

# Allentown Cat Clinic Parking Lot Expansion

MAJOR PLAN 2023-102

Planning Commission, September 12, 2024

## Attachments

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Previous Township Consideration

Reviewing Agencies Comments

Community Development Department Recommendation

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Township Water & Sewer Engineer Review

Township Geotechnical Consultant Review

Public Works Department Review

Public Safety Commission Review

Landscape and Shade Tree Commission Review

Parks and Recreation Board Review

Lehigh Valley Planning Commission Review

LANTA Review

PennDOT Review

South Whitehall Planning Document Review

Zoning Review

Applicant's Correspondence

Project Narrative

Waiver Request

# Memorandum

**TO:** PLANNING COMMISSION

**FROM:** David Manhardt, AICP, Director of Community Development

**SUBJECT:** Allentown Cat Clinic Parking Lot Expansion  
MAJOR PLAN 2023-102  
REQUEST FOR PRELIMINARY/FINAL PLAN REVIEW

**DATE:** August 20, 2024

**COPIES:** BOARD OF COMMISSIONERS, T. PETRUCCI, D. MANHARDT, L. HARRIER, J. ZATOR, ESQ., J. ALDERFER, ESQ, A. TALLARIDA, S. PIDCOCK, APPLICANT, SUB. FILE 2023-102

## Location and Intent

An application to develop the property located at 4090 West Tilghman Street. The plan proposes to construct an 11-space addition to the existing 13-space parking lot on the 0.70-acre parcel. The property is served by public water and public sewer and is zoned Highway Commercial HC. David M. and Michele L. Paul are the owners and applicants.



## Previous Township Consideration

The application was scheduled to appear before the Planning Commission on June 15, 2023. That meeting was cancelled due to a lack of a quorum.

On July 18, 2003, Michael Obenski submitted an application for Major Plan 2003-108 Parking Lot Expansion 4090 Tilghman Street, an application to further develop the 0.6964-acre property located at 4090 Tilghman Street. The plan proposed to construct an additional 7-space parking area. The Planning Commission took the plan under advisement at their August 21, 2003 meeting. The plan proceeded no further, and the project was closed in 2009 due to inactivity.

On November 14, 1983, the South Whitehall Township Board of Commissioners, through Resolution 1983-56, approved Major Plan 1983-179 Michael A. Obenski, an application to convert an existing house to a veterinary clinic and the construct a parking lot. In association with the land development, the Zoning Hearing Board reviewed appeal No. A-40-83 and granted a special exception for the veterinary use and variances for lot frontage, lot area, and setback for a sign.

## Reviewing Agencies Comments

### Township Engineer

The comments of the Township Engineer are contained in Mr. Anthony Tallarida's review dated September 5, 2024. His comments pertaining to waivers, plan details, and outside agency approval, including a PennDOT Highway Occupancy Permit (HOP).

### Township Water & Sewer Engineer

The comments of the Township Water & Sewer Engineer are contained in Mr. Jason Newhard's review dated August 30, 2024. His comments pertain to minor plan details.

### Township Geotechnical Consultant

The comments of the Township Geotechnical Consultant are contained in Mr. Christopher Taylor's review dated August 19, 2024. His comments state that all previous comments have been adequately addressed.

### Public Works Department

The comments of the Township Public Works Department are contained in Mr. Herb Bender's review dated August 21, 2024. His comments pertain to utility location, Township specifications, and integrity of the existing sewer line.

### Public Safety Commission

The Public Safety Commission reviewed the plan at its September 9, 2024, meeting. Their comments are contained in Mr. John Frantz's email dated September 10, 2024. The Public Safety Commission indicated that they had no further comments on the plan.

## Landscape and Shade Tree Commission

The Landscape and Shade Tree Commission reviewed the plan at their August 26, 2024 meeting. Their comments are contained in Mr. Christopher Stroehler's memo dated August 26, 2024 and pertain to requesting plant sizes and species choices.

## Parks and Recreation Board

The Parks and Recreation Board reviewed the plan at its September 9, 2024, meeting. Their comments are contained in Mr. Christopher Stroehler's memo dated September 10, 2024. The Parks and Recreation Board recommended the applicant pay fees in lieu of common open space dedication.

## Lehigh Valley Planning Commission

The comments of the Lehigh Valley Planning Commission are contained in Ms. Bambi Griffin Rivera's review dated May 22, 2023. Their comments pertain to sidewalk infrastructure.

## Lehigh and Northampton Transit Agency (LANTA)

The comments of LANTA are contained in Ms. Molly Wood's review dated July 28, 2023. Their comments pertain to the installation of sidewalks to help close gaps along their transit corridor.

## Pennsylvania Department of Transportation (PennDOT)

The comments of PennDOT regarding the Highway Occupancy Permit (HOP) are contained in their letter dated June 6, 2024.

## South Whitehall Planning Document Review

The comments of the South Whitehall Planning Document Review are contained in Mr. Christopher Stroehler's review dated September 6, 2024. His comments pertain to recreation/open space requirements, plan recording requirements, and consistency with long-range plans.

## Zoning Review

The comments of the South Whitehall Zoning Officer will be contained in Ms. Laura Harrier's review on September 10, 2024. Her comments indicate all previous comments have been addressed.

## Community Development Department Recommendation

Currently Township staff is not recommending approval.

**Planning Commission deadline to act on the plan: November 14, 2024**

**Board of Commissioners deadline to act on the plan: December 26, 2024**

# Site Plan

**NOTES:**

- THE PROPERTY MAY BE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, ETC. THAT ARE NOT NECESSARILY SHOWN ON THIS PLAN.
- HORIZONTAL DATUM: PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83 (2011) EPOCH 2010.00.
- VERTICAL DATUM: NAVD 88.
- UTILITIES SHOWN WERE REFERENCED FROM SURVEY REFERENCES AND PA ONE CALL RESPONSE AND WILL BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
- WATERCOURSES, WETLANDS, BODIES OF WATER, FLOODPLAINS, SIGNIFICANT TREE MASSES, ROCK OUT CROPS, SLAG PILES, QUARRY HOLES, SPRING, AND SWAMPY AREAS DO NOT EXIST ON THE SITE. TREES OVER SIX INCHES IN DIAMETER AT A HEIGHT OF 4.5 FEET ABOVE ADJACENT GRADE HAVE BEEN NOTED.
- THE LOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE DEVELOPER/DESIGN ENGINEER AND THE LOCATIONS OF SUCH FACILITIES HAVE NOT BEEN REVIEWED BY THE PIDCOCK COMPANY OR THE TOWNSHIP. THE DEVELOPER/DESIGN ENGINEER IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF ALL UTILITIES AND TO AVOID CONFLICTS OF THE SAME WITH PROPOSED IMPROVEMENTS. SIGNIFICANT EFFORTS TO RESOLVE SUCH CONFLICTS, INCLUDING BUT NOT LIMITED TO REDESIGN, CONSTRUCTION DELAYS, UTILITY RELOCATIONS, ETC., MAY RESULT IN CONFLICTS WITH EXISTING UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION.
- THE APPLICANT, ITS SUCCESSORS AND ASSIGNS, HOLD HARMLESS THE TOWNSHIP AND ITS BOARDS, COMMITTEES AND COMMISSIONS, THEIR ELECTED AND APPOINTED OFFICERS AND OFFICIALS AND THEIR EMPLOYEES, CONTRACTORS, OTHER PROFESSIONAL CONSULTANTS, ENGINEERS, SOLICITORS, MANAGERS, REPRESENTATIVES, ADVISORS, PREDECESSORS, SUCCESSORS, AGENTS, INDEPENDENT CONTRACTORS, INSURERS FROM ANY OBLIGATIONS OR LIABILITIES PERTAINING TO, RELATING TO, RESULTING FROM, CAUSED BY, ARISING OUT OF, SUSTAINED IN CONNECTION WITH OR IMPOSED BY PENNSYLVANIA DEPARTMENT OF TRANSPORTATION UPON THE TOWNSHIP BY VIRTUE OF ANY PERMITS REQUIRED IN CONNECTION WITH THE SUBDIVISION.
- THE APPLICANT IS RESPONSIBLE FOR JOINING THE PA ONE CALL SYSTEM AND IS RESPONSIBLE FOR THE MARKING OF ALL UNDERGROUND UTILITIES PRIOR TO UTILITIES BEING FORMALLY ACCEPTED BY AND DEDICATED TO THE TOWNSHIP.
- DETAILS ARE A MINIMUM STANDARD FOR ALL CONSTRUCTION WITHIN THE TOWNSHIP. INCORPORATIONS OF PORTIONS OR ALL OF THE TOWNSHIP STANDARD CONSTRUCTION DETAILS ON THE PLANS CONSTITUTES AND ACCEPTANCE OF AND ENDORSEMENT OF THOSE STANDARDS OF THE DEVELOPER AND THE DEVELOPER'S ENGINEER.
- ALL CONSTRUCTION WITHIN TOWNSHIP RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH TOWNSHIP SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.
- ANTICIPATED COMPLETION DATE FOR CONSTRUCTION IS NOVEMBER 2024.
- THE FOLLOWING OUTSIDE AGENCY PERMITS AND APPROVALS ARE REQUIRED.
  - LVPC
  - LANTA
  - FENNDOT
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED AND APPROVAL MUST BE OBTAINED PRIOR TO BIDDING AND CONSTRUCTION OF THE PROJECT.

**SURVEY NOTES:**

- PLAN ENTITLED "PLAN OF PARKWAY MANOR" AS PREPARED BY HOWARD A. LEVON JR., DATED MARCH 24, 1941. LATEST REVISION DATED APRIL 06, 1942, RECORDED IN THE LEHIGH COUNTY RECORDER OF DEEDS OFFICE AS DOCUMENT VOL. 4 PG. 9.
- PLAN ENTITLED "SOUTH WHITEHALL TOWNSHIP, SEWER PLANS & PROFILES-SECTION E", AS PREPARED BY G. EDWIN PIDCOCK CO., DATED APRIL 1983.

# PARKING LOT EXPANSION

## ALLENTOWN CAT CLINIC

### SOUTH WHITEHALL TOWNSHIP

### LEHIGH COUNTY, PA

## AUGUST 7, 2024

**ENGINEER'S CERTIFICATION**

I HEREBY CERTIFY THE ABOVE PLAN AND SURVEY TO BE CORRECT IN ALL ITS DETAILS.

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVALS**

APPROVED \_\_\_\_\_ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION

CHAIRMAN \_\_\_\_\_ SECRETARY \_\_\_\_\_

APPROVED \_\_\_\_\_ BY THE BOARD OF COMMISSIONERS OF TOWNSHIP OF SOUTH WHITEHALL

PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_

TOWNSHIP ENGINEER \_\_\_\_\_

**LEHIGH VALLEY PLANNING COMMISSION**

THIS PLAN WAS REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION.

\_\_\_\_\_, 20\_\_

PLANNER \_\_\_\_\_

**RECORDER OF DEEDS**

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA, IN PLAN BOOK VOLUME \_\_\_\_\_, PAGE \_\_\_\_\_, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

**OWNER'S CERTIFICATION**

I, THE UNDERSIGNED, AM THE APPLICANT AND LEGAL OWNER OF THE LAND TO BE DEVELOPED, THE LAND IS NOT SUBJECT TO ANY LITIGATION OR LIENS, THIS FINAL PLAN HAS BEEN PROCESSED WITH FREE CONSENT, AND IT IS DESIRED TO RECORD THE SAME.

I WILL PROPERLY GRADE ALL INDIVIDUAL LOTS TO PROVIDE ADEQUATE SURFACE DRAINAGE SO THAT NO LOW SPOTS OR WATER POCKETS CREATE A PUBLIC NUISANCE AND THAT HE WILL PLACE PERMANENT CONCRETE REFERENCE MONUMENTS TO GRADE AS NOTED ON THE PLAN UPON COMPLETION OF GRADING.

I ACKNOWLEDGE THAT FOLLOWING APPROVAL OF THIS PLAN, PLAN CHANGES MAY BE REQUIRED TO ADDRESS THE COMMENTS AND REGULATIONS OF OUTSIDE AGENCIES RESPONSIBLE TO REVIEW ANY ASPECT OF THE PROJECT REFLECTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO POST-CONSTRUCTION STORMWATER MANAGEMENT AND NPDES PERMIT REGULATIONS. IN THE EVENT OF CHANGES TO THE PLAN FOLLOWING APPROVAL (WHETHER OR NOT THE PLAN HAS BEEN RECORDED), I SHALL SUBMIT THE REVISED PLAN TO THE TOWNSHIP FOR REVIEW BEFORE I MAY MOVE FORWARD WITH CONSTRUCTION ACTIVITIES PURSUANT TO THE REVISED PLAN (WHETHER OR NOT THE PLAN HAS BEEN RECORDED).

OWNER \_\_\_\_\_  
 SWORN AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.  
 \_\_\_\_\_  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

"THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR."

**PLAN PURPOSE AND INTENT**

ACELA ARCHITECTS & ENGINEERS, PC HAS PREPARED THESE PLANS FOR THE OWNER/DEVELOPER FOR THE PURPOSES OF OBTAINING LAND DEVELOPMENT AND PERMITTING APPROVALS FROM VARIOUS REVIEW AGENCIES AS REQUIRED. THESE PLANS ARE A GRAPHICAL REPRESENTATION OF THE DESIGN ENGINEERS/SURVEYORS INTENT TO SATISFY REVIEW AGENCY REGULATIONS, REQUIREMENTS, STANDARDS, SPECIFICATIONS, DESIRES, ETC., AT THE TIME DURING WHICH APPROVAL WAS OBTAINED.

USERS OF THESE PLANS SHALL CONSIDER THE FOLLOWING IN THE USAGE OF THESE PLANS:

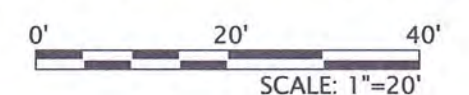
- THESE PLANS ARE A GRAPHICAL REPRESENTATION OF THE INFORMATION WHICH WAS NEEDED FOR REVIEW AGENCY APPROVALS. THEY ARE NOT NECESSARILY COMPLETE CONSTRUCTION OR STAKEOUT DOCUMENTS.
  - IN ORDER TO PRESENT CLEAR DESIGN INTENT, IT IS OFTEN NECESSARY TO EXAGGERATE OR DIMENSIONALLY DISTORT CERTAIN PLANIMETRIC FEATURES. THEREFORE THE PLANS SHALL NOT BE EITHER MANUALLY OR ELECTRONICALLY SCALED. SYMBOLS, LEGENDS, AND OTHER FEATURES WERE UTILIZED TO PRESENT AND CLARIFY THE DESIGN INTENT; THEY WERE NOT INTENDED TO BE DIMENSIONALLY CORRECT.
- A PROFESSIONAL LAND SURVEYOR SHALL PERFORM THE NECESSARY COMPUTATIONS TO DETERMINE THE PRECISE GEOMETRY NEEDED FOR STAKEOUT PURPOSES. ACELA ARCHITECTS & ENGINEERS PC, CAN BE CONTRACTED TO PERFORM THESE SERVICES; HOWEVER THIS WORK WAS NOT PART OF THE PREPARATIONS OF THESE PLANS.

WAIVERS REQUESTED FROM SOUTH WHITEHALL TOWNSHIP  
 SECTION §312-35 A WAIVER FROM PROVIDING CURBING



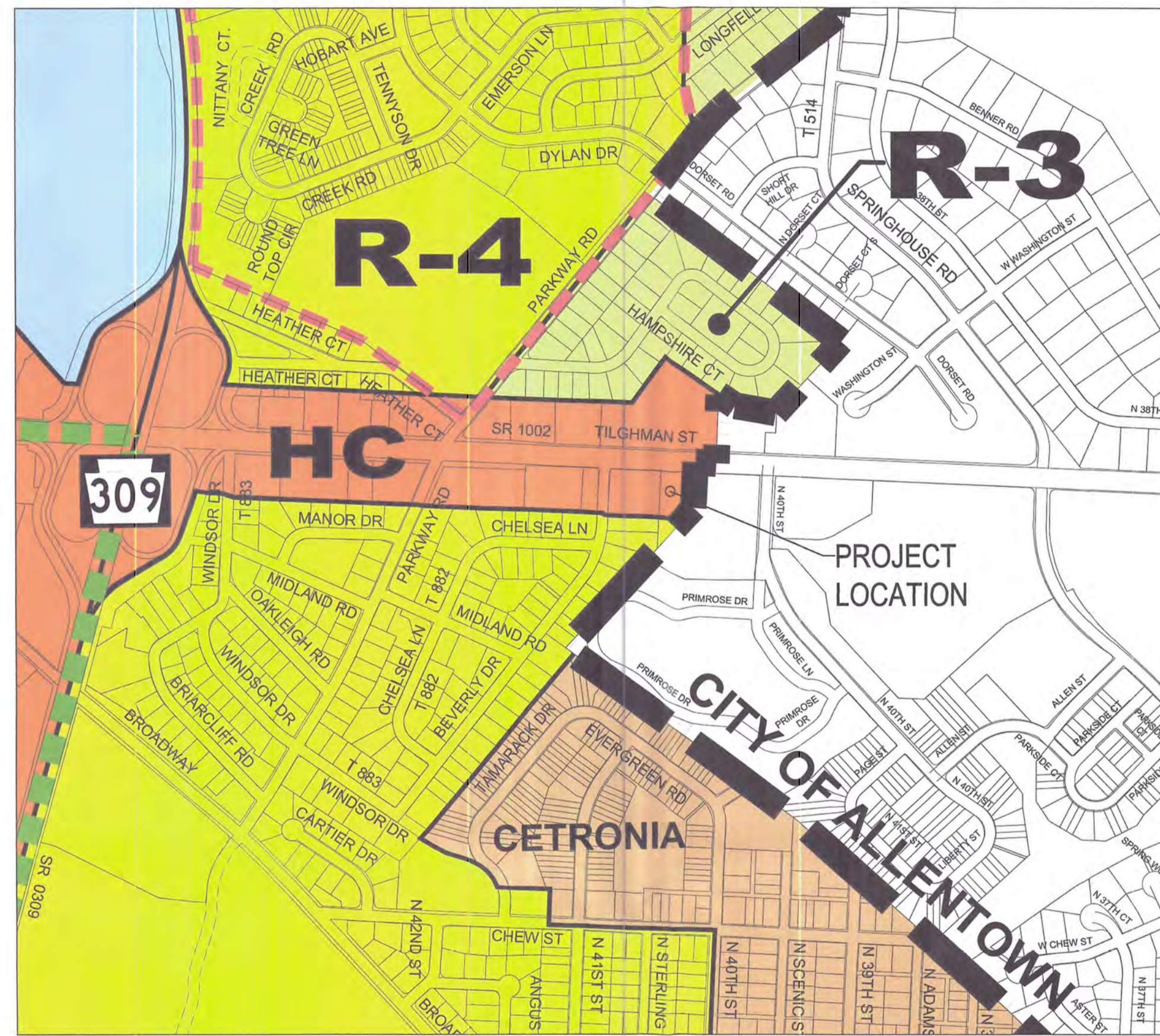
Know what's below.  
 Call before you dig.  
 SITE SERIAL #20230801991

NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES  
 SLANTED TEXT INDICATES EXISTING FEATURES



ZONING DATA		
DISTRICT: HC (HIGHWAY COMMERCIAL)		
USE: VETERINARY CLINIC		
1 FLOOR VETERINARY CLINIC OFFICE SPACE WITH UNFINISHED BASEMENT		
	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	1 AC.	30,492 SF (0.70 AC.)*
MINIMUM FRONTAGE:	200 FT.	179.06'
MINIMUM YARDS:		
FRONT:	50 FT.	80.9 FT.
SIDE:	25 FT.	19 FT.*
REAR:	25 FT.	46.9 FT.
MAXIMUM		
BUILDING HEIGHT:	35 FT.	≤35 FT.
BUILDING COVERAGE:	-	8.5%
IMPERVIOUS COVERAGE:	75%	49%
*EXISTING NON-CONFORMITY		
PARKING REQUIREMENTS		
REQUIRED PARKING		
FOR BUILDINGS UP TO 14,999 SQUARE FEET THE PARKING RATIO SHALL BE 1.0 PARKING SPACE PROVIDED FOR EACH 200 SQUARE FEET OF "USEABLE OFFICE AREA."		
= (2,635 SF / 200 SF) = 14 SPACES		
PROVIDED PARKING		
EXISTING SPACES: 13 SPACES PROPOSED SPACES: 10 SPACES TOTAL PARKING SPACES = 23 SPACES (INCLUDING 1 ACCESSIBLE SPACE)		

SITE DATA	
OWNER:	DAVID M & MICHELE L. PAUL
OWNER ADDRESS:	5655 CHESTNUT ST EMMAUS PA 18049
SITE ADDRESS:	4090 W TILGHMAN ST ALLENTOWN PA 18104
CURRENT DEED:	7399294
PARCEL ID:	548606528477
TOTAL AREA:	30,492 SF (0.70 AC.)
SEWER:	PUBLIC
WATER:	PUBLIC
CURRENT USE:	VETERINARY CLINIC
IMPERVIOUS COVER	
CONDITION	IMPERVIOUS (SQ FT)
EXISTING BUILDING	2,600
EXISTING ASPHALT	7,348
EXISTING GRAVEL AREA	604
EXISTING PORCH	193
EXISTING BILCO DOORS	35
EXISTING CONCRETE	67
TOTAL EXISTING	10,847
PROPOSED PARKING AREA	3,576
PROPOSED CONCRETE SIDEWALK	661
TOTAL PROPOSED	4,237
TOTAL IMPERVIOUS COVER	15,084



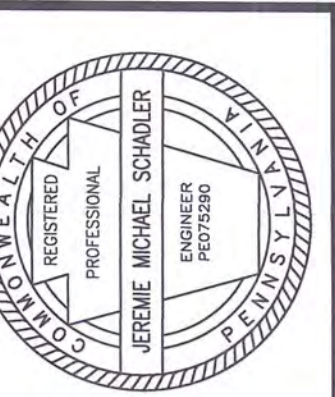
LOCATION MAP  
 SOURCE: SOUTH WHITEHALL TOWNSHIP ZONING MAP  
 SCALE: 1"=50'

SOIL CHART	
TYPE	DESCRIPTION
UmB	URBAN LAND-OFFFIELD COMPLEX, 0% TO 8% SLOPES
WaB	WASHINGTON SILT LOAM, 3% TO 8% SLOPES

ZONING DISTRICTS	
<b>RESIDENTIAL</b>	
RR-3	RURAL RESIDENTIAL-3
RR-2	RURAL RESIDENTIAL-2
RR	RURAL RESIDENTIAL AND AGRICULTURAL
R-2	LOW DENSITY RESIDENTIAL
R-3	LOW DENSITY RESIDENTIAL
R-4	MEDIUM DENSITY RESIDENTIAL
R-5	MEDIUM DENSITY RESIDENTIAL
R-10	HIGH DENSITY RESIDENTIAL
<b>COMMERCIAL</b>	
HC	HIGHWAY COMMERCIAL
HC-1	HIGHWAY COMMERCIAL-SPECIAL HEIGHT LIMITATION
NC	NEIGHBORHOOD COMMERCIAL
GC	GENERAL COMMERCIAL
GC-1	GENERAL COMMERCIAL-SPECIAL HEIGHT LIMITATION
CR	COMMERCIAL RECREATION
OC	OFFICE COMMERCIAL

DRAWING INDEX			
SHEET NO.	DRAWING NO.	DATE	SHEET TITLE
* TS-1	1	OF 11	TITLE SHEET
EX-1	2	OF 11	EXISTING FEATURES & DEMOLITION PLAN
* LZF-1	3	OF 11	LAYOUT & ZONING PLAN
CG-1	4	OF 11	GRADING & UTILITY PLAN
LP-1	5	OF 11	LIGHTING PLAN
LSP-1	6	OF 11	LANDSCAPING PLAN
ES-1	7	OF 11	EROSION & SEDIMENTATION CONTROL PLAN
ES-2	8	OF 11	EROSION & SEDIMENTATION CONTROL DETAILS
DE-1	9	OF 11	CONSTRUCTION DETAILS
DE-2	10	OF 11	CONSTRUCTION DETAILS
TT-1	11	OF 11	TURNING TEMPLATE

\* PLANS TO BE RECORDED



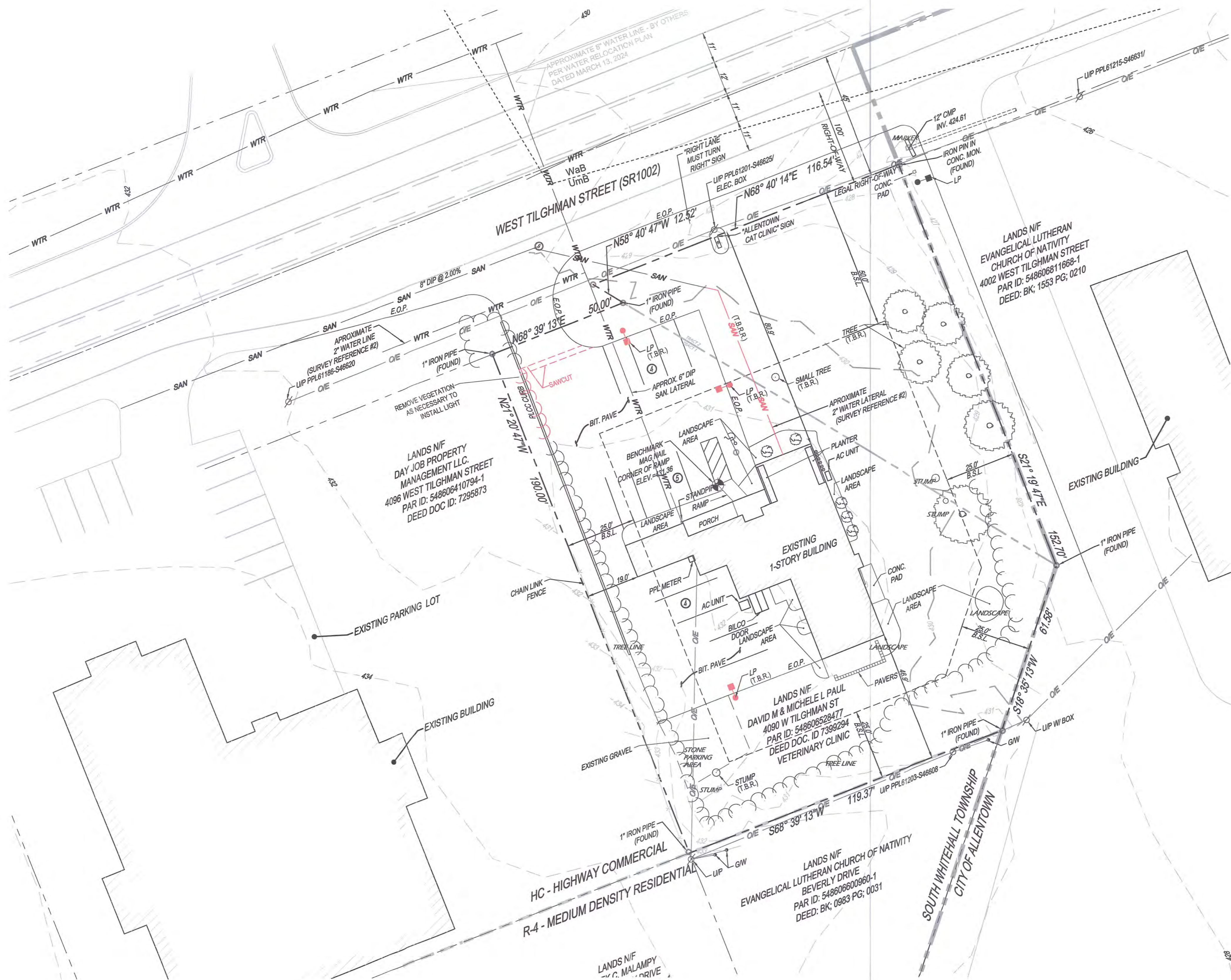
**acela**  
 architects + engineers  
 acela architects + engineers, pc  
 2633 Moravian Ave.  
 Allentown, PA 18103  
 office: 610.365.4023  
 website: www.acela-ae.com  
 email: info@acela-ae.com

1. REVISED PER TOWNSHIP AND PENNDOT COMMENTS	7/19/2024	AB
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PRELIMINARY/ FINAL PLAN  
 PARKING LOT EXPANSION  
 SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
 FOR  
 ALLENTOWN CAT CLINIC, PC  
 TITLE SHEET

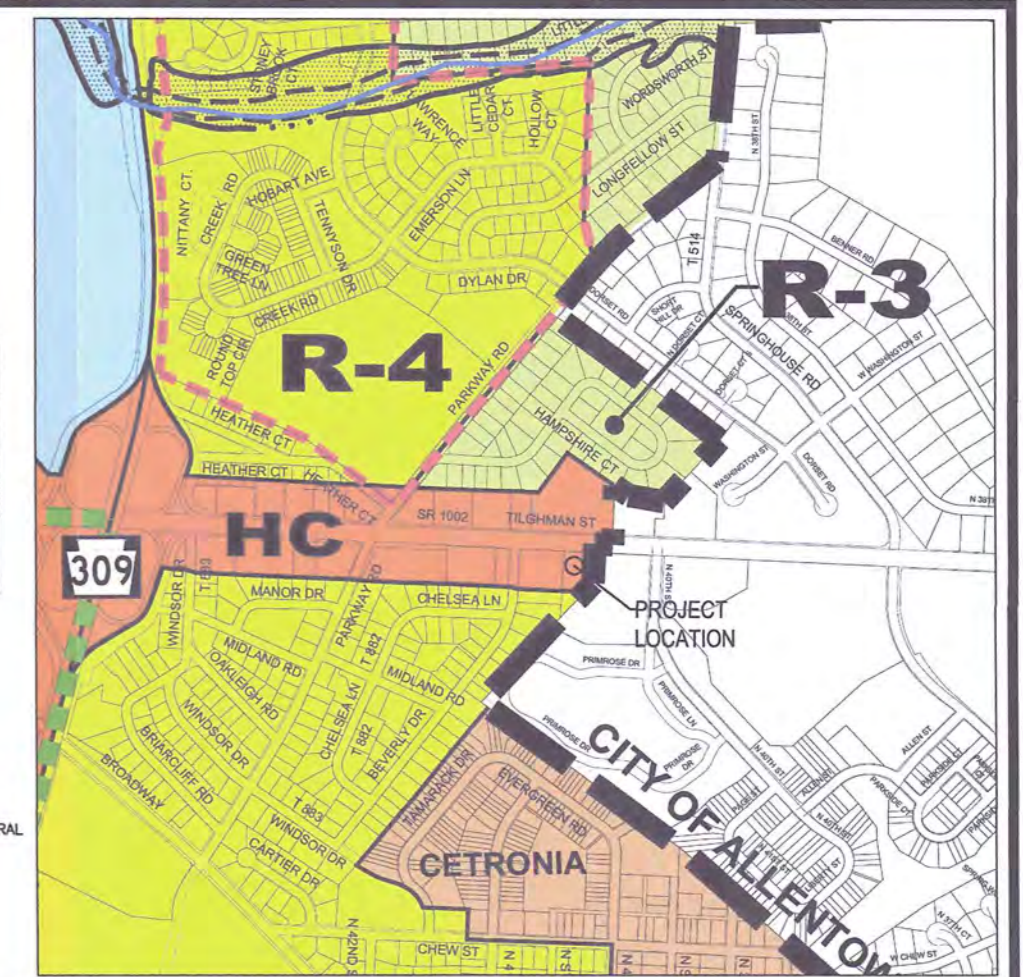
SCALE: 1"=20'	DATE: 05/09/2023
DRAWN: AB	DSGN: AB
JOB: 23-CATCL-01	P MGR: JS
SHEET: 1 OF 11	
TS-1	
© 2022	

s:\p\23-CATCL-01\_24-36\_TB [ENG-SEAL-JMS\_PA] [23-CATCL-01\_BaseOthers] [23-CATCL-01\_Layout\_NEW] [23-CATCL-01\_Base] 01\_ExistingFeatures-Demolition\p\m.dwg - EX-1 Existing Features Date: August 06, 2024 8:40pm \*\*acela architects + engineers, pc\*\* USER: abartels



SOIL CHART	
TYPE	DESCRIPTION
UmB	URBAN LAND-DUFFIELD COMPLEX, 0% TO 8% SLOPES
WaB	WASHINGTON SILT LOAM, 3% TO 8% SLOPES

ZONING DISTRICTS	
RR-3	RURAL RESIDENTIAL-3
RR-2	RURAL RESIDENTIAL-2
RR	RURAL RESIDENTIAL AND AGRICULTURAL
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NC	NEIGHBORHOOD COMMERCIAL
GC-1	GENERAL COMMERCIAL-SPECIAL HEIGHT LIMITATION
CR	COMMERCIAL RESIDENTIAL
OC	OFFICE COMMERCIAL



LOCATION MAP  
SOURCE: SOUTH WHITEHALL TOWNSHIP ZONING MAP  
SCALE: 1"=1000'

**LEGEND**

	DEMOLITION
EDGE OF PAVEMENT	---
LIGHT POLE (LP)	●
TO BE REPLACED	(T.B.R.R.)
TO BE REMOVED	(T.B.R.)
SANITARY LINE	SAN
TREES OVER 6" DIAMETER & 4.5' ADJACENT GRADE	○
SAWCUT	---
TREE LINE	~~~~~
CURB	---

**LEGEND**

	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
LOT LINE	---	---
BUILDING SETBACK	---	---
LEGAL RIGHT-OF-WAY	---	---
CURBING	---	---
EDGE OF PAVEMENT	---	---
BUILDING	EXIST. BUILDING	---
CONCRETE SIDEWALK	---	---
PAVEMENT	---	---
ZONING BOUNDARY	---	---
SOIL BOUNDARY	---	---
UTILITY POLE	UP	---
OVERHEAD ELECTRIC	OIE	---
UNDERGROUND ELECTRIC	---	U/E
SIGN	---	---
LIGHT POLE (LP)	---	---
CONTOUR	590	590
EDGE OF PAVEMENT BITUMINOUS TYPICAL	E.O.P. BIT. (TYP.)	E.O.P.
TO BE REMOVED	---	(T.B.R.)
TO BE REPLACED	---	(T.B.R.R.)
FENCE	CHAIN-LINK FENCE	---
SIGN	---	---
SANITARY LINE, MANHOLE, & CLEANOUT	EX. MH SAN C.O.	SAN
WATER MAIN	---	---
EDGE OF WOODS	---	---
TREES OVER 6" DIAMETER & 4.5' ADJACENT GRADE	---	---
SHRUB	---	---

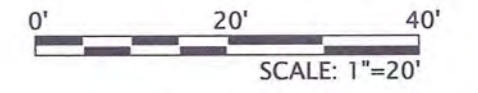


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SITE SERIAL #20230801991

NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES  
SLANTED TEXT INDICATES EXISTING FEATURES

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY CONTRACTOR AT THE SITE



PRELIMINARY/ FINAL PLAN

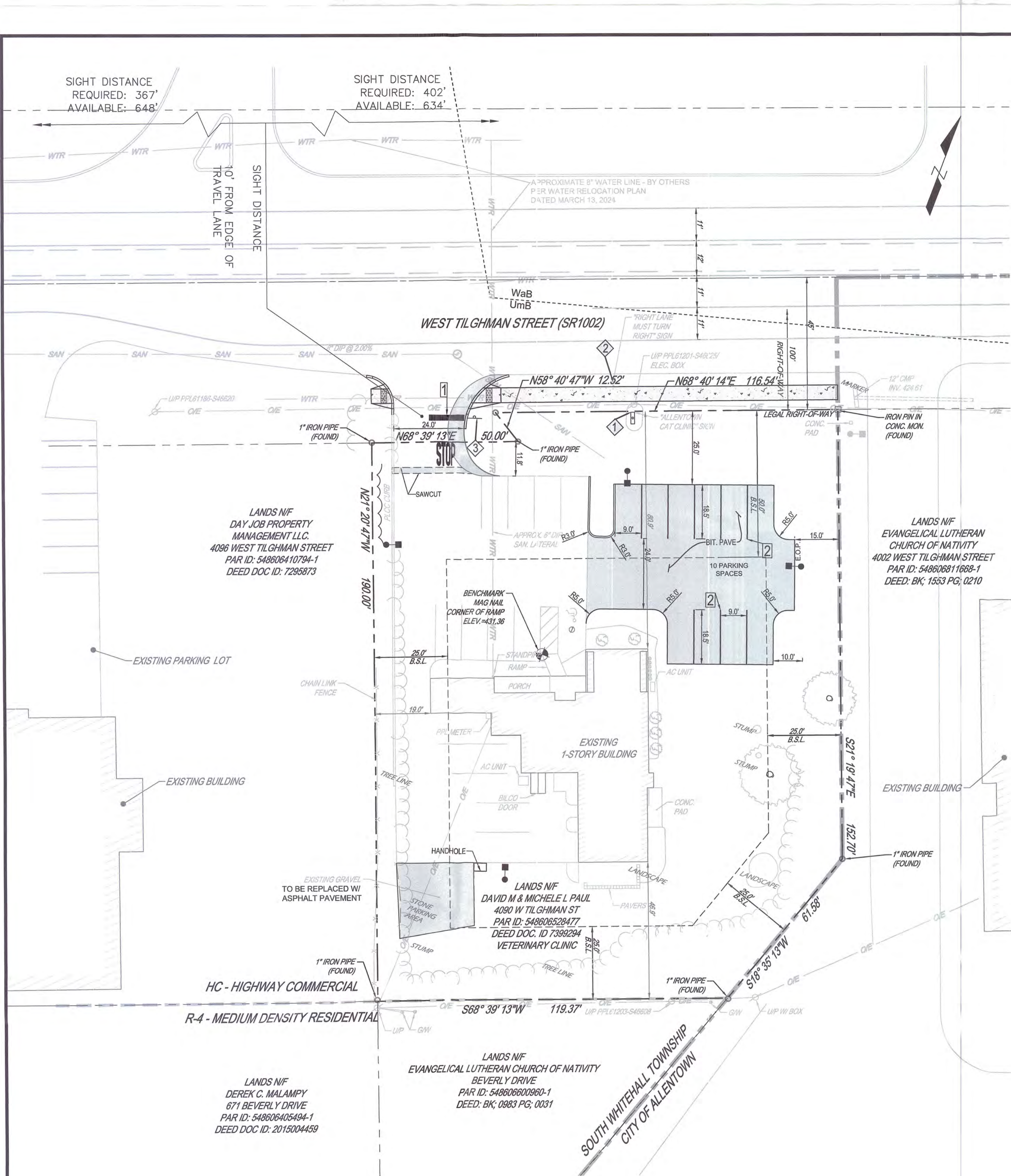
PARKING LOT EXPANSION  
 SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
 FOR  
 ALLENTOWN CAT CLINIC, PC  
 EXISTING FEATURES & DEMOLITION PLAN

SCALE: 1"=20'	DATE: 05/09/2023
DRAWN: AB	DSGN: AB
JOB: 23-CATCL-01	P MGR: JS
SHEET: 2 OF 11	

EX-1

acela architects + engineers, pc  
 office: 610.365.4023  
 website: www.acela-ae.com  
 email: info@acela-ae.com  
 2833 Moravian Ave.  
 Allentown, PA 18103

AB	7/19/2024
1. REVISED PER TOWNSHIP AND PERMITS COMMENTS	



**LEGEND**

	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
LOT LINE	---	---
BUILDING SETBACK	---	---
LEGAL RIGHT-OF-WAY	---	---
CURBING	---	---
EDGE OF PAVEMENT	---	---
BUILDING	EXIST. BUILDING	---
PAVEMENT	---	---
SIDEWALK	---	---
ZONING BOUNDARY	---	---
SOIL BOUNDARY	---	---
UTILITY POLE	U/P	U/P
OVERHEAD ELECTRIC	OE	OE
UNDERGROUND ELECTRIC	UE	UE
SIGN	---	---
LIGHT POLE (LP)	---	---
CONTOUR	S-0	S-0
EDGE OF PAVEMENT BITUMINOUS	E.O.P. BIT. (TYP.)	E.O.P.
TYPICAL TO BE REMOVED	---	(T.B.R.)
TO BE REPLACED	---	(T.B.R.R.)
FENCE	CHAIN LINK FENCE	---
SIGN	---	---
SANITARY LINE, MANHOLE, & CLEANOUT	EX. MH SAN. C.O.	SAN
WATER MAIN	WTR	---
EDGE OF WOODS	---	---
TREES OVER 8" DIAMETER & 4.5' ADJACENT GRADE	---	---
SHRUB	---	---

**SITE SYMBOL - STRIPING**

1 24" WHITE WATERBORNE PAVEMENT MARKING  
2 4" WHITE WATERBORNE PAVEMENT MARKING

NOTE: ALL PAVEMENT MARKINGS SHOULD BE WATERBORNE IN ACCORDANCE WITH PENNDOT PUBLICATION 508 AND BULLETIN 15

**SITE SYMBOL - SIGNAGE**

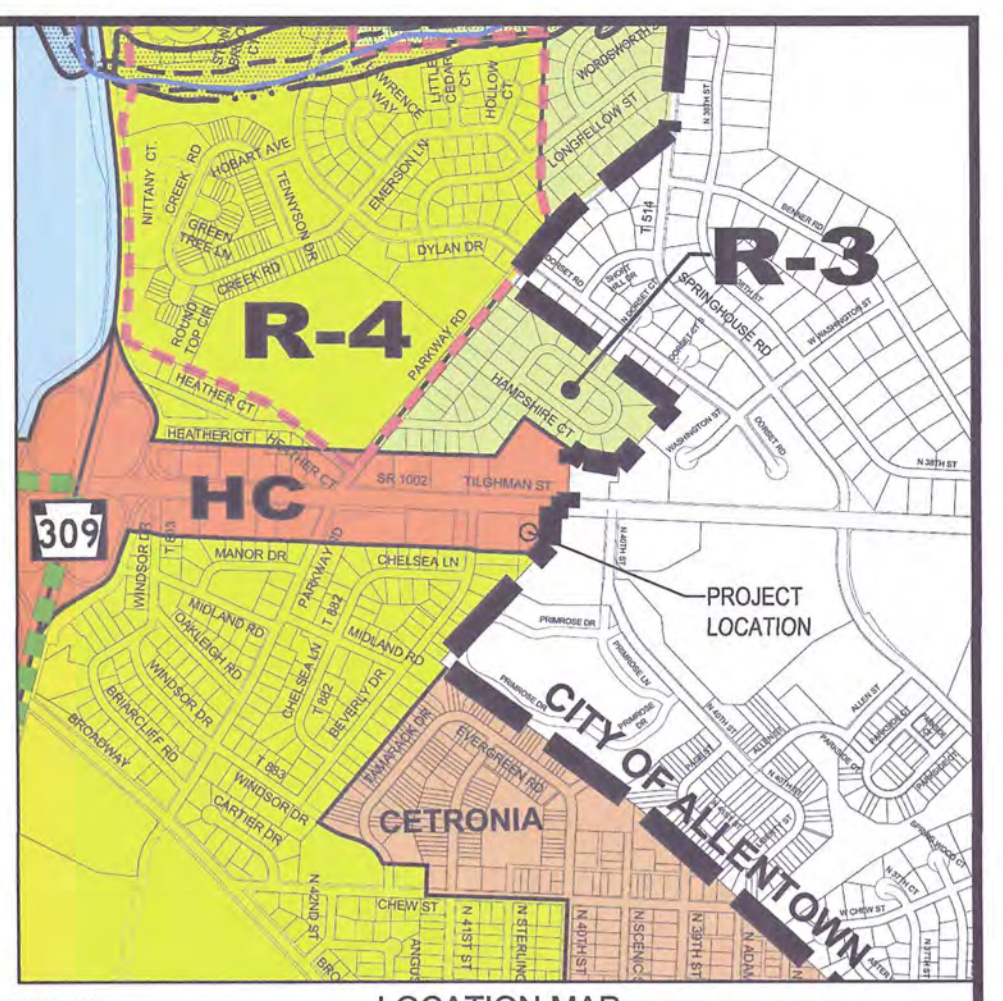
1 EXISTING ALLENTOWN CAT CLINIC SIGN  
2 EXISTING RIGHT LANE MUST TURN RIGHT SIGN  
3 PROPOSED 30"x30" STOP SIGN

**SOIL CHART**

TYPE	DESCRIPTION
UmB	URBAN LAND-DUFFIELD COMPLEX, 0% TO 8% SLOPES
WaB	WASHINGTON SILT LOAM, 3% TO 8% SLOPES

**ZONING DISTRICTS**

RESIDENTIAL	COMMERCIAL
RR-3	HC-1
RR-2	HC-2
RR-1	HC-3
LD-1	GC-1
LD-2	GC-2
LD-3	GC-3
LD-4	OC
LD-5	
LD-10	



**ENGINEER'S CERTIFICATION**

I HEREBY CERTIFY THE ABOVE PLAN AND SURVEY TO BE CORRECT IN ALL ITS DETAILS.

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVALS

APPROVED \_\_\_\_\_ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION

CHAIRMAN \_\_\_\_\_ SECRETARY \_\_\_\_\_

APPROVED \_\_\_\_\_ BY THE BOARD OF COMMISSIONERS OF TOWNSHIP OF SOUTH WHITEHALL

PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_

TOWNSHIP ENGINEER \_\_\_\_\_

LEHIGH VALLEY PLANNING COMMISSION

THIS PLAN WAS REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION.

\_\_\_\_\_ 20\_\_

PLANNER

**RECORDER OF DEEDS**

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA, IN PLAN BOOK VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

**OWNER'S CERTIFICATION**

I, THE UNDERSIGNED, AM THE APPLICANT AND LEGAL OWNER OF THE LAND TO BE DEVELOPED. THE LAND IS NOT SUBJECT TO ANY LITIGATION OR LIENS. THIS FINAL PLAN HAS BEEN PROCESSED WITH FREE CONSENT, AND IT IS DESIRED TO RECORD THE SAME.

I WILL PROPERLY GRADE ALL INDIVIDUAL LOTS TO PROVIDE ADEQUATE SURFACE DRAINAGE SO THAT NO LOW SPOTS OR WATER POCKETS CREATE A PUBLIC NUISANCE AND THAT HE WILL PLACE PERMANENT CONCRETE REFERENCE MONUMENTS TO GRADE AS NOTED ON THE PLAN UPON COMPLETION OF GRADING.

I ACKNOWLEDGE THAT FOLLOWING APPROVAL OF THIS PLAN, PLAN CHANGES MAY BE REQUIRED TO ADDRESS THE COMMENTS AND REGULATIONS OF OUTSIDE AGENCIES RESPONSIBLE TO REVIEW ANY ASPECT OF THE PROJECT REFLECTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO POST-CONSTRUCTION STORMWATER MANAGEMENT AND NPDES PERMIT REGULATIONS. IN THE EVENT OF CHANGES TO THE PLAN FOLLOWING APPROVAL (WHETHER OR NOT THE PLAN HAS BEEN RECORDED), I SHALL SUBMIT THE REVISED PLAN TO THE TOWNSHIP FOR REVIEW BEFORE I MAY MOVE FORWARD WITH CONSTRUCTION ACTIVITIES PURSUANT TO THE REVISED PLAN (WHETHER OR NOT THE PLAN HAS BEEN RECORDED).

OWNER \_\_\_\_\_

SWORN AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

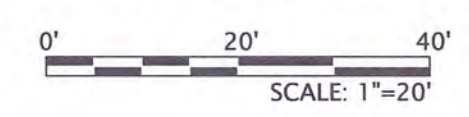
"THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR."



Know what's below.  
Call before you dig.

SITE SERIAL #20230801991

NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES  
SLANTED TEXT INDICATES EXISTING FEATURES



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architects + engineers

LEHIGH VALLEY PROFESSIONAL ENGINEER  
LEHIGH VALLEY PROFESSIONAL LANDSCAPE ARCHITECT

office: 610.365.4023  
www.acela-ae.com  
2633 Moreavian Ave.  
Allentown, PA 18103  
info@acela-ae.com

1. REVISED PER TOWNSHIP AND PENNDOT COMMENTS 7/15/2024

AB	
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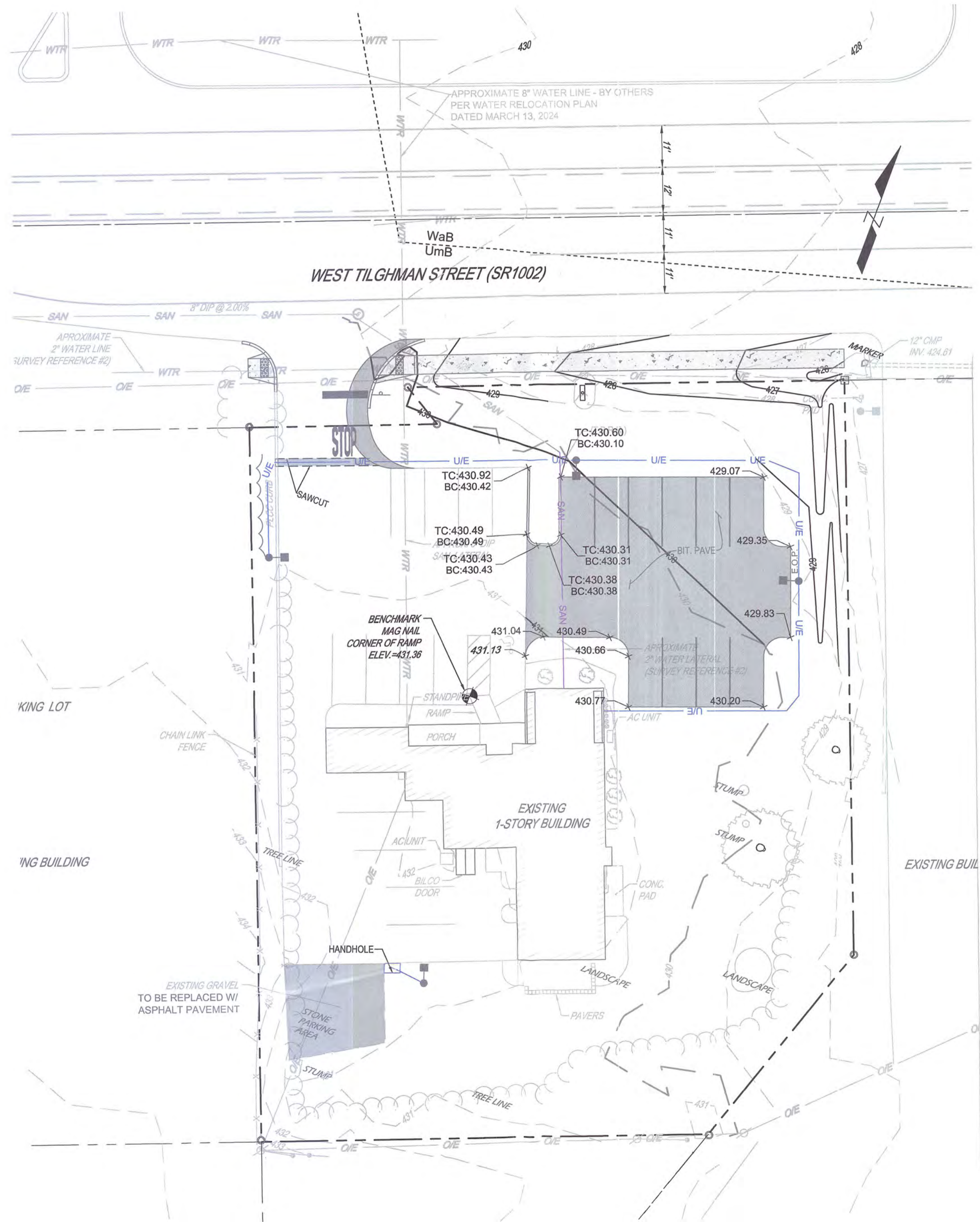
PRELIMINARY/ FINAL PLAN

PARKING LOT EXPANSION  
SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
FOR  
ALLENTOWN CAT CLINIC, PC  
LAYOUT & ZONING PLAN

SCALE: 1"=20'	DATE: 05/09/2023
DRAWN: AB	DSGN: AB
JOB: 23-CATCL-01	P MGR: JS
SHEET: 3 OF 11	
<b>LZP-1</b>	
© 2022	



xrefs: \\23-CATCL-01\_Base\07\_Grading-UtilityPlan.dwg->CG-1 GRADING & UTILITY PLAN Date: August 06, 2024 7:40pm \*\*acela architects + engineers, pc\*\* - USER: abartels



**LEGEND**

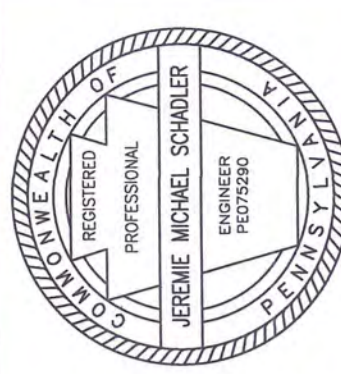
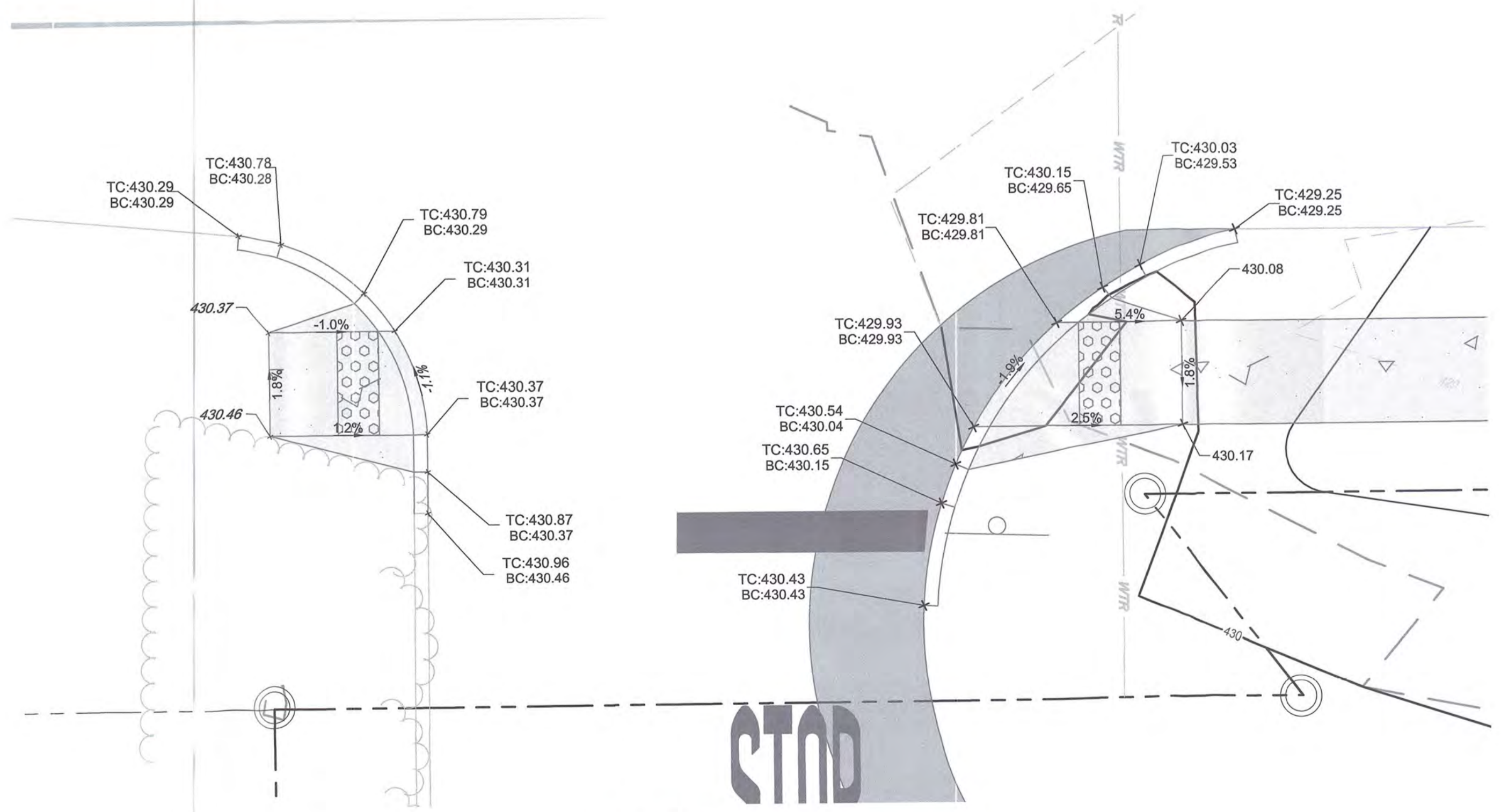
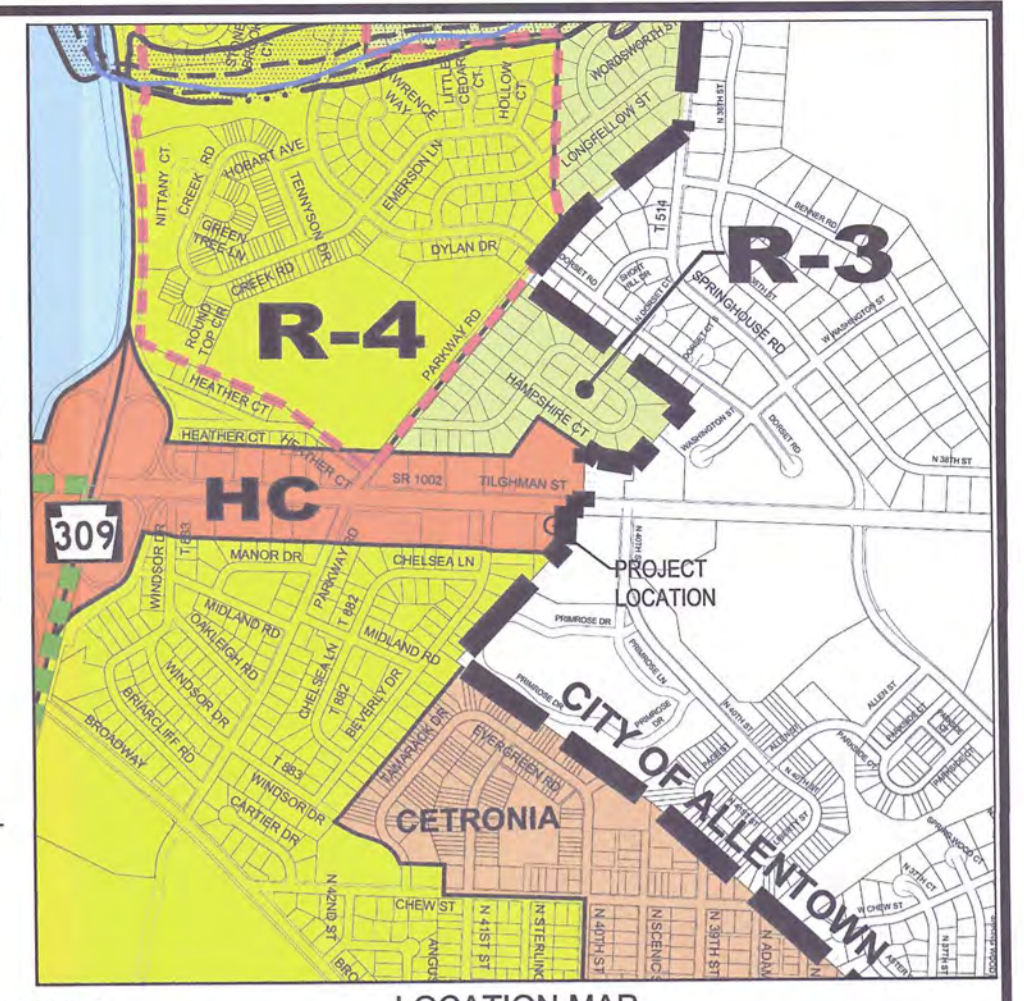
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LOT LINE	---	---
BUILDING SETBACK	---	---
LEGAL RIGHT-OF-WAY	---	---
CURBING	---	---
EDGE OF PAVEMENT	---	---
BUILDING	▨	▨
CONCRETE SIDEWALK	▨	▨
PAVEMENT	▨	▨
ZONING BOUNDARY	---	---
SOIL BOUNDARY	---	---
UTILITY POLE	○	○
OVERHEAD ELECTRIC	---	---
UNDERGROUND ELECTRIC	---	---
SIGN	■	■
LIGHT POLE (LP)	○	○
CONTOUR	---	---
EDGE OF PAVEMENT	---	---
BITUMINOUS TYPICAL	---	---
TO BE REMOVED	---	(T.B.R.)
TO BE REPLACED	---	(T.B.R.R.)
FENCE	---	---
SIGN	---	---
SANITARY LINE, MANHOLE, & CLEANOUT	---	---
WATER MAIN	---	---
EDGE OF WOODS	---	---
TREES OVER 6" DIAMETER & 4.5' ADJACENT GRADE	○	○
SHRUB	○	○

**SOIL CHART**

TYPE	DESCRIPTION
UmB	URBAN LAND-DUFFIELD COMPLEX, 0% TO 8% SLOPES
WaB	WASHINGTON SILT LOAM, 3% TO 8% SLOPES

**ZONING DISTRICTS**

DISTRICT	DESCRIPTION
RR-3	RURAL RESIDENTIAL-3
RR-2	RURAL RESIDENTIAL-2
RR	RURAL RESIDENTIAL AND AGRICULTURAL
R-2	LOW DENSITY RESIDENTIAL
R-3	LOW DENSITY RESIDENTIAL
R-4	MEDIUM DENSITY RESIDENTIAL
R-5	MEDIUM DENSITY RESIDENTIAL
R-10	HIGH DENSITY RESIDENTIAL
HC	HIGHWAY COMMERCIAL
HC-1	HIGHWAY COMMERCIAL-SPECIAL HEIGHT LIMITATION
NC	NEIGHBORHOOD COMMERCIAL
GC	GENERAL COMMERCIAL
GC-1	GENERAL COMMERCIAL-SPECIAL HEIGHT LIMITATION
CR	COMMERCIAL RECREATION
OC	OFFICE COMMERCIAL



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NO.	REVISION	DATE
1.	REVISED PER TOWNSHIP AND PENNDOT COMMENTS	7/19/2024

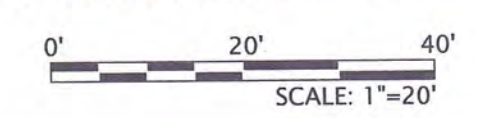
PRELIMINARY/ FINAL PLAN

PARKING LOT EXPANSION  
 SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
 FOR  
 ALLENTOWN CAT CLINIC, PC  
 GRADING & UTILITY PLAN



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 NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES  
 SLANTED TEXT INDICATES EXISTING FEATURES



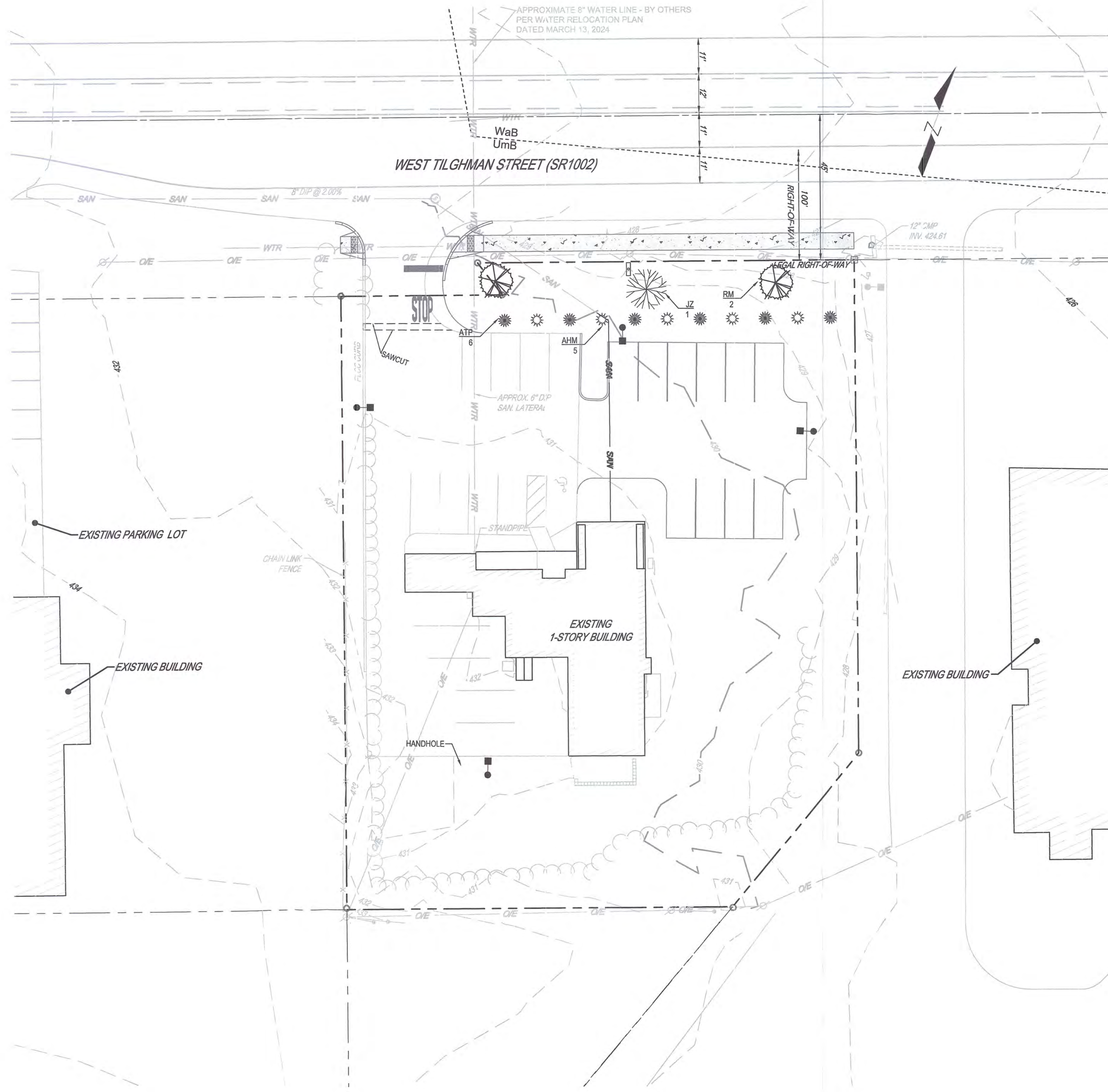
SCALE:	DATE:
1"=20'	05/09/2023
DRAWN:	DSGN:
AB	AB
JOB:	P MGR:
23-CATCL-01	JS

SHEET: 4 OF 11

**CG-1**

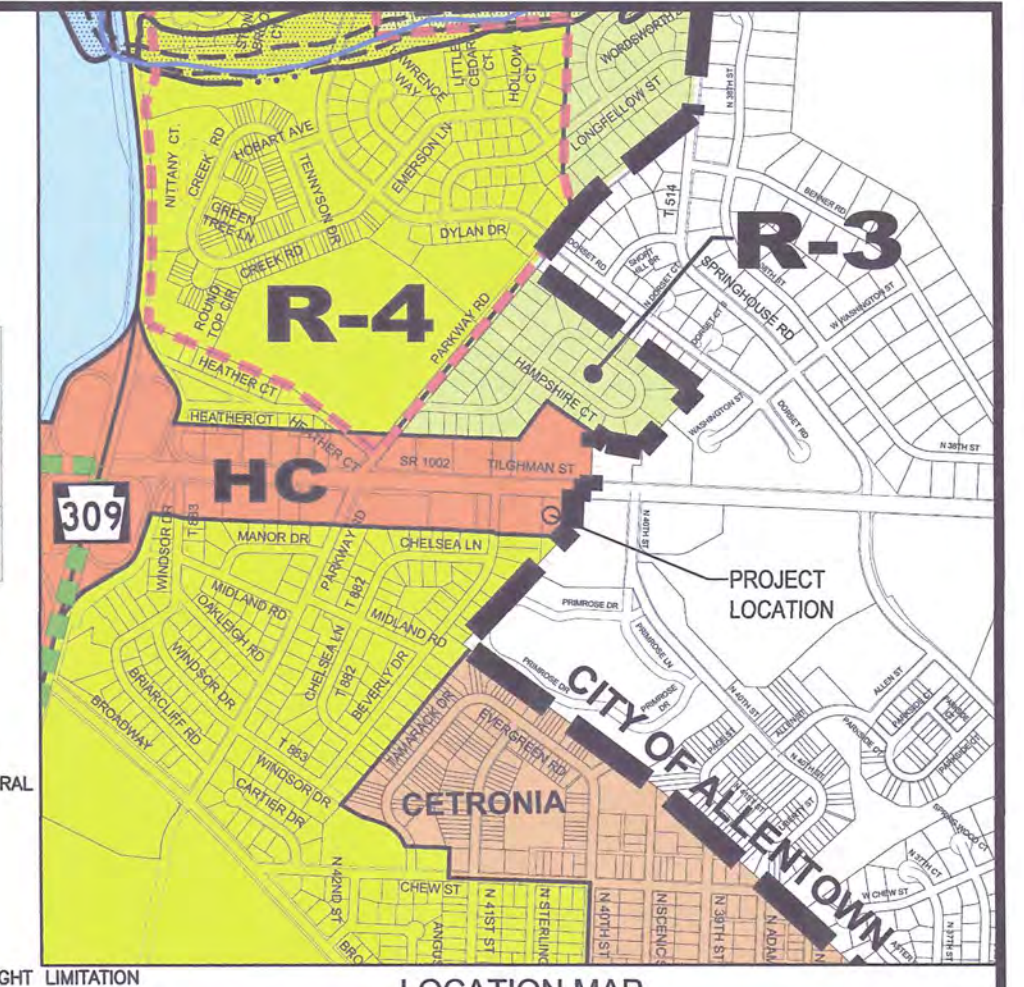


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SOIL CHART	
TYPE	DESCRIPTION
UmB	URBAN LAND-DUFFIELD COMPLEX, 0% TO 8% SLOPES
WaB	WASHINGTON SILT LOAM, 3% TO 8% SLOPES

ZONING DISTRICTS	
<b>RESIDENTIAL</b>	
RR-3	RURAL RESIDENTIAL-3
RR-2	RURAL RESIDENTIAL-2
RR	RURAL RESIDENTIAL AND AGRICULTURAL
RD-2	LOW DENSITY RESIDENTIAL
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GC	GENERAL COMMERCIAL
GC-1	GENERAL COMMERCIAL-SPECIAL HEIGHT LIMITATION
CR	COMMERCIAL RECREATION
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	EXISTING	PROPOSED
PROPERTY BOUNDARY		
LOT LINE		
BUILDING SETBACK		
LEGAL RIGHT-OF-WAY		
CURBING		
EDGE OF PAVEMENT		
BUILDING		
PAVEMENT		
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WATER MAIN		
EDGE OF WOODS		
TREES OVER 6" DIAMETER & 4.5' ADJACENT GRADE		
SHRUB		

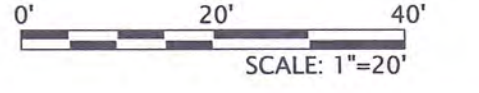
- NOTES:**
1. CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT IN ORDER TO COMPLETE THE WORK.
  2. ALL SEEDED AND / OR SOD AREAS SHALL RECEIVE 6" OF LOAM OR TOPSOIL.
  3. ALL PLANTINGS AT DRIVEWAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF TREE FEET OR LESS AS NOT TO OBSCURE TRAFFIC VISIBILITY.
  4. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
  5. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING GROWING SEASON.

**LANDSCAPE SCHEDULE**

SYMBOL NAME	QUANTITY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	SPACING
	2	ACER RUBRUM	RED MAPLE	40'-70' HT	30'-50'
	1	ZELKOVA SERRATA	JAPANESE ZELKOVA	50'-80' HT	50'-80'
	5	THUJA OCCIDENTALIS	ARBORVITAE HETZ MIDGET	3'-4' HT	3'-4'
	6	AZALEA X TRADITION (KURUME HYBRID)	AZALEA TRADITIONAL PINK	3'-4' HT	3'-5'



SITE SERIAL #20230801991  
 NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES  
 SLANTED TEXT INDICATES EXISTING FEATURES



**PRELIMINARY/ FINAL PLAN**

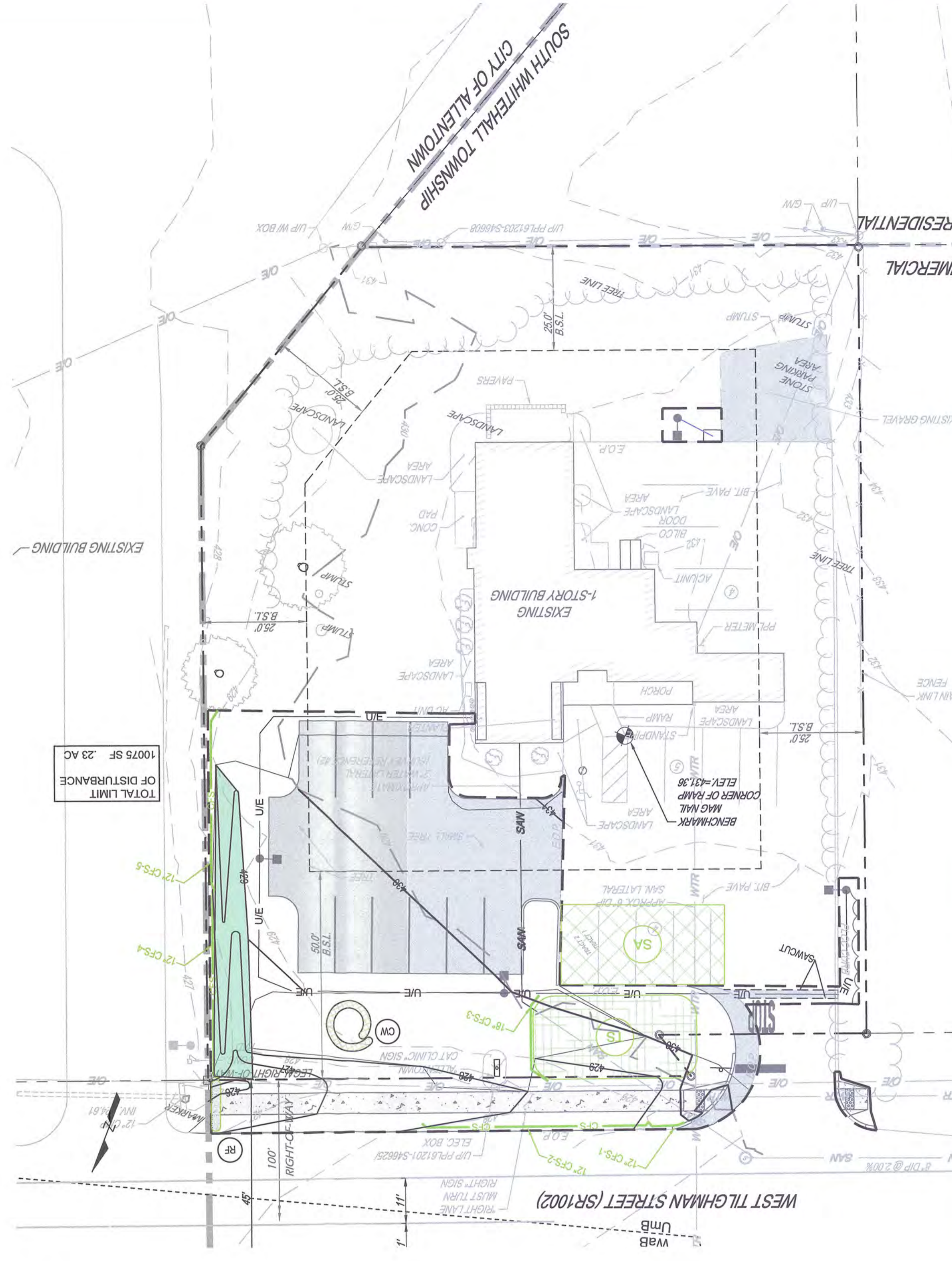
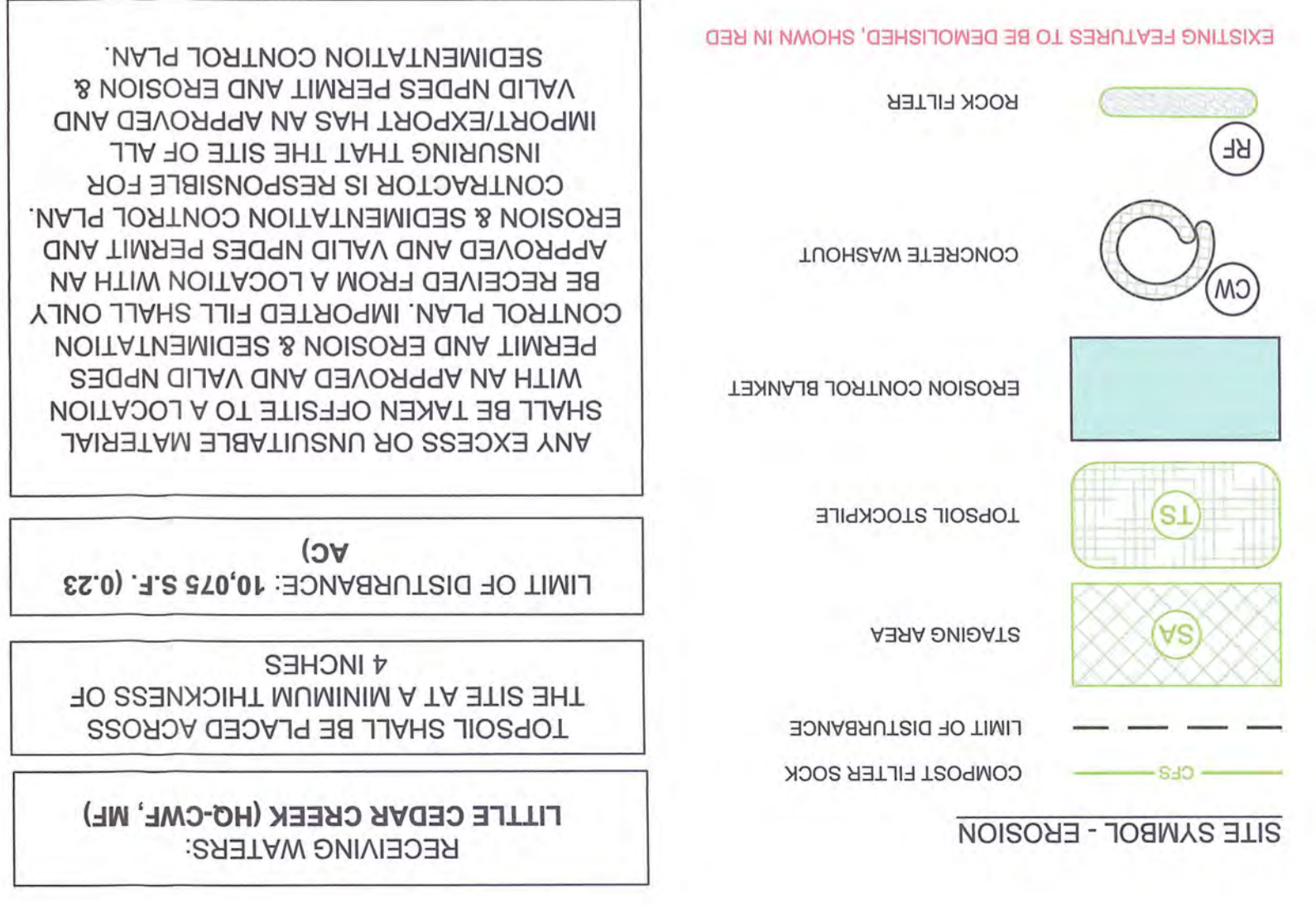
**PARKING LOT EXPANSION**  
 SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
 FOR  
**ALLENTOWN CAT CLINIC, PC**  
**LANDSCAPING PLAN**

SCALE:	DATE:
1"=20'	05/09/2023
DRAWN: AB	DSGN: AB
JOB: 23-CATCL-01	P MGR: JS
SHEET: 6 OF 11	

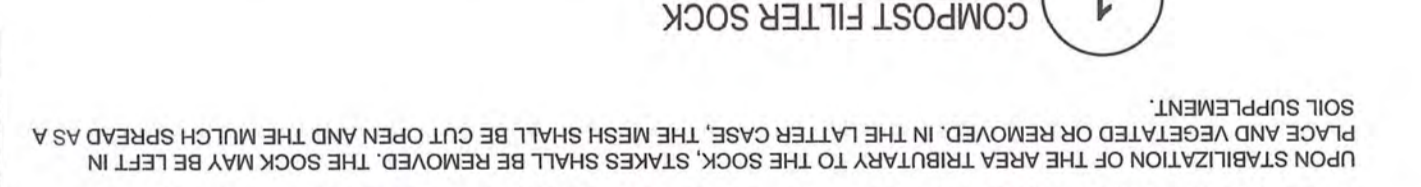
**LSP-1**

**acela**  
 architects + engineers  
 acela architects + engineers, pc  
 2655 Worreman Ave.  
 Allentown, PA 18103  
 office: 610.565.4023  
 website: www.acela-se.com  
 email: info@acela-se.com

AB	
7/19/2024	
1. REVISED PER TOWNSHIP AND PENNDOT COMMENTS	



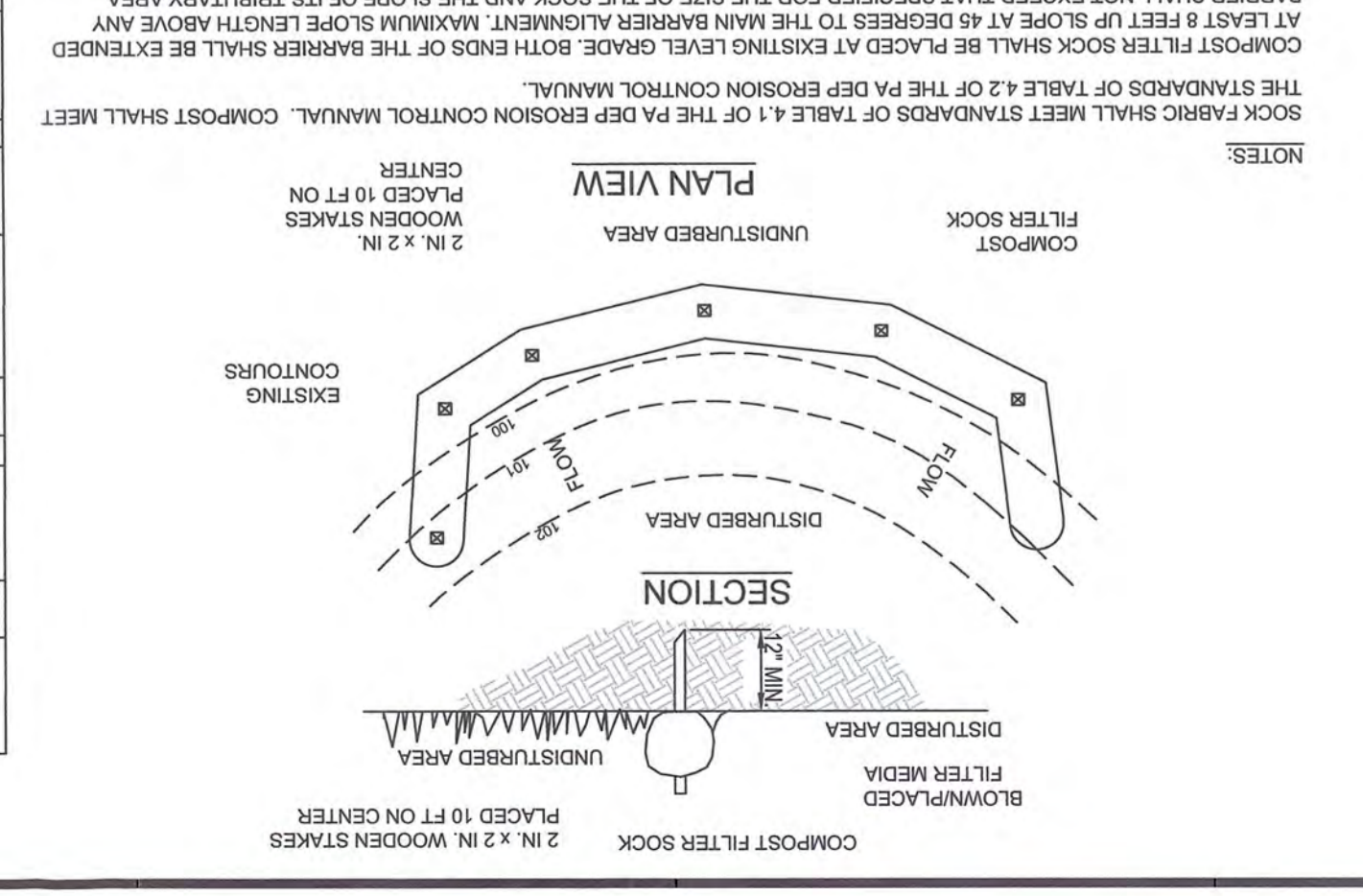
1. SOURCE: PAPER EROSION AND SEDIMENTATION POLLUTION CONTROL PROGRAM MANUAL



**NOTES:**

- SOCK FABRICS SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
- COMPPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE BUILT ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
- TRAPPIES SHALL NOT BE PERMITTED TO CROSS COMPPOST FILTER SOCKS.
- ACUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- BIODEGRADABLE COMPPOST FILTER SOCKS SHALL BE REPLACED AFTER 8 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

2. SOURCE: PAPER EROSION AND SEDIMENTATION POLLUTION CONTROL PROGRAM MANUAL



3. SOURCE: PAPER EROSION AND SEDIMENTATION POLLUTION CONTROL PROGRAM MANUAL



**COMPOST FILTER SOCK CHART**

BARRIER NO.	SOCK SIZE	BARRIER LOCATION
1	12"	ALONG WEST TILGHMAN STREET
2	12"	ALONG WEST TILGHMAN STREET
3	18"	NEXT TO TOPSOIL STOCKPILE
4	12"	ALONG EAST PROPERTY LINE
5	12"	ALONG EAST PROPERTY LINE

**TABLE 4.1**  
COMPPOST SOCK FABRIC MINIMUM SPECIFICATIONS

MATERIAL TYPE	MULTIFILAMENT POLYPROPYLENE (MPFP)	PHOTO DEGRADABLE (PHOTO-DEGRADABLE)	PHOTO-DEGRADABLE (PHOTO-DEGRADABLE)	PHOTO-DEGRADABLE (PHOTO-DEGRADABLE)
MINIMUM FUNCTIONAL LENGTH	25% AT 1000 HR.	25% AT 1000 HR.	25% AT 1000 HR.	25% AT 1000 HR.
TENSILE STRENGTH	308	26 P.S.I.	26 P.S.I.	26 P.S.I.
SOCK DIAMETERS	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"

**TABLE 4.2**  
COMPPOST STANDARDS

COMPONENT	STANDARD
ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
MATERIAL CONTENT	5-8 P.P.T
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 30# SIEVE
WASHOUT CAPACITY	2.0 GPM (MINIMUM) MAXIMUM

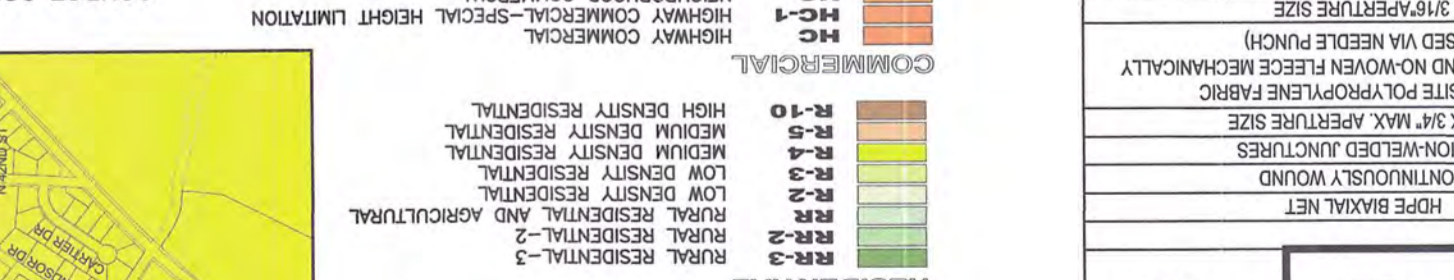
**TABLE 4.3**  
SOCK FABRICS COMPOSED OF BURIAL MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.

FILTRATE & AMD	3 MONTHS	6 MONTHS	9 MONTHS	12 MONTHS
MINIMUM FUNCTIONAL LENGTH	25% AT 1000 HR.	25% AT 1000 HR.	25% AT 1000 HR.	25% AT 1000 HR.
TENSILE STRENGTH	308	26 P.S.I.	26 P.S.I.	26 P.S.I.
SOCK DIAMETERS	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"

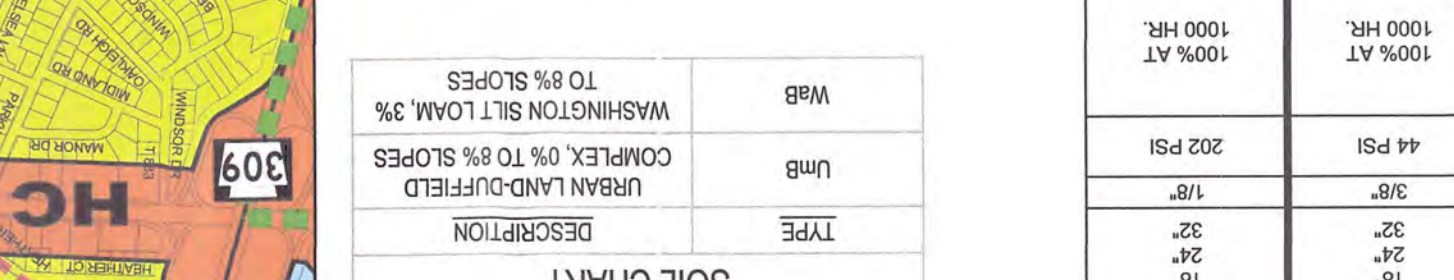
4. SOURCE: PAPER EROSION AND SEDIMENTATION POLLUTION CONTROL PROGRAM MANUAL



6. SOURCE: PAPER EROSION AND SEDIMENTATION POLLUTION CONTROL PROGRAM MANUAL



7. SOURCE: PAPER EROSION AND SEDIMENTATION POLLUTION CONTROL PROGRAM MANUAL



8. SOURCE: PAPER EROSION AND SEDIMENTATION POLLUTION CONTROL PROGRAM MANUAL



9. SOURCE: PAPER EROSION AND SEDIMENTATION POLLUTION CONTROL PROGRAM MANUAL

DATE: 05/09/2023  
DRAWN: AB  
JOB: 23-CAT-01  
JOB: 23-CAT-01  
SHEET: 7 OF 11  
SCALE: 1"=20'

**EROSION & SEDIMENTATION CONTROL PLAN**

**PRELIMINARY/ FINAL PLAN**

**PARKING LOT EXPANSION**  
SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
FOR  
**ALENTOWN CAT CLINIC, PC**

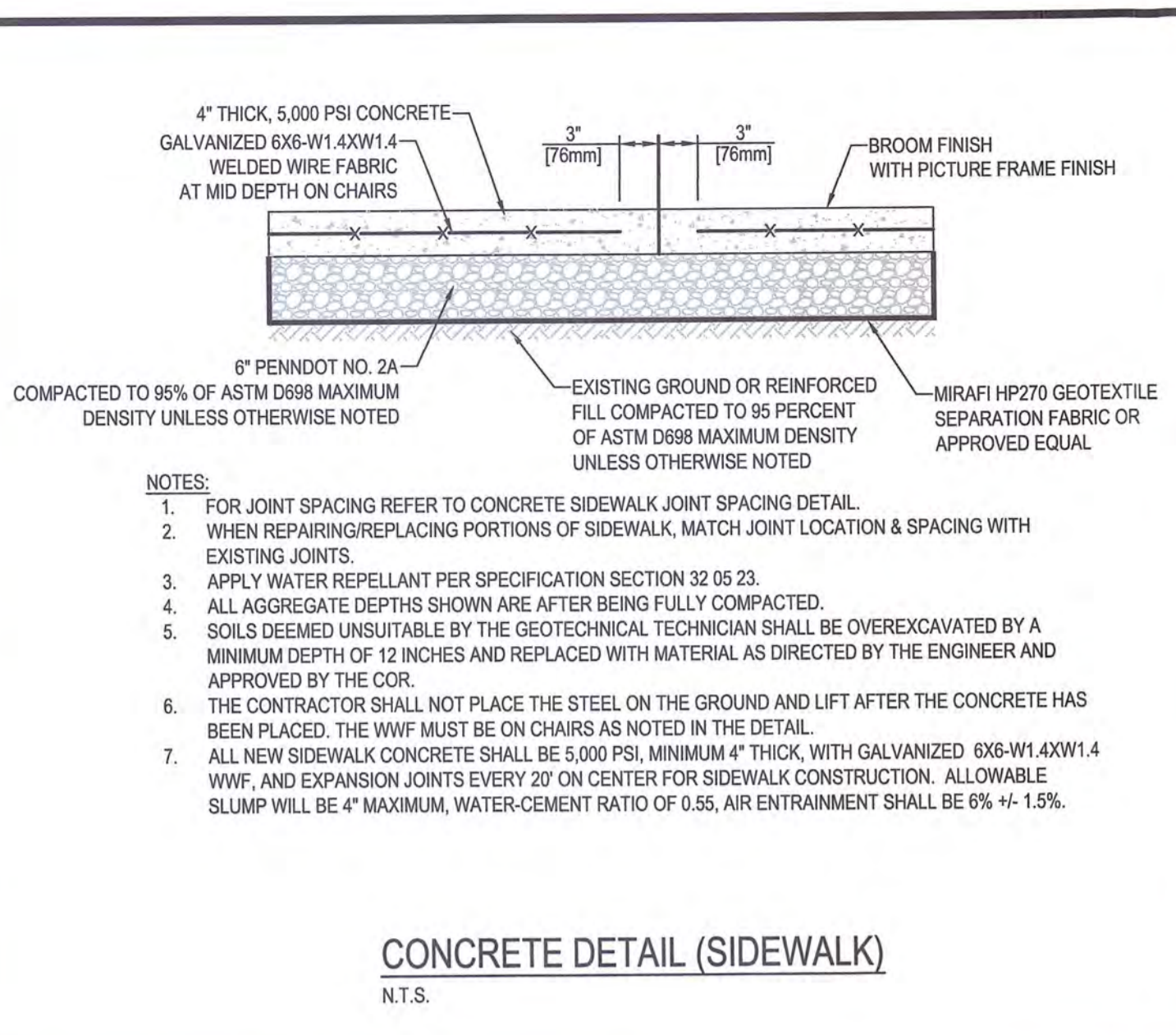
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**acela architects + engineers**  
2633 Moravian Ave. Allentown, PA 18103

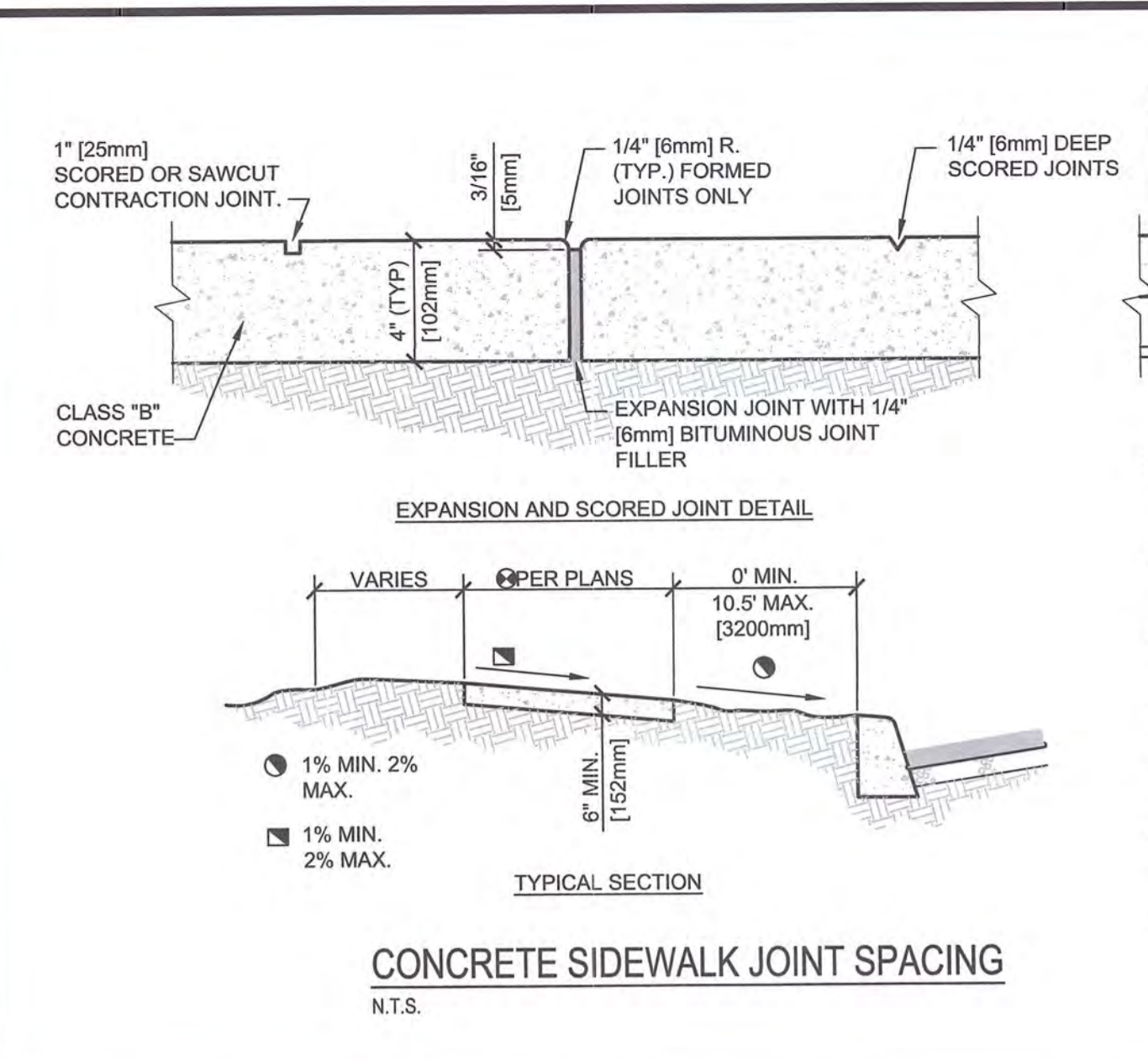
OFFICE: 610.265.4023  
WWW.ACELA-EE.COM

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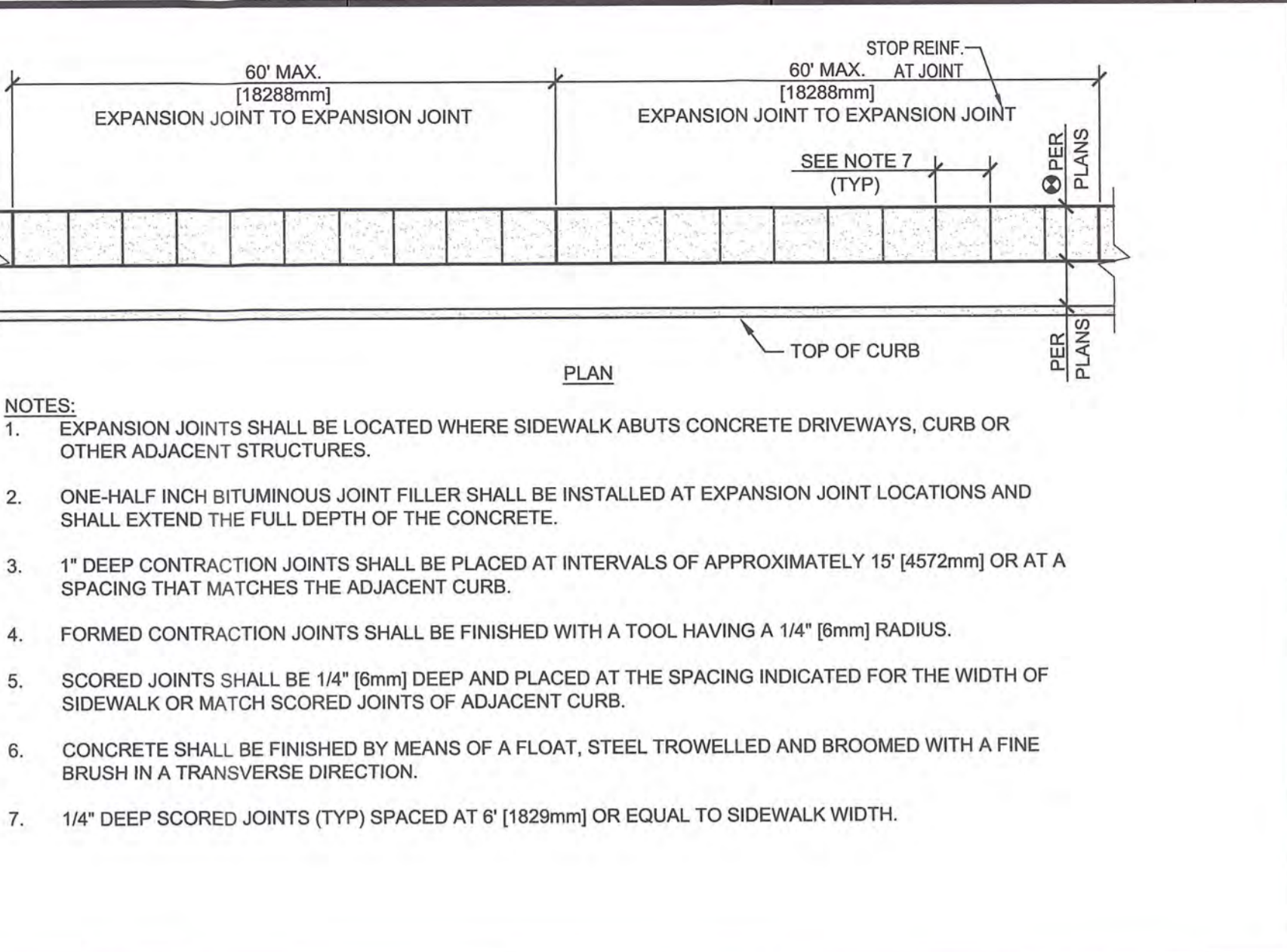




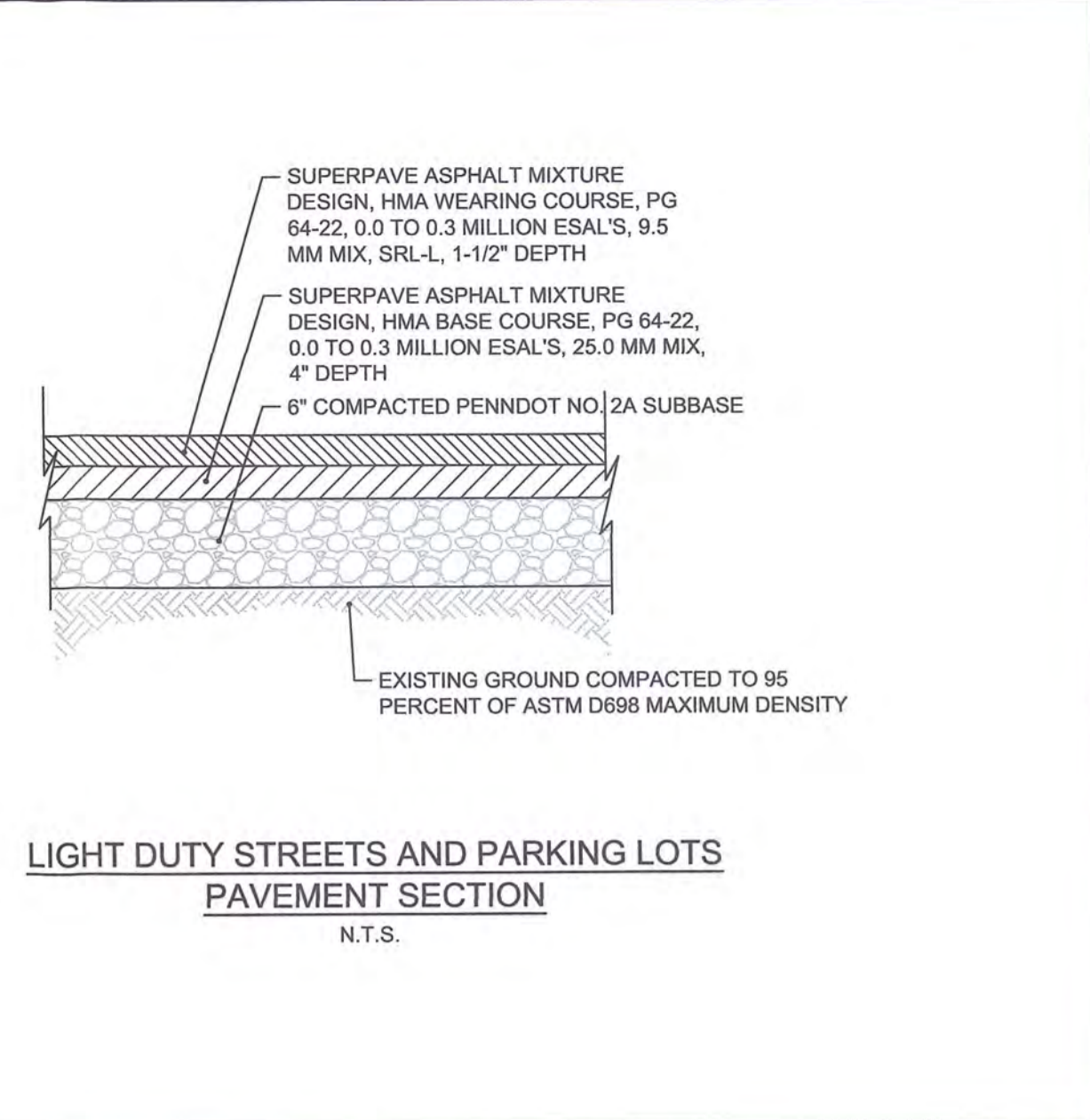
**CONCRETE DETAIL (SIDEWALK)**  
N.T.S.



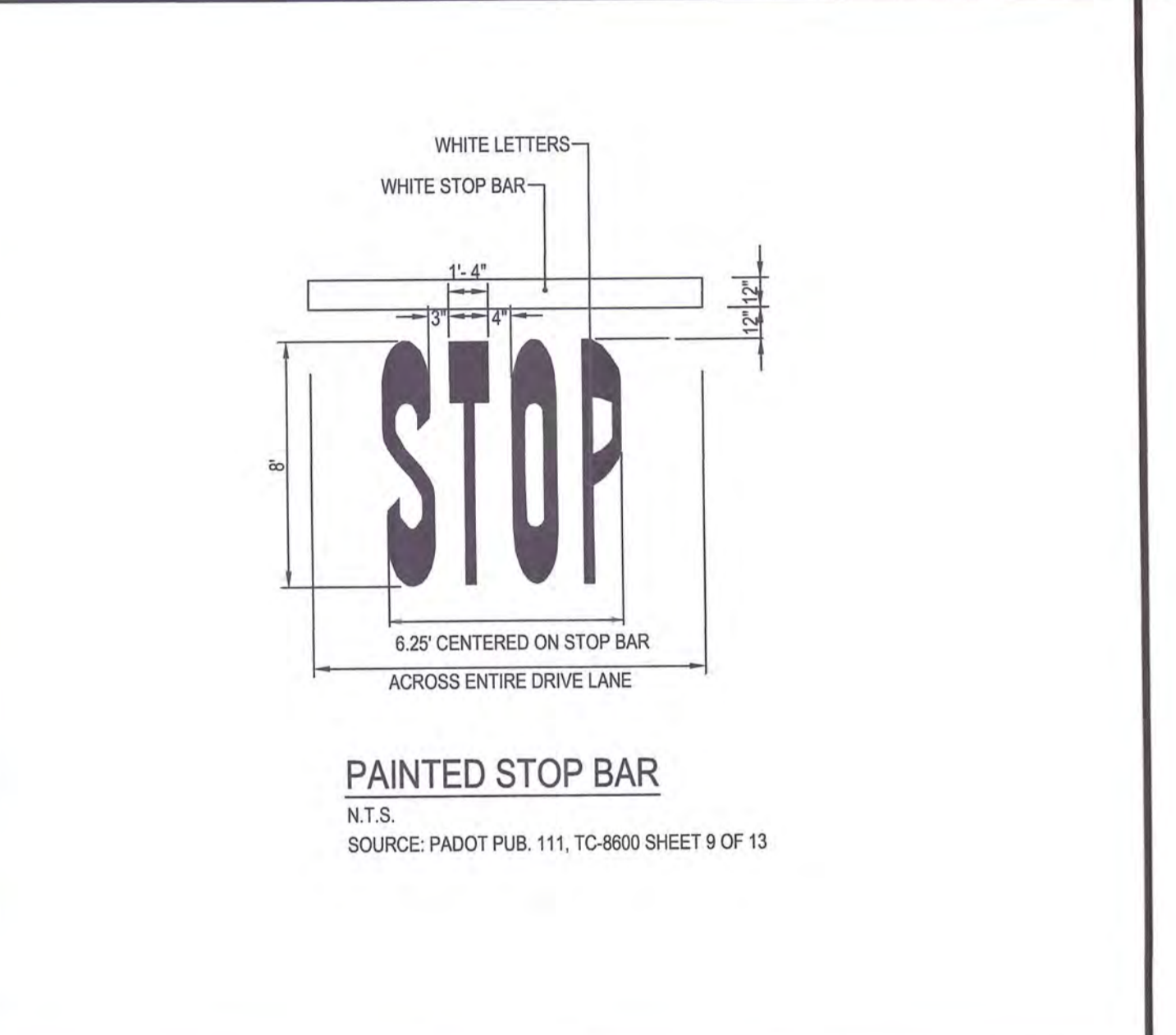
**CONCRETE SIDEWALK JOINT SPACING**  
N.T.S.



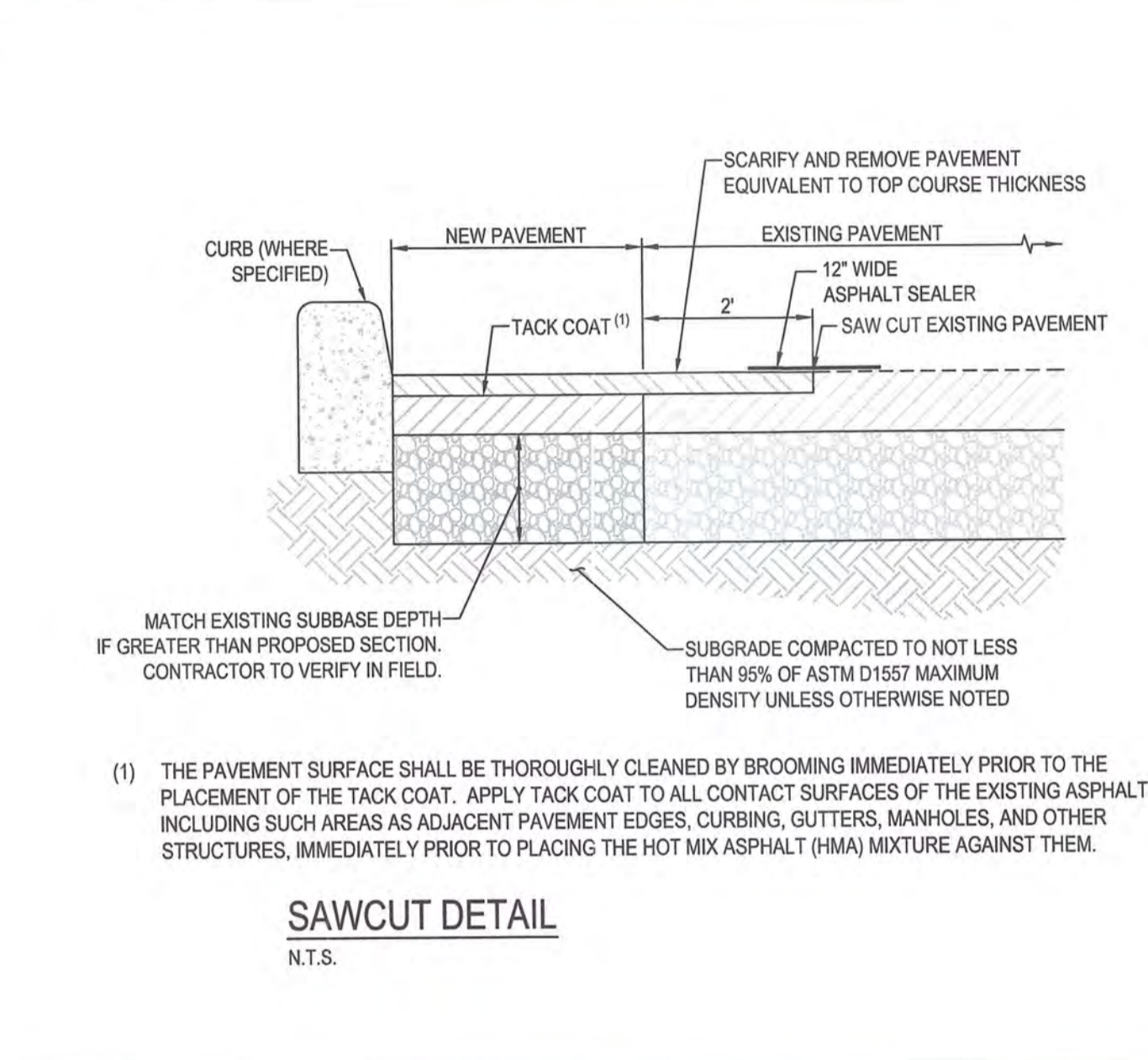
- NOTES:**
- EXPANSION JOINTS SHALL BE LOCATED WHERE SIDEWALK ABUTS CONCRETE DRIVEWAYS, CURB OR OTHER ADJACENT STRUCTURES.
  - ONE-HALF INCH BITUMINOUS JOINT FILLER SHALL BE INSTALLED AT EXPANSION JOINT LOCATIONS AND SHALL EXTEND THE FULL DEPTH OF THE CONCRETE.
  - 1\"/>



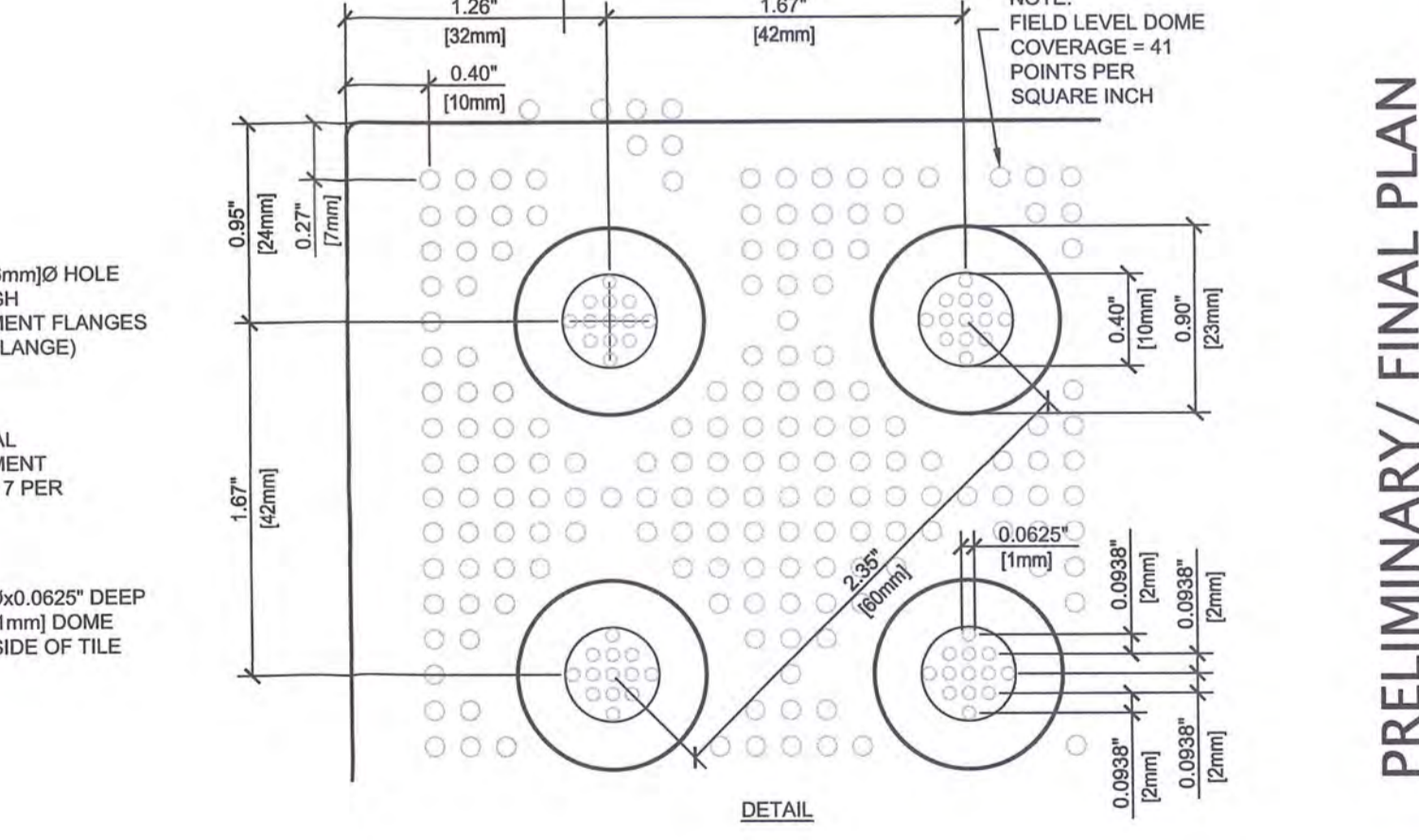
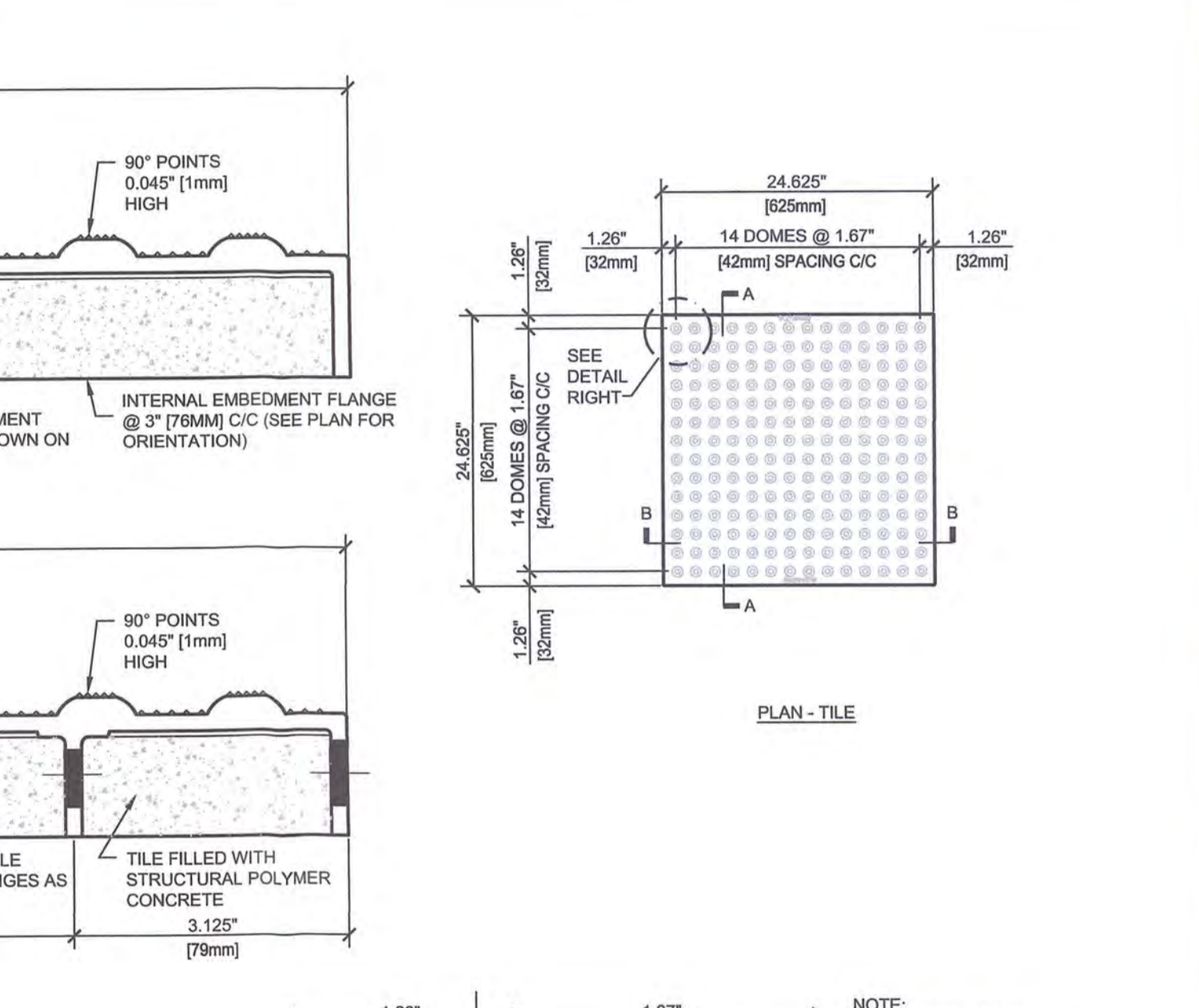
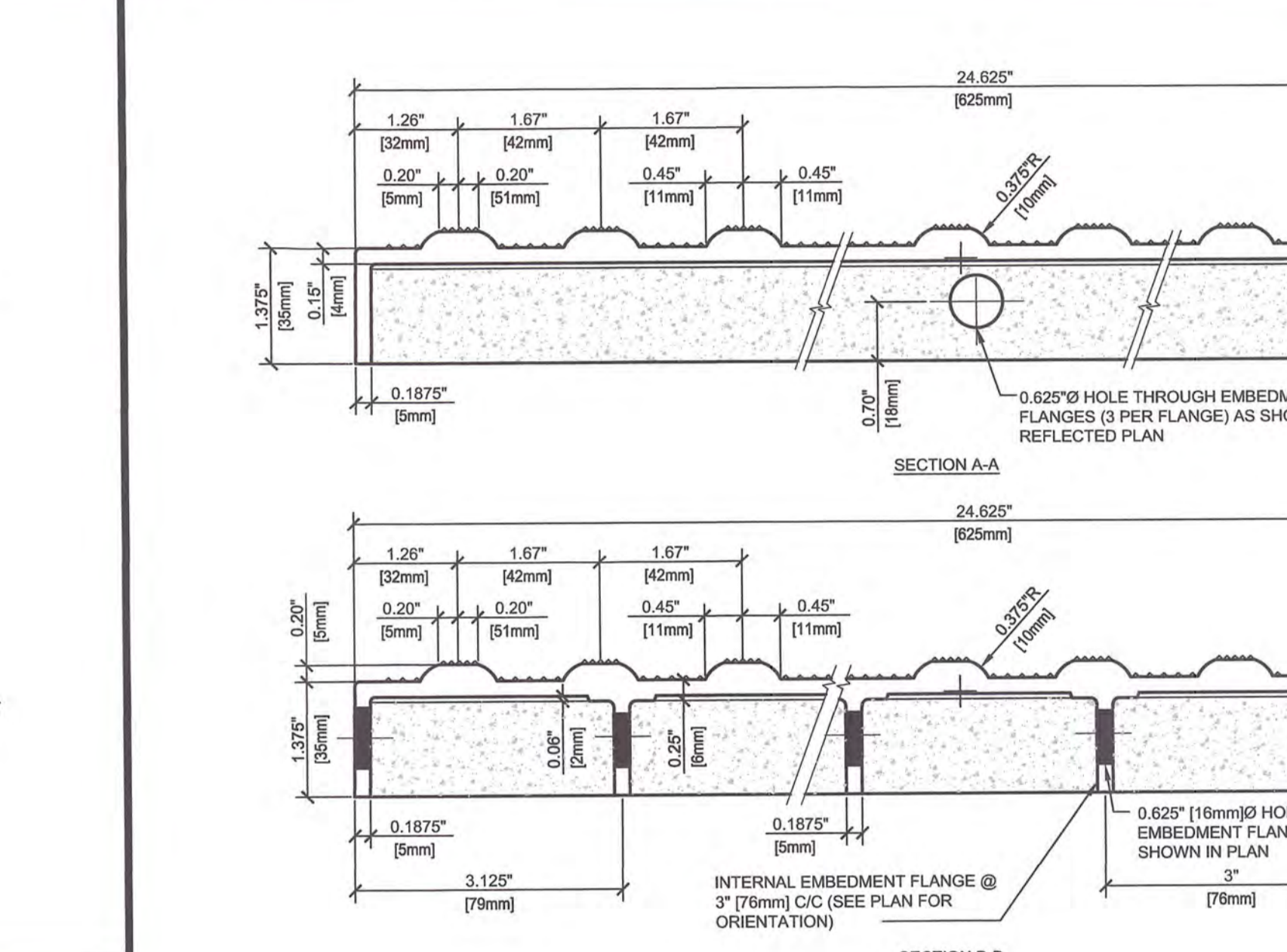
**LIGHT DUTY STREETS AND PARKING LOTS PAVEMENT SECTION**  
N.T.S.



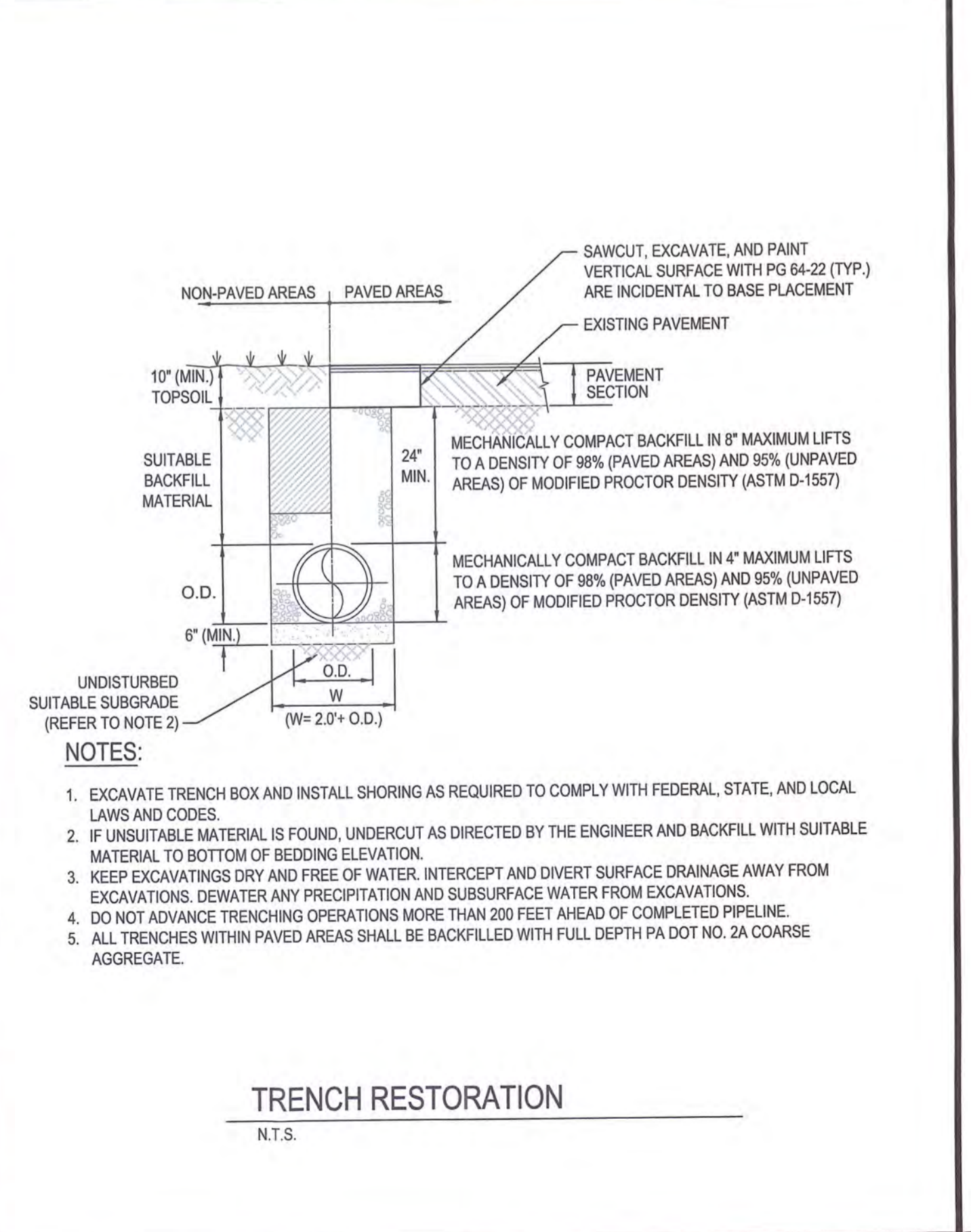
**PAINTED STOP BAR**  
N.T.S.  
SOURCE: PADOT PUB. 111, TC-8600 SHEET 9 OF 13



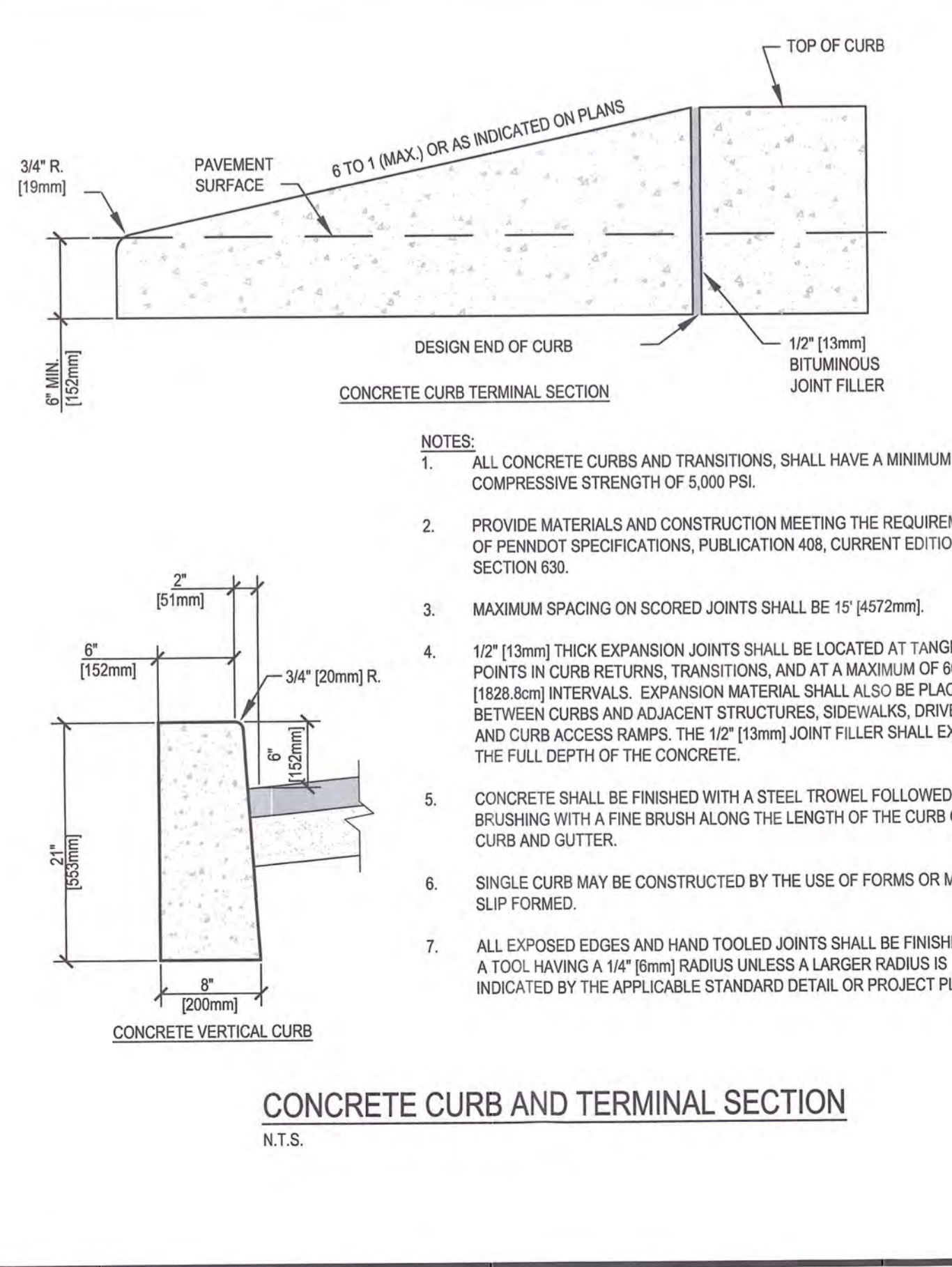
**SAWCUT DETAIL**  
N.T.S.



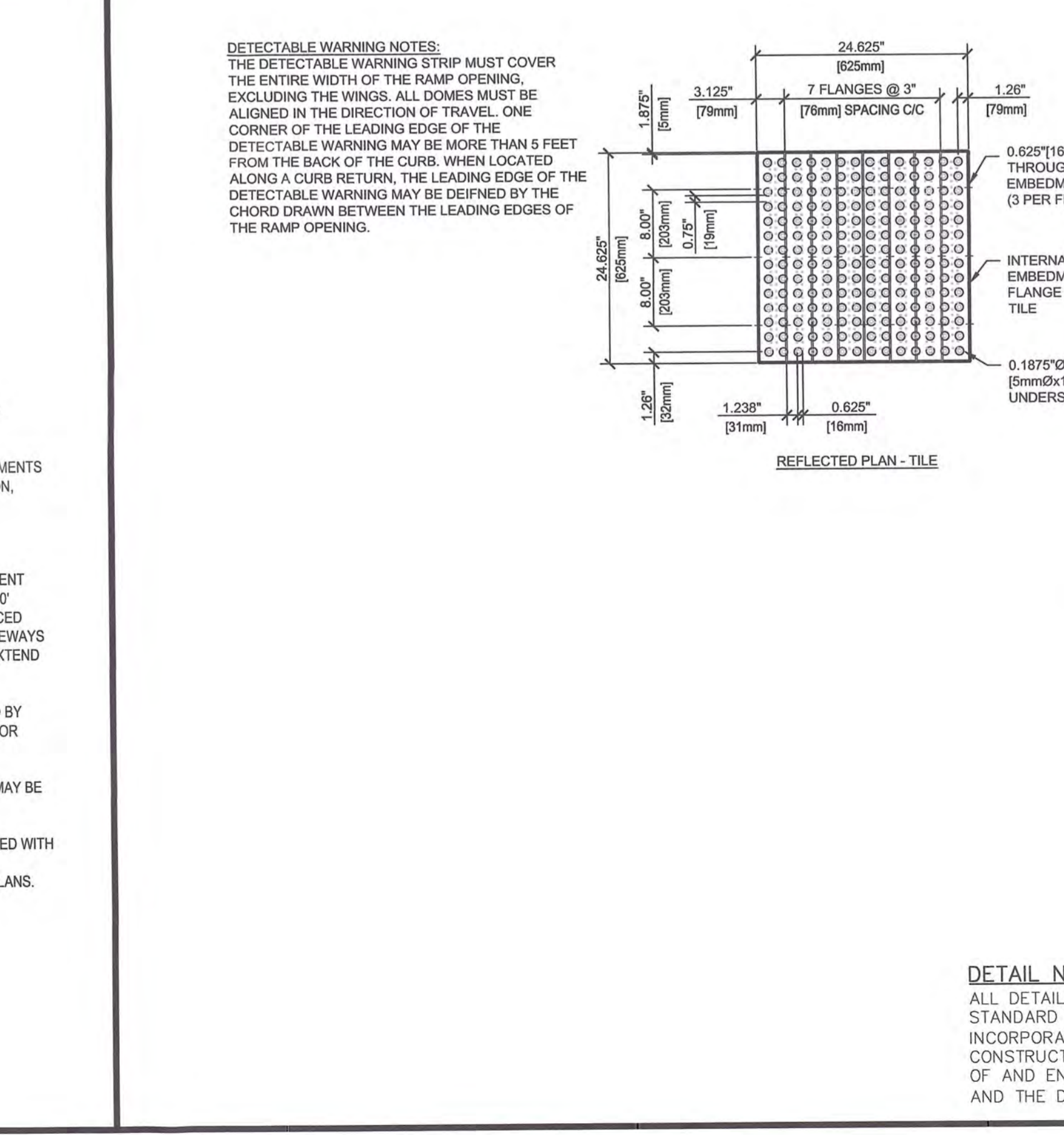
**TRUNCATED DONE TACTILE WARNING STRIP**  
N.T.S.



**TRENCH RESTORATION**  
N.T.S.



**CONCRETE CURB AND TERMINAL SECTION**  
N.T.S.



- DETECTABLE WARNING NOTES:**  
THE DETECTABLE WARNING STRIP MUST COVER THE ENTIRE WIDTH OF THE RAMP OPENING, EXCLUDING THE WINGS. ALL DOMES MUST BE ALIGNED IN THE DIRECTION OF TRAVEL. ONE CORNER OF THE LEADING EDGE OF THE DETECTABLE WARNING MAY BE MORE THAN 5 FEET FROM THE BACK OF THE CURB. WHEN LOCATED ALONG A CURB RETURN, THE LEADING EDGE OF THE DETECTABLE WARNING MAY BE DEFINED BY THE CHORD DRAWN BETWEEN THE LEADING EDGES OF THE RAMP OPENING.

- NOTES:**
- ALL CONCRETE CURBS AND TRANSITIONS, SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI.
  - PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PENNDOT SPECIFICATIONS, PUBLICATION 408, CURRENT EDITION, SECTION 630.
  - MAXIMUM SPACING ON SCORED JOINTS SHALL BE 15' [4572mm].
  - 1/2\"/>

**DETAIL NOTE:**  
ALL DETAILS CONTAINED WITHIN THESE PLANS ARE A MINIMUM STANDARD FOR ALL CONSTRUCTION WITHIN THE TOWNSHIP AND THAT INCORPORATION OF PORTIONS OR ALL OF THE TOWNSHIP'S STANDARD CONSTRUCTION DETAILS ON THE PLANS CONSTITUTES AN ACCEPTANCE OF AND ENDORSEMENT OF THOSE STANDARDS BY THE DEVELOPER AND THE DEVELOPER'S ENGINEER.

**811**  
Know what's below.  
Call before you dig.  
SITE SERIAL #20230801991  
NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES  
SLANTED TEXT INDICATES EXISTING FEATURES

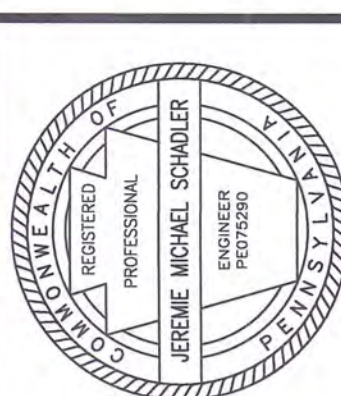
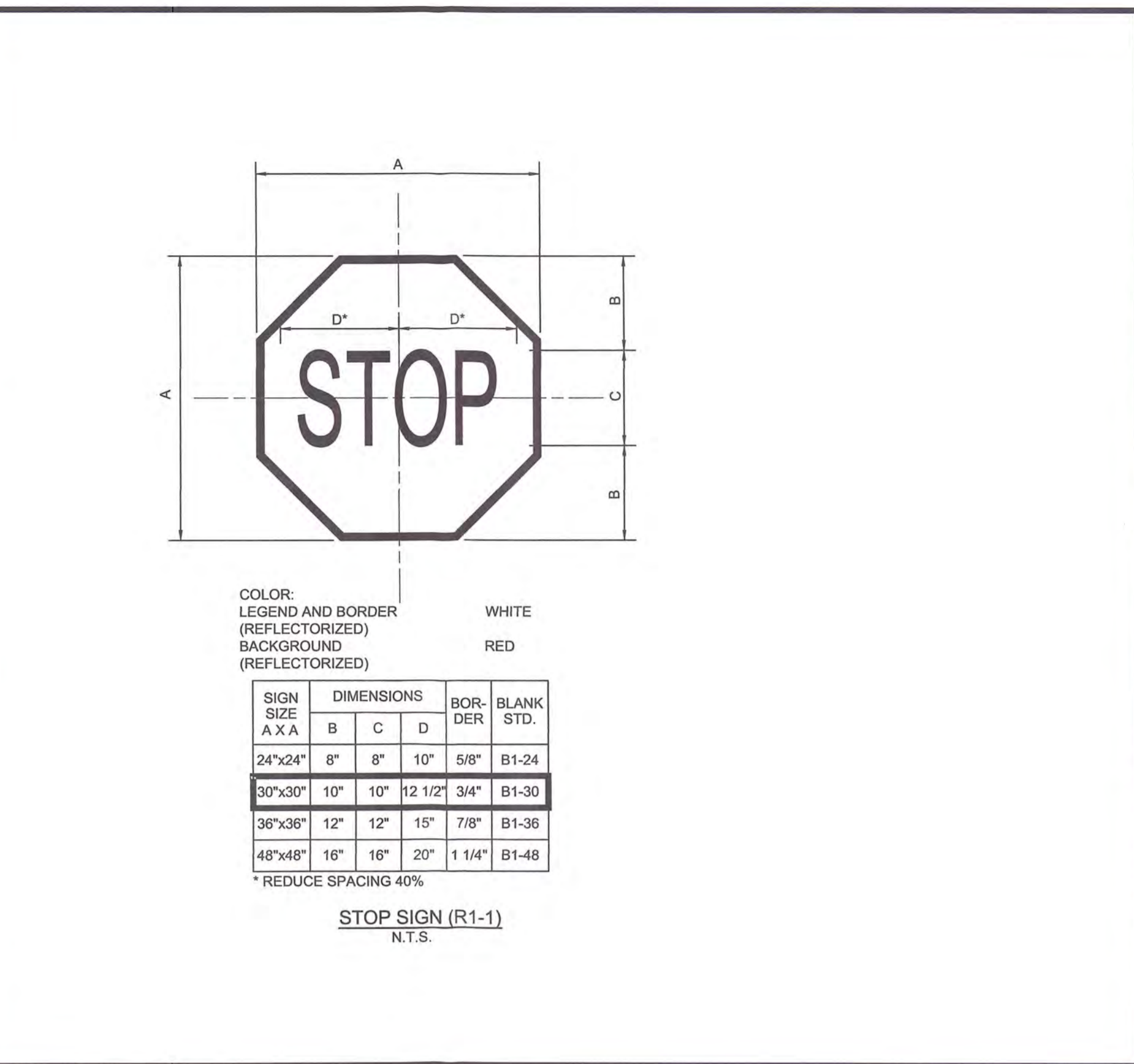
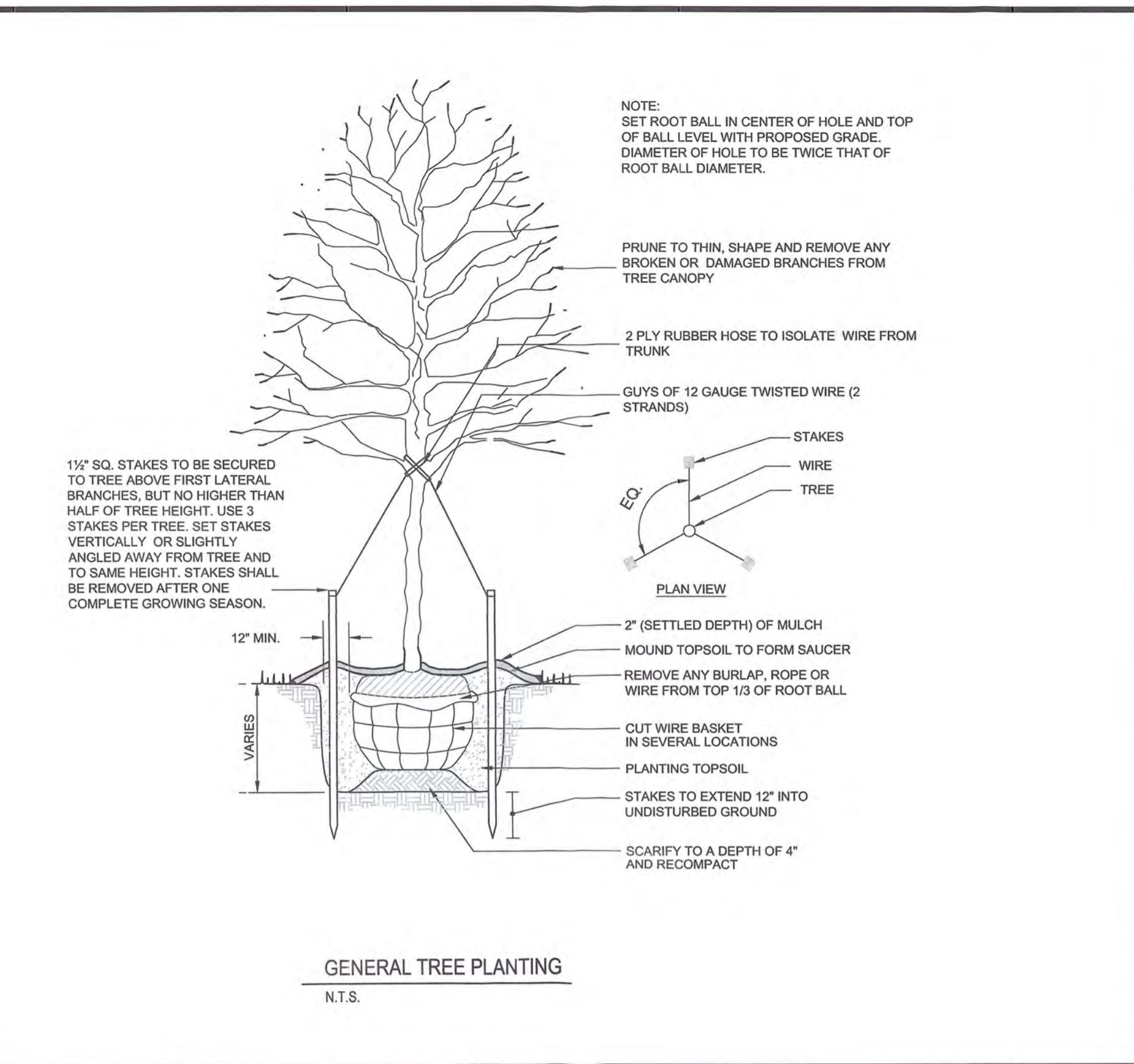
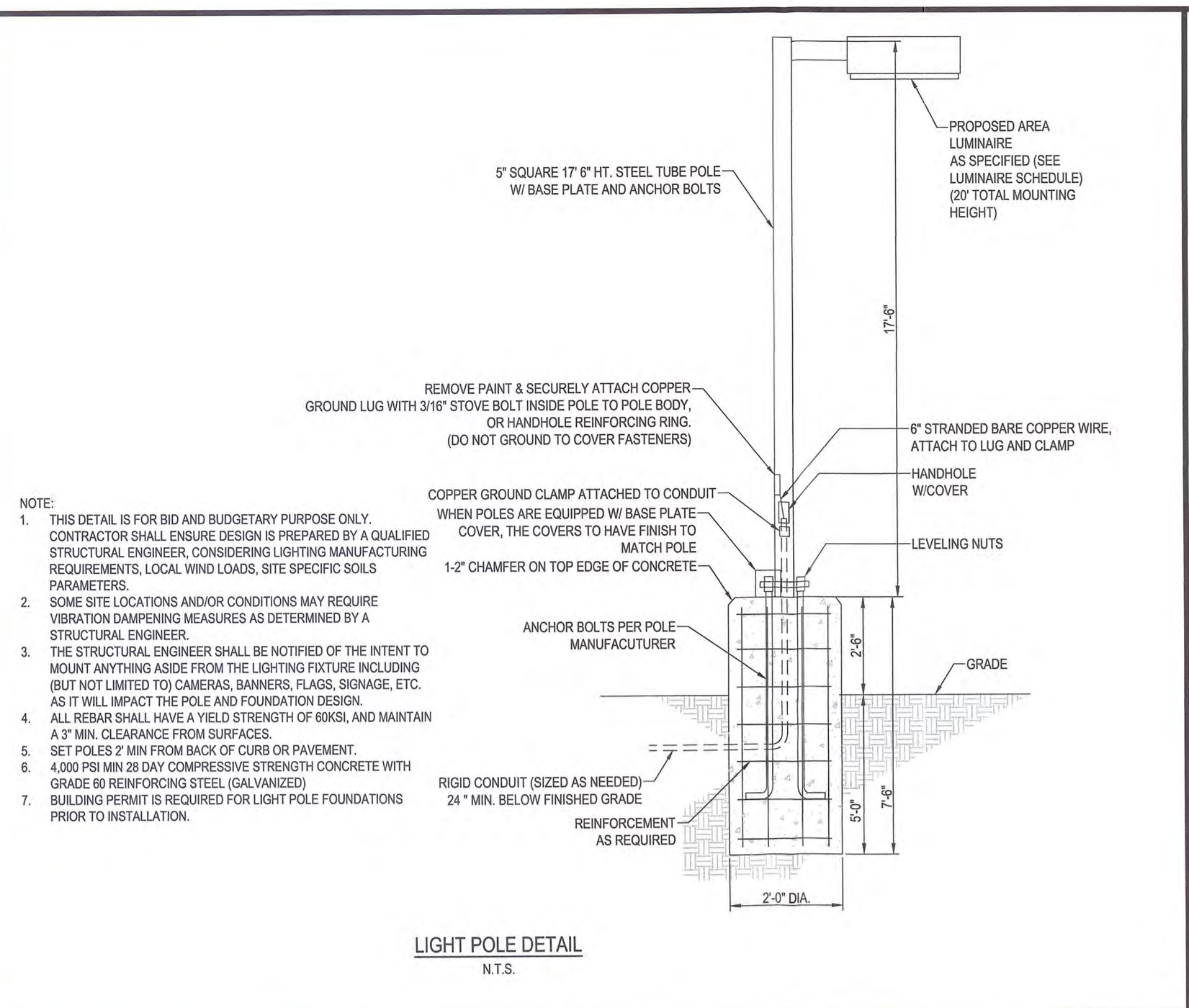
**acela**  
architects + engineers  
acela architects + engineers, pc  
2653 Moravian Ave.  
Allentown, PA 18103  
office: 610.365.4023  
website: www.acela-se.com  
email: info@acela-se.com

AB  
7/19/2024  
1. REVISED PER TOWNSHIP AND PENNDOT COMMENTS

**PRELIMINARY/ FINAL PLAN**  
**PARKING LOT EXPANSION**  
SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
FOR  
**ALLENTOWN CAT CLINIC, PC**  
**CONSTRUCTION DETAILS**  
SCALE: 1"=20'  
DATE: 05/09/2023  
DRAWN: AB  
JOB: 23-CATCL-01  
SHEET: 9 OF 11  
DE-1

xrefs: \\23-CATCL-01\_24x36\_TB [Legend-General] [ENG-SEAL-JMS\_PA] \*\*acela architects + engineers, pc\*\* - USER: abartels  
02\_LayoutPlan\_Details.dwg->DE-1 CONSTRUCTION DETAILS Date: August 06, 2024 7:49pm

xrefs:--[23-CATCL-01\_24x36\_TB] [Legend-General] [ENG-SEAL-JMS\_PA] 02\_LayoutPlan\_Details.dwg--DE-2 CONSTRUCTION DETAILS Date: August 06, 2024-7:50pm \*\*acela architects + engineers, pc\*\*-- USER: abartels



**acela**  
architects + engineers  
acela architects + engineers, pc  
610.365.4023  
www.acela-ae.com  
2633 Moravian Ave.  
Allentown, PA 18103  
info@acela-ae.com

1. REVISED PER TOWNSHIP AND PENNDOT COMMENTS 7/19/2024  
AB

PRELIMINARY/ FINAL PLAN

PARKING LOT EXPANSION  
SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
FOR  
ALLEN TOWN CAT CLINIC, PC  
CONSTRUCTION DETAILS



Know what's below.  
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SITE SERIAL #20230801991

NOTE:  
VERTICAL TEXT INDICATES PROPOSED FEATURES  
SLANTED TEXT INDICATES EXISTING FEATURES

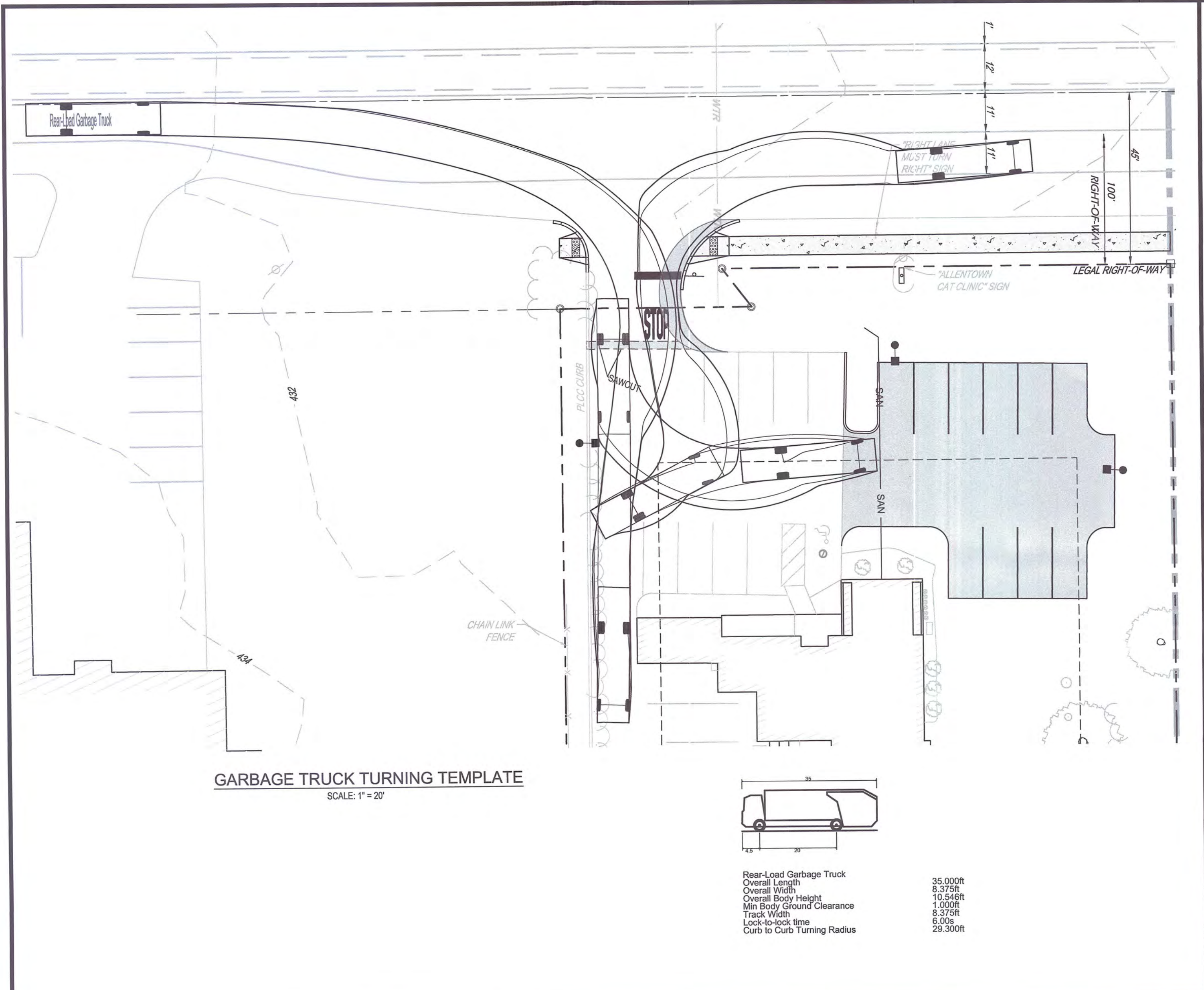
SCALE: 1"=20'  
DATE: 05/09/2023  
DRAWN: AB  
DSGN: AB  
JOB: 23-CATCL-01  
P MGR: JS

SHEET: 10 OF 11

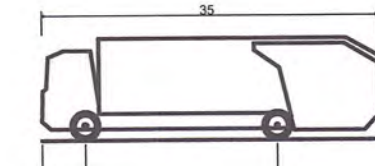
DE-2

© 2023

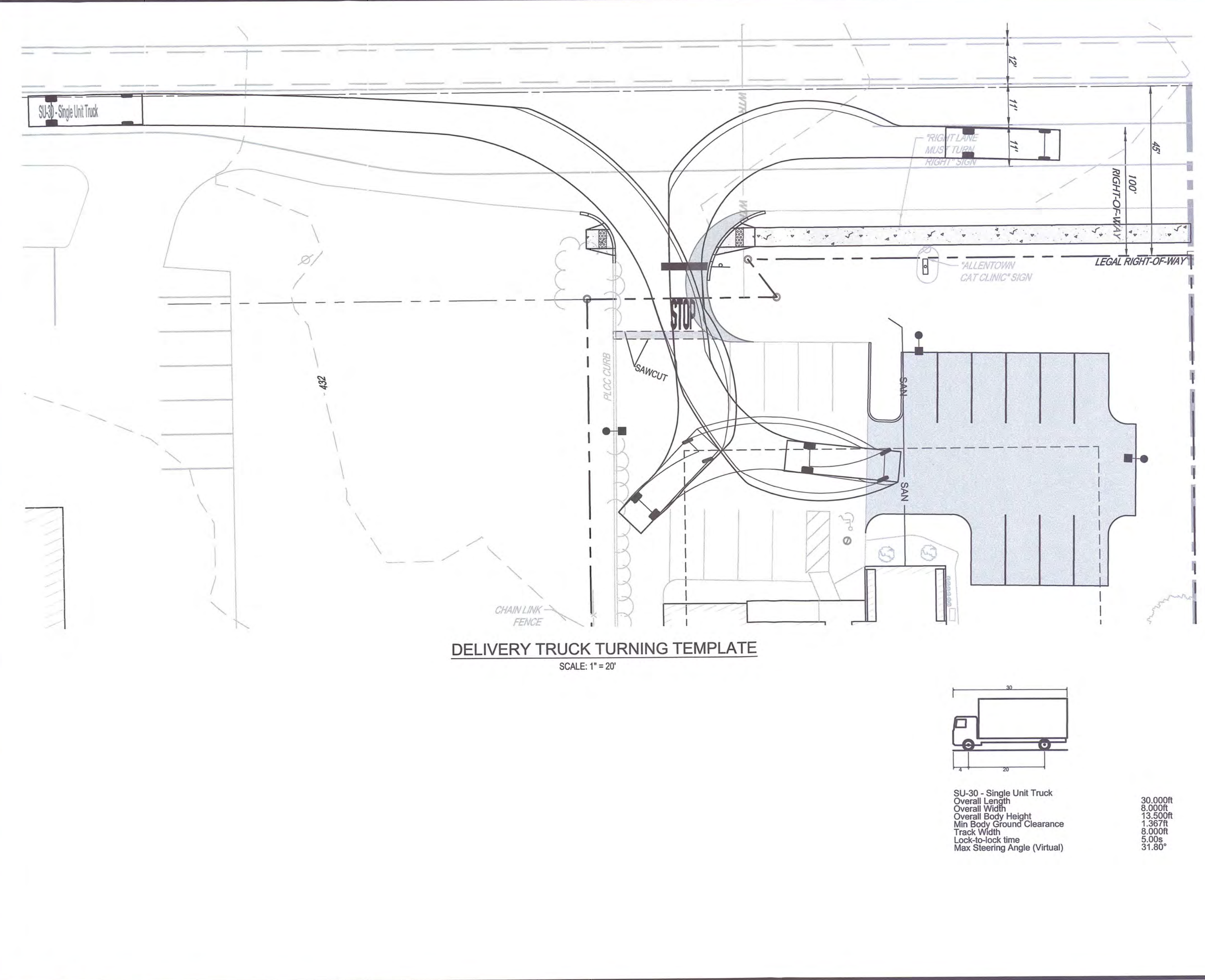
xrefs: \\23-CATCL-01\_Base [23-CATCL-01\_BaseOthers] [23-CATCL-01\_24x36\_TB] [23-CATCL-01\_Layout\_NEW] [ENG-SEAL-IMS\_PA] 03\_TurningTemplates.dwg->TT-1 TURNING TEMPLATE Date: August 06, 2024 7:52pm \*\*acela architects + engineers, pc\*\* - USER: abartels



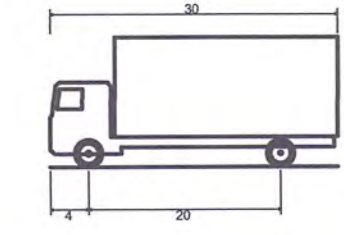
**GARBAGE TRUCK TURNING TEMPLATE**  
SCALE: 1" = 20'



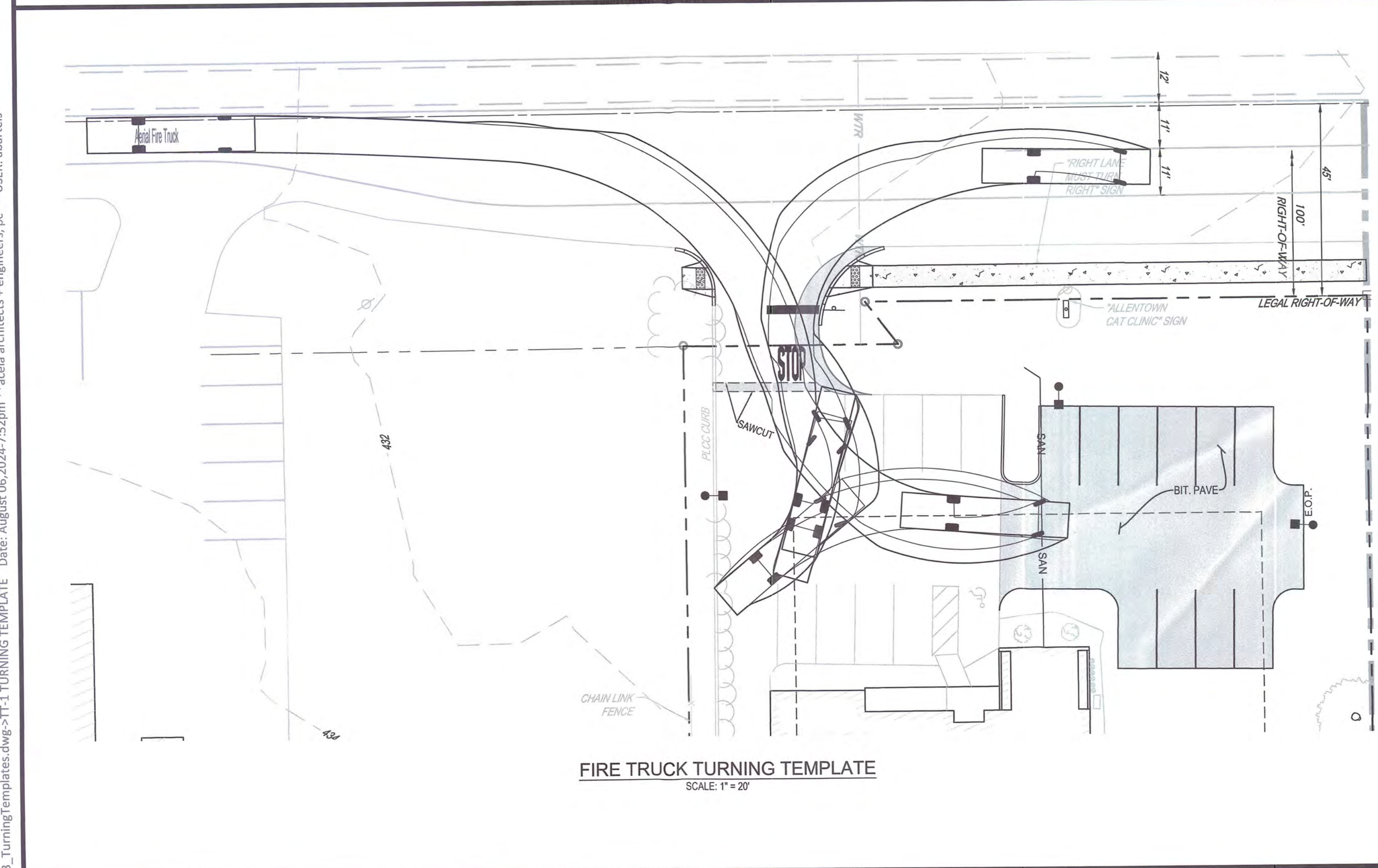
Rear-Load Garbage Truck  
Overall Length 35.000ft  
Overall Width 8.375ft  
Overall Body Height 10.546ft  
Min Body Ground Clearance 1.000ft  
Track Width 8.375ft  
Lock-to-lock time 6.00s  
Curb to Curb Turning Radius 28.300ft



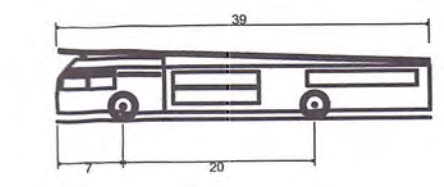
**DELIVERY TRUCK TURNING TEMPLATE**  
SCALE: 1" = 20'



SU-30 - Single Unit Truck  
Overall Length 30.000ft  
Overall Width 8.000ft  
Overall Body Height 13.500ft  
Min Body Ground Clearance 1.367ft  
Track Width 8.000ft  
Lock-to-lock time 5.00s  
Max Steering Angle (Virtual) 31.80°



**FIRE TRUCK TURNING TEMPLATE**  
SCALE: 1" = 20'



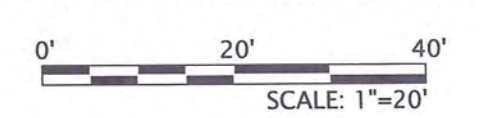
Aerial Fire Truck  
Overall Length 39.000ft  
Overall Width 8.167ft  
Overall Body Height 7.500ft  
Min Body Ground Clearance 0.750ft  
Track Width 8.167ft  
Lock-to-lock time 5.00s  
Max Wheel Angle 45.00°



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SITE SERIAL #20230801991

NOTE:  
VERTICAL TEXT INDICATES PROPOSED FEATURES  
SLANTED TEXT INDICATES EXISTING FEATURES



PRELIMINARY/ FINAL PLAN

PARKING LOT EXPANSION  
SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
FOR  
ALLEN TOWN CAT CLINIC, PC  
TURNING TEMPLATE

SCALE: 1"=20'	DATE: 05/09/2023
DRAWN: AB	DSCN: AB
JOB: 23-CATCL-01	P MGR: JS

SHEET: 11 OF 11

TT-1

acela architects + engineers, pc  
office: 610.365.4023  
2633 Moravian Ave.  
Allentown, PA 18103  
www.acela-aec.com  
info@acela-aec.com

1. REVISED PER TOWNSHIP AND PERINDOT COMMENTS	7/19/2024	AB
---	-----------	----



# Township Engineer Review

# THE PIDCOCK COMPANY

CIVIL ENGINEERING AND LAND PLANNING

ARCHITECTURE

LAND SURVEYING

Oxford Drive at Fish Hatchery Road  
2451 Parkwood Drive Allentown, Pennsylvania 18103-9608  
Telephone: 610-791-2252  
Telefacsimile: 610-791-1256  
E-mail: info@pidcockcompany.com  
Website: www.pidcockcompany.com

Established 1924  
J. Scott Pidcock, P.E., R.A.

Bruce E. Anderson, P.E., LEED AP  
Brian A. Dillman, P.E.  
Ronald J. Gawlik, P.E.  
Brian E. Harman, P.E., PTOE  
James A. Rothdeutsch, P.E., LEED AP  
John R. Russek, Jr., P.E.  
Brent C. Tucker, P.E.

Douglas E. Haberbosch, P.E.  
William G. Kmetz, P.L.S.  
Jeffrey R. Matyus  
John M. McRoberts, P.E.  
Brent D. Shriver, P.E.  
Todd L. Sonntag, R.A., LEED AP  
Anthony F. Tallarida, P.E.  
Ryan R. Troutman, P.E.

G. Edwin Pidcock, P.E., P.L.S. 1924-1967  
John S. Pidcock, P.E., P.L.S. 1954-1999  
Ralph M. Pidcock, P.L.S. 1952-2000 (Retired)

## MEMORANDUM

**TO:** Mr. David Manhardt, AICP via e-mail  
Director of Community Development  
South Whitehall Township

**FROM:** Mr. Anthony F. Tallarida, PE  
Manager, Municipal Engineering Services

**SUBJECT:** South Whitehall Township  
Allentown Cat Clinic  
Major Plan #2023-102  
Preliminary/Final Plan Review

**DATE:** September 5, 2024

**COPIES:** Mr. Thomas R. Petrucci, MPA  
Township Manager  
South Whitehall Township

Mr. Herb Bender  
Director of Township Operations  
South Whitehall Township

Mr. Mike Elias  
Public Works Utility and MS4 Program Coordinator  
South Whitehall Township

Ms. Tracy J.B. Fehnel  
Insurance Administrator & Executive Assistant  
South Whitehall Township

Ms. Laura M. Harrier, BCO  
Building Code Official/Zoning Officer  
South Whitehall Township

Mr. John G. Frantz, CFEI, BCO  
Fire Marshal, Building Code Official  
South Whitehall Township

Joseph A. Zator, II, Esq.  
South Whitehall Township Solicitor  
Zator Law

Jennifer R. Alderfer, Esq.  
Assistant South Whitehall Township Solicitor  
Zator Law

Mr. Jeremie Schadler, P.E.  
Acela Architects + Engineers, PC

David M. & Michele L. Paul  
Allentown Cat Clinic

(all via e-mail)

Mr. Ronald J. Gawlik, PE, Township Engineer

REPORT:

South Whitehall Township Ordinances:

Zoning Ordinance (ZO)

Subdivision and Land Development Ordinance (SALDO)

Stormwater Management Ordinance (SMO)

See attached list for documents reviewed.

Existing Lot:

0.7 acre lot;

2,600 s.f. building w/ 13 parking spaces;

10,850± s.f. of total impervious cover;

4 light poles;

Public Water and Sewer.

Proposal:

The Allentown Cat Clinic, located at 4090 West Tilghman Street, is proposing to add 10 parking spaces (approximately 3,500 s.f. of impervious cover) and corresponding parking lot lighting. The Plans also indicate paving an additional 600± s.f. of existing gravel to accommodate staff parking.

Waivers/Deferrals Granted:

None to date.

Recommendation:

Engineering approval recommended subject to the following comments being addressed.

jfw/laf

Enclosures

# THE PIDCOCK COMPANY

South Whitehall Township  
Allentown Cat Clinic  
Major Plan #2023-102  
Preliminary/Final Plan Review

September 5, 2024

## **REVIEW COMMENTS**

### **A. Planning**

1. In a letter dated August , 2024, the Design Engineer requested a waiver from SALDO 312-35(b) – A waiver from the requirement of providing curbing along Tilghman Street;

In the event a waiver is granted, update the waiver note on the Plans to list the date of approval.

### **B. General**

1. The Shade Tree Commission should determine the acceptability of the proposed landscaping, SALDO §312-12(b)(28) and §312-12(b)(36);
2. Provide a sign tabulation for existing and proposed signage;
3. Provide a north arrow on Sheet 2, SALDO §312-12(b)(11);
4. Show the proposed sanitary sewer connection on the Layout and Zoning Plan, SALDO §312-12(b)(34);
5. Provide a project narrative describing the proposal, SALDO §312-12(b)(40);
6. Dimension the proposed sidewalk on the Plans; and
7. Revise the eastern property line swale grading to provide a maximum side slope of 3 feet horizontal to 1 foot vertical, SALDO §312-35(b)(3)(A)(viii)(1)(B)(ii).

### **C. Policy and Information**

1. Provide copies of all correspondence, including all data submitted to outside agencies regarding required permits and approvals, to the Township and our office and list the status of these approvals on Note 12 (Sheet 1);
2. We note that the current submission includes the first sheet only of PennDOT correspondence for HOP Application No. 343110. We also have separately received correspondence for HOP Application No. 350637. To facilitate future review of the HOP materials, please add The Pidcock Company (PennDOT Business Partner ID 006676) to the HOP Application as an Engineer. At a minimum, add bharman@pidcockcompany.com as an additional contact;

3. We have not reviewed and would defer to the Township Fire Marshal and emergency response personnel regarding the acceptability of emergency access and fire protection requirements;
4. We defer to the Building Code Official for review of the adequacy of the existing handicapped parking spaces, appropriate signage/markings, ADA ramps/sidewalks, etc., as well as the need for additional amenities;
5. We defer to the Township Electrical Consultant for review of the proposed site lighting;
6. We defer to the Township Geotechnical Consultant for review of all geotechnical aspects of the design; and
7. Upon submission of plans for recording, all Statements and Certifications shall be signed and sealed/notarized as applicable, SALDO §312-14(b)(2).

The comments noted above are the result of our engineering review. We have not reviewed items associated with legal, zoning, geotechnical, lighting, water/sanitary sewerage systems, environmental, frontage streetscape improvements, building code, public safety, and other non-engineering issues, which should be reviewed by the appropriate Township Staff and Consultants.

# THE PIDCOCK COMPANY

South Whitehall Township  
Allentown Cat Clinic  
Major Plan #2023-102  
Preliminary/Final Plan Review

List of Plans and Supplemental Information  
Prepared by Acela Architects + Engineers, PC and  
dated or last revised July 17, 2024 (except as noted)

1. Title Sheet, Sheet 1 of 11;
2. Existing Features & Demolition Plan, Sheet 2 of 11 (cursory review only);
3. Layout & Zoning Plan, Sheet 3 of 11;
4. Grading & Utility Plan, Sheet 4 of 11;
5. Lighting Plan, Sheet 5 of 11 (cursory review only);
6. Landscape Plan, Sheet 6 of 11 (cursory review only);
7. Erosion & Sedimentation Control Plan, Sheet 7 of 11 (cursory review only);
8. Erosions & Sedimentation Control Details, Sheet 8 of 11 (cursory review only);
9. Construction Details, Sheets 9 and 10 of 11;
10. Turning Template, Sheet 11 of 11; and
11. Stormwater Narrative, dated August 2, 2024.

In addition, we have received the following information in support of the Application:

1. LANTA Review Letter, dated July 28, 2024;
2. PennDOT HOP Review Letter, dated June 6, 2024;
3. Geotechnical Response Letter, dated August 7, 2024;
4. Zoning Response Letter, dated August 7, 2024;
5. Water and Sanitary Sewer Response Letter, dated August 7, 2024;
6. Comment Response Letter, dated August 7, 2024;
7. Waiver Request Letter, dated August 7, 2024; and
8. Transmittal Letter, dated August 7, 2024.

# Township Water & Sewer Engineer Review





August 30, 2024

Mr. David Manhardt, AICP  
Director of Community Development  
South Whitehall Township  
4444 Walbert Avenue  
Allentown PA 18104

Re: Parking Lot Expansion Allentown Cat Clinic  
Land Development #2023-102  
Review of Preliminary Final Plan  
SSM File 103400.0093

Dear Mr. Manhardt:

This correspondence is a review of the Preliminary/Final Land Development for the above referenced project dated July 10, 2024. The project is an addition to the existing building located at 4090 Tilghman Street. We have the following comments regarding the water and sanitary sewer utilities:

General Comments:

1. None at this time.

Water Comments:

2. The water line shown on most sheets has a tag note: "Approx. 6" DIP San. Lateral" with an arrow pointing at the water line. The note should be corrected to reflect the water service.

Sanitary Sewer Comments:

1. The sanitary sewer lateral shown on most sheets has a tag note: "Approximate 2" water lateral with an arrow pointing at the sanitary sewer lateral. The note should be corrected to reflect the sanitary lateral.

Please contact us should you have any questions or require any additional information regarding our comments.

Sincerely,  
Spotts, Stevens, and McCoy

A handwritten signature in blue ink that reads "Jason M. Newhard".

Jason M. Newhard, CCM, LO  
Manager, Construction Management Services  
Environmental Engineering  
[jason.newhard@ssmgroup.com](mailto:jason.newhard@ssmgroup.com)

cc: SWT, PW

# Township Geotechnical Consultant Review



# HanoverEngineering

252 Brodhead Road • Suite 100 • Bethlehem, PA 18017-8944  
Phone: 610.691.5644 • Fax: 610.691.6968 • HanoverEng.com

August 19, 2024

Mr. David Manhardt, AICP  
Director of Community Development  
South Whitehall Township  
4444 Walbert Avenue  
Allentown, PA 18104-1699

RE: Geotechnical Engineering Review of  
Provided Documents  
Parking Lot Expansion Allentown Cat Clinic  
Major Plan #2023-102  
South Whitehall Township, Lehigh County,  
Pennsylvania  
Hanover Project SWT23-11(009)

Dear Mr. Manhardt:

Hanover Engineering has reviewed the information received on August 8, 2024 via email. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following, as prepared by Acela Architects + Engineers, PC:

1. Document referenced as "Parking Lot Expansion Allentown Cat Clinic Stormwater Narrative", dated August 2, 2024.
2. Letter referenced as "Parking Lot Expansion Allentown Cat Clinic Geotechnical Engineering Review Comments – Acela Response", dated August 7, 2024.
3. Engineering Plan set entitled "Parking Lot Expansion Allentown Cat Clinic", Sheets 1 of 11 through 11 of 11 inclusive, dated May 9, 2023, revised July 19, 2024.

Based on our review, it is our understanding that the subject property currently exists as a 30,492 square foot (0.70 acre) single tax parcel containing an existing one (1) story building utilized as a veterinary clinic. We further understand that the applicant proposes to expand the existing parking lot from thirteen (13) spaces to twenty-four (24) spaces, to pave an existing gravel area for employee parking, to change pole-mounted lighting, to construct a new sidewalk, and to improve site landscaping. The proposed work will create less than 5,000 square feet (sf) of disturbance and will increase the impervious coverage from 10,847 sf to 14,416 sf. The existing building is currently served by public water and sewer service and will continue to be so served.

This is a second submission of documents to this office for review. We offer the following review of comments issued in our letter dated June 1, 2023, repeated below in italics, and any new comments generated by this submission:

*A. Subdivision and Land Development Ordinance*

1. *Section 312.12(b)(18): Provide and label the location of all significant features listed or provide a note stating which features do not exist on the site.*

This comment has been adequately addressed.

B. *Stormwater Management Ordinance*

1. *Section 296-5.E: This proposal would create less than 10,000 square feet (sf) of additional impervious cover and is therefore exempt from meeting the provisions of Chapter 296 Stormwater Management. However, this development plan is still required to manage the quantity, velocity, and direction of resulting stormwater runoff as is reasonably necessary to prevent injury to health, safety, or other property. Demonstrate how the requirements of this section will be met.*

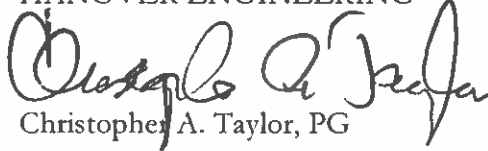
This comment has been adequately addressed.

This submission has not generated any new comments.

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING



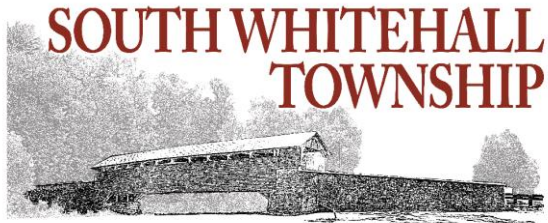
Christopher A. Taylor, PG

cat:cas/sas

S:\Projects\Municipal\WhitehallTownship\Swt23-11(009)-ParkingLotExpansionAllentownCatClinicMajorPlan2023-102\Docs\2024-08-19-SWT Geotech, Parking Lot Expansion A'town Cat Clinic geotech cmt ltr 2.doc

cc: Mr. Herb Bender, Public Works Director (via email)  
Mr. Anthony Tallarida, PE, The Pidcock Company (via email)  
Mr. Mark Gnall, PE, The Pidcock Company (via email)  
Mr. David M. Paul  
Mr. Jeremie Schadler, PE, Acela Architects + Engineers, PC

# Public Works Department Review



## INTEROFFICE MEMORANDUM

---

**TO: DAVE MANHARDT, DIRECTOR OF COMMUNITY DEVELOPMENT**

**FROM: HERB BENDER, PUBLIC WORKS MANAGER**

**DATE: AUGUST 21, 2024**

**SUBJECT: PARKING LOT EXPANSION ALLENTOWN CAT CLINIC  
MAJOR PLAN 2023-102**

---

The Public Works Dept. reviewed the above project and has the following comments:

1. Water Curb Box is paved over. Please locate water box.
2. All spec's need to be Township spec
3. Verify integrity of existing sewer to remain

# Public Safety Commission Review

**From:** [John G. Frantz](#)  
**To:** [Christopher Strohler](#)  
**Cc:** [David Manhardt](#)  
**Subject:** Parking Lot Expansion Allentown Cat Clinic - 2023-102  
**Date:** Tuesday, September 10, 2024 7:20:49 AM  
**Attachments:** [image001.png](#)

---

Chris,

The Public Safety Commission review resulted in the following comments.

Fire Marshal Review – None.  
Fire Company Review – None.  
Emergency Management Review – None.  
Police Review – None.  
Emergency Medical Services Review – None.  
Parkland School District Review – None.

The Commission made no recommendations to the plan.

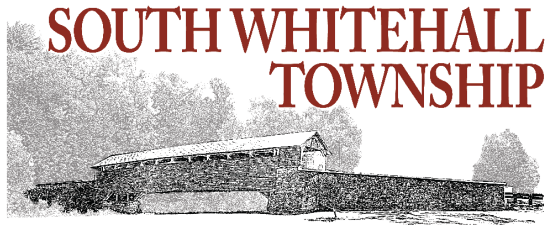
### **John G. Frantz, CFEI, BCO**

Fire Marshal, Building Code Official  
South Whitehall Township  
4444 Walbert Avenue  
Allentown PA 18104-1699  
610-398-0401 (office)  
610-398-1068 (fax)  
[www.southwhitehall.com](http://www.southwhitehall.com)

-  
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# Landscape and Shade Tree Commission Review



## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Chris Strohler, Long-Range Planner  
**DATE:** August 26, 2024  
**SUBJECT:** Subdivision Plan Review  
Allentown Cat Clinic Parking Lot Expansion  
Major Plan 2023-102  
Plan dated July 19, 2024

**COPIES:** Landscape and Shade Tree Commission, D. Manhardt, L. Harrier, A. Tallarida, J. Alderfer, Esq., S. Pidcock, Applicant

At their August 26, 2024, meeting, the Landscape and Shade Tree Commission reviewed the above-mentioned plan and recommended the following:

The Landscape and Shade Tree Commission requests that the landscape schedule include proposed plant sizes at installation in addition to the estimated mature size. The Commission also recommends the applicant consider replacing the *Azelea X Tradition (Azalea Traditional Pink)* with a more urban and sun-tolerant species of shrub. The Commission suggests that replacing the *Azelea X Tradition (Azalea Traditional Pink)* with additional *Thuja Occidentalis (Arborvitae Hetz Midget)* at smaller spacing would create a denser buffer between the parking lot and West Tilghman Street.

Respectfully submitted,

A handwritten signature in black ink that reads "Christopher Strohler". The signature is written in a cursive, flowing style.

Christopher Strohler, AICP  
Long-Range Planner, Community Development Department

# Parks and Recreation Board Review

# SOUTH WHITEHALL TOWNSHIP



## MEMORANDUM

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**TO:** Planning Commission  
**FROM:** Chris Strohler, Long-Range Planner  
**DATE:** September 9, 2024  
**SUBJECT:** Subdivision Plan Review  
Allentown Cat Clinic Parking Lot Expansion  
Major Plan 2023-102  
Plan dated July 19, 2024

**COPIES:** Parks and Recreation Board, D. Manhardt, L. Harrier, A. Tallarida,  
E. Bet, J. Alderfer, Esq., Applicant

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At their September 9, 2024, meeting, the Parks and Recreation Board reviewed the above-mentioned plan and determined the following:

The Parks and Recreation Board recommend that the developer pay fees in lieu of common open space land dedication to meet the open space and recreation requirements of Section 312-36(d)(4) of the Subdivision and Land Development Ordinance. The amount of fees to be paid in lieu of common open space land dedication in a non-residential subdivision or land development shall be Twenty-Five Cents (\$0.25) per square foot of additional proposed impervious coverage (post-development impervious surface minus pre-development impervious surface). Per the Impervious Cover table on the Title Sheet TS-1, a net increase in impervious coverage of 4,237 square feet is proposed. Therefore, the fee to be charged would be \$1,059.25 (4,237 sq.ft. x \$0.25).

Respectfully submitted,

*Christopher Strohler*

Christopher Strohler, AICP  
Long-Range Planner, Community Development Department

# Lehigh Valley Planning Commission Review



**Lehigh Valley Planning Commission**

STEVEN GLICKMAN  
Chair

CHRISTOPHER AMATO  
Vice Chair

KEVIN SCHMIDT  
Treasurer

BECKY A. BRADLEY, AICP  
Executive Director

May 22, 2023

Mr. Gregg Adams, Planner  
South Whitehall Township  
4444 Walbert Avenue  
Allentown, PA 18104

**Re: Allentown Cat Clinic – Land Development  
South Whitehall Township  
Lehigh County**

Dear Mr. Adams:

The subject applicant proposes expanding and paving an existing gravel parking lot of 13 parking spaces and increasing it to 24 parking spaces including one handicapped space of .10 acre at 4090 West Tilghman Street (PIN548606528477).

The LVPC offers the following comments:

The LVPC commends these improvements for accessibility. This proposed improvement will increase access for all persons (of Policy 5.2).

Sidewalk infrastructure in this area being strengthened along the frontages of existing buildings, although the sidewalk infrastructure is not fully connected, with gaps is several locations. Part of *FutureLV* the Regional Plan Policy 5.3 is to “Strengthen sidewalk infrastructure’.

The sidewalk that runs along N 40<sup>th</sup> Street and at the corner and does not extend to run along Tilghman Street. The sidewalk that runs up Parkway Road does connect with Tilghman Street, but ends prior to connecting with the corner at North 40<sup>th</sup> Street. This lack of sidewalk connectivity creates gaps in accessibility for pedestrians especially for people using a mobility devise or tools such as a wheelchair, walker, scooter, or a White Cane which allow people who are blind, DeafBlind, or visually impaired to navigate, or pushing a stroller and those who utilize public transportation. The image on the following page shows several LANTA bus stops in circled in blue, and the proposed location for the parking lot improvement circled in green.



As part of 'improving connections between bus stops and pedestrian and bicycle infrastructure (of Policy 5.2), the LVPC suggests that a sidewalk along the frontage of this location running along Tilghman Street be installed with the intention to connect with future sidewalks on either side eventually connecting with the existing sidewalk on Tilghman and the corner at North 40<sup>th</sup> Street to completely close all existing gaps. This would increase accessibility for pedestrians and 'incorporate universal design and ensure accessibility for all persons' (of Policy 5.2). However, the Municipality may determine that a sidewalk may be deferred at this location to such a time as the connecting infrastructure in place.

Municipalities, when considering subdivision/land developments, should reasonably attempt to be consistent with *FutureLV: The Regional Plan*, as required by the Pennsylvania Municipalities Planning Code (MPC) [Article 1§105, Article III§303, §304 & §306(a), Article VI§603(j)]. The LVPC review does not include an in-depth examination of plans relative to subdivision design standards or ordinance requirements since these items are covered in the municipal review.

Sincerely,

Bambi Griffin Rivera  
Senior Community and Regional Planner

cc: Michele Paul, Applicant; Acela Architects and Engineers, PC, Project Engineer/Surveyor; Scott J. Pidcock, Township Engineer; David and Michele Paul, Record Property Owner

# LANTA Review





**Lehigh and Northampton Transportation Authority**

1060 Lehigh Street, Allentown, PA 18103  
Phone 610-435-4517 – Fax 610-435-6774  
[www.lantabus.com](http://www.lantabus.com)

July 28, 2023

David and Dr. Michele Paul VMD  
Allentown Cat Clinic  
4090 West Tilghman Street  
Allentown PA 18104

RE: LANTA Comments for Parking Lot expansion at Allentown Cat Clinic

Mr. and Dr. Michele Paul,

Thank you for contacting the Lehigh and Northampton Transportation Authority (LANTA) regarding the parking lot expansion at the Allentown Cat Clinic located on West Tilghman Street, between two eastbound LANTA bus stops.

LANTA typically reviews land development plans for proposed projects in municipalities in our service area to provide comments and recommendations for the project site in relation to our bus routes, bus stops, and any associated pedestrian and transit infrastructure. Like most land development plans we review, LANTA always strongly encourages the installation of sidewalks to help close the existing sidewalk gap along the transit corridor. While our existing bus stops vary in location on Tilghman Street, we support all pedestrian connectivity along the corridor to allow transit riders and pedestrians alike to safely access the bus stops and main entrances of their destinations.

Sincerely,

A handwritten signature in black ink, appearing to read "MSW", followed by a period.

Molly S Wood, AICP  
Planner/Land Use Specialist

Cc: David Manhardt, South Whitehall Township, Director of Community Development

# PennDOT Review



**pennsylvania**  
DEPARTMENT OF TRANSPORTATION

**Date:** 06/06/2024  
**Subject:** Highway Occupancy Permit Application No. 343110, Cycle No.1 - Returned For Revisions  
**To:** Allentown Cat Clinic, PC  
4090 Tilghman Street  
Allentown, PA 18103  
**From:** PennDOT Engineering District 5-0  
1002 Hamilton Street  
Allentown, PA 18101

Dear Applicant,

PennDOT has reviewed your application for completeness, consistency and compliance with applicable Department Regulations. This review has identified issues that must be addressed in order for our review to continue.

The Department's review comments are attached.

Once the comments have been addressed, please resubmit the application and associated material for further review.

Upon resubmission, the applicant's engineer should put together a letter that describes how each comment has been addressed and where each can be found. This will help expedite the review. For guidance on HOP applications refer to 67 PA Code, Chapter 441, Chapter 459 and PennDOT Publication 282, "Highway Occupancy Permit Guidelines". Additional comments may follow upon review of the resubmitted application.

As an alternative to contacting the individual indicated below, the District is offering applicants an opportunity to attend HOP Collaboration Workshop Meetings (held weekly) for clarification on any of the following comments. To sign up, please open the HOP Collaboration Workshop link located in the Links section on the EPS Applications Portal and follow the instructions.

If you have any questions regarding this matter, you may contact Marah Haddad, District Permit Manager, at (610) 871-4467.

# South Whitehall Planning Document Review

# SOUTH WHITEHALL TOWNSHIP

4444 Walbert Avenue, Allentown, PA 18104-1699  
www.southwhitehall.com • 610-398-0401

September 6, 2024

Allentown Cat Clinic  
Attn: David and Michele Paul  
5655 Chestnut Street  
Emmaus, PA 18049

***RE: Allentown Cat Clinic Parking Lot Expansion  
Major Plan #2023-102  
Request For Preliminary/Final Plan Review***

Dear David and Michele:

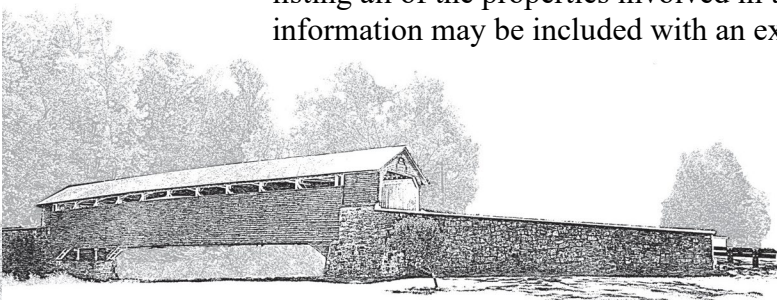
The purpose of this letter is to report on planning and non-engineering related comments that are to be addressed. My comments follow:

## **Open Space and Recreation**

1. The plan will be forwarded to the Parks and Recreation Board on September 9, 2024 for a recommendation on how the applicant might best meet the Open Space and Recreation Requirements of Section 312-36(d)(4) of the Subdivision and Land Development Ordinance.

## **Plan Recording Requirements**

1. Prior to plan recording, the applicant shall submit a check set of plans in PDF format to the Township Engineer and Township staff to ensure that the standards and requirements of the Lehigh County Recorder of Deeds Office for a recorded plan are met.
2. Signature Blocks and Certifications to appear on each plan sheet to be recorded.
3. The size of the plan sheet shall be noted on the upper left-hand corner of every plan sheet to be recorded.
4. Wherever a Parcel ID is shown on a plan sheet to be recorded, it shall include the appropriate parnum suffix, such as 547677593477-1 or 547687003997-59.
5. Wherever an Owner's signature is required, the Signature shall be accompanied by a Printed Name and Title (Owner or Title within the owning organization), and an area for a Notary stamp. If there are multiple owners, there shall be signature blocks and areas for Notary stamps for each and every owner's name.
6. On the cover sheet or (if no cover sheet is present) the site plan sheet, include a table listing all of the properties involved in the project, including PIN and Parnum. This information may be included with an existing table or a new table may be created.



7. The review date of the Planning Commission and the review date and Resolution number of the Board of Commissioners shall be placed into the appropriate Board endorsement notes on the appropriate plan sheet to be recorded. Dates and Resolution number may be obtained from South Whitehall Township.

### **Official Map & Comprehensive Plan**

1. The Comprehensive Plan envisions the tract within a Business District Land Use Type. The goals of Business District areas are to:
  - Incentivize infill and redevelopment
  - Incorporate residential to create mixed-use developments
  - Encourage local connectivity to surround land uses
  - Encourage walkability and multiple modes of transportation
  - Encourage regional connectivity through transit and multimodal infrastructure and circulation

This project proposes a parking lot expansion of an existing commercial/institutional use and is considered consistent with the Comprehensive Plan.

Your plan is scheduled to be reviewed by the Planning Commission on Thursday, September 12, 2024 at 7:00 p.m. in the South Whitehall Township Municipal Building located at 4444 Walbert Avenue. The meeting will also be livestreamed via GoToMeeting. To access the meeting through your computer, go to <https://global.gotomeeting.com/join/757430189>. To access the meeting through your phone, dial 1-224-501-3412 and, when prompted, enter 757 430 189 to join the meeting.

If you have any questions, please call.

Sincerely,



**Christopher Strohler, AICP**  
**Long-Range Planner, Community Development Department**  
**South Whitehall Township**  
**610.398.0401**  
[strohlerc@southwhitehall.com](mailto:strohlerc@southwhitehall.com)

cc: T. Petrucci      D. Manhardt      L. Harrier      J. Frantz      H. Bender  
M. Elias      A. Tallarida      E. Bet      J. Zator, Esq      J. Alderfer, Esq

# Zoning Review

# Applicant's Correspondence

Project Narrative

Waiver Request



# acela

## architects + engineers

acela architects + engineers, pc  
2633 Moravian Ave.  
Allentown, PA 18103  
office: 610.365.4023  
website: www.acela-ae.com  
email: info@acela-ae.com

May 5, 2023  
23-CATCL-01

South Whitehall Township  
4444 Walbert Avenue  
Allentown, PA 18104

### **Allentown Cat Clinic - Project Narrative**

The Allentown Cat Clinic, located at 4090 West Tilghman Street, is applying for Land Development approval for the expansion of their parking lot from 14 spaces to 24 spaces. Additionally, they are proposing to relocate a light pole, add additional lighting and pave an existing gravel area in the rear of the building for employee parking.

The total project will be under 5,000 sf of disturbance and will increase the impervious cover from 10,847 sf to 14,416 sf. An applicaion will be submitted to LVPC for Site Plan review only. Since there will be minimal earth disturbance, LCCD approval will not be required.

If you should have any questions, please feel free to contact me.



Roderick M. Chirumbolo, P.E.  
Acela Architects + Engineers, PC

acela architects + engineers, pc  
2633 Moravian Ave.  
Allentown, PA 18103  
[www.acela-ae.com](http://www.acela-ae.com)  
info@acela-ae.com  
610.365.4023

**acela**  
architects + engineers

Innovation. Integrated. <sup>SM</sup>

August 7, 2024  
23-CATCL-01

South Whitehall Township Planning Commission  
Attn: Greg Adams  
4444 Walbert Avenue  
Allentown, PA 18104

**Re: Parking Lot Expansion Allentown Cat Clinic  
South Whitehall Township Review Letter – Waiver Request**

Dear Mr. Adams:

In response to comment 1 of the Township Review letter dated June 7, 2023, the applicant respectfully requests a waiver of Chapter 312, Section 35, subsection (b). The applicant's justification for the waiver request is property adjacent to the site does not have any curbing and adding the curbing would disrupt the existing drainage patterns. Additionally, PennDOT does not require curbing at this time.

Thank you in advance for your consideration of this waiver.



Jeremie Schadler, PE, PMP