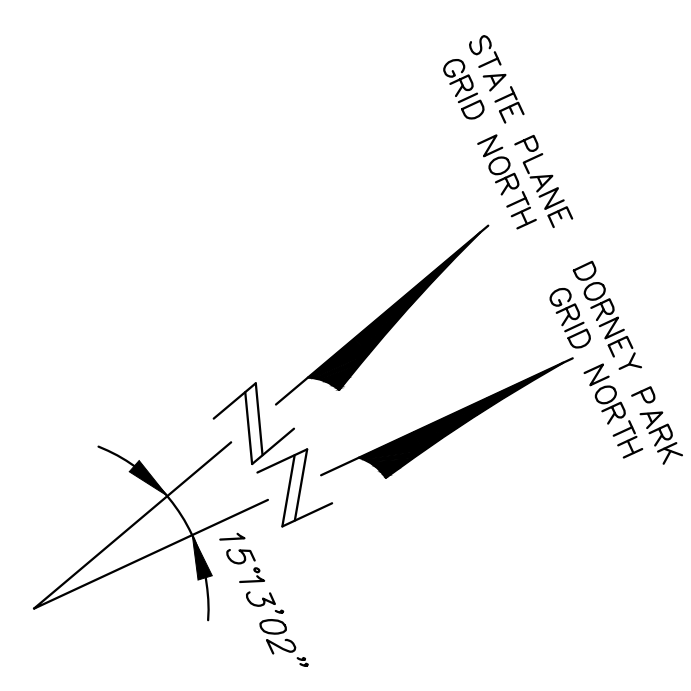
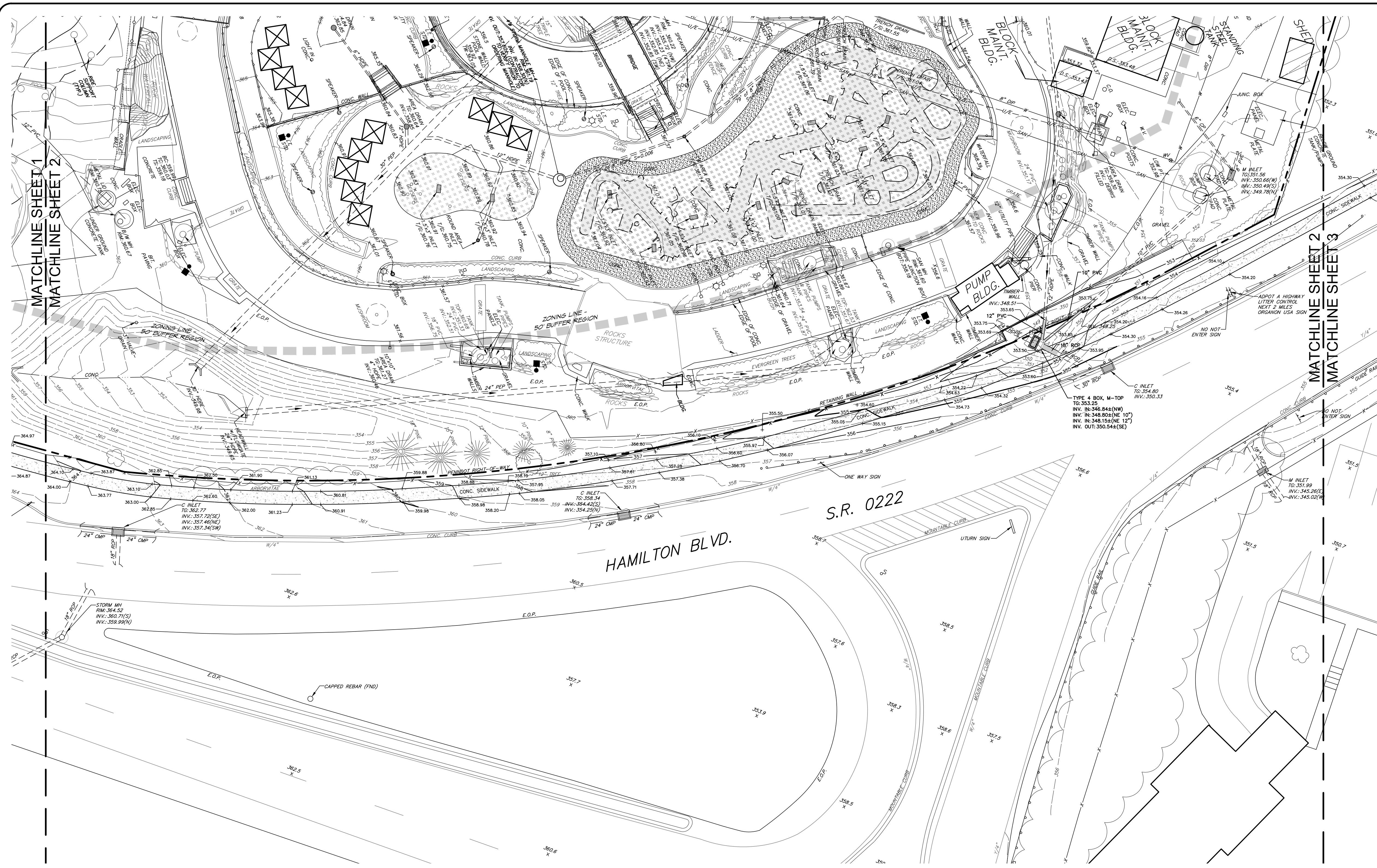


SCALE 1"=20'
DATE 11/13/24
DRAWN JH
CHECK AAS



GRADING & UTILITY PLAN 1
OFFSITE SIDEWALK
DORNEY PARK & WILDWATER KINGDOM
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

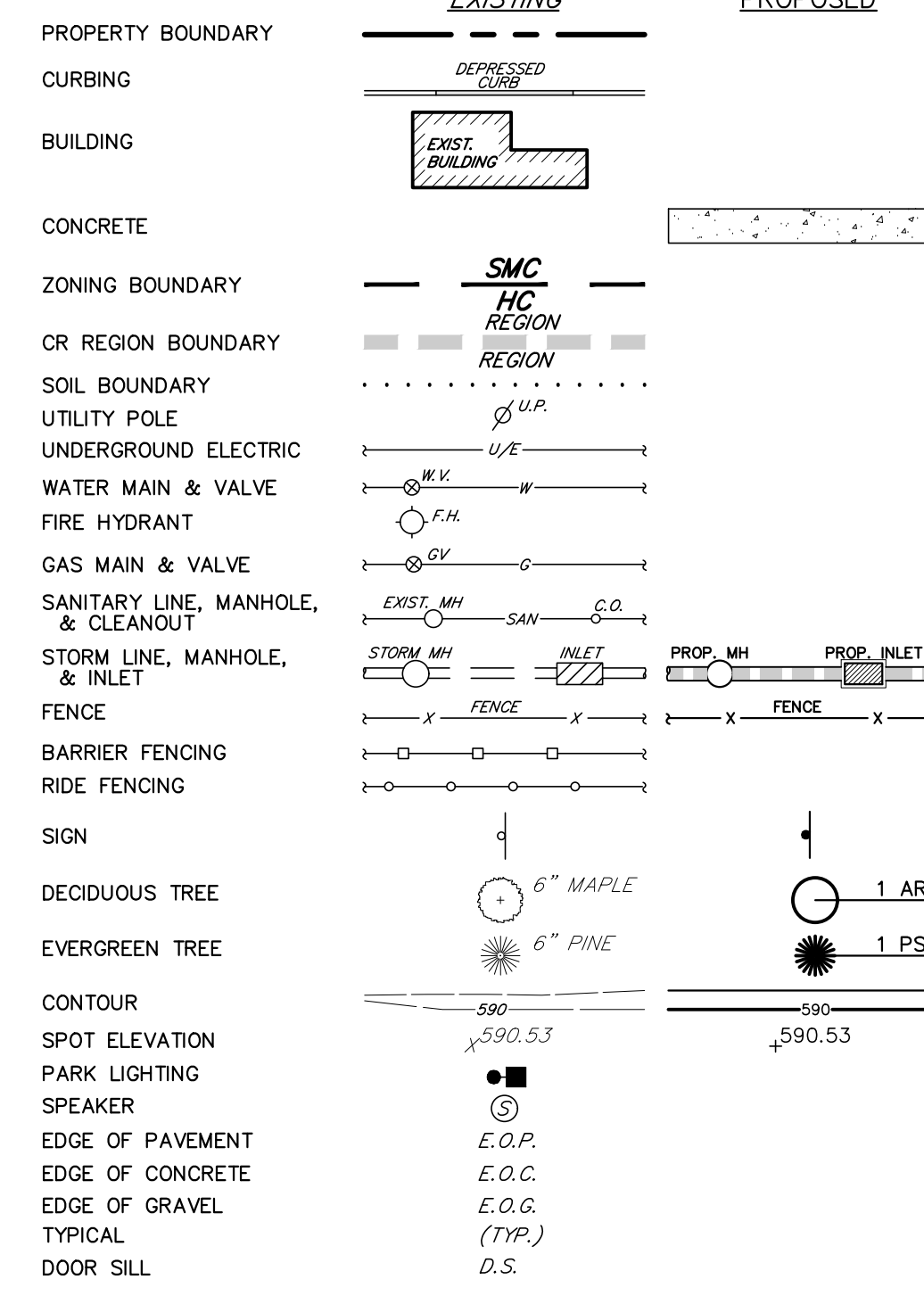
SHEET NO. 1 OF 13
GU-1



GRADING AND UTILITY NOTES:

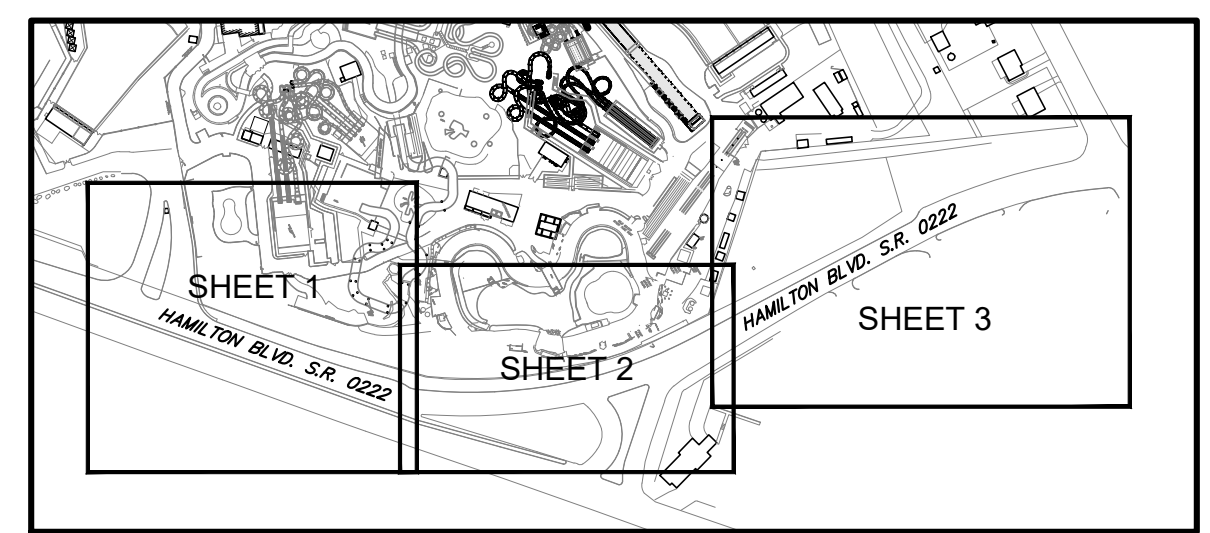
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LEGEND



GENERAL NOTES:

1. THESE DRAWINGS HAVE BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE ENGINEER HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND ALL UTILITIES PRIOR TO ANY CONSTRUCTION.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SOUTH WHITEHALL TOWNSHIP SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS AND CODES, AND PENN. D.O.T. PUBLICATION 408.
3. APPLICANT IS RESPONSIBLE FOR JOINING THE PA ONE CALL SYSTEM AND IS RESPONSIBLE FOR MARKING OF ALL UNDERGROUND UTILITIES PRIOR TO THE UTILITIES BEING FORMALLY ACCEPTED BY AND DEDICATED TO THE TOWNSHIP.
4. LOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE DEVELOPER/DESIGN ENGINEER AND THAT THE LOCATIONS OF SUCH FACILITIES HAVE NOT BEEN REVIEWED BY THE TOWNSHIP OR THE PRODCOX COMPANY. THE DEVELOPER/DESIGN ENGINEER IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF ALL UTILITIES AND TO AVOID CONFLICTS OF THE SAME WITH PROPOSED IMPROVEMENTS. SIGNIFICANT EFFORTS TO RESOLVE SUCH CONFLICTS, INCLUDING BUT NOT NECESSARILY LIMITED TO REDESIGN, CONSTRUCTION DELAYS, UTILITY RELOCATIONS, ETC., MAY RESULT IF CONFLICTS WITH EXISTING UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION.
5. ALL WATER AND SANITARY SEWER SERVICES ARE PRIVATELY OWNED AND MAINTAINED BY THE PARK.
6. ALL NEW PAVEMENT AND CONCRETE SHALL DRAIN TOWARD AN INLET OR LAWN AREA AT A MINIMUM SLOPE OF 1%.
7. ALL INLETS, AREA DRAINS, AND TRENCH DRAINS SHALL HAVE ADA COMPLIANT GRATES DESIGNED FOR MIN. HO. LOADING. PROVIDE TROUT LOGO PLATE.
8. PROVIDE LANDINGS AT ALL DOORS AND AT THE TOP AND BOTTOM OF ALL STEP RUNS AND RAMPS, IN ACCORDANCE WITH ALL APPLICABLE CODES.
9. RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION OR 50:1 CROSS SLOPE. LANDINGS SHALL NOT EXCEED 30:1 SLOPE IN ANY DIRECTION. WALKWAYS SHALL NOT EXCEED 20:1 RUNNING SLOPE OR 50:1 CROSS SLOPE.
10. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND NOTIFY OWNER OF ANY POTENTIAL CONFLICTS OR CHANGES.
11. THERE ARE NO KNOWN WETLANDS, SIGNIFICANT TREE MASSES, ROCK OUTCROPPINGS, SLAG PILES, QUARRY HOLES, SPRINGS, OR SWAMPY AREAS WITHIN THE LIMIT OF DISTURBANCE FOR THIS PROJECT.
12. REFERENCE THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY GEO-TECHNOLOGY ASSOCIATES LAST REVISED FEBRUARY 20, 2023 FOR ADDITIONAL INFORMATION.

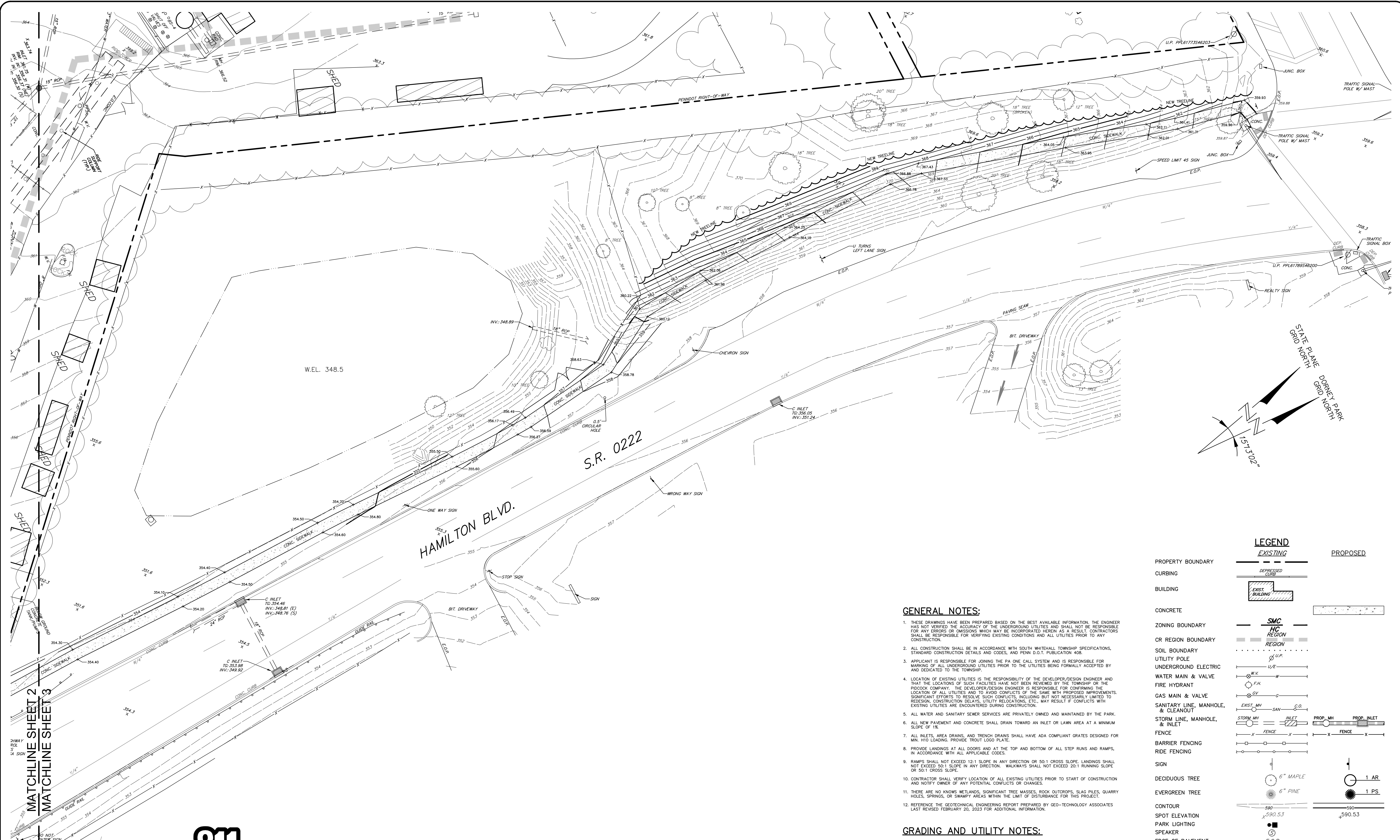


KEY MAP
SCALE: 1"=200'



Know what's below.
Call before you dig.

NOTE:
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THE SITE SERIAL NUMBER IS 20193192061, 20193192085.



SCALE 1"=20'
DATE 1/31/24
DRAWN JH
CHECK AAS

BARRY ISETT & ASSOCIATES
INC. ENGINEERS AND ARCHITECTS

Dorney Park & Wildwater Kingdom
Cedar Fair Entertainment Company

GRADING & UTILITY PLAN 3
OFFSITE SIDEWALK
DORNEY PARK & WILDWATER KINGDOM
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

SHEET NO.
9 OF 13
GU-3

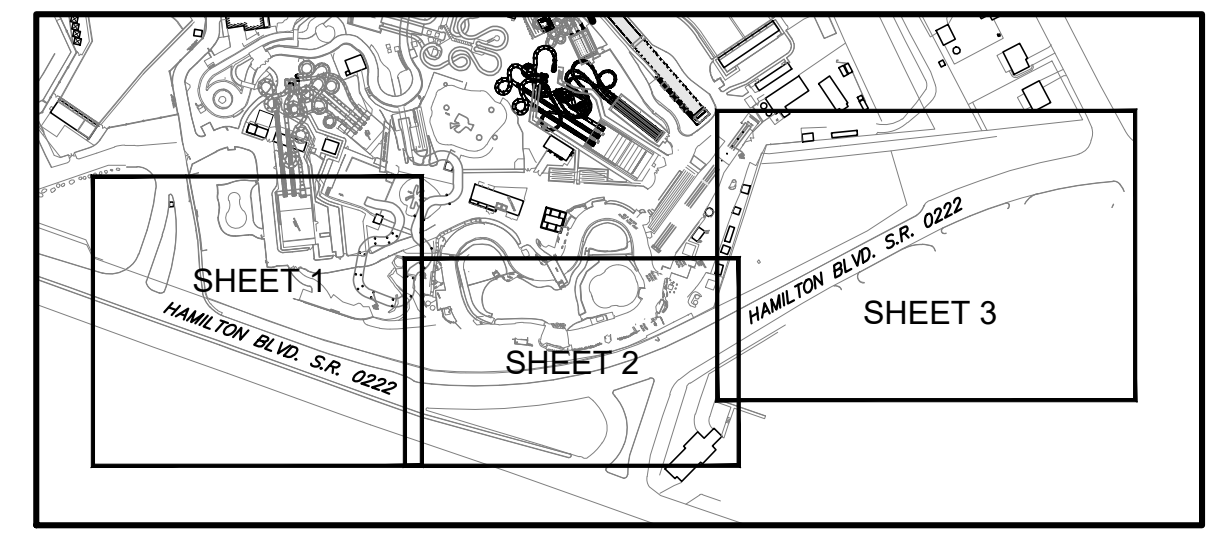
ISETT PROJECT NO.: 1026619.002

MATCHLINE SHEET 2
MATCHLINE SHEET 3



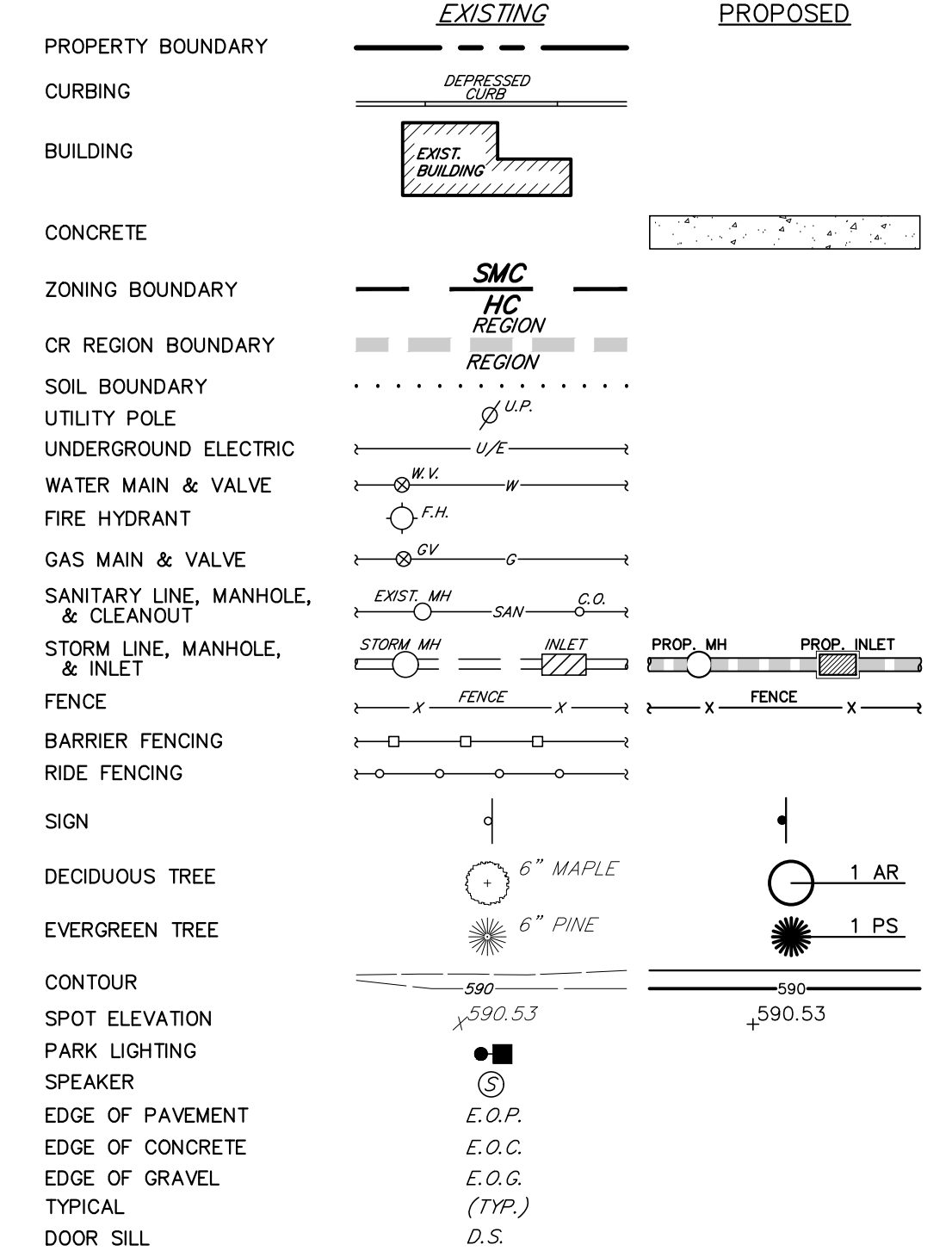
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KEY MAP
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LEGEND



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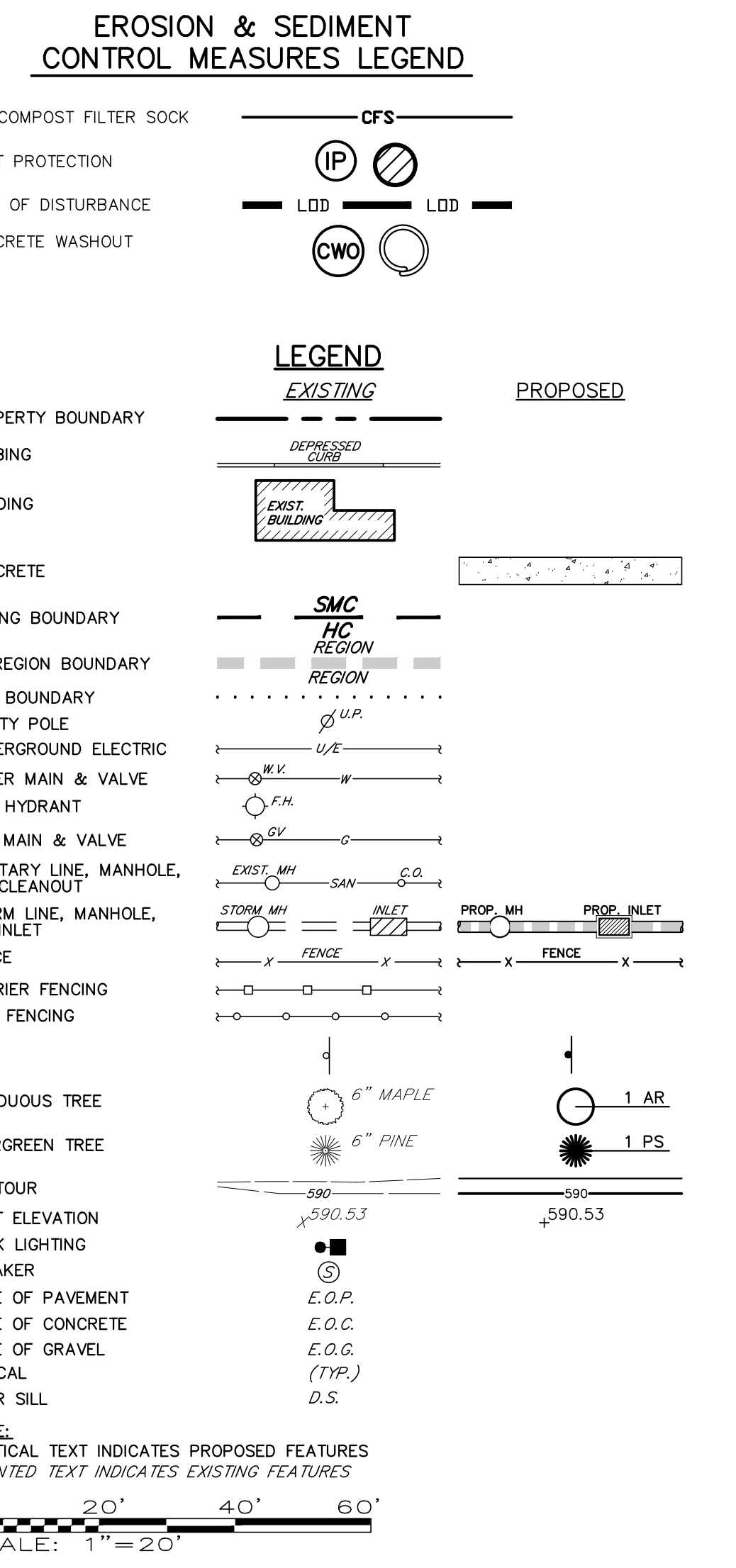
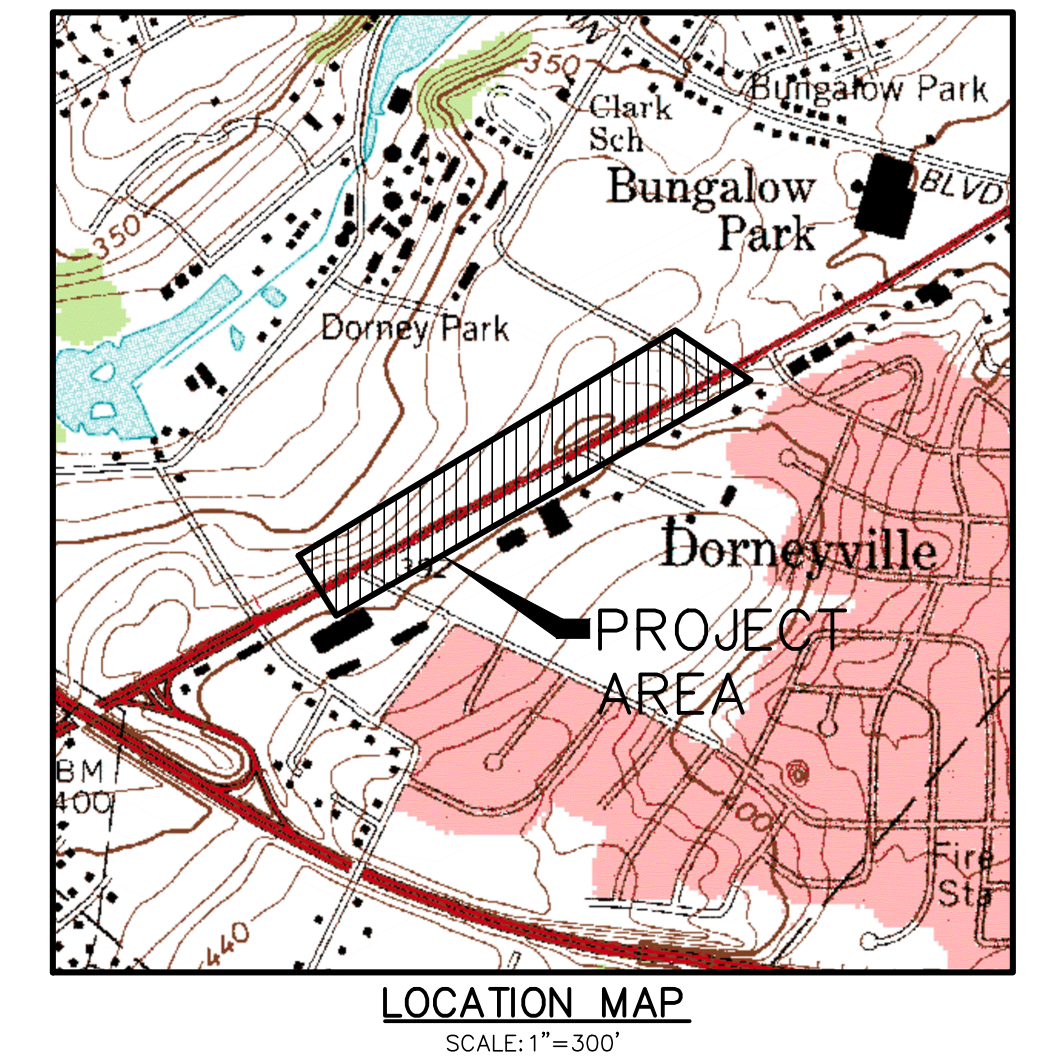
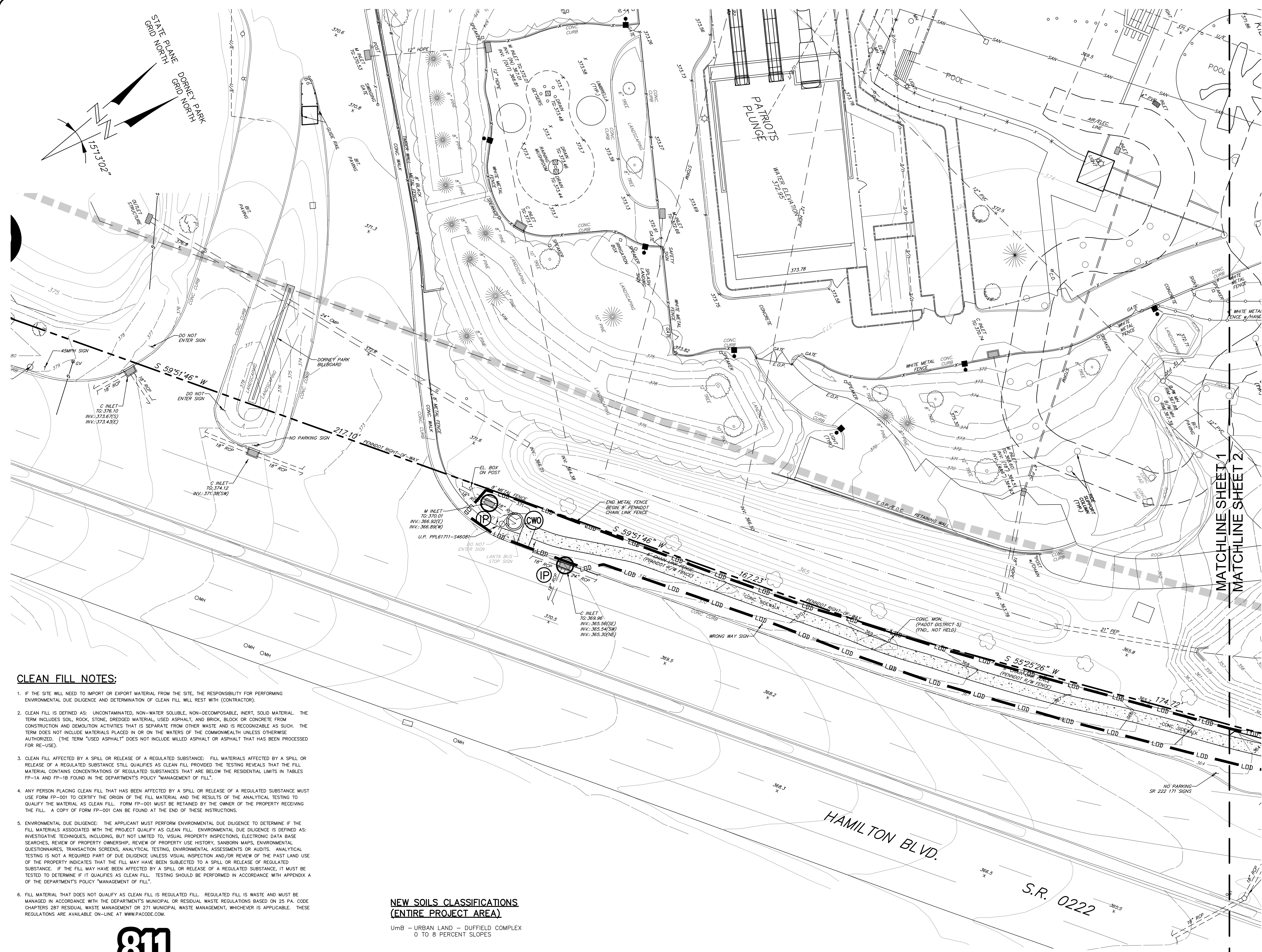
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GRADING AND UTILITY NOTES:

- THE TOPS/RIMS OF EXISTING UTILITY STRUCTURES, MANHOLES, VALVES, CLEANOUTS, ETC. SHALL BE ADJUSTED TO THE PROPOSED GRADE.
- ALL PROPOSED AND EXISTING UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR FOR RELOCATION DUE TO CONFLICTS WITH FOOTINGS OR OTHER UTILITIES AND SHALL BE RECONNECTED ACCORDING TO ALL APPLICABLE SPECIFICATIONS AND REGULATIONS, AT THE DIRECTION OF DORNEY PARK.
- CONTRACTOR SHALL ENSURE ADEQUATE COVER OVER ALL UTILITIES AFTER FINAL GRADING, AND SHALL RELOCATE EXISTING UTILITIES TO PROVIDE ADEQUATE COVER AS NECESSARY.
- AT NO TIME SHALL STORM SEWER PIPES ENTER/EXIT THE CORNER OF INLET BOXES.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE COVER OVER ALL STORMWATER AND UTILITY PIPING, PER THE MANUFACTURER'S SPECIFICATIONS.
- ALL ELECTRICAL UTILITIES, INCLUDING POWER, STREET LIGHTS, TELEPHONE, AND TELEVISION CABLE LINES, SHALL BE PLACED UNDERGROUND AND SHALL BE PLACED A MINIMUM OF ONE FOOT FROM ALL PROPERTY LINES.
- FENCE CONTRACTOR SHALL COORDINATE FENCE POST LOCATIONS WITH STORM SEWERS AND OTHER UTILITIES.
- BOTTOM OF WALL ELEVATIONS (BW) LISTED ON CP-1 REFER TO FINISHED GRADE ALONG THE BOTTOM OF THE WALL, NOT THE BOTTOM OF THE WALL FOOTING.
- COORDINATE SIGN LOCATIONS WITH STORM SEWERS AND OTHER UTILITIES.
- CROSS SLOPE OF ALL NEW WALKWAYS SHALL NOT EXCEED 2% SLOPE.

PROPERTY OF CEDAR FAIR, LP

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PROVIDED, HOWEVER, NOTHING HEREIN CONTAINED SHALL PROHIBIT OR RESTRICT THE RECORDING OF A COPY OF THIS PLAN IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY IN ACCORDANCE WITH THE PROVISIONS OF THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OR THE DISCLOSURE OF THE PLAN BY SOUTH WHITEHALL TOWNSHIP TO ANY PERSON REQUESTING THE SAME, IN ACCORDANCE WITH APPLICABLE FEDERAL OR STATE LAWS CONCERNING THE DISCLOSURE OF PUBLIC RECORDS.



CLEAN FILL NOTES:

- IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH (CONTRACTOR).
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DRESSED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).
- CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
- ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.
- ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
- FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PADOCDE.PA.GOV.

NEW SOILS CLASSIFICATIONS (ENTIRE PROJECT AREA)

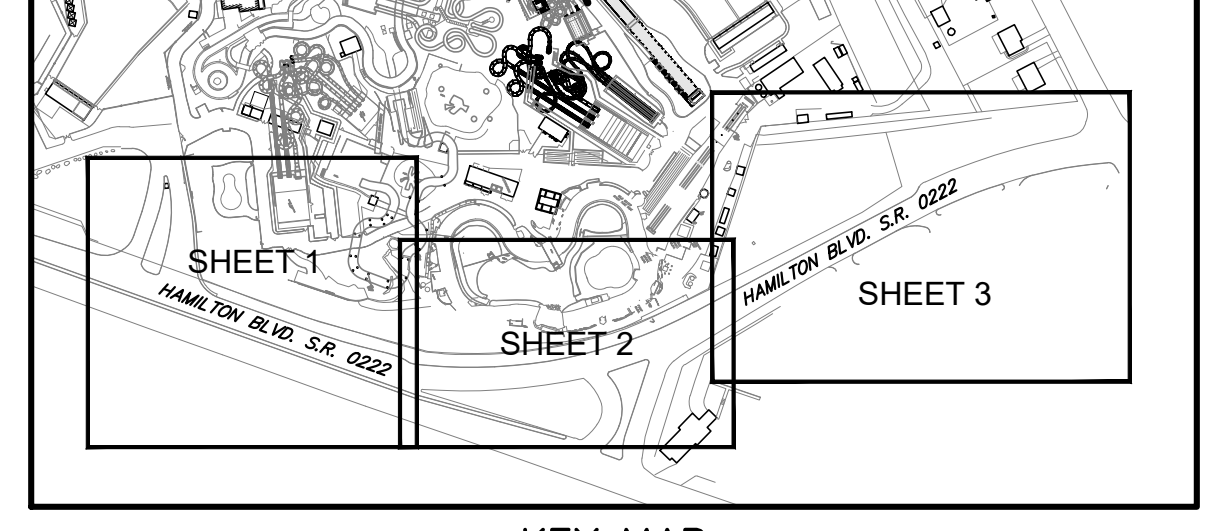
UmB - URBAN LAND - DUFFIELD COMPLEX
 0 TO 8 PERCENT SLOPES

RECEIVING STREAM
 THE SITE DRAINS TO THE CEDAR CREEK WHICH IS CLASSIFIED AS "HQ-CWF, MF".

SEE PLAN ESD-1 FOR ADDITIONAL NOTES, AND DETAILS

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PLAN PREPARER:
 ADAM A. SMITH, P.E.
 ASMITH@BARRYISETT.COM
 BARRY ISETT & ASSOCIATES
 5420 CRACKERSPORT ROAD
 ALLENTOWN, PA 18104
 610-398-0904

MAXIMUM DISTURBED AREA = 0.61 ACRES

NPDES BOUNDARY AREA = 196 ACRES

RECYCLING OR DISPOSAL OF MATERIALS:

RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THIS PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH PA DEP RULES AND REGULATIONS. SEDIMENT REMOVED FROM BMPs AND STORMWATER FACILITIES SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL STOCKPILES.

ON-GOING PROJECT WASTES INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:

- SEDIMENT
- TRASH/DEBRIS
- VEGETATION CLIPPINGS AS MAY RESULT FROM MAINTENANCE

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THE SITE SERIAL NUMBER IS 20193192061, 20193192085.

SCALE: 1"=20'

DATE: 11/13/24

DRAWN: JH

CHECK: AAS

BARRY ISETT & ASSOCIATES
 AN AFFILIATE OF WILDAKER ENGINEERING AND CONSULTANTS

Dorney Park & Wildwater Kingdom
 Cedar Fair Entertainment Company

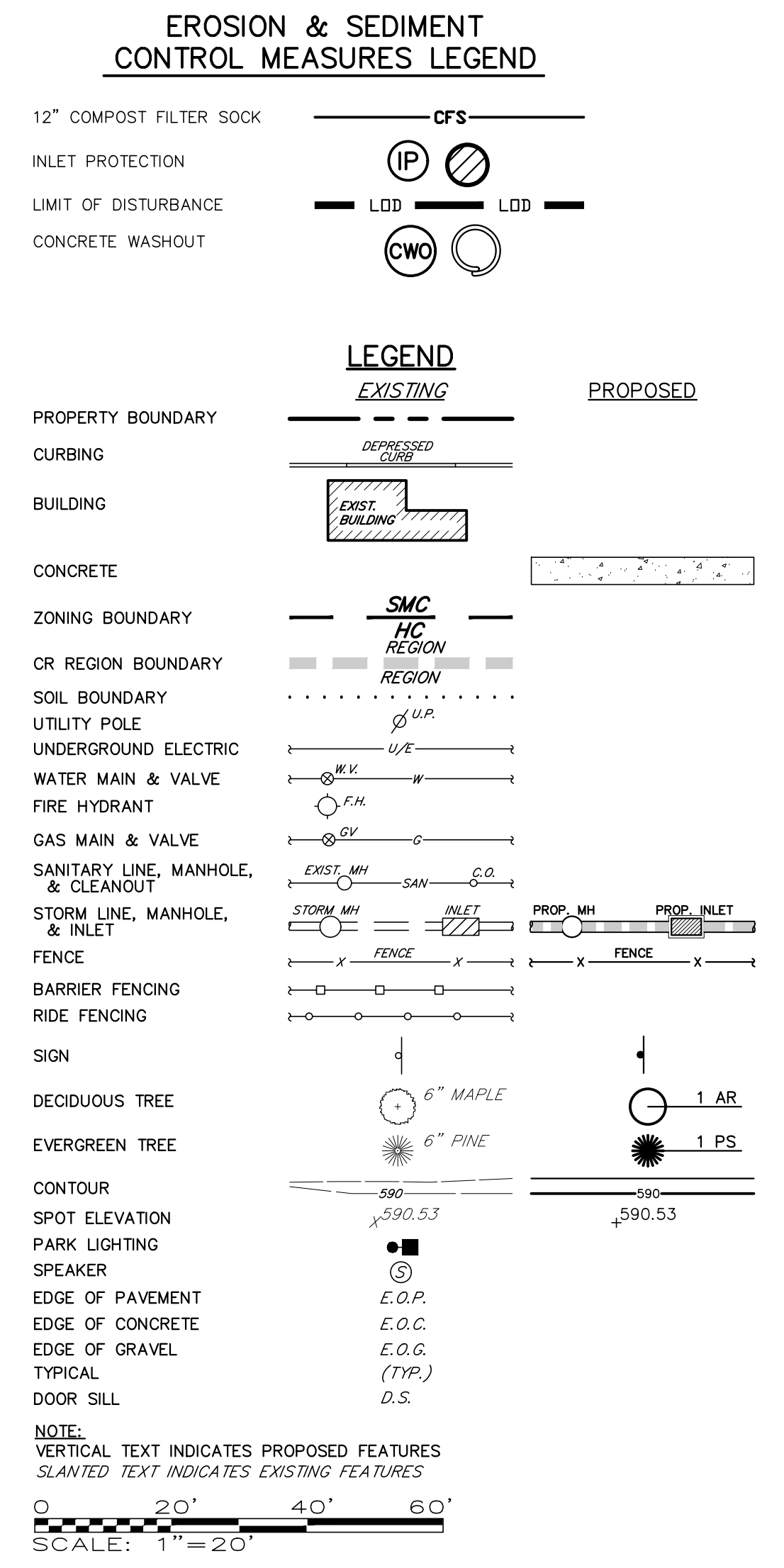
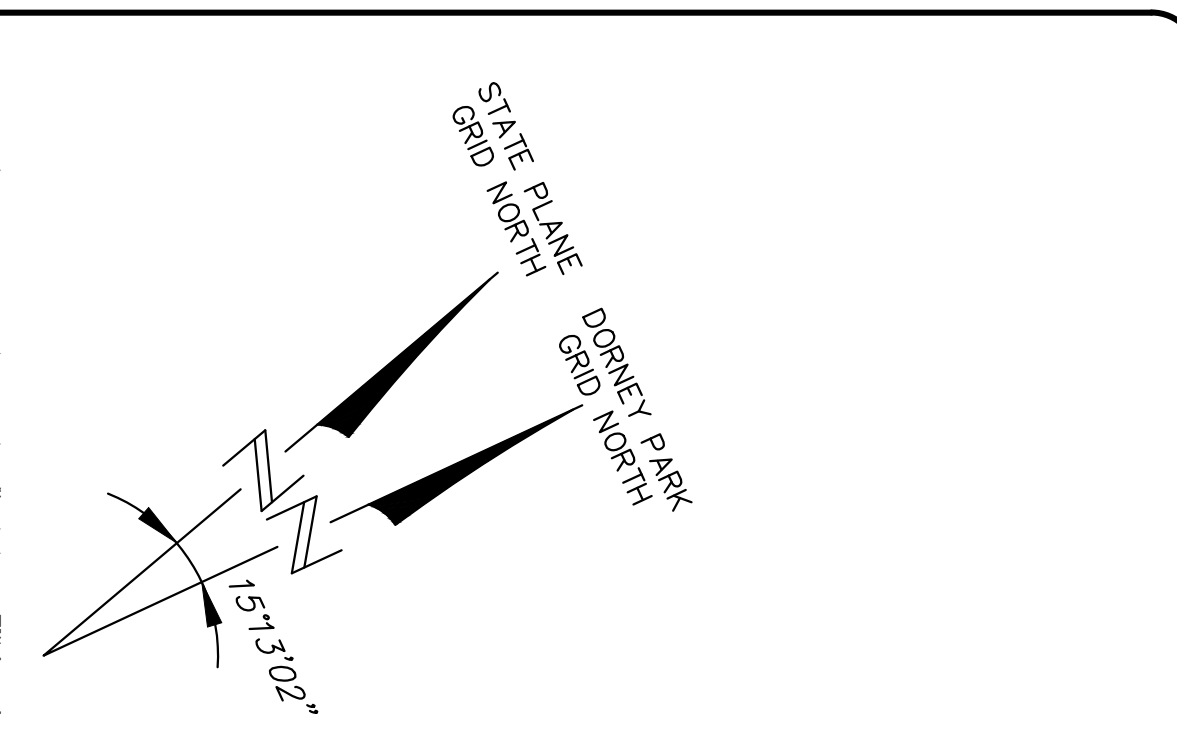
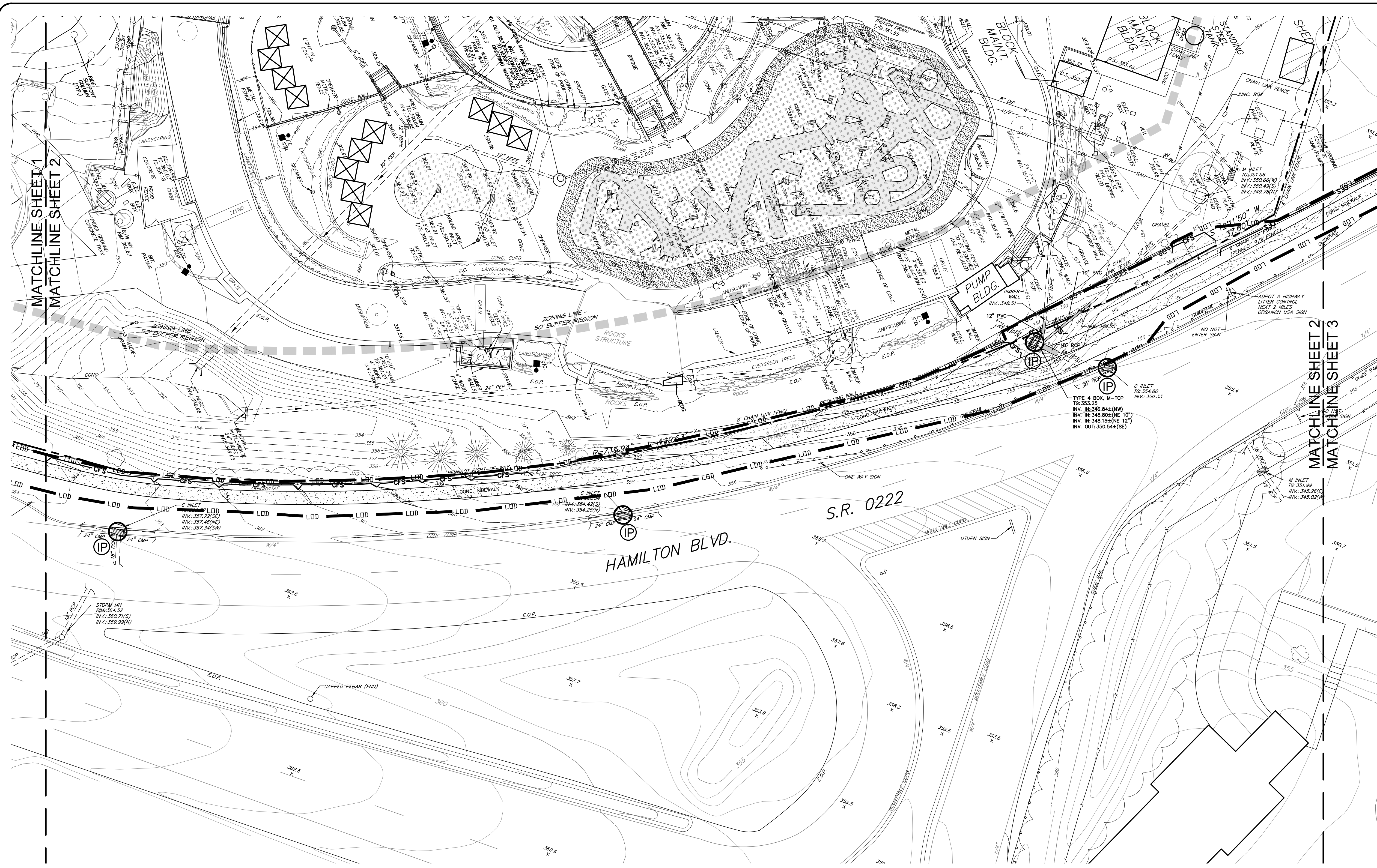
EROSION & SEDIMENT CONTROL PLAN 1

OFFSITE SIDEWALK
 DORNEY PARK & WILDWATER KINGDOM
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY, PA

SHEET NO. 10 OF 13

EG-1

ISETT PROJECT NO.: 1026619.002



NEW SOILS CLASSIFICATIONS (ENTIRE PROJECT AREA)

UmB - URBAN LAND - DUFFIELD COMPLEX
0 TO 8 PERCENT SLOPES

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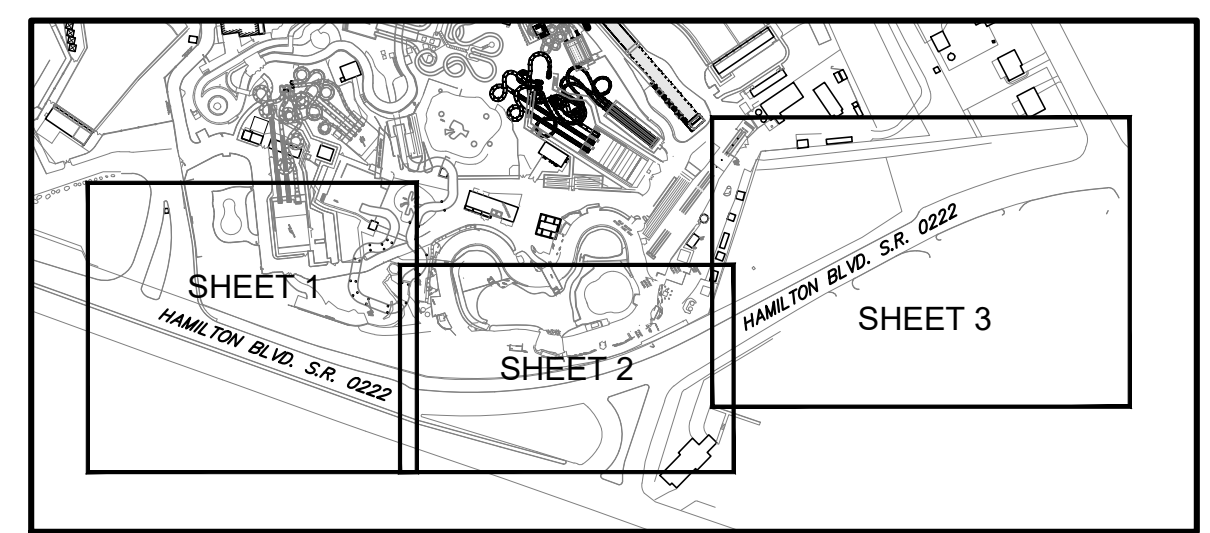
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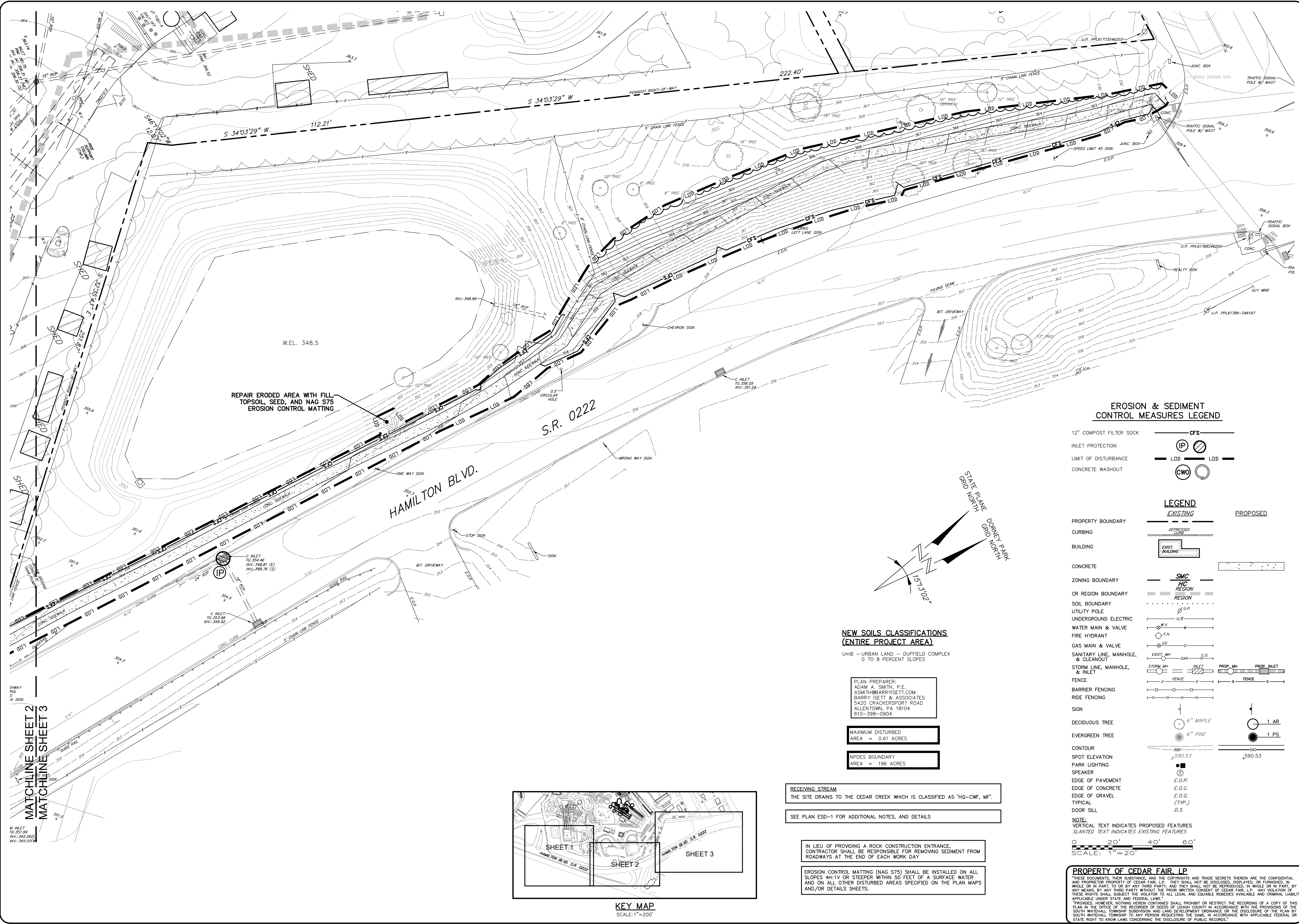
BARRY ISETT & Associates
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Dorney Park & Wildwater Kingdom
Cedar Fair Entertainment Company

EROSION & SEDIMENT CONTROL PLAN 2
OFFSITE SIDEWALK
DORNEY PARK & WILDWATER KINGDOM
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

SHEET NO.
11 OF 13
E6-2

ITETT PROJECT NO.: 1026619.002



REPAIR ERODED AREA WITH FILL, TOPSOIL, SEED, AND NAG S75 EROSION CONTROL MATTING

S.R. 0222

HAMILTON BLVD.

EROSION & SEDIMENT CONTROL MEASURES LEGEND

12" COMPOST FILTER SOCK	CFS	
INLET PROTECTION	IP	
LIMIT OF DISTURBANCE	LDD	
CONCRETE WASHOUT	CWO	
LEGEND		
PROPERTY BOUNDARY	EXISTING	PROPOSED
CURBING	DEPRESSED CURB	
BUILDING	EXIST. BUILDING	
CONCRETE		
ZONING BOUNDARY	SMC	
CR REGION BOUNDARY	HC REGION	
SOIL BOUNDARY	REGION	
UTILITY POLE	U.P.	
UNDERGROUND ELECTRIC	U.E.	
WATER MAIN & VALVE	W.M.	
FIRE HYDRANT	F.H.	
GAS MAIN & VALVE	G.M.	
SANITARY LINE, MANHOLE, & CLEANOUT	EXIST. MH	PROP. MH
STORM LINE, MANHOLE, & INLET	EXIST. MH	PROP. MH
FENCE	FENCE	
BARRIER FENCING		
RIDE FENCING		
SIGN		
DECIDUOUS TREE	6" MAPLE	1 AR
EVERGREEN TREE	6" PINE	1 PS
CONTOUR	590.53	590.53
SPOT ELEVATION		
PARK LIGHTING		
SPEAKER		
EDGE OF PAVEMENT	E.O.P.	
EDGE OF CONCRETE	E.O.C.	
EDGE OF GRAVEL	E.O.G.	
TYPICAL	(TYP.)	
DOOR SILL	D.S.	

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UmB - URBAN LAND - DUFFIELD COMPLEX
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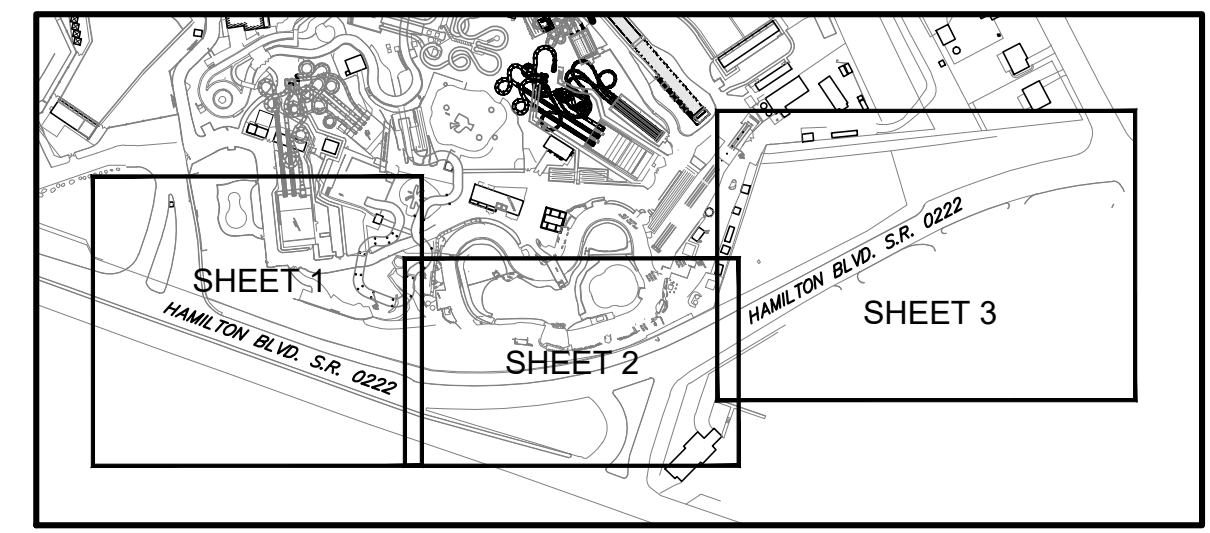
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RECEIVING STREAM
THE SITE DRAINS TO THE CEDAR CREEK WHICH IS CLASSIFIED AS 'HQ-CWF, MF.'

SEE PLAN ESD-1 FOR ADDITIONAL NOTES, AND DETAILS

IN LIEU OF PROVIDING A ROCK CONSTRUCTION ENTRANCE, CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM ROADWAYS AT THE END OF EACH WORK DAY

EROSION CONTROL MATTING (NAG S75) SHALL BE INSTALLED ON ALL SLOPES 4:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAILS SHEETS.



KEY MAP
SCALE: 1" = 200'

PROPERTY OF CEDAR FAIR, LP

THESE DOCUMENTS, THEIR SUBSTANCE, AND THE COPYRIGHTS AND TRADE SECRETS THEREIN ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF CEDAR FAIR, LP. THEY SHALL NOT BE DISCLOSED, DISPLAYED, OR FURNISHED, IN WHOLE OR IN PART, TO OR BY ANY THIRD PARTY, AND THEY SHALL NOT BE REPRODUCED, IN WHOLE OR IN PART, BY ANY MEANS, BY ANY THIRD PARTY WITHOUT THE PRIOR WRITTEN CONSENT OF CEDAR FAIR, LP. ANY VIOLATION OF THESE RIGHTS SHALL SUBJECT THE VIOLATOR TO ALL LEGAL AND EQUABLE REMEDIES AVAILABLE AND CRIMINAL LIABILITY APPLICABLE UNDER STATE AND FEDERAL LAWS.

PROVIDED, HOWEVER, NOTHING HEREIN CONTAINED SHALL PROHIBIT OR RESTRICT THE RECORDING OF A COPY OF THIS PLAN IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY IN ACCORDANCE WITH THE PROVISIONS OF THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OR THE DISCLOSURE OF THE PLAN BY SOUTH WHITEHALL TOWNSHIP TO ANY PERSON REQUESTING THE SAME, IN ACCORDANCE WITH APPLICABLE FEDERAL OR STATE RIGHT TO KNOW LAWS CONCERNING THE DISCLOSURE OF PUBLIC RECORDS.

SCALE: 1" = 20'
DATE: 1/31/24
DRAWN: JH
CHECK: AAS

BARRY ISETT & ASSOCIATES
PA 18104

Dorney Park & Wildwater Kingdom
Cedar Fair Entertainment Company

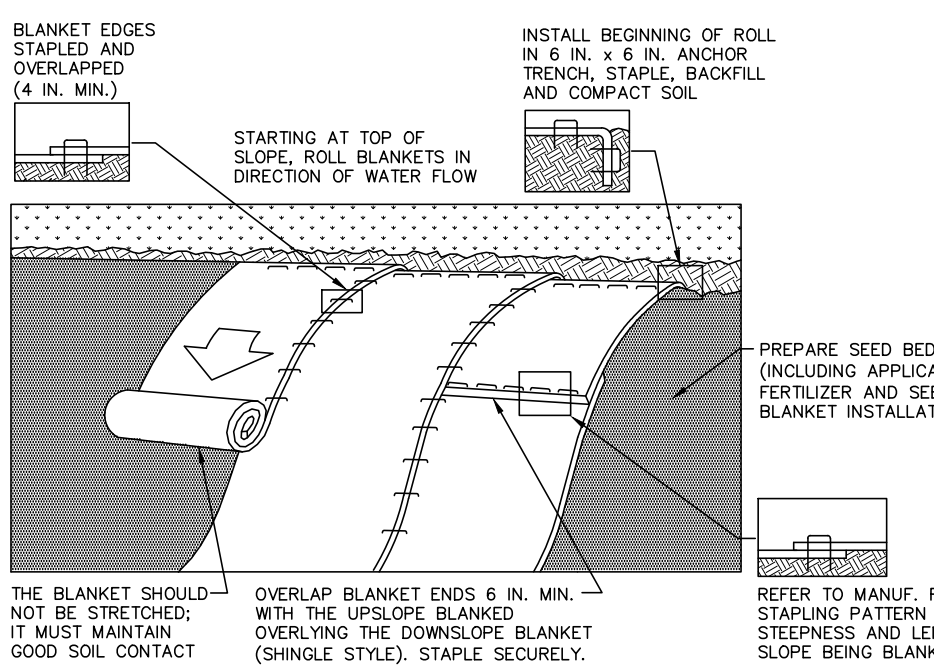
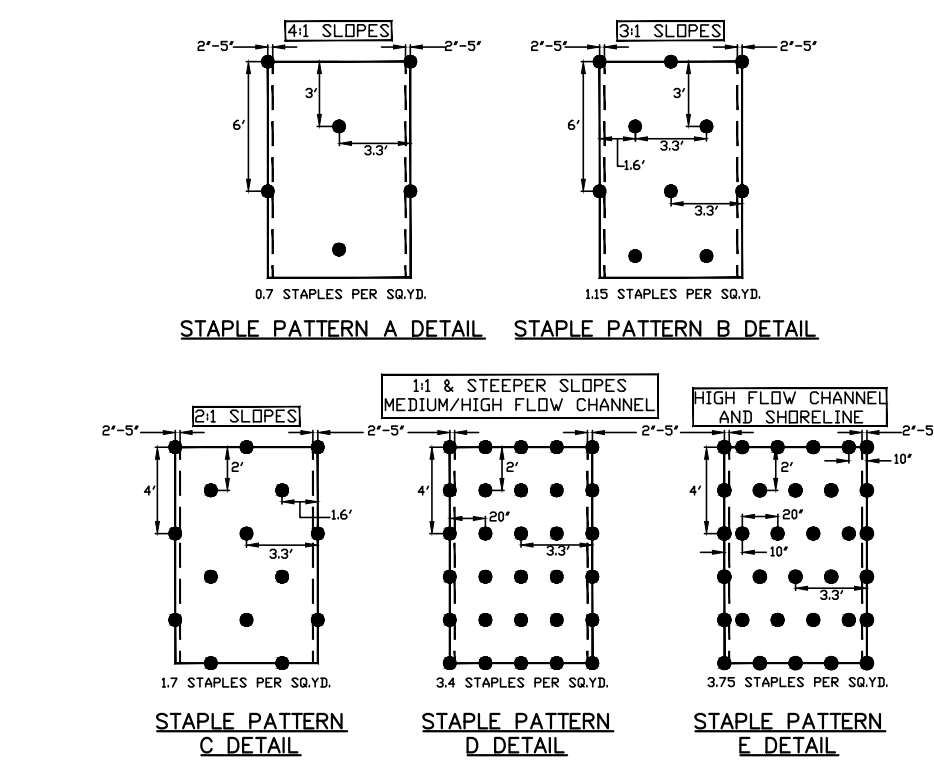
EROSION & SEDIMENT CONTROL PLAN 3
OFFSITE SIDEWALK
DORNEY PARK & WILDWATER KINGDOM
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

SHEET NO. 12 OF 13
ES-3

ISETT PROJECT NO.: 1026619.002

SEEDING SCHEDULE

NOTE: THE FOLLOWING SEEDING SCHEDULE SHALL BE USED UNLESS OTHERWISE NOTED... TEMPORARY COVER FOR EROSION CONTROL... SEEDING SCHEDULE TABLE... RECOMMENDED VARIETIES...



NOTES: SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS... SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS...

STANDARD CONSTRUCTION DETAIL #11-1 EROSION CONTROL BLANKET INSTALLATION

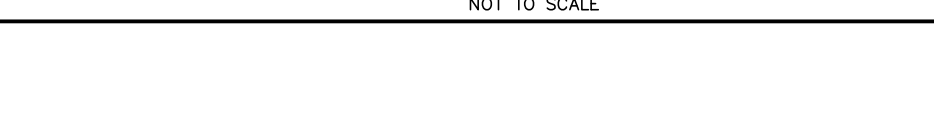


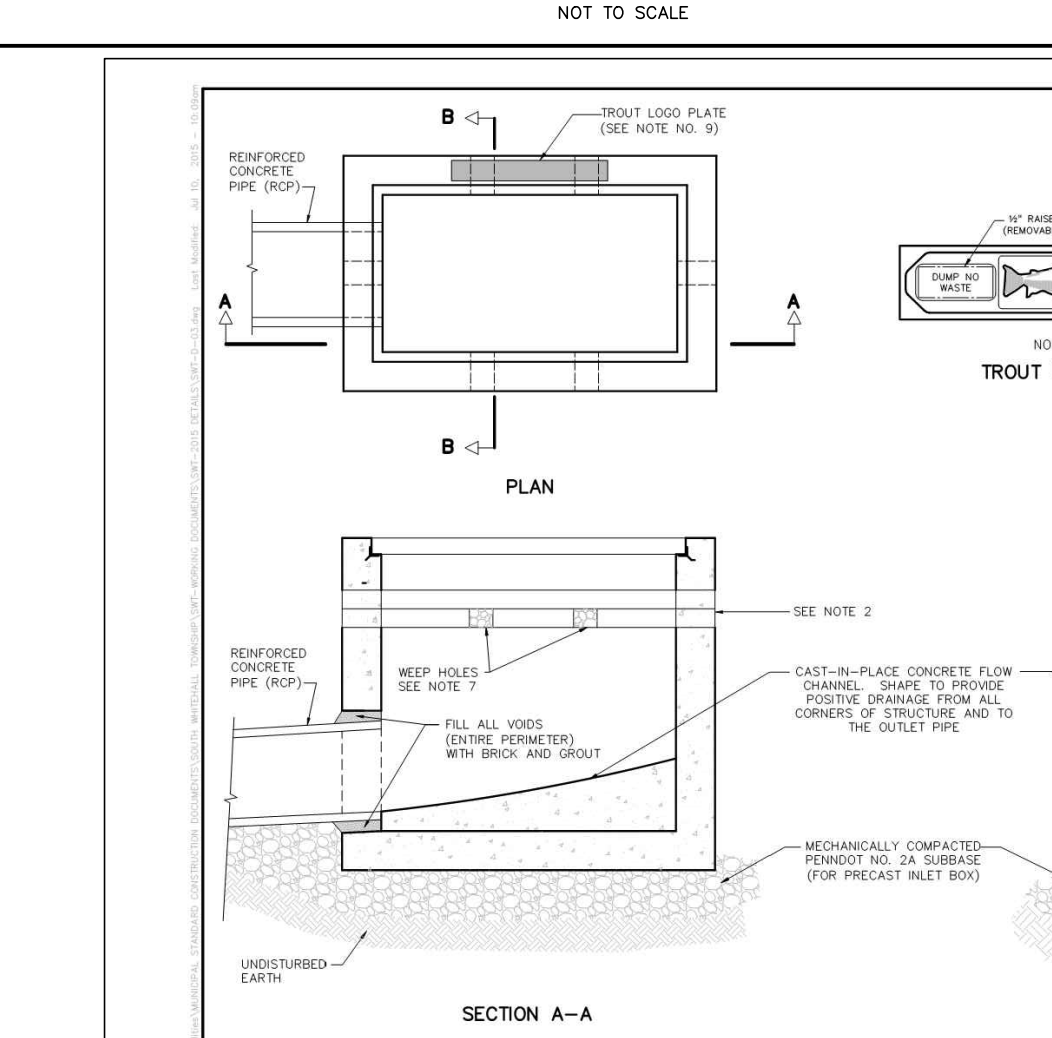
TABLE 4.1 Compost Sock Fabric Minimum Specifications. Table with columns for Material Type, Mesh, Tensile, and UV Radiation.

TABLE 4.2 Compost Standards. Table with columns for Organic Matter Content, Moisture Content, and Soluble Salt Concentration.

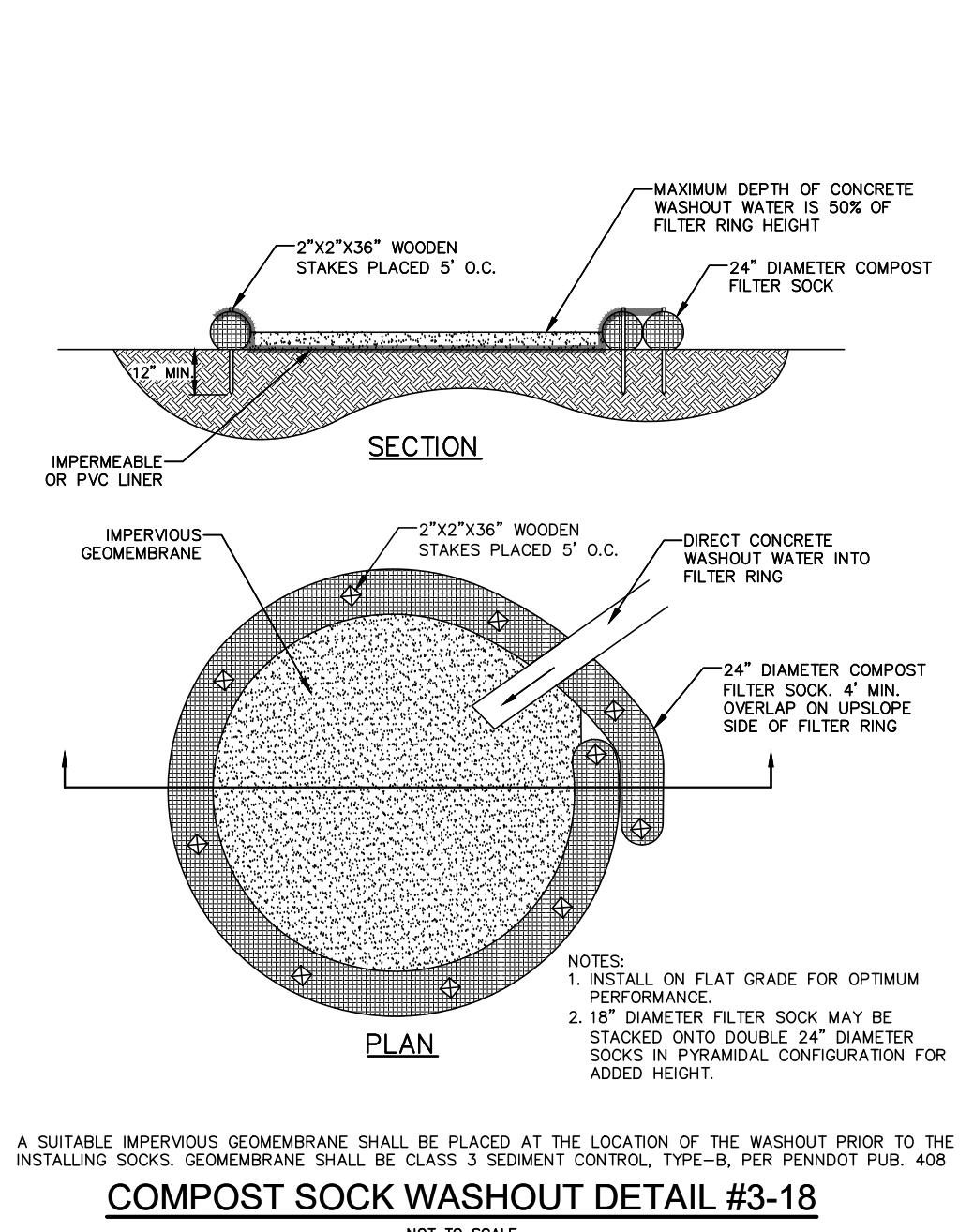
NOTES: 1. THE PHYSICAL PARAMETERS OF THE COMPOST SHOULD COMPLY WITH THE STANDARDS IN TABLE 4.2... 2. THE STANDARDS CONTAINED IN THE PENNDOT PUBLICATION 408 ARE AN ACCEPTABLE ALTERNATIVE.

FILTRIX INTERNATIONAL, HILLTOP SERVICE, INC. CONTACT INFORMATION.

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

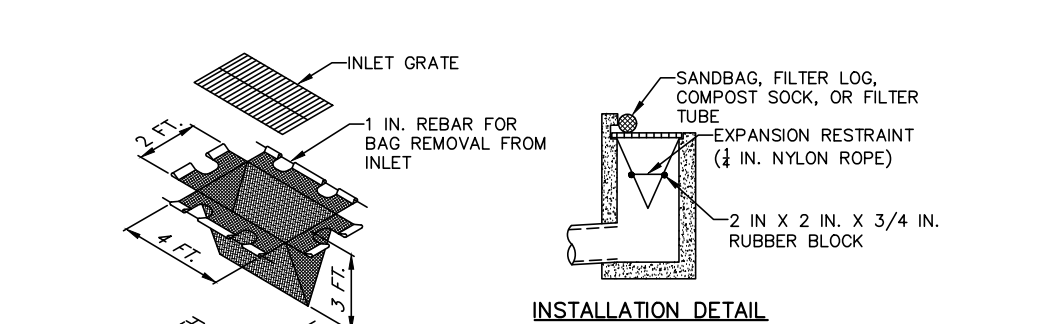


NOTES: 1. CONCRETE INLET AND TOP UNITS SHALL BE AS DETAILED IN PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION... 2. IF UNSUITABLE MATERIAL IS FOUND UNDER CUT AS DIRECTED BY THE ENGINEER...

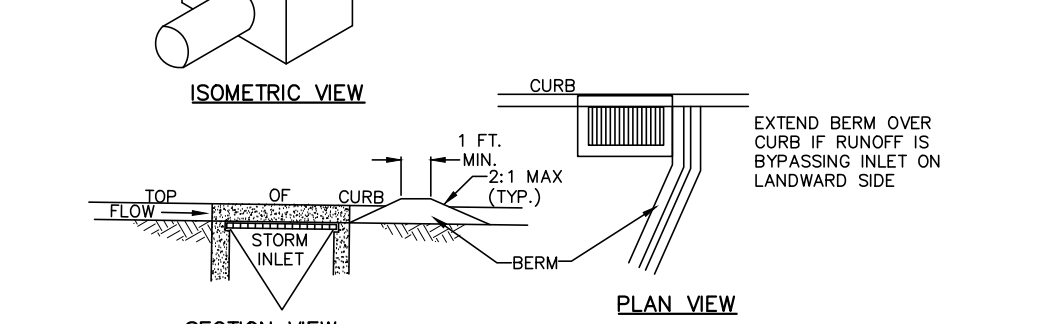


COMPOST SOCK WASHOUT DETAIL #3-18

A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO THE INSTALLING SOCKS...



SINKHOLE MITIGATION DETAIL



STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET

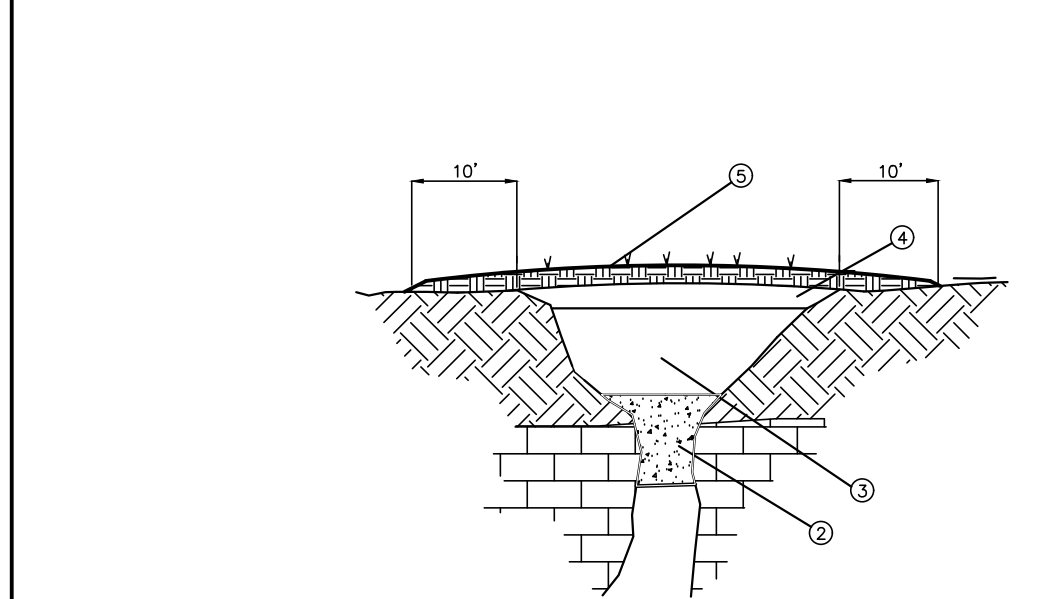
NOTES: MAXIMUM DRAINAGE AREA = 1/2 ACRE. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP BERMS...

STANDARD CONSTRUCTION DETAIL #4-15 TYPICAL STORM PIPE TRENCH & BACKFILL



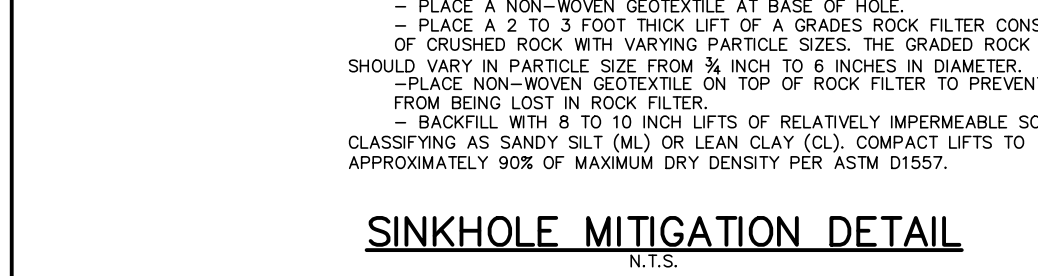
TYPICAL STORM PIPE TRENCH & BACKFILL

NOTES: 1. EXCAVATE TRENCH BOW AND INSTALL SHORING AS REQUIRED TO COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND CODES... 2. IF UNSUITABLE MATERIAL IS FOUND UNDER CUT AS DIRECTED BY THE ENGINEER...



STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET

NOTES: MAXIMUM DRAINAGE AREA = 1/2 ACRE. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP BERMS...



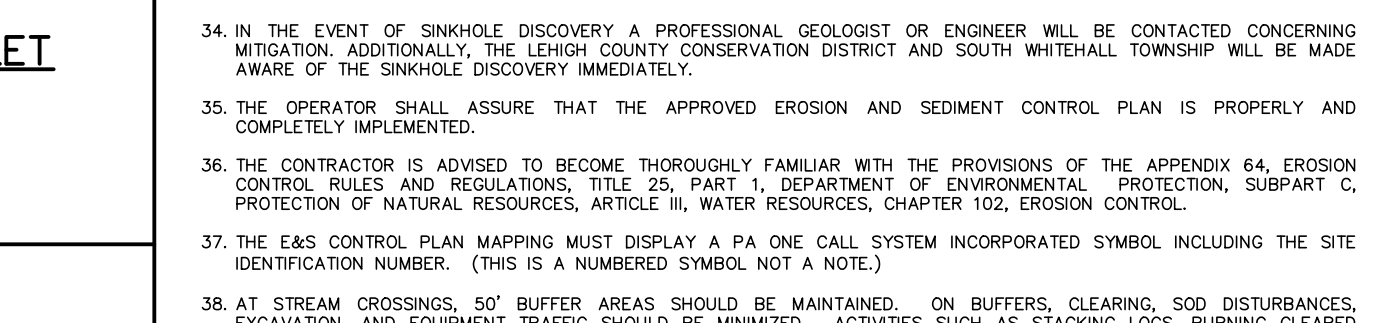
TYPICAL STORM PIPE TRENCH & BACKFILL

NOTES: 1. EXCAVATE TRENCH BOW AND INSTALL SHORING AS REQUIRED TO COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND CODES... 2. IF UNSUITABLE MATERIAL IS FOUND UNDER CUT AS DIRECTED BY THE ENGINEER...

EROSION & SEDIMENT CONTROL NOTES:

- GENERAL NOTES: 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN... 2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES... 3. BROOM OR BURLAP FINISH UNLESS SPECIFIED OTHERWISE... 4. 1/2" PREMOLED EXPANSION JOINT MATERIAL...

STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET



STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET

NOTES: MAXIMUM DRAINAGE AREA = 1/2 ACRE. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP BERMS...

TYPICAL CONCRETE WALKWAY NOTES:

- 1. TOOL ALL EDGES. 2. 1/4" PER FT. CROSS SLOPE (UNLESS SPECIFIED OTHERWISE). 3. BROOM OR BURLAP FINISH UNLESS SPECIFIED OTHERWISE... 4. 1/2" PREMOLED EXPANSION JOINT MATERIAL...

SCALE 1"=20', DATE 11/13/24, DRAWN J.H., CHECK A.A.S., SHEET NO. 13 OF 13, DE-1, ISETT PROJECT NO.: 1026619.002

Township Engineer Review

THE PIDCOCK COMPANY

CIVIL ENGINEERING AND LAND PLANNING

ARCHITECTURE

LAND SURVEYING

Oxford Drive at Fish Hatchery Road
2451 Parkwood Drive Allentown, Pennsylvania 18103-9608
Telephone: 610-791-2252
Telefacsimile: 610-791-1256
E-mail: info@pidcockcompany.com
Website: www.pidcockcompany.com

Established 1924
J. Scott Pidcock, P.E., R.A.

Bruce E. Anderson, P.E., LEED AP
Brian A. Dillman, P.E.
Ronald J. Gawlik, P.E.
Brian E. Harman, P.E., PTOE
James A. Rothdeutsch, P.E., LEED AP
John R. Russek, Jr., P.E.
Brent C. Tucker, P.E.

Douglas E. Haberbosch, P.E.
William G. Kmetz, P.L.S.
Jeffrey R. Matyus
John M. McRoberts, P.E.
Brent D. Shriver, P.E.
Todd L. Sonntag, R.A., LEED AP
Anthony F. Tallarida, P.E.
Ryan R. Troutman, P.E.

G. Edwin Pidcock, P.E., P.L.S. 1924-1967
John S. Pidcock, P.E., P.L.S. 1954-1999
Ralph M. Pidcock, P.L.S. 1952-2000 (Retired)

MEMORANDUM

TO: Mr. David Manhardt, AICP via e-mail
Director of Community Development
South Whitehall Township

FROM: Mr. Anthony F. Tallarida, PE *AFT*
Manager, Municipal Engineering Services

SUBJECT: South Whitehall Township
Dorney Park and Wildwater Kingdom
Offsite Sidewalk
Project #2023-405

DATE: September 5, 2024

COPIES: Mr. Thomas R. Petrucci, MPA
Township Manager
South Whitehall Township

Mr. Herb Bender
Director of Township Operations
South Whitehall Township

Mr. Mike Elias
Public Works Utility and MS4 Program Coordinator
South Whitehall Township

Ms. Tracy J.B. Fehnel
Insurance Administrator & Executive Assistant
South Whitehall Township

Ms. Laura M. Harrier, BCO
Building Code Official/Zoning Officer
South Whitehall Township

Mr. John G. Frantz, CFEI, BCO
Fire Marshal, Building Code Official
South Whitehall Township

Joseph A. Zator, II, Esq.
South Whitehall Township Solicitor
Zator Law

Jennifer R. Alderfer, Esq.
Assistant South Whitehall Township Solicitor
Zator Law

Mr. Denjam Khadka
Senior Civil/Environmental Engineer
Lehigh Valley Planning Commission

Ms. Corinne Ruggiero
Environmental Planner
Lehigh Valley Planning Commission

Mr. Christopher A. Taylor, PG
Senior Geologist
Hanover Engineering Associates, Inc.

Mr. Adam A. Smith, P.E.
Senior Project Manager
Barry Isett & Associates, Inc.

Ms. Jessica Naderman
Vice President & General Manager
Dorney Park & Wildwater Kingdom

(all via e-mail)

Mr. Ronald J. Gawlik, PE, Township Engineer

South Whitehall Township Ordinances:

Zoning Ordinance (ZO)

Subdivision and Land Development Ordinance (SALDO)

Stormwater Management Plan (SMP)

See attached list for documents reviewed.

Proposal:

As a Condition of the Dorney Park Project 2024 Resolution (Resolution 2023-54, Condition 6) frontage improvements (i.e., installation of sidewalk along a portion of Hamilton Boulevard) were required. This submission was made accordingly to address that requirement.

Installation of new sidewalk ($\pm 7,200$ sf) along Hamilton Boulevard between Haines Mill Road and the driveway entrance;

CR – Commercial Recreation Zoning District;

Public Water;

Public Sewer.

Waivers/Deferrals/Variations:

None to date (see Waiver Comment below).

jfw/laf

Enclosures

THE PIDCOCK COMPANY

South Whitehall Township
Dorney Park and Wildwater Kingdom
Offsite Sidewalk
Project #2023-405

September 5, 2024

REVIEW COMMENTS

1. Confirm with the Township Staff the status of the existing waivers/deferrals as they relate to the current proposal;
2. Obtain Highway Occupancy Permit(s) for any work within the PennDOT right-of-way;
3. Required and available sight distances should be provided at the intersection of Hamilton Boulevard and the Dorney Park driveway to show the pad and future bus shelter will be outside the clear sight triangle. The required sight distances should be identified with sight lines and the available sight distances labeled on the plans, SALDO §312-12(b)(24) and §312-35(a)(6)(F);
4. It appears that the longitudinal slope of the sidewalk exceeds 5% in the area north of the existing basin on Sheet GU-3. Any railings along the sidewalk and their details should be shown on the Plans;
5. The project creates less than 10,000 s.f. of additional impervious coverage and is exempt from meeting the provisions of SMP. A narrative should be provided to explain the reasons for the exemption while also showing that the runoff from the additional impervious cover will not affect any neighboring properties, SMP §296-5(e);
6. Confirm with the Township Geotechnical Consultant that fill and drainage can be placed against the wall;
7. Provide the following information in accordance with SALDO §312-12(b):
 - a. Applicant's Statements in accordance with SALDO §312-12(b)(6);
 - b. All Site Data as require in SALDO §312-12(b)(8);
 - c. Label Zoning District boundaries on the Location Map, SALDO §312-12(b)(9)(D);
 - d. Label the benchmark on the Plans, and the Datum to which contour elevations are tied to, SALDO §312-12(b)(16);
 - e. Names of owners of immediately adjacent land, SALDO §312-12(b)(17);
 - f. Rock outcrops, stone fields, closed topographical depressions, and other features of ground subsidence, etc. or the absence of such features should be noted, SALDO §312-12(b)(18);

- g. Significant manmade features and buildings within 100 feet of the site (e.g., sewer mains, water mains, gas lines, fire hydrants, etc.), SALDO §312-12(b)(19) and §312-12(b)(20);
 - h. Sidewalks, trails, driveways, streets easements, and right-of-way, etc. within 400 feet of the site, SALDO §312-12(b)(21);
 - i. Soil type boundaries, SALDO §312-12(b)(22);
 - j. Reference monuments, SALDO §312-12(b)(27); and
 - k. A Lighting Plan (if applicable), SALDO §312-12(b)(37).
8. Address any comments from the Shade Tree Commission to their satisfaction;
9. Confirm the acceptability of the Bus Stop Loading Pad with LANTA. Provide any correspondence from LANTA to the Township and our office;
10. Address any concerns of the Public Safety Commission to their satisfaction; and
11. Provide Certifications/Acknowledgements/Statements in accordance with SALDO §312-48(e)(2). Upon submission of plans for recording, all Statements and Certifications shall be signed and sealed/notarized as applicable.

The comments noted above are the result of our engineering review. We have not reviewed items associated with legal, zoning, geotechnical, lighting, water/sanitary sewerage systems, environmental, frontage streetscape improvements, building code, public safety, and other non-engineering issues, which should be reviewed by the appropriate Township Staff and Consultants.

THE PIDCOCK COMPANY

South Whitehall Township
Dorney Park and Wildwater Kingdom
Offsite Sidewalk
Project #2023-405

List of Plans and Supplemental Information
Prepared by Barry Isett & Associates, Inc. and
dated July 31, 2024, except as noted

1. Site Plan 1 through 3 (3 sheets), Sheets 1 through 3 of 13;
2. Existing Features & Demolition Plan 1 through 3 (3 sheets), Sheets 4 through 6 of 13 (cursory review only);
3. Grading & Utility Plan 1 through 3 (3 sheets), Sheets 7 through 9 of 13;
4. Erosion & Sediment Control Plan 1 through 3 (3 sheets), Sheets 10 through 12 of 13 (cursory review only);
5. Details, Sheet 13 of 13 (cursory review only); and
6. Letter of Transmittal.

In addition, we have received the following information in support of the Application:

1. South Whitehall Township Letter of Transmittal dated August 8, 2024.

Township Geotechnical Consultant Review



HanoverEngineering

252 Brodhead Road • Suite 100 • Bethlehem, PA 18017-8944
Phone: 610.691.5644 • Fax: 610.691.6968 • HanoverEng.com

August 26, 2024

Mr. David Manhardt, AICP
Director of Community Development
South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104-1699

RE: Geotechnical Engineering Review of
Provided Documents
Dorney Park Sidewalks Hamilton Boulevard
Professional Staff Consultation #2023-405
South Whitehall Township, Lehigh County,
Pennsylvania
Hanover Project SWT24-11(013)

Dear Mr. Manhardt:

Hanover Engineering has reviewed the information received on August 14, 2024 via email. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following:

1. Engineering Plan set entitled “Offsite Sidewalk, Dorney Park & Wildwater Kingdom”, Sheets 1 of 13 through 13 of 13 inclusive, dated July 31, 2024, unrevised.

Based on our review, it is our understanding that the applicant proposes to construct a concrete sidewalk along the frontage of Dorney Park along Hamilton Boulevard.

We offer the following comments:

1. SALDO Section 312.12(b)(18): Provide and label the location of all significant features listed or provide a note stating which features do not exist on the site. General Note 11 addresses most of the features listed. The presence or absence of the remaining features shall be stated, including watercourses, bodies of water, floodplains, and trees over six inches (6”) in diameter.
2. Quantify the area of impervious coverage proposed and demonstrate compliance with the requirements of Chapter 296 Stormwater Management.
3. General Note 12 references a geotechnical engineering report. Provide a copy of the report for review.
4. Grading and Utility Note 9 refers to a “wall”. Clarify the location of the wall or remove this note if it is not applicable.
5. On Sheet 10 and others, a note states, “See Plan ESD-1 for additional notes and details”. This plan is not found in this submission. Please clarify.

Mr. David Manhardt, AICP
Director of Community Development

2

August 26, 2024

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING



Christopher A. Taylor, PG

cat:cat/sas

S:\Projects\Municipal\WhitehallTownship\Swt24-11(013)-DorneyParkSidewalksHamiltonBlvdPSC2023-405\Docs\2024-08-26_SWT_Geotech_Dorney Park Sidewalks Hamilton Blvd PSC geotech rev cmt ltr 1.doc

cc: Mr. Herb Bender, Public Works Director (via email)
Mr. Anthony Tallarida, PE, The Pidcock Company (via email)
Mr. Mark Gnall, PE, The Pidcock Company (via email)
Mr. Paul Wieder, Dorney Park & Wildwater Kingdom
Mr. Adam Smith, PE, Barry Isett & Associates, Inc.

Public Safety Commission Review

From: [John G. Frantz](#)
To: [Christopher Strohler](#)
Cc: [David Manhardt](#); [Jason V. Grozier](#)
Subject: Dorney Park Sidewalks Hamilton Boulevard - 2023-405
Date: Tuesday, September 10, 2024 7:28:56 AM
Attachments: [image001.png](#)

Chris,

The Public Safety Commission review resulted in the following comments.

Fire Marshal Review – None.

Fire Company Review – None.

Emergency Management Review – None.

Police Review – The sidewalk should be provided with illumination.

Emergency Medical Services Review – None.

Parkland School District Review – None.

The Commission made the recommendation that illumination should be provided for the sidewalk.

In addition, Sergeant Grozier wanted you to be made aware that he can perform a lighting study for the walkway area. He is copied on this email, you can contact him for further information.

John G. Frantz, CFEI, BCO

Fire Marshal, Building Code Official

South Whitehall Township

4444 Walbert Avenue

Allentown PA 18104-1699

610-398-0401 (office)

610-398-1068 (fax)

www.southwhitehall.com

-
This email message, including any attachments, is intended for the sole use of the individual(s) and entity(ies) to which it is addressed, and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you are not the intended addressee, nor authorized to receive for the intended addressee, you are hereby notified that you may not use, copy, disclose or distribute to anyone this email message including any attachments, or any information contained in this email message. If you have received this email message in error, please immediately notify the sender by reply email and delete the message. Thank you.

Frontage Improvement Agreement

Prepared By: Zator Law
The American Heritage Building
4400 Walbert Avenue at Ridgeview Drive
Allentown, PA 18104
610.432.1900

Return To: South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104
610.398.0401

Tax Parcel Nos. p/o 548641880188-1
p/o 548662108751-1

FRONTAGE IMPROVEMENT AGREEMENT DORNEY PARK PROJECT 2024

THIS FRONTAGE IMPROVEMENT AGREEMENT (this “**Agreement**”), is made and entered into on this 21st day of March, 2024 (the “**Effective Date**”), by and between Dorney Park LLC (“**Dorney Park**”), with an address of 3830 Dorney Park Road, Allentown, Pennsylvania, 18104-5899, and the Township of South Whitehall (the “**Township**”), a municipal corporation and Township of the First Class located at 4444 Walbert Avenue, Allentown, Pennsylvania, 18104-1699. Dorney Park and the Township are sometimes collectively referred to as the “**Parties**.”

BACKGROUND

- a. Dorney Park pursuant to Article 3 of the South Whitehall Township Subdivision and Land Development Ordinance, submitted an application for preliminary/final approval for a land development to construct a new 161.67-foot attraction on the site of the Stinger Roller Coaster just north of the intersection of Lincoln Avenue and Dorney Park Road on a 2.7-acre portion of the 196-acre property located at 3830 Dorney Park Road, in South Whitehall Township, Lehigh County, Pennsylvania (the “**Project**”);
- b. The Project is reflected on a plan prepared by Barry Isett and Associates, entitled “**DORNEY PARK PROJECT 2024**,” dated January 19, 2023, and last revised January 25, 2024 (the “**Plan**”);
- c. The South Whitehall Township Board of Commissioners reviewed the Plan and, having found it to be in substantial compliance with the Subdivision and Land Development Regulations, granted preliminary/final approval in a resolution dated April 19, 2023, subject to Dorney Park’s compliance with several conditions, including the execution of an agreement prior to the recording of the Plan regarding frontage improvements. A true and

correct copy of Resolution No. 2023-54, including the Acceptance of Conditions signed by Dorney Park, is attached hereto and incorporated herein as Exhibit "C".

NOW, THEREFORE, the Parties, intending to be legally bound, hereby agree to the following:

1. **Dorney Park's Obligations.** Dorney Park hereby agrees as follows:
 - a. Dorney Park shall design, prepare a construction plan, and install frontage improvements, at no expense to the Township, in the approximate locations shown on Exhibit "A" (attached) ("**Frontage Improvement Plan**") or as otherwise agreed upon by the Township, Dorney Park, and PennDOT provided said Frontage Improvement Plan complies with all Township and PennDOT rules and regulations, including requirements to obtain an NPDES permit, if required, and to complete the work prior to the expiration of said permit. The design shall include a sidewalk running along Hamilton Boulevard, from its intersection with Haines Mill Road westward approximately 1,500 feet to the Dorney Park entrance in the areas labeled "Possible Sidewalk Location by Dorney Park" and "Possible Future Sidewalk by PennDOT" on Exhibit "A". The Parties understand and agree that the desire is for a complete connection to the Haines Mill intersection to the maximum extent practicable and permitted by PennDOT.
 - b. Dorney Park shall adhere to the design/approval schedule as shown on Exhibit "B" (attached) to the best of its ability, in consideration of stakeholder requirements, and adherence to the schedule shall not be unreasonably delayed.
 - i. Dorney Park shall provide a written status report to the Township in July 2024 and every three (3) months thereafter with the Township Manager having the sole discretion to request more frequent updates depending on the status of the Project. All written reports shall be delivered to the Township Manager by electronic mail and shall provide detail regarding the progress and adherence to the schedule set forth in Exhibit "B".
 - ii. In the event that there is no final approved Frontage Improvement Plan approved by the Township, Dorney Park, and PennDOT by December 31, 2024, but the Township and PennDOT are in agreement regarding the design and location of the sidewalk, Dorney Park shall be obligated to proceed with the plan as agreed upon by the Township and PennDOT all in accordance with this Agreement.
 - c. Dorney Park shall, on or prior to the Effective Date, complete a Professional Staff Consultation application and fund a new escrow account for reimbursement of South Whitehall Township professional review of the Frontage Improvement Plan and any matters related thereto.

- d. Dorney Park shall, upon completion and approval of the final location and design of the Frontage Improvement Plan, post security in an amount and manner consistent with Township policies and in a form and manner acceptable to both the Township and its Solicitor.
2. **Assignment; Successors and Assigns.** Dorney Park may not assign any of its rights or delegate any of its obligations hereunder without the prior written approval of the Township. The Township's approval will not be unreasonably withheld. Any purported assignment or delegation in violation of this Section shall be null and void. This Agreement shall be binding upon and shall inure to the benefit of the Parties hereto and their respective permitted successors and permitted assigns. The provisions of this Agreement shall be considered to be a covenant running with the land, and upon transfer of all or any portion of the land comprising the Project, the obligations arising hereunder shall pass to any grantee.
3. **Notices.** All notices permitted or required under this Agreement shall be given to the Parties at the following addresses, or such other address as the Parties may provide in writing for this purpose.

IF TO DORNEY PARK:

Ms. Jessica Naderman, General Manager
Dorney Park LLC
3830 Dorney Park Road
Allentown, PA 18104
Email: jessica.naderman@dorneypark.com

WITH COPY TO:

Cedar Fair, L.P.
Attn: Legal Department
One Cedar Point Drive
Sandusky, OH 44870

IF TO TOWNSHIP OF SOUTH WHITEHALL:

Thomas R. Petrucci, Township Manager
South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104
Email: petruccit@southwhitehall.com

4. **Remedies.** In the event of breach, the non-breaching party shall be entitled to pursue any remedy described herein or provided at law or in equity. All remedies, rights, undertakings, obligations, and agreements shall be cumulative and none of them shall be in limitation of any other remedy, right, undertaking, obligation, or agreement of either party.

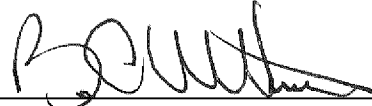
5. **Waiver.** The waiver by either party of a breach of or a default under this Agreement shall not be construed as a waiver of any subsequent breach of or default under the same or any other provision of this Agreement, nor shall any delay or omission on the part of either party to exercise or avail itself of any right or remedy that it has or may have hereunder operate as a waiver of any such right or remedy. The Township reserves all rights and remedies available to it at law or equity, including but not limited to, right and remedies set forth in the First Class Township Code.
6. **Force Majeure.** If either party hereto is prevented from complying, either totally or in part, with any of the terms or provisions of this Agreement by reason of acts of God, acts of public enemy, quotas, embargoes, acts of any person engaged in subversive activity or sabotage, fires, floods, explosions, or other catastrophes, epidemics or quarantine restrictions, involuntary strikes or other labor stoppages, slowdowns or disputes, or any other cause beyond the control of the Parties, then upon prompt written notice to the other party, the affected provisions and/or any other requirements of this Agreement shall be suspended during the period of such disability.
7. **Counterparts.** This Agreement may be executed in one or more counterparts, each of which will be deemed to be an original, and such counterparts will together constitute the same instrument.
8. **Severability.** The provisions of this Agreement shall be deemed severable, and if any portion shall be held invalid, illegal, or unenforceable for any reason, the remainder of this Agreement shall be effective and binding upon the Parties.
9. **Survival.** Any right or obligation of the Parties in this Agreement which, by its nature, should survive termination or expiration of this Agreement, will survive any such termination or expiration of this Agreement.
10. **Governing Law and Venue.** This Agreement, and any action related thereto, will be governed and interpreted by and under the laws of the State of Pennsylvania without giving effect to any conflicts of laws principles that require the application of the law of a different state. In the event of litigation, venue shall be in the courts located in Lehigh County, Pennsylvania.
11. **Amendment or Modification.** No amendment, modification, or supplement of this Agreement shall be valid or binding unless executed in writing and signed by both Parties. The requirement for written amendments, modifications, or supplements cannot be waived and any attempted waiver shall be void or invalid.
12. **Inconsistencies or Conflicts.** In the event of any conflict or inconsistency between the provisions of this Agreement and any of the exhibits attached hereto, the provisions of this

Agreement shall control.


- 13. **Headings.** The headings used in this Agreement are for convenience only and shall not be considered in construing or interpreting this Agreement.
- 14. **Entire Agreement.** This Agreement, including any exhibits hereto, represents the entire agreement between the Parties hereto and supersedes all prior and contemporaneous written or oral agreements and all other communications between the Parties.
- 15. **Recording.** This Agreement shall be recorded in Lehigh County at Dorney Park's expense.

IN WITNESS WHEREOF, this Agreement has been duly executed by the authorized representatives of the Parties as of the date first set forth above.

DORNEY PARK LLC
a Delaware limited liability company

By: 
Name: Brian Witherow
Title: EVP and Chief Financial Officer

TOWNSHIP OF SOUTH WHITEHALL

By: 
Name: Thomas Petrucci
Title: Township Manager

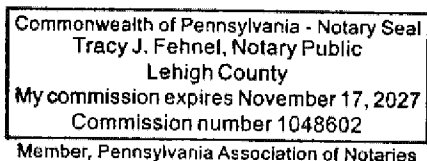
~~COMMONWEALTH OF PENNSYLVANIA~~ --
--

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LEHIGH

:
: SS.
:

On this, the 22nd day of March, 2024 before me, a Notary Public in and for the Commonwealth of Pennsylvania, the undersigned officer, personally appeared Thomas R. Petrucci, who acknowledged himself to be the Township Manager of SOUTH WHITEHALL TOWNSHIP, a municipal corporation, and that he as such official, being authorized to do so, executed the foregoing instrument for the purpose therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



Tracy J. Fehnel
Notary Public

STATE OF OHIO
COUNTY OF ERIE

:
: SS.
:

On this, the 21st day of March, 2024 before me, a Notary Public in and for the State of Ohio, the undersigned officer, personally appeared Brian C. Witherow, who acknowledged himself to be the EVP & Chief Financial Officer of DORNEY PARK LLC, a Delaware limited liability company, and that he as such EVP & Chief Financial Officer, being authorized to do so, executed the foregoing instrument for the purpose therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Melissa L. Johnson
Notary Public



Melissa L. Johnson
Notary Public, State of Ohio
My Commission Expires:
January 21, 2028

CHECK AS
DRAWN JH
DATE 11/14/23
SCALE 1"=50'

BARRY
SETT &
ASSOCIATES
INCORPORATED
1000 MARKET STREET, SUITE 200
PHILADELPHIA, PA 19102

Dorney Park
WildwaterKingdom
Dorney Park Entertainment Company



SIDEWALK PLAN
PROPOSED SIDEWALK
DORNEY PARK & WILDWATER KINGDOM
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

SHEET NO.
SW-1

EXHIBIT
A



DATE PLOTTED: 11/14/23 10:06:16 AM

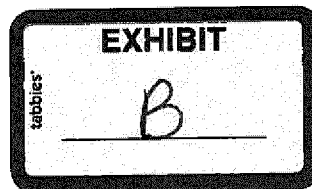
Dorney Park - Sidewalk Design/Approval Schedule

Prepared by Barry Isett & Associates

Last Revised: 3/4/24

Project Scope: Design and approval of a sidewalk running along Hamilton Boulevard, from its intersection with Haines Mill Road westward approximately 1,500 feet to the Dorney Park dropoff entrance.

Boundary & Topographic Survey	March 2023 - April 2023
Meetings and Discussions with Township and PennDOT	June 2023 - August 2023
Sidewalk layout and preliminary design	Sept 2023 - Dec 2023
Submit Concept Layout Plan to Township	January 9, 2024
Receive feedback from Township	February/March 2024
Submit Concept Layout Plan to PennDOT	March 2024
Receive feedback from PennDOT	April 2024
Detailed engineering, land development plan preparation, PennDOT HOP Plan preparation	April 2024 - June 2024
First submission to review agencies	June 2024
Agency reviews, plan revisions to address agency comments, further agency reviews, final plan preparation, plan recording	June 2024 - Dec 2024



**TOWNSHIP OF SOUTH WHITEHALL
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2023-54
(Duly Adopted April 19, 2023)**

**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL
TO A MAJOR PLAN ENTITLED "DORNEY PARK PROJECT 2024"**

WHEREAS, Dorney Park, LLC, pursuant to Article 3 of the South Whitehall Township Subdivision and Land Development Ordinance, submitted an application for preliminary/final approval for a land development to construct a new 161.67-foot attraction on the site of the Stinger Roller Coaster just north of the intersection of Lincoln Avenue and Dorney Park Road on a 2.7-acre portion of the 196-acre property located at 3830 Dorney Park Road, in South Whitehall Township, Lehigh County, Pennsylvania; and,

WHEREAS, this proposal is reflected on plans prepared by Barry Isett and Associates, entitled "**DORNEY PARK PROJECT 2024**", dated January 19, 2023 and last revised March 24, 2023; and,

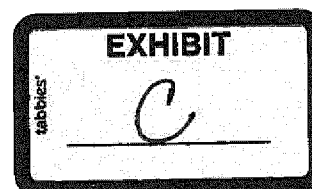
WHEREAS, all sections of the Subdivision and Land Development Regulations cited herein refer to sections of the Subdivision and Land Development Regulations that were effective April 1, 2019, and are applicable to this plan based on the submission of the initial application on January 19, 2023; and

WHEREAS, the South Whitehall Township Planning Commission has reviewed the aforesaid plan on February 16, 2023, and having found it to be in substantial compliance with the Subdivision and Land Development Regulations, has recommended that preliminary/final approval be granted,

WHEREAS, the applicant has requested that the requirement of Section 312-12(b)(14) of the Subdivision and Land Development Ordinance pertaining to the identification of the tract showing bearings and distances in accordance with the criteria of a third order survey of the United States Coast and Geodetic Survey and ties to the nearest street monuments, be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

WHEREAS, the applicant has requested that the requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

WHEREAS, the applicant has requested that the requirement of Section 312-12(b)(17) of the Subdivision and Land Development Ordinance pertaining to the provision of the names and addresses of all property owners within 300 feet of any boundary of the



subdivision be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

WHEREAS, the applicant has requested that the requirement of Section 312-12(b)(20) of the Subdivision and Land Development Ordinance pertaining to the showing of the location, character and elevation of any building within 100 feet of the tract be waived, and the Planning Commission is persuaded that the waiver is appropriate, as the level of information shown on the plan is acceptable; and,

WHEREAS, the applicant has requested that the requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver is appropriate, as the level of information shown on the plan is acceptable; and,

WHEREAS, the applicant has requested that the requirement of Section 312-13(f)(3) of the Subdivision and Land Development Ordinance pertaining to the prohibition of the issuance of permits prior to the recording of the plan be waived, and the Planning Commission is persuaded that the waiver would be appropriate based upon the relatively minor nature of the project on the condition that the plan is to be recorded prior to the final building permit inspection being requested; and,

WHEREAS, the applicant has requested that the requirement of Section 312-14(b)(3) of the Subdivision and Land Development Ordinance pertaining to the requirement to provide sufficient data to determine the location, bearing and length of every street, lot and boundary line and to reproduce such lines on the ground, including a survey tie to the nearest street monuments be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

WHEREAS, the applicant has requested that the requirement of Section 312-35(b)(3) of the Subdivision and Land Development Ordinance pertaining to the Right-of-Way and cartway standards, specifically the dedication of right-of-way to Township standards, be deferred, and the Planning Commission is persuaded that the deferrals are appropriate until such time right-of-way improvements are required; and,

WHEREAS, the applicant has requested that the requirement of Section 312-43 of the Subdivision and Land Development Ordinance pertaining to the prohibition of the issuance of permits prior to the recording of the plan be waived, and the Planning Commission is persuaded that the waiver would be appropriate based upon the relatively minor nature of the project on the condition that the plan is to be recorded prior to the final building permit inspection being requested.

NOW, THEREFORE, BE IT ADOPTED AND RESOLVED that the Board of Commissioners of the Township of South Whitehall hereby grants preliminary/final approval to the major subdivision plan entitled "**DORNEY PARK PROJECT 2024**", subject to the applicant's compliance with the following conditions:

1. That the applicant address to the satisfaction of the Township Engineer, the comments of Mr. Anthony Tallarida, as contained in his review dated April 10, 2023. The Applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed.
2. That the applicant address to the satisfaction of the Township Water & Sewer Engineer, the comments of Mr. Jason Newhard, as contained in his review dated February 6, 2023. The Applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed.
3. That the applicant address to the satisfaction of the Township Geotechnical Consultant, the comments of Mr. Chris Taylor, as contained in his review dated February 7, 2023. The Applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed.
4. That the applicant address to the satisfaction of the Community Development Department, the comments of Mr. Gregg Adams, as contained in his review dated February 10, 2023.
5. That the applicant obtains a letter from the Lehigh County Conservation District approving the Soil Erosion and Sedimentation Control Plan pursuant to Section 312-39(e) of the Subdivision and Land Development Ordinance OR that the applicant obtains a letter from the Pennsylvania Department of Environmental Protection and/or the Lehigh County Conservation District approving the NPDES Permit application pursuant to Section 312-39(e) of the Subdivision and Land Development Ordinance.
6. That the applicant executes an agreement to the satisfaction of both the Township and the solicitor's office prior to the recording of the plan regarding frontage improvements and including but not limited to the following terms:
 - a. The applicant agrees to implement a construction plan for frontage improvements in the approximate location shown on Exhibit "A" (attached) or as otherwise agreed upon as a result of stakeholder meetings including but not limited to the review and approval of PennDOT.
 - b. The applicant shall adhere to the design/approval schedule as shown on Exhibit "B" (attached) to the best of its ability, in consideration of stakeholder requirements.
 - c. Upon execution of this agreement, the applicant shall fund a new escrow account or replenish the escrow account previously established for the current project for reimbursement of South Whitehall Township professional review of the frontage improvement plan.

- d. Upon completion and approval of the final location and design of the frontage improvement plan, the applicant shall post security in an amount and manner consistent with South Whitehall policies and in a form and manner acceptable to both the Township and its Solicitor.
7. That the applicant shall reconcile all open invoices for Township engineering and legal services prior to the plan being recorded, and that the applicant shall remit payment for any and all required fees to the satisfaction of the Township Manager, the Community Development Department, the Finance Department, and the Public Works Department, prior to the plan being recorded.
 8. The applicant shall meet all conditions of the Preliminary/Final Plan approval, and the Record Plan will be recorded within eighteen (18) months of Conditional Preliminary/Final Plan approval, and the applicant agrees that if such conditions are not met, the conditional Preliminary/Final Plan approval will be considered void, and the application for Preliminary/Final Plan approval will be considered void and withdrawn unless otherwise approved by the South Whitehall Township Board of Commissioners.
 9. If for any reason any condition or conditions of this Resolution (or any portion(s) thereof) shall be held by a forum of competent jurisdiction to be invalid, illegal, void, or unenforceable in any respect or to any extent: (i) this Resolution shall automatically be deemed to be null and void in its entirety and shall be deemed to have been immediately and automatically repealed as if it had never been passed; (ii) this Resolution shall automatically be deemed to be a resolution denying the application due to the fact that the application does not comply with those sections of the SALDO (or other applicable ordinance(s)) listed herein or in any review letters referred to herein, including any section relating to waivers or deferrals; and (iii), the Applicant is waiving any right to proceed with an action seeking a deemed approval of the plan based upon the automatic repeal of this Resolution Identified in this condition. The Applicant acknowledges that each and every term and provision hereof is an essential, material component to the Township's approval of the Applicant's plan.
 10. In the event that the Township becomes involved in litigation of any kind relating to the major subdivision other than a direct appeal by the Applicant of the Township's approval of this Resolution, such as an appeal of this Resolution by an adjoining property owner or a third party, or an attempt to collaterally challenge any conditions of this approval by means other than a timely appeal of this Resolution, the Applicant, on behalf of itself and its agents, representatives, successors and assigns, hereby agrees to exonerate, indemnify, protect, defend (through legal counsel of Township's choice) and save harmless the Township and its boards, committees and commissions (including the individual members thereof), their elected and appointed officers and officials and their employees, contractors, other professional consultants, engineers, solicitors, managers, representatives, advisors, predecessors, successors, agents, independent contractors, insurers and assigns (collectively, the "Township Representatives"),

from any and all claims, lawsuits, proceedings, actions, disputes, causes and rights of action, expenses, losses, allegations, demands, charges, injuries, costs (including, without limitation, attorneys' fees, engineers' fees and other costs and expenses incurred, including expert witness fees), damages (including, without limitation, compensatory, consequential or punitive damages), sanctions, and liabilities of every kind, character and manner whatsoever, in law or in equity, civil or criminal, administrative or judicial, contract, tort (including, without limitation, negligence of any kind) or otherwise ("Claims"), pertaining to, relating to, resulting from, caused by or arising out of the Township's approval of the application as evidenced by this Resolution and/or the Township taking any action contemplated by the conditions hereof.

The requirement of Section 312-12(b)(14) of the Subdivision and Land Development Ordinance pertaining to the identification of the tract showing bearings and distances in accordance with the criteria of a third order survey of the United States Coast and Geodetic Survey and ties to the nearest street monuments is hereby waived.

The requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract is hereby waived.

The requirement of Section 312-12(b)(17) of the Subdivision and Land Development Ordinance pertaining to the provision of the names and addresses of all property owners within 300 feet of any boundary of the subdivision is hereby waived.

The requirement of Section 312-12(b)(20) of the Subdivision and Land Development Ordinance pertaining to the showing of the location, character and elevation of any building within 100 feet of the tract is hereby waived.

The requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract is hereby waived.

The requirement of Section 312-13(f)(3) of the Subdivision and Land Development Ordinance pertaining to the prohibition of the issuance of permits prior to the recording of the plan is hereby waived.

The requirement of Section 312-14(b)(3) of the Subdivision and Land Development Ordinance pertaining to the requirement to provide sufficient data to determine the location, bearing and length of every street, lot and boundary line and to reproduce such lines on the ground, including a survey tie to the nearest street monuments is hereby waived.

The requirement of Section 312-35(b)(3) of the Subdivision and Land Development Ordinance pertaining to the Right-of-Way and cartway standards,

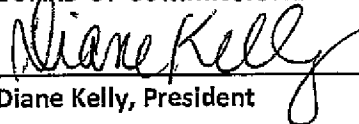
specifically the dedication of right-of-way to Township standards is hereby deferred.

The requirement of Section 312-43 of the Subdivision and Land Development Ordinance pertaining to the prohibition of the issuance of permits prior to the recording of the plan is hereby waived.

The conditions of approval have been made known to the applicant, and final approval is to be deemed expressly contingent upon the applicant's affirmative written acceptance of the conditions on a form prescribed by South Whitehall Township which shall be received at or before the meeting at which the Resolution containing such conditions of approval is considered by the Board of Commissioners for adoption.

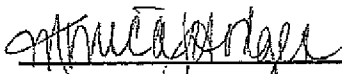
DULY ADOPTED this 19th day of APRIL, 2023, by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice President in the absence of the President, execute this Resolution on behalf of the Board.

TOWNSHIP OF SOUTH WHITEHALL
BOARD OF COMMISSIONERS



Diane Kelly, President

ATTEST:



Monica Hodges, Assistant Secretary

EXHIBIT "A"

406.



	Barry D'Isset & Associates, Inc. Civil Engineers 200 N. 10th St., Suite 100 York, PA 17402 717.766.1111 www.barrydisset.com		Dorney Park & Wildwater Kingdom Dorney Park & Wildwater Kingdom 6000 Dorney Park Blvd. York, PA 17402 717.766.1111 www.dorney.com	BID/BALK PLAN		SCALE: 1"=50' DATE: 06/20/24 DRAWN: JAL CHECK: AM
				RECORDED BID/BALK # DONEY PARK & WILDLAKE KINGDOM SOUTH BRITANNIA TOWNSHIP LEHIGH COUNTY, PA		

EXHIBIT "B"

APPLICANT ACCEPTANCE OF CONDITIONS

**RESOLUTION NO. 2023-54
(Duly Adopted April 19, 2023)**

**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL
TO A MAJOR PLAN ENTITLED "DORNEY PARK PROJECT 2024"**

The undersigned, being the applicant of an application for preliminary/final approval for a land development to construct a new 161.67-foot attraction on the site of the Stinger Roller Coaster just north of the intersection of Lincoln Avenue and Dorney Park Road on a 2.7-acre portion of the 196-acre property located at 3830 Dorney Park Road, in South Whitehall Township, Lehigh County, Pennsylvania, reflected on plans prepared by Barry Issett and Associates, entitled "**DORNEY PARK PROJECT 2024**", dated January 19, 2023 and last revised March 24, 2023, intending to be legally bound hereby, does affirmatively accept all of the conditions set forth in the Resolution granting conditional preliminary/final approval to the major plan entitled "**DORNEY PARK PROJECT 2024**" and does waive any and all rights which the applicant would otherwise possess to contest the imposition of said conditions, both at law or in equity. Further, the applicant hereby certifies that as of the date of the Resolution, the applicant does not dispute (as outlined by the Pennsylvania Municipalities Planning Code, including but not limited to §§ 10503(1) and 10510(g)) any professional consultant fee for which it has received an invoice from the Township through the date hereof.

WITNESS/ATTEST:

APPLICANT: Dorney Park LLC

DocuSigned by:
Kelly Dilbeck

CORPORATE SECRETARY
Witness

DocuSigned by:
Jessica Naderman

Applicant

Kelly Dilbeck
Printed Name

Jessica Naderman
Printed Name

Date: 4/18/2023

410

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MICHELLE GRAUPNER
LEHIGH COUNTY CLERK OF JUDICIAL RECORDS



Recorder of Deeds Division
Lisa Stella-Ali, Chief Deputy
Lehigh County Courthouse
455 W. Hamilton Street - Room 122
Allentown, PA 18101-1614
(610) 782-3162

***RETURN DOCUMENT TO:**

ALL AMERICAN SETTLEMENT SERVICES, LLC
4400 WALBERT AVE.
ALLENTOWN, PA 18104

Instrument Number - 2024008000

Recorded On 4/10/2024 At 9:45:29 AM

* Instrument Type - AGREEMENT

Invoice Number - 542824

User ID: KCA

***Total Pages - 20**

* Grantor - DORNEY PARK LLC SOUTH WHITEHALL TOWNSHIP OF

* Grantee - SOUTH WHITEHALL TOWNSHIP OF SOUTH WHITEHALL TOWNSHIP

* Customer - ALL AMERICAN SETTLEMENT SERVICES, LLC

*** FEES**

STATE WRIT TAX	\$0.50
RECORDING FEES	\$43.00
COUNTY ARCHIVES FEE	\$2.00
ROD ARCHIVES FEE	\$3.00
UPI CERTIFICATION FEES	\$20.00
TOTAL PAID	\$68.50

I hereby CERTIFY that this document is
Recorded in the Recorder of Deeds Office
of Lehigh County, Pennsylvania



Michelle Graupner
Clerk of Judicial Records
Recorder of Deeds Division

LCGIS Registry UPI Certification
On April 10, 2024 By TLL

THIS IS A CERTIFICATION PAGE

Do Not Detach

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

* - Information denoted by an asterisk may change during the verification process and may not be reflected on this page.

INSTRUMENT NUMBER - 2024008000

