

## Allentown Cat Clinic Parking Lot Expansion

**MAJOR PLAN 2023-102** 

Planning Commission, September 12, 2024

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Township Geotechnical Consultant Review

**Public Works Department Review** 

**Public Safety Commission Review** 

Landscape and Shade Tree Commission Review

Parks and Recreation Board Review

Lehigh Valley Planning Commission Review

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PennDOT Review

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#### Memorandum

TO: PLANNING COMMISSION

FROM: David Manhardt, AICP, Director of Community Development

**SUBJECT:** Allentown Cat Clinic Parking Lot Expansion

MAJOR PLAN 2023-102

REQUEST FOR PRELIMINARY/FINAL PLAN REVIEW

**DATE:** August 20, 2024

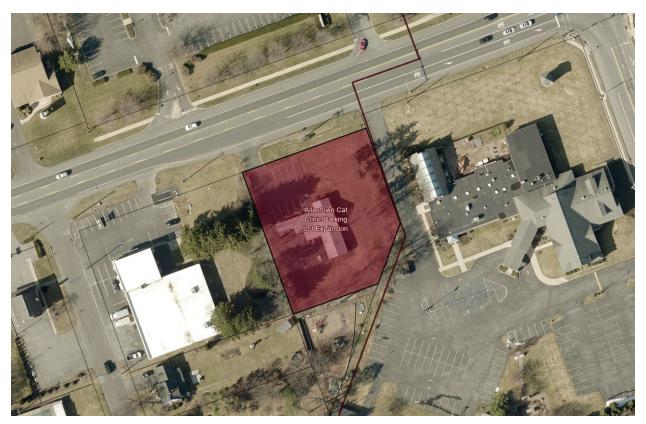
**COPIES**: BOARD OF COMMISSIONERS, T. PETRUCCI, D. MANHARDT, L. HARRIER, J. ZATOR,

ESQ., J. ALDERFER, ESQ, A. TALLARIDA, S. PIDCOCK, APPLICANT, SUB. FILE 2023-

102

#### **Location and Intent**

An application to develop the property located at 4090 West Tilghman Street. The plan proposes to construct an 11-space addition to the existing 13-space parking lot on the 0.70-acre parcel. The property is served by public water and public sewer and is zoned Highway Commercial HC. David M. and Michele L. Paul are the owners and applicants.



#### **Previous Township Consideration**

The application was scheduled to appear before the Planning Commission on June 15, 2023. That meeting was cancelled due to a lack of a quorum.

On July 18, 2003, Michael Obenski submitted an application for Major Plan 2003-108 Parking Lot Expansion 4090 Tilghman Street, an application to further develop the 0.6964-acre property located at 4090 Tilghman Street. The plan proposed to construct an additional 7-space parking area. The Planning Commission took the plan under advisement at their August 21, 2003 meeting. The plan proceeded no further, and the project was closed in 2009 due to inactivity.

On November 14, 1983, the South Whitehall Township Board of Commissioners, through Resolution 1983-56, approved Major Plan 1983-179 Michael A. Obenski, an application to convert an existing house to a veterinary clinic and the construct a parking lot. In association with the land development, the Zoning Hearing Board reviewed appeal No. A-40-83 and granted a special exception for the veterinary use and variances for lot frontage, lot area, and setback for a sign.

## **Reviewing Agencies Comments**

#### Township Engineer

The comments of the Township Engineer are contained in Mr. Anthony Tallarida's review dated September 5, 2024. His comments pertaining to waivers, plan details, and outside agency approval, including a PennDOT Highway Occupancy Permit (HOP).

#### Township Water & Sewer Engineer

The comments of the Township Water & Sewer Engineer are contained in Mr. Jason Newhard's review dated August 30, 2024. His comments pertain to minor plan details.

#### Township Geotechnical Consultant

The comments of the Township Geotechnical Consultant are contained in Mr. Christopher Taylor's review dated August 19, 2024. His comments state that all previous comments have been adequately addressed.

#### **Public Works Department**

The comments of the Township Public Works Department are contained in Mr. Herb Bender's review dated August 21, 2024. His comments pertain to utility location, Township specifications, and integrity of the existing sewer line.

#### **Public Safety Commission**

The Public Safety Commission reviewed the plan at its September 9, 2024, meeting. Their comments are contained in Mr. John Frantz's email dated September 10, 2024. The Public Safety Commission indicated that they had no further comments on the plan.

#### Landscape and Shade Tree Commission

The Landscape and Shade Tree Commission reviewed the plan at their August 26, 2024 meeting. Their comments are contained in Mr. Christopher Strohler's memo dated August 26, 2024 and pertain to requesting plant sizes and species choices.

#### Parks and Recreation Board

The Parks and Recreation Board reviewed the plan at its September 9, 2024, meeting. Their comments are contained in Mr. Christopher Strohler's memo dated September 10, 2024. The Parks and Recreation Board recommended the applicant pay fees in lieu of common open space dedication.

#### Lehigh Valley Planning Commission

The comments of the Lehigh Valley Planning Commission are contained in Ms. Bambi Griffin Rivera's review dated May 22, 2023. Their comments pertain to sidewalk infrastructure.

#### Lehigh and Northampton Transit Agency (LANTA)

The comments of LANTA are contained in Ms. Molly Wood's review dated July 28, 2023. Their comments pertain to the installation of sidewalks to help close gaps along their transit corridor.

#### Pennsylvania Department of Transportation (PennDOT)

The comments of PennDOT regarding the Highway Occupancy Permit (HOP) are contained in their letter dated June 6, 2024.

#### South Whitehall Planning Document Review

The comments of the South Whitehall Planning Document Review are contained in Mr. Christopher Strohler's review dated September 6, 2024. His comments pertain to recreation/open space requirements, plan recording requirements, and consistency with long-range plans.

#### **Zoning Review**

The comments of the South Whitehall Zoning Officer will be contained in Ms. Laura Harrier's review on September 10, 2024. Her comments indicate all previous comments have been addressed.

## Community Development Department Recommendation

Currently Township staff is not recommending approval.

Planning Commission deadline to act on the plan: November 14, 2024

Board of Commissioners deadline to act on the plan: December 26, 2024

## Site Plan

- 1. THE PROPERTY MAY BE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, ETC. THAT ARE
- HORIZTONTAL DATUM: PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83 (2011)
- UTILITIES SHOWN WERE REFERENCED FROM SURVEY REFERENCES AND PA ONE CALL RESPONSE AND WILL BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION. WATERCOURSES, WETLANDS, BODIES OF WATER, FLOODPLAINS, SIGNIFICANT TREE MASSES, ROCK OUT
- CROPS, SLAG PILES, QUARRY HOLES, SPRING, AND SWAMPY AREAS DO NOT EXIST ON THE SITE. TREES
- EFFORTS TO RESOLVE SUCH CONFLICTS, INCLUDING BUT NECESSARILY LIMITED TO REDESIGN.
- INSURERS FROM ANY OBLIGATIONS OR LIABILITIES PERTAINING TO, RELATING TO, RESULTING FROM, CAUSED BY ARISING OUT OF SUSTAINED IN CONNECTION WITH OR IMPOSED BY PENNSYLVANIA
- THE APPLICANT IS RESPONSIBLE FOR JOINING THE PA ONE CALL SYSTEM AND IS RESPONSIBLE FOR THE
- ALL CONSTRUCTION WITHIN TOWNSHIP RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH TOWNSHIP
- SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.

DISTRICT: HC (HIGHWAY COMMERCIAL)

SIDE:

**BUILDING HEIGHT:** 

BUILDING COVERAGE:

IMPERVIOUS COVERAGE:

\*EXISTING NON-CONFORMITY

REQUIRED PARKING

"USEABLE OFFICE AREA."

PROVIDED PARKING

USE: VETERINARY CLINIC

MINIMUM LOT SIZE:

MINIMUM FRONTAGE:

MINIMUM YARDS:

MAXIMUM

- ANTICIPATED COMPLETION DATE FOR CONSTRUCTION IS NOVEMBER 2024. 12. THE FOLLOWING OUTSIDE AGENCY PERMITS AND APPROVALS ARE REQUIRED.
- 12.2. LANTA

CONSTRUCTION OF THE PROJECT.

13. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED AND APPROVAL MUST BE OBTAINED PRIOR TO BIDDING AND

## SURVEY NOTES:

- PLAN ENTITLED "PLAN OF PARKWAY MANOR" AS PREPARED BY HOWARD A. LEVON JR., DATED MARCH 24, 1941. LATEST REVISION DATED APRIL 06, 1942, RECORDED IN THE LEHIGH COUNTY RECORDER OF DEEDS OFFICE AS DOCUMENT VOL. 4 PG. 9.
- 2. PLAN ENTITLED "SOUTH WHITEHALL TOWNSHIP, SEWER PLANS & PROFILES-SECTION E", AS PREPARED BY G. EDWIN PIDCOCK CO., DATED APRIL 1963.

**ZONING DATA** 

1 FLOOR VETERINARY CLINIC OFFICE SPACE WITH UNFINISHED BASEMENT

REQUIRED

1 AC.

200 FT.

25 FT.

35 FT.

75%

PARKING REQUIREMENTS

FOR BUILDINGS UP TO 14,999 SQUARE FEET THE PARKING RATIO SHALL

BE 1.0 PARKING SPACE PROVIDED FOR EACH 200 SQUARE FEET OF

PROPOSED

30,492 SF (0.70 AC.)\*

≤35 FT.

8.5%

49%

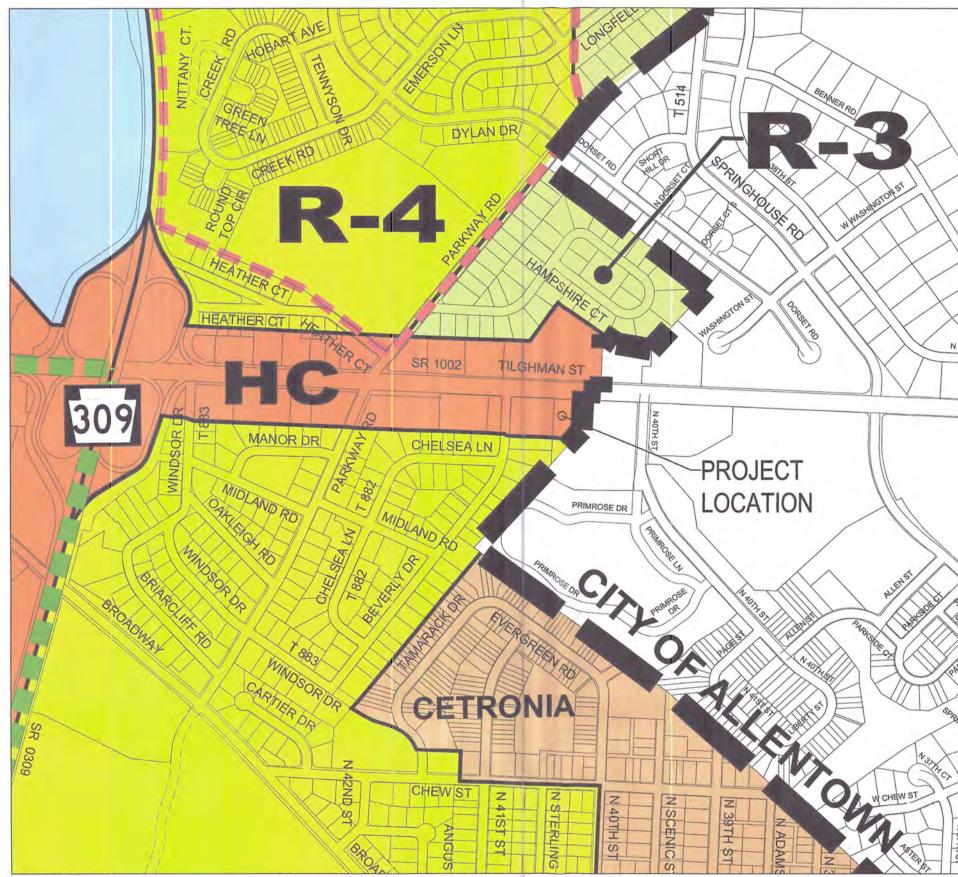
= (2,635 SF / 200 SF) = 14 SPACES

EXISTING SPACES: 13 SPACES PROPOSED SPACES: 10 SPACES

TOTAL PARKING SPACES = 23 SPACES

(INCLUDING 1 ACCESSIBLE SPACE)

# PARKING LOT EXPANSION ALLENTOWN CAT CLINIC SOUTH WHITEHALL TOWNSHIP LEHIGH COUNTY, PA AUGUST 7, 2024



SOURCE: SOUTH WHITEHALL TOWNSHIP ZONING MAP SCALE: 1"=500"

				SOIL CHART	
					TYPE DESCRIPTION
			DE	RAWING INDEX	UmB URBAN LAND-DUFFIELD COMPLEX, 0% TO 8% SLOPES
SHEET NO.	NO. DRAWING NO.			SHEET TITLE	Washington Silt Loam, 3% TO 8% SLOPES
k TS-1	1	OF	11	TITLE SHEET	
EX-1	2	OF	11	EXISTING FEATURES & DEMOLITION PLAN	ZONING DISTRICTS
k LZP-1	3	OF	11	LAYOUT & ZONING PLAN	RESIDENTIAL  RR-3 RURAL RESIDENTIAL-3
CG-1	4	OF	11	GRADING & UTILITY PLAN	RR-2 RURAL RESIDENTIAL-2 RR RURAL RESIDENTIAL AND AGRICULTURAL
LP-1	5	OF	11	LIGHTING PLAN	R-2 LOW DENSITY RESIDENTIAL R-3 LOW DENSITY RESIDENTIAL
LSP-1	6	OF	11	LANDSCAPING PLAN	R-4 MEDIUM DENSITY RESIDENTIAL R-5 MEDIUM DENSITY RESIDENTIAL
ES-1	7	OF	11	EROSION & SEDIMENTATION CONTROL PLAN	R-10 HIGH DENSITY RESIDENTIAL  COMMERCIAL
ES-2	8	OF	11	EROSION & SEDIMENTATION CONTROL DETAILS	HC HIGHWAY COMMERCIAL
DE-1	9	OF	11	CONSTRUCTION DETAILS	HC-1 HIGHWAY COMMERCIAL—SPECIAL HEIGHT LIMITATIO NC NEIGHBORHOOD COMMERCIAL GC GENERAL COMMERCIAL
DE-2	10	OF	11	CONSTRUCTION DETAILS	GC-1 GENERAL COMMERCIAL—SPECIAL HEIGHT LIMITATION  CIR COMMERCIAL RECREATION
TT-1	11	OF	11	TURNING TEMPLATE	OFFICE COMMERCIAL
*					

SITE DATA

OWNER ADDRESS:

SITE ADDRESS:

CURRENT USE:

CONDITION

**EXISTING BUILDING** 

**EXISTING ASPHALT** 

**EXISTING GRAVEL AREA** 

**EXISTING PORCH** 

EXISTING BILCO DOORS

**EXISTING CONCRETE** 

TOTAL EXISTING

PROPOSED PARKING AREA

PROPOSED CONCRETE

SIDEWALK

TOTAL PROPOSED

TOTAL IMPERVIOUS COVER

CURRENT DEED:

TOTAL AREA:

SEWER:

WATER:

IMPERVIOUS COVER

DAVID M & MICHELE L PAUL

5655 CHESTNUT ST

EMMAUS PA 18049

4090 W TILGHMAN ST

ALLENTOWN PA 18104

7399294

548606528477

30,492 SF (0.70 AC.)

PUBLIC PUBLIC

VETERINARY CLINIC

IMPERVIOUS (SQ FT)

2,600

7,348

604

193

67

10,847

3,576

661

4,237

15,084

35

**ENGINEER'S CERTIFICATION** 

I HEREBY CERTIFY THE ABOVE PLAN AND SURVEY TO BE CORRECT IN ALL ITS DETAILS.

ENGINEER	DATE
APPROVALS	
APPROVED	BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION
CHAIRMAN	SECRETARY
APPROVED	BY THE BOARD OF COMMISSIONERS OF TOWNSHIP OF SOUTH WHITEHAI
PRESIDENT	SECRETARY
TOWNSHIP ENGINEER	

THIS PLAN WAS REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION.

RECORDER OF DEEDS

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA, IN PLAN BOOK VOLUME \_\_\_\_\_, PAGE \_\_\_\_\_

## OWNER'S CERTIFICATION

I, THE UNDERSIGNED, AM THE APPLICANT AND LEGAL OWNER OF THE LAND TO BE DEVELOPED. THE LAND IS NOT SUBJECT TO ANY LITIGATION OR LIENS, THIS FINAL PLAN HAS BEEN PROCESSED WITH FREE CONSENT, AND IT IS

I WILL PROPERLY GRADE ALL INDIVIDUAL LOTS TO PROVIDE ADEQUATE SURFACE DRAINAGE SO THAT NO LOW SPOTS OR WATER POCKETS CREATE A PUBLIC NUISANCE AND THAT HE WILL PLACE PERMANENT CONCRETE REFERENCE MONUMENTS TO GRADE AS NOTED ON THE PLAN UPON COMPLETION OF GRADING.

I ACKNOWLEDGE THAT FOLLOWING APPROVAL OF THIS PLAN, PLAN CHANGES MAY BE REQUIRED TO ADDRESS THE COMMENTS AND REGULATIONS OF OUTSIDE AGENCIES RESPONSIBLE TO REVIEW ANY ASPECT OF THE PROJECT REFLECTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO POST-CONSTRUCTION STORMWATER MANAGEMENT AND NPDES PERMIT REGULATIONS. IN THE EVENT OF CHANGES TO THE PLAN FOLLOWING APPROVAL (WHETHER OR NOT THE PLAN HAS BEEN RECORDED), I SHALL SUBMIT THE REVISED PLAN TO THE TOWNSHIP FOR REVIEW BEFORE I MAY MOVE FORWARD WITH CONSTRUCTION ACTIVITIES PURSUANT TO THE REVISED PLAN (WHETHER OR NOT THE PLAN

C	DWNER		
WORN AND SUBSCRIBED BEFORE ME THIS	DAY OF		, 20
	NOTARY PUBLIC		
	MY COMMISSION EXPIRES ON	DAY OF	, 20

"THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE, DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSRE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR."

## PLAN PURPOSE AND INTENT

ACELA ARCHITECTS & ENGINEERS, PC HAS PREPARED THESE PLANS FOR THE OWNER/DEVELOPER FOR THE PURPOSES OF OBTAINING LAND DEVELOPMENT AND PERMITTING APPROVALS FROM VARIOUS REVIEW AGENCIES AS REQUIRED. THESE PLANS ARE A GRAPHICAL REPRESENTATION OF THE DESIGN ENGINEERS/SURVEYORS INTENT TO SATISFY REVIEW AGENCY REGULATIONS, REQUIREMENTS, STANDARDS, SPECIFICATIONS, DESIRES, ETC... AT THE TIME DURING WHICH APPROVAL WAS

USERS OF THESE PLANS SHALL CONSIDER THE FOLLOWING IN THE USAGE OF THESE PLANS:

1. THESE PLANS ARE A GRAPHICAL REPRESENTATION OF THE INFORMATION WHICH WAS NEEDED FOR REVIEW AGENCY APPROVALS. THEY ARE NOT NECESSARILY COMPLETE CONSTRUCTION OR STAKEOUT DOCUMENTS:

a) IN ORDER TO PRESENT CLEAR DESIGN INTENT, IT IS OFTEN NECESSARY TO EXAGGERATE OR DIMENSIONALLY DISTORT CERTAIN PLANIMETRIC FEATURES, THEREFORE THE PLANS SHALL NOT BE EITHER MANUALLY OR ELECTRONICALLY SCALED. SYMBOLS, LEGENDS, AND OTHER FEATURES WERE UTILIZED TO PRESENTED AND CLARIFY THE DESIGN INTENT: THEY WERE NOT INTENDED TO BE DIMENSIONALLY CORRECT.

2. A PROFESSIONAL LAND SURVEYOR SHALL PERFORM THE NECESSARY COMPUTATIONS TO DETERMINE THE PRECISE GEOMETRY NEEDED FOR STAKEOUT PURPOSES. ACELA ARCHITECTS & ENGINEERS PC, CAN BE CONTRACTED TO PERFORM THESE SERVICES; HOWEVER THIS WORK WAS NOT PART OF THE PREPARATIONS OF THESE PLANS.

WAIVERS REQUSTED FROM SOUTH WHITEHALL TOWNSHIP SECTION §312-35 A WAIVER FROM PROVIDING CURBING



SITE SERIAL #20230801991 VERTICAL TEXT INDICATES PROPOSED FEATURES

05/09/2023 1"=20' DSGN: 23-CATCL-0: SHEET: 1 OF 11

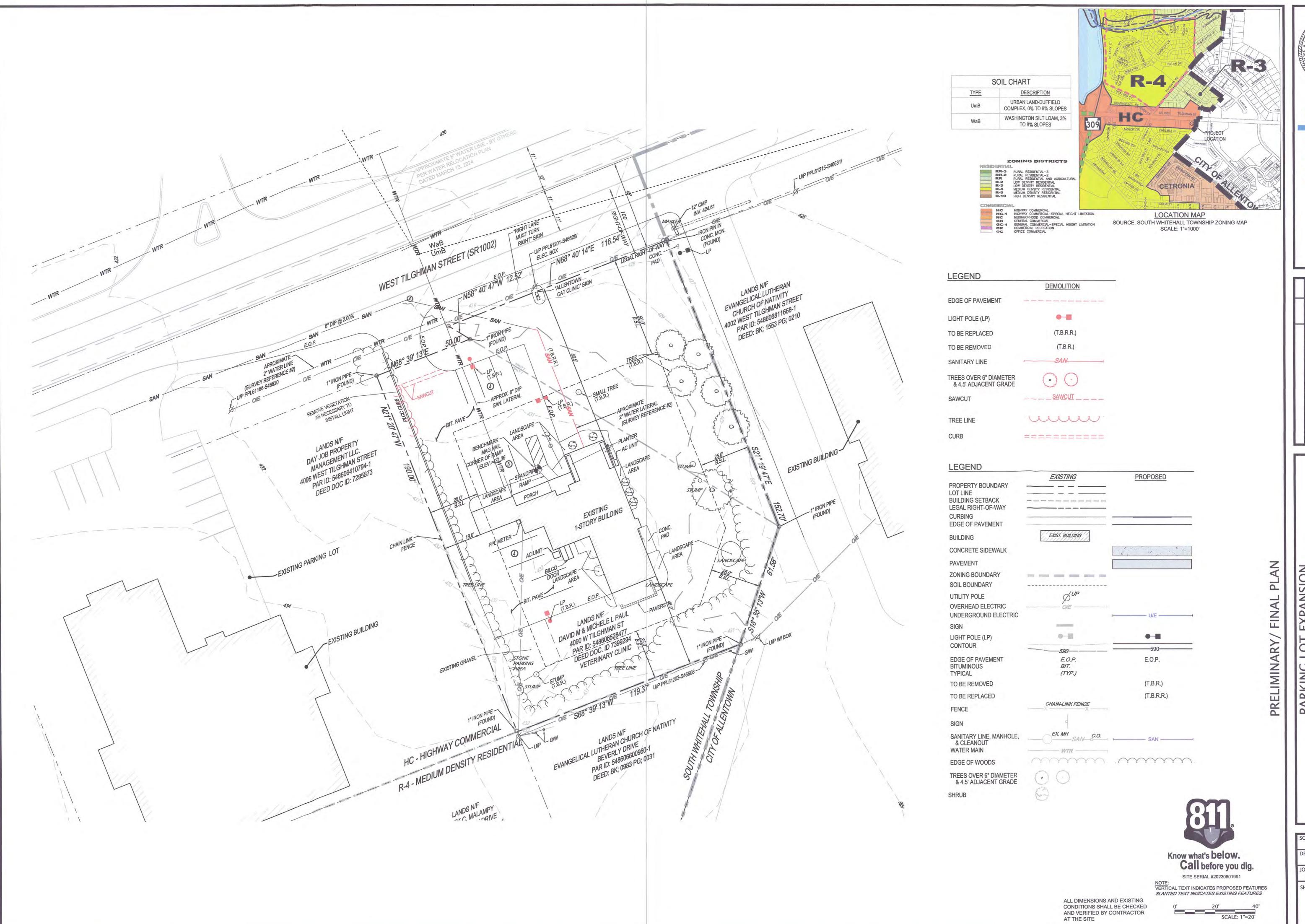
CLINIC

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\* LZP-1

\* PLANS TO BE RECORDED



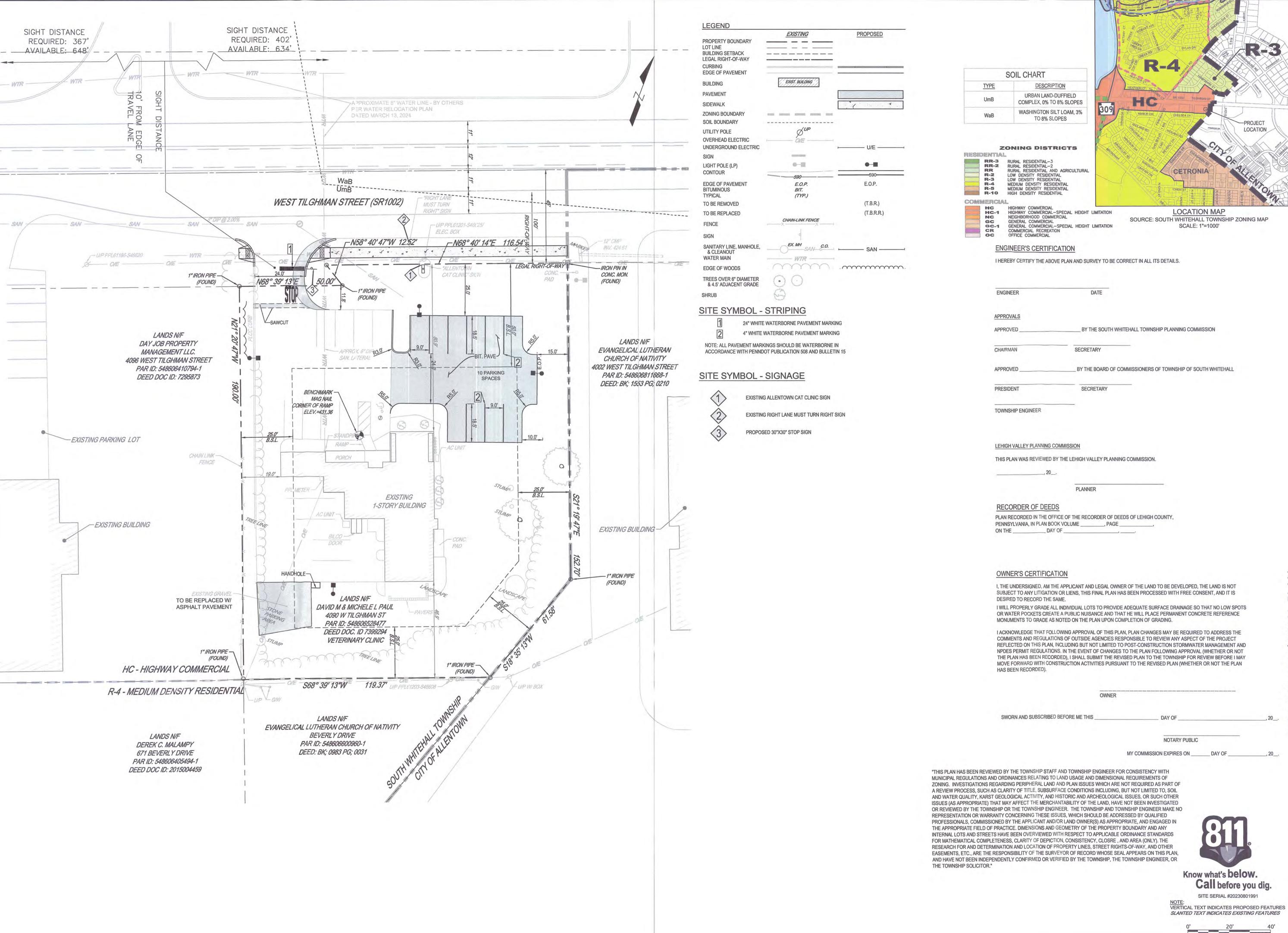
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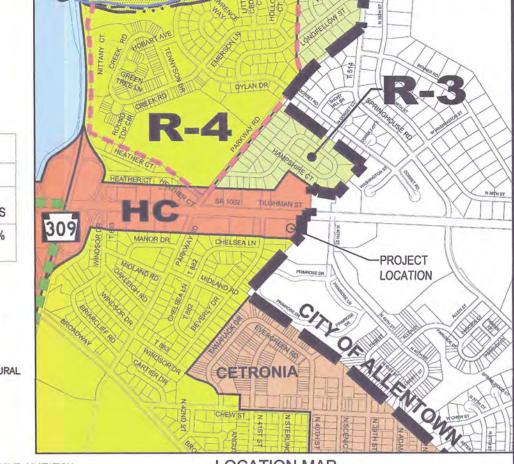
DEMOLITION

1"=20' 05/09/2023

23-CATCL-01

EX-1



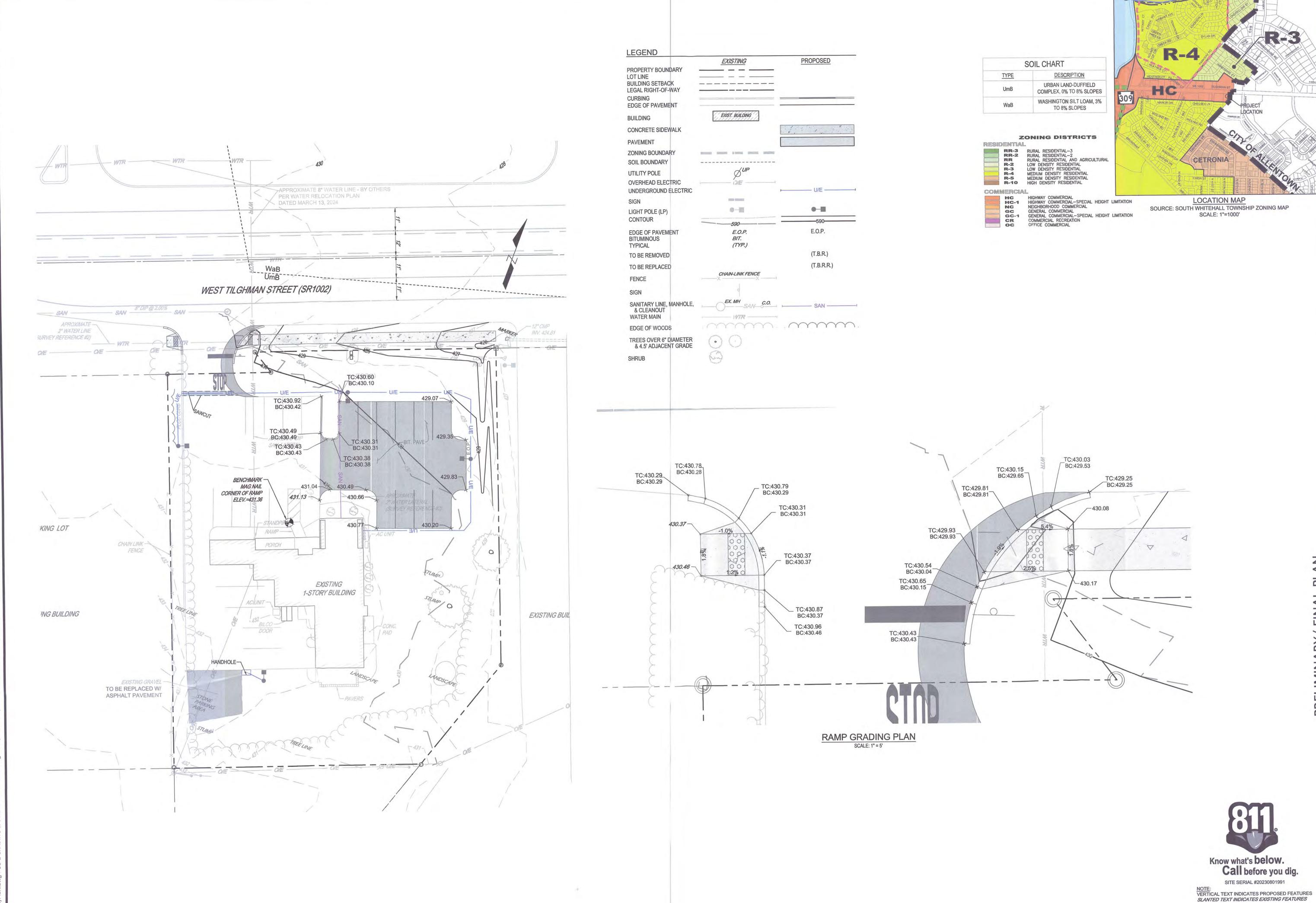


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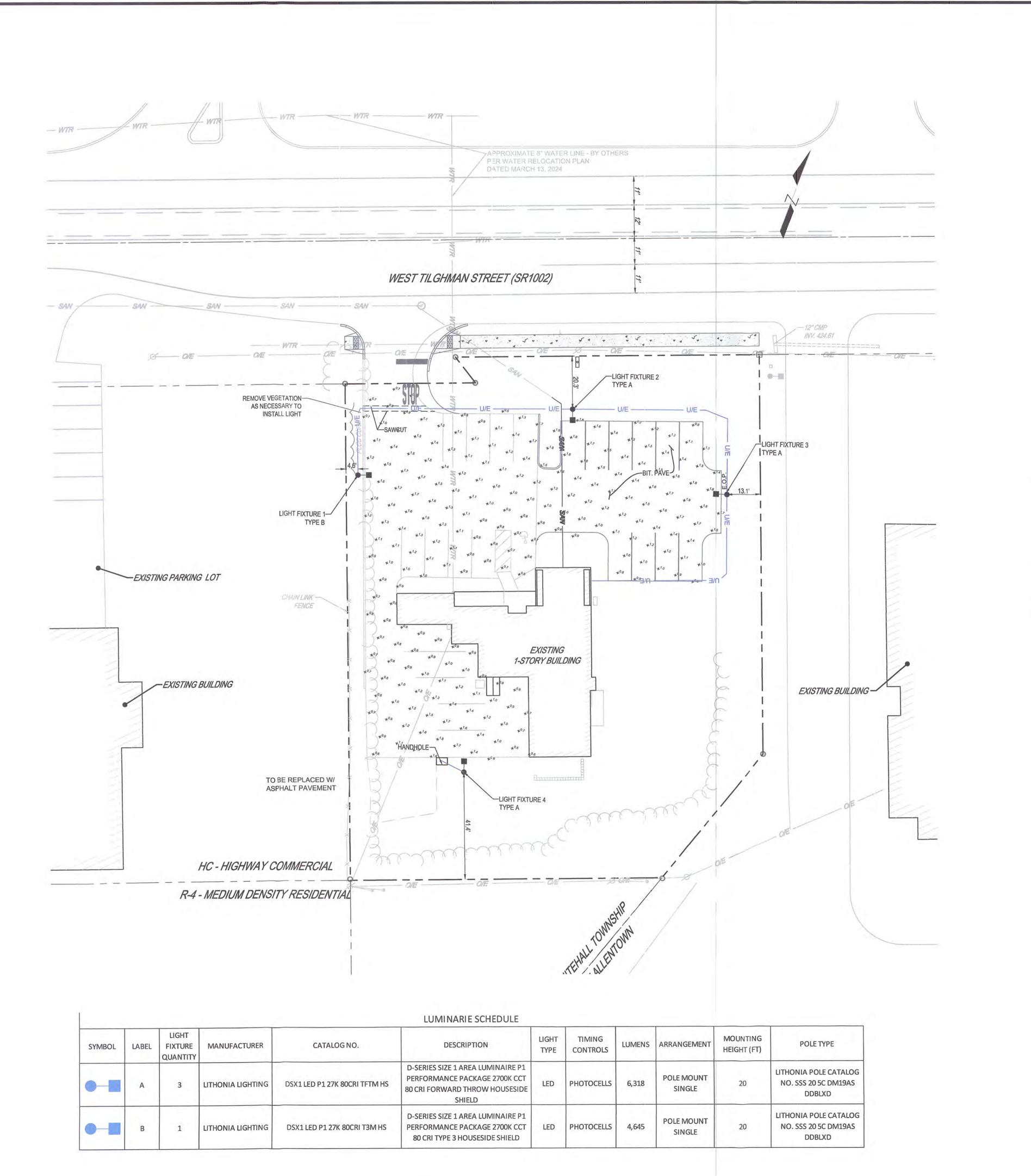
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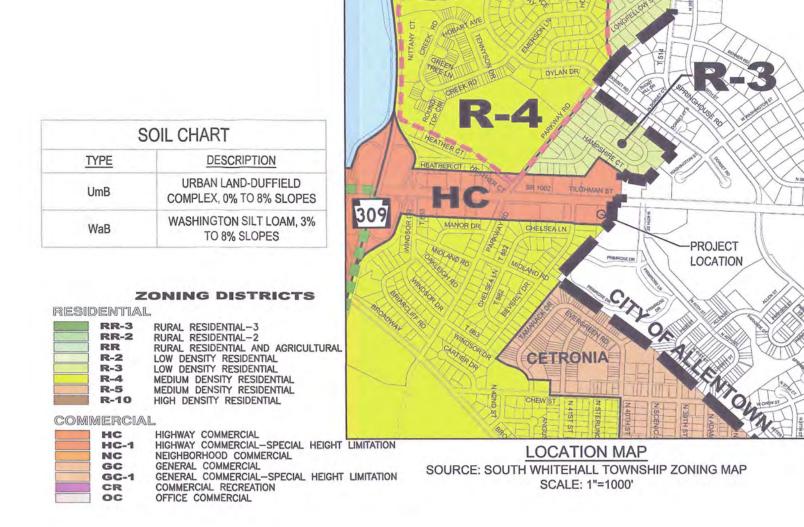
cts



JOB: 23-CATCL-01 SHEET: 4 OF 11

CG-1





LEGEND EXISTING PROPOSED PROPERTY BOUNDARY LOT LINE **BUILDING SETBACK** -----LEGAL RIGHT-OF-WAY **EDGE OF PAVEMENT** EXIST. BUILDING BUILDING CONCRETE SIDEWALK PAVEMENT **ZONING BOUNDARY** and become process process and SOIL BOUNDARY -----UTILITY POLE OVERHEAD ELECTRIC UNDERGROUND ELECTRIC LIGHT POLE (LP) CONTOUR **EDGE OF PAVEMENT** BITUMINOUS TYPICAL (T.B.R.) TO BE REMOVED (T.B.R.R.) TO BE REPLACED CHAIN-LINK FENCE **FENCE** SIGN SAN SAN SAN SANITARY LINE, MANHOLE, & CLEANOUT WATER MAIN mm mm. **EDGE OF WOODS** TREES OVER 6" DIAMETER & 4.5' ADJACENT GRADE

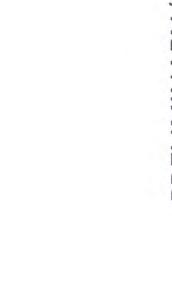
## SITE SYMBOL - LIGHTING

PROPOSED UNDERGROUND ELECTRIC UNDERGROUND ELECTRIC TO BE REMAIN PROPOSED LIGHT POLE AND LIGHT FIXTURE EXISTING LIGHT POLE AND LIGHT FIXTURE LOCATION NO IMPROVEMENTS

**CALCULATION RATIOS** 

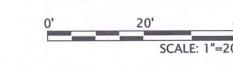
MAX/MIN: 6.3:1 AVERAGE/MIN: 4.0:1

- 1. ALL SALVAGED POLES SHALL BE PLACED ON NEW CONCRETE BASES.
- 2. THE EXISTING LIGHTING CONTROL PANELS AND CONNECTIONS ON THE SITE-LIGHTING PANEL SHALL
- THE CONTRACTOR IS RESPONSIBLE FOR RELOCATING AND EXTENDING THE EXISTING CONDUCTORS FOR THE SITE LIGHTING FIXTURES. THE CONTRACTOR SHALL REBALANCE THE PHASES WITH THE RELOCATED AND PROPOSED SITE LIGHTING FIXTURE POWER SUPPLY.
- 4. ALL PROPOSED CONDUITS SHALL BE 1" C RIGID GALVANIZED STEEL UNLESS OTHERWISE NOTED. ANY CONDUIT THAT IS EXPOSED OR ENCASED IN CONCRETE, AS WELL AS ALL JUMPERS FROM HANDHOLES TO LIGHT POLES, SHALL BE GALVANIZED
- CONTRACTOR SHALL VERIFY VOLTAGE DROP COMPLIES WITH NEC AND WITH LUMINAIRE MANUFACTURER OPERATING VOLTAGE REQUIREMENTS. INCREASE WIRE AND CONDUIT SIZE TO COMPLY.



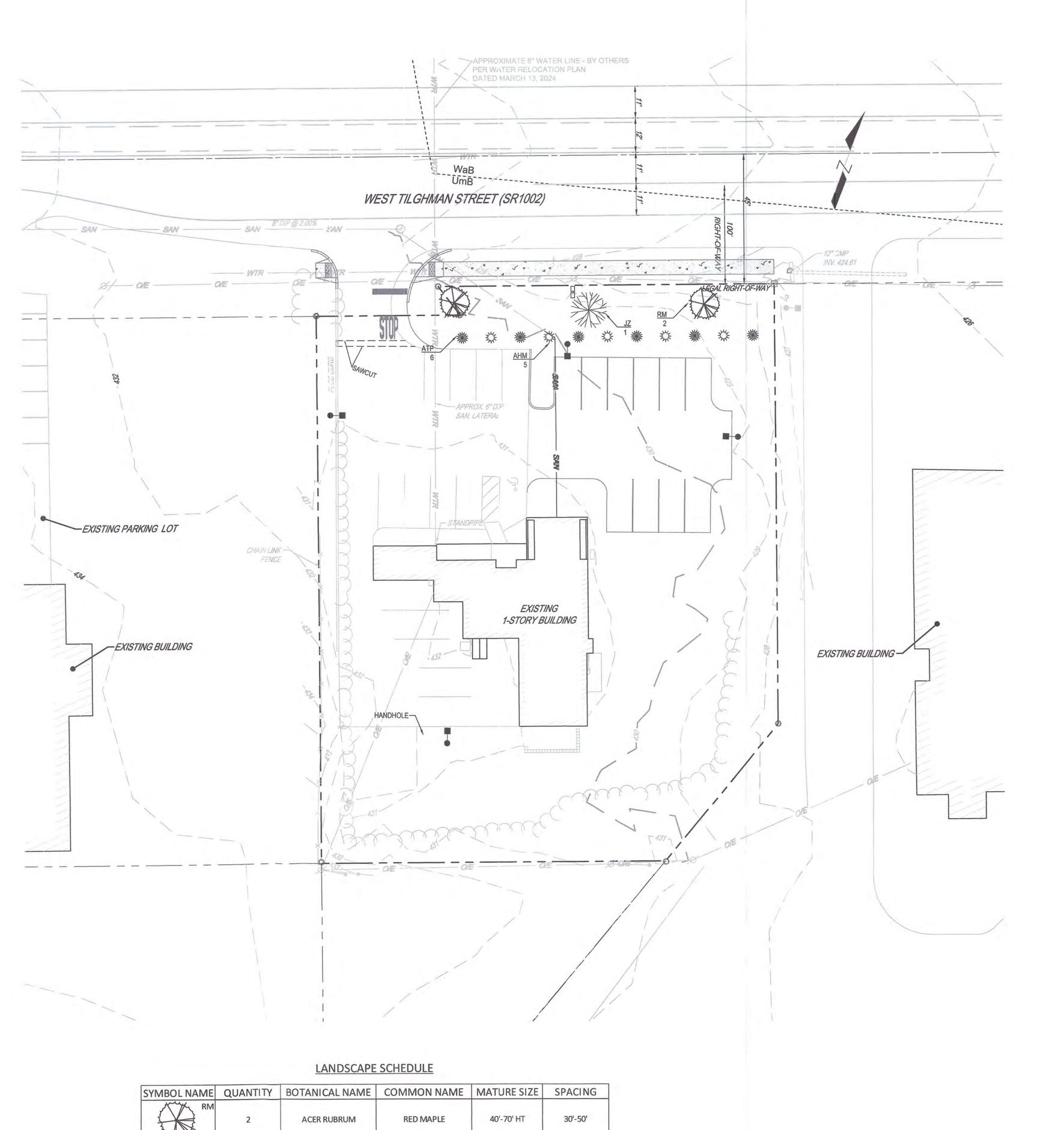


NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES SLANTED TEXT INDICATES EXISTING FEATURES



23-CATCL-01 SHEET: 5 OF 11

05/09/2023



- CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS,
- ALL SEEDED AND / OR SOD AREAS SHALL RECEIVE 6" OF LOAM OR TOPSOIL.
- ALL PLANTINGS AT DRIVEWAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF TREE FEET OR LESS AS TO NOT OBSCURE TRAFFIC VISIBILITY.
- 4. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST
- 5. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING GROWING SEASON.



Know what's below.

Call before you dig. SITE SERIAL #20230801991

NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES SLANTED TEXT INDICATES EXISTING FEATURES

SCALE:	DATE:
1"=20'	05/09/2023
DRAWN:	DSGN:
JOB:	P MGR:
23-CATCL-01	JS

SHEET: 6 OF 11

SYMBOL NAME	QUANTITY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	SPACING
RM	2	ACER RUBRUM	RED MAPLE	40'-70' HT	30'-50'
JZ	1	ZELKOVA SERRATA	JAPAMESE ZELKOVA	50'-80' HT	50'-80'
AHM AHM	5	THUJA OCCIDENTALIS	ARBORVITAE HETZ MIDGET	3'-4' HT	3'-4'
ATP	6	AZALEA X TRADITION (KURUME HYBRID)	AZALEA TRADITIONAL PINK	3'-4' HT	3'-5'

-PROJECT LOCATION

WASHINGTON SILT LOAM, 3% TO 8% SLOPES **ZONING DISTRICTS** RESIDENTIAL

DESCRIPTION

URBAN LAND-DUFFIELD

COMPLEX, 0% TO 8% SLOPES

RR-3 RURAL RESIDENTIAL—3
RR-2 RURAL RESIDENTIAL—2
RR RURAL RESIDENTIAL AND AGRICULTURAL
R-2 LOW DENSITY RESIDENTIAL
R-3 LOW DENSITY RESIDENTIAL
R-4 MEDIUM DENSITY RESIDENTIAL
R-5 MEDIUM DENSITY RESIDENTIAL
R-10 HIGH DENSITY RESIDENTIAL COMMERCIAL HC HC-1 NC GC GC-1 CR

SOIL CHART

HIGHWAY COMMERCIAL
HIGHWAY COMMERCIAL—SPECIAL HEIGHT LIMITATION
NEIGHBORHOOD COMMERCIAL
GENERAL COMMERCIAL
GENERAL COMMERCIAL—SPECIAL HEIGHT LIMITATION
COMMERCIAL—SPECIAL HEIGHT LIMITATION
OFFICE COMMERCIAL

SOURCE: SOUTH WHITEHALL TOWNSHIP ZONING MAP
SCALE: 1"=1000"

HC

PROPOSED

(T.B.R.)

**EXISTING** PROPERTY BOUNDARY \_\_\_\_ LOT LINE \_\_\_\_ BUILDING SETBACK \_\_\_\_\_ LEGAL RIGHT-OF-WAY \_\_\_\_ CURBING EDGE OF PAVEMENT EXIST. BUILDING

BUILDING PAVEMENT ZONING BOUNDARY person person person person Soil A Soil B SOIL BOUNDARY UTILITY POLE OVERHEAD ELECTRIC UNDERGROUND ELECTRIC SIGN 0-11 LIGHT POLE (LP) CONTOUR ----590----E.O.P. **EDGE OF PAVEMENT** E.O.P. **BITUMINOUS** 

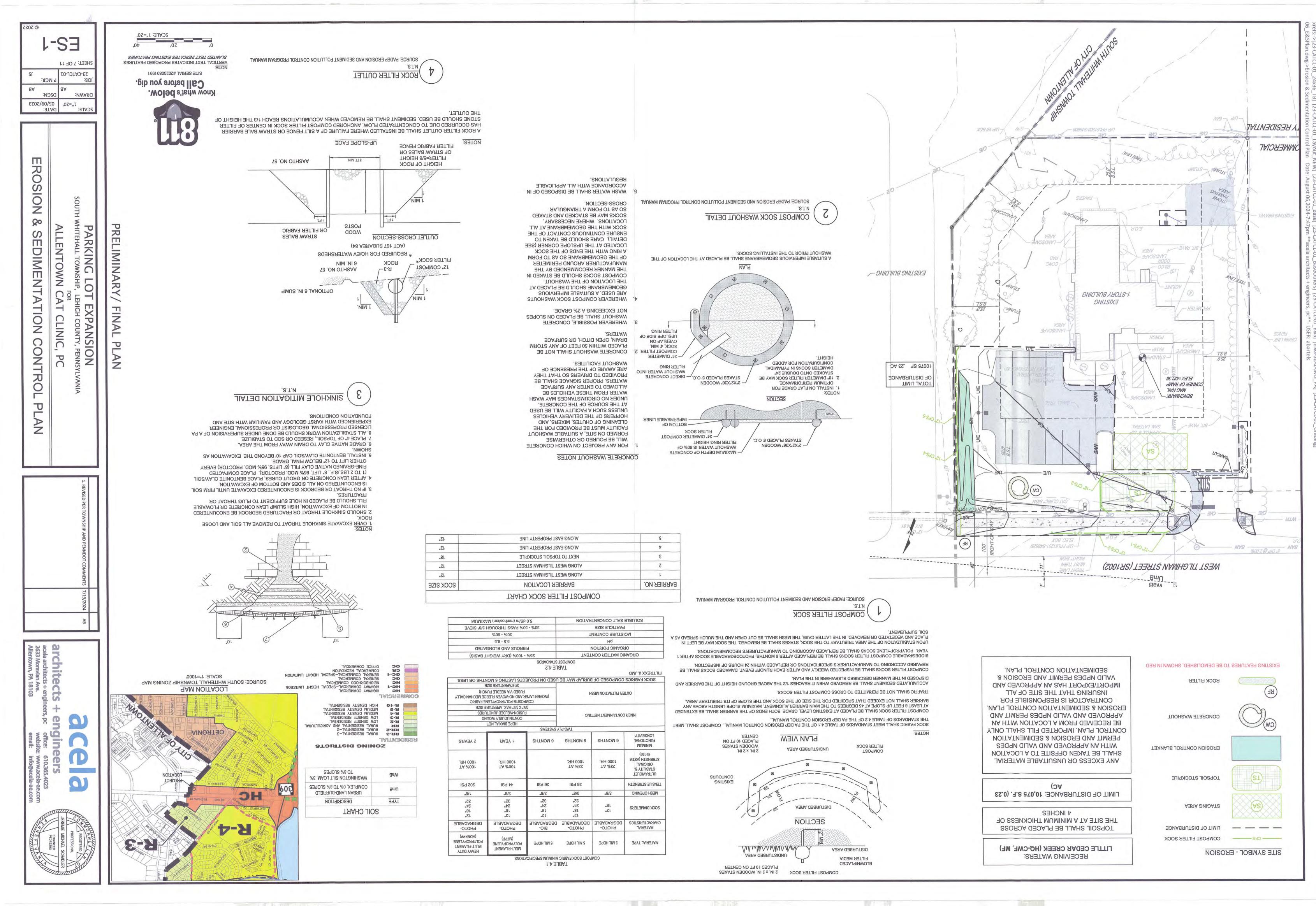
TYPICAL (TYP.) TO BE REMOVED CHAIN-LINK FENCE **FENCE** SIGN SANITARY LINE, MANHOLE, & CLEANOUT WATER MAIN

WTR -MMM EDGE OF WOODS (.) (.) TREES OVER 6" DIAMETER & 4.5' ADJACENT GRADE

NOTES:

AND EQUIPMENT IN ORDER TO COMPLETE THE WORK.

VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).



AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER TO AN ON-SITE PRECONSTRUCTION MEETING.

AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN

AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION,

ROOTS AND OTHER OBJECTIONABLE MATERIAL. 6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE

OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.

IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE

8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION, EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN

DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT

PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION. 10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.

12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.

13. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO THE LOCAL CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.

14. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.

15. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.

16. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES — 6 TO 12 INCHES ON COMPACTED SOILS — PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.

18. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.

19. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.

20. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.

21. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO

22. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

23. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.

24. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE

25. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.

26 PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.

27. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE

28. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.

29. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

30. IN THE EVENT OF SINKHOLE DISCOVERY A PROFESSIONAL GEOLOGIST OR ENGINEER WILL BE CONTACTED CONCERNING MITIGATION. ADDITIONALLY, THE LEHIGH COUNTY CONSERVATION DISTRICT AND THE SOUTH WHITEHALL TOWNSHIP GEOTECHNICAL CONSULTANT WILL BE MADE AWARE OF THE SINKHOLE DISCOVERY IMMEDIATELY.

31. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.

32. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION

33. THE E&S CONTROL PLAN MAPPING MUST DISPLAY A PA ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER. (THIS IS A NUMBERED SYMBOL NOT A NOTE.)

34. ALL WETLANDS MUST BE DELINEATED AND PROTECTED WITH ORANGE SAFETY FENCE PRIOR TO ANY EARTHMOVING

35. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.

36. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.

37. ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.

38. UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.

MAINTENANCE- EROSION & SEDIMENTATION CONTROL

1. ALL EROSION AND SEDIMENT CONTROL FACILITIES MUST BE INSPECTED WEEKLY AND AFTER EACH PRECIPITATION EVENT, ALL FACILITIES THAT ARE DAMAGED, CLOGGED, OR CAN NO LONGER PERFORM AS DESIGNED, SHALL BE REPLACED. REFER TO DETAILS ON THE PLANS FOR SPECIFIC MAINTENANCE METHODS FOR EACH SEDIMENT-TRAPPING

ALL SEDIMENT REMOVED FROM SEDIMENT TRAPPING DEVICES SHALL BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE EROSION OR SEDIMENTATION AND SHALL BE PLACED IN AN AREA WITHIN THE DEFINED LIMITS OF DISTURBANCE.

ANY PERMANENT SEEDED AREAS THAT BECOME ERODED OR DISTURBED SHALL HAVE THE TOPSOIL REPLACED, THE GRASS RESOWN, AND THE MULCH REAPPLIED, OR, AT THE DISCRETION OF THE OWNER, SOD MAY BE INSTALLED.

4. THE PERMIT HOLDER SHALL BE RESPONSIBLE FOR MAINTENANCE OF EROSION AND SEDIMENT CONTROLS UNTIL THE SITE IS STABILIZED, PERMANENT STABILIZATION IS DEFINED, AS "A UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED," OR THE DISTURBED AREA IS COVERED WITH AN ACCEPTABLE BMP, WHICH PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION. UNTIL SUCH TIME AS THIS STANDARD IS ACHIEVED, INTERIM STABILIZATION MEASURES AND TEMPORARY EROSION AND SEDIMENT CONTROL BMPS THAT ARE USED TO TREAT PROJECT RUNOFF MAY NOT BE REMOVED.

CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE:

CONTRACTOR IS RESPONSIBLE FOR PROVIDING CLEAN FILL AND PERFORMING ENVIRONMENTAL DUE DILIGENCE. CLEAN FILL IS DEFINED AS UNCONTAMINATED. NONWATER-SOLUBLE, NONDECOMPOSABLE INERT SOLID MATERIAL USED TO LEVEL AN AREA OR BRING THE AREA TO GRADE. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH, THE TERM DOES INCLUDE THE FOLLOWING MATERIALS; SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND RECOGNIZABLE AS SUCH. (25 PA. CODE §§ 287.1, 271.1)

2. IF THE SITE WILL HAVE EXCESS FILL THAT WILL NEED TO BE EXPORTED TO AN OFF SITE LOCATION, THE RESPONSIBILITY OF CLEAN FILL DETERMINATION AND ENVIRONMENTAL DUE DILIGENCE RESTS ON THE APPLICANT. IF ALL CUT AND FILL MATERIALS WILL BE USED ON THE SITE, A CLEAN FILL DETERMINATION IS NOT REQUIRED BY THE OPERATOR UNLESS THERE IS A BELIEF THAT A SPILL OR RELEASE OF A REGULATED SUBSTANCE OCCURRED ON THE SITE.

3. ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH PA DEP'S POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER

4. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT (NOT INCLUDING MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE), AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED.

ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTIONS AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE.

6. FILL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH PA DEP'S MUNICIPAL OR RESIDENTIAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

**RECYCLING & DISPOSAL** 

1. PROCEDURES, WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE, WILL BE UNDERTAKEN IN ACCORDANCE WITH DEPARTMENT REGULATIONS. INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. THE CONTRACTOR SHALL PLAN AND IMPLEMENT MEASURES FOR HOUSEKEEPING, MATERIALS MANAGEMENT. AND LITTER CONTROL DURING CONSTRUCTION. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL. DISPOSAL OF CONSTRUCTION WASTES SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS.

## SEDIMENT REMOVAL/DISPOSAL NOTE

ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

## UTILITY LINE TRENCH EXCAVATION/DISTURBANCE

1. LIMIT ADVANCE CLEARING AND OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION

THAT CAN BE COMPLETED IN ONE DAY. 2. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY (EIGHT HOURS). ALL EXCAVATED MATERIAL MUST BE STOCKPILED UPSLOPE OF TRENCH. DAILY BACKFILLING MAY BE DELAYED A MAXIMUM OF SIX DAYS IF PRESSURE TESTING IS REQUIRED.

3. ANY WATER WHICH ACCUMULATES IN THE OPEN TRENCH SHALL BE COMPLETELY REMOVED BY PUMPING INTO A PUMP FILTER BAG (OR OTHER SEDIMENT REMOVAL FACILITY). 4. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS. STRAWBALE BARRIERS SHALL BE INSTALLED ACROSS THE TRENCH DISTURBANCE AREA AS DEEMED

5. STABILIZATION OF ALL DISTURBED AREAS SHALL BE DONE IMMEDIATELY.

6. UTILITY CONSTRUCTION GENERALLY SHALL BE DONE FROM DOWNSTREAM TO UPSTREAM TO LIMIT DISTURBANCE. RESTORATION/STABILIZATION SHALL BE CONCURRENTLY.

CONSTRUCTION SEQUENCE

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCESS IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS

1. SCHEDULE A PRE-CONSTRUCTION CONFERENCE AND PROVIDE AT LEAST SEVEN (7) WORKING DAYS' NOTICE TO THE

FOLLOWING AGENCIES PRIOR TO COMMENCEMENT OF SITE GRADING WORK:

a. PROJECT ENGINEER: 610-365-4023 b. MUNICIPAL ENGINEER:

c. PA ONE CALL: 1-800-242-1776 2. THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER AT LEAST FORTY-EIGHT HOURS (48 HOURS) IN ADVANCE OF EROSION CONTROL FACILITIES COMPONENT INSTALLATIONS.

3. PRIOR TO REMOVAL OF TOPSOIL, REFER TO THE ESPC PLAN SHEET FOR LOCATION OF SOIL STOCKPILES. TEMPORARY AND PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH REQUIREMENTS LISTED AND AS NOTED IN THE PROJECT NARRATIVE AND AS LISTED ON THE ESPC PLAN SHEET. COMPOST FILTER SOCK SHALL BE INSTALLED DOWNSLOPE OF ALL TOPSOIL

a. PRIOR TO ANY SEEDING AND LIME AND FERTILIZER APPLICATION, A SOIL TEST SHALL BE PERFORMED TO DETERMINE THE PH FACTOR. ADDITIONAL LIME AND FERTILIZER MAY BE REQUIRED. 4. DISTURBED AREAS SHALL NOT BE STRIPPED OF TOPSOIL FOR MORE THAN FOUR (4) DAYS WITHOUT TEMPORARY

INSTALL COMPOST FILTER SOCKS 1-4. 6. INSTALL ROCK FILTER BERM.

7. STRIP TOPSOIL AND PLACE AT TEMPORARY STOCKPILE AT LOCATION SHOWN ON THE PLAN IF NECESSARY. PLACE COMPOST FILTER SOCK DOWNSLOPE OF STOCKPILE. IMMEDIATELY STABILIZE MATERIAL. 8. CONSTRUCT PARKING LOT EXPANSION AND GRADING.

9. INSTALL SIDEWALK AND RAMPS. 10.INSTALL SITE LIGHTING.

11.INSTALL STOP SIGN.

STABILIZATION.

12.ONCE SITE STABILIZATION HAS BEEN ACHIEVED. REMOVE ALL EROSION CONTROLS. ALL AREAS DISTURBED DURING THE REMOVAL OF THE EROSION CONTROL BMPS SHOULD BE IMMEDIATELY REPAIRED AND PERMANENTLY STABILIZED. 13,NO SOIL IS TO BE HAULED OFF-SITE WITHOUT SEPARATE EROSION AND SEDIMENTATION POLLUTION CONTROL PLAN

REVIEWED BY THE DESIGN ENGINEER. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A UNIFORM MINIMUM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.

1. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70 PERCENT PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

2. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED IN ANY DISTURBED AREA WHICH WILL BE INACTIVE FOR FOUR OR MORE

3. TEMPORARY EROSION CONTROL MEASURES MAY ONLY BE REMOVED AFTER APPROVAL, AFTER THE CONSTRUCTION AREA AND RETAINED SILT ARE STABILIZED AND AFTER LAWN AREAS ARE ESTABLISHED.



SITE SERIAL #20230801991 VERTICAL TEXT INDICATES PROPOSED FEATURES SLANTED TEXT INDICATES EXISTING FEATURES

1"=20' 05/09/2023 DRAWN: AB P MGR: 23-CATCL-01 SHEET: 8 OF 11

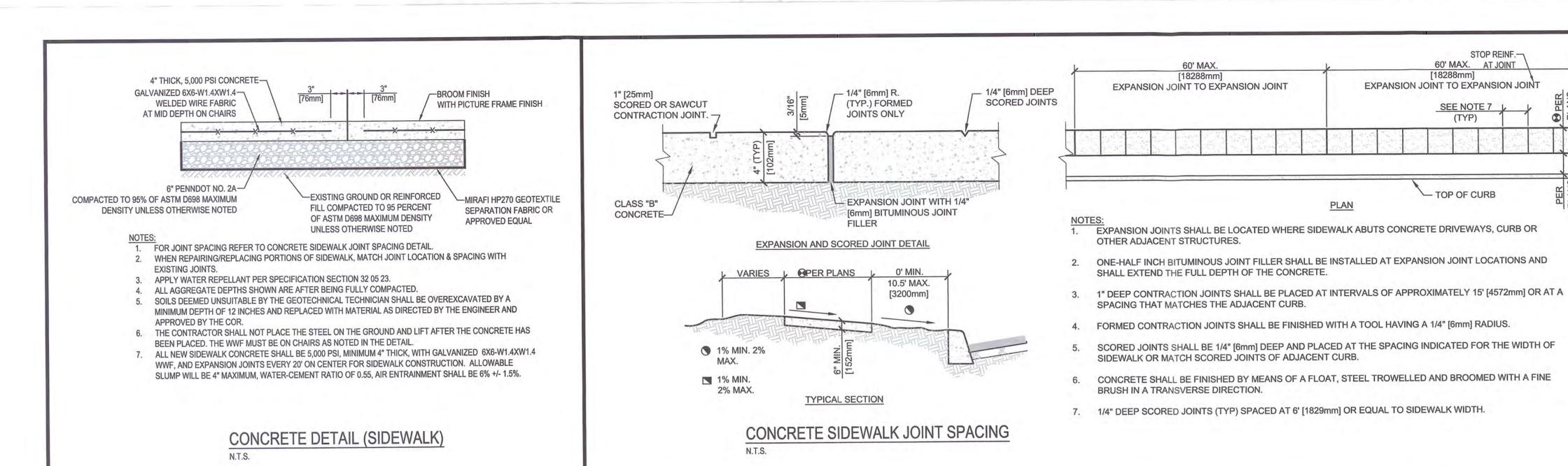
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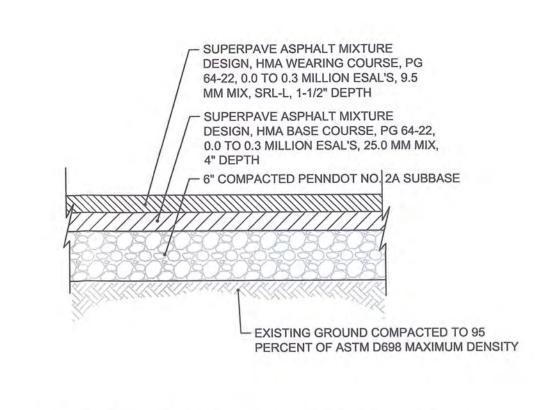
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LIGHT DUTY STREETS AND PARKING LOTS PAVEMENT SECTION

WHITE LETTERS-WHITE STOP BAR 6.25' CENTERED ON STOP BAR ACROSS ENTIRE DRIVE LANE

## PAINTED STOP BAR

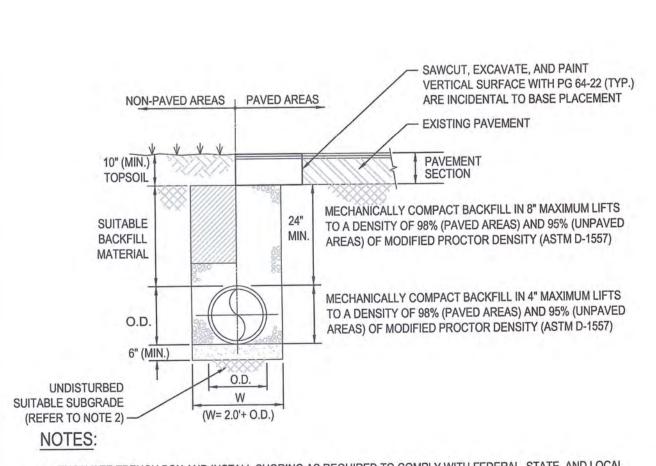
SOURCE: PADOT PUB. 111, TC-8600 SHEET 9 OF 13

-SCARIFY AND REMOVE PAVEMENT EQUIVALENT TO TOP COURSE THICKNESS **NEW PAVEMENT** CURB (WHERE-— 12" WIDE SPECIFIED) ASPHALT SEALER - SAW CUT EXISTING PAVEMENT \_\_\_\_\_\_ MATCH EXISTING SUBBASE DEPTH-IF GREATER THAN PROPOSED SECTION. -SUBGRADE COMPACTED TO NOT LESS CONTRACTOR TO VERIFY IN FIELD. THAN 95% OF ASTM D1557 MAXIMUM DENSITY UNLESS OTHERWISE NOTED

(1) THE PAVEMENT SURFACE SHALL BE THOROUGHLY CLEANED BY BROOMING IMMEDIATELY PRIOR TO THE PLACEMENT OF THE TACK COAT. APPLY TACK COAT TO ALL CONTACT SURFACES OF THE EXISTING ASPHALT INCLUDING SUCH AREAS AS ADJACENT PAVEMENT EDGES. CURBING, GUTTERS, MANHOLES, AND OTHER STRUCTURES, IMMEDIATELY PRIOR TO PLACING THE HOT MIX ASPHALT (HMA) MIXTURE AGAINST THEM.

- TOP OF CURB

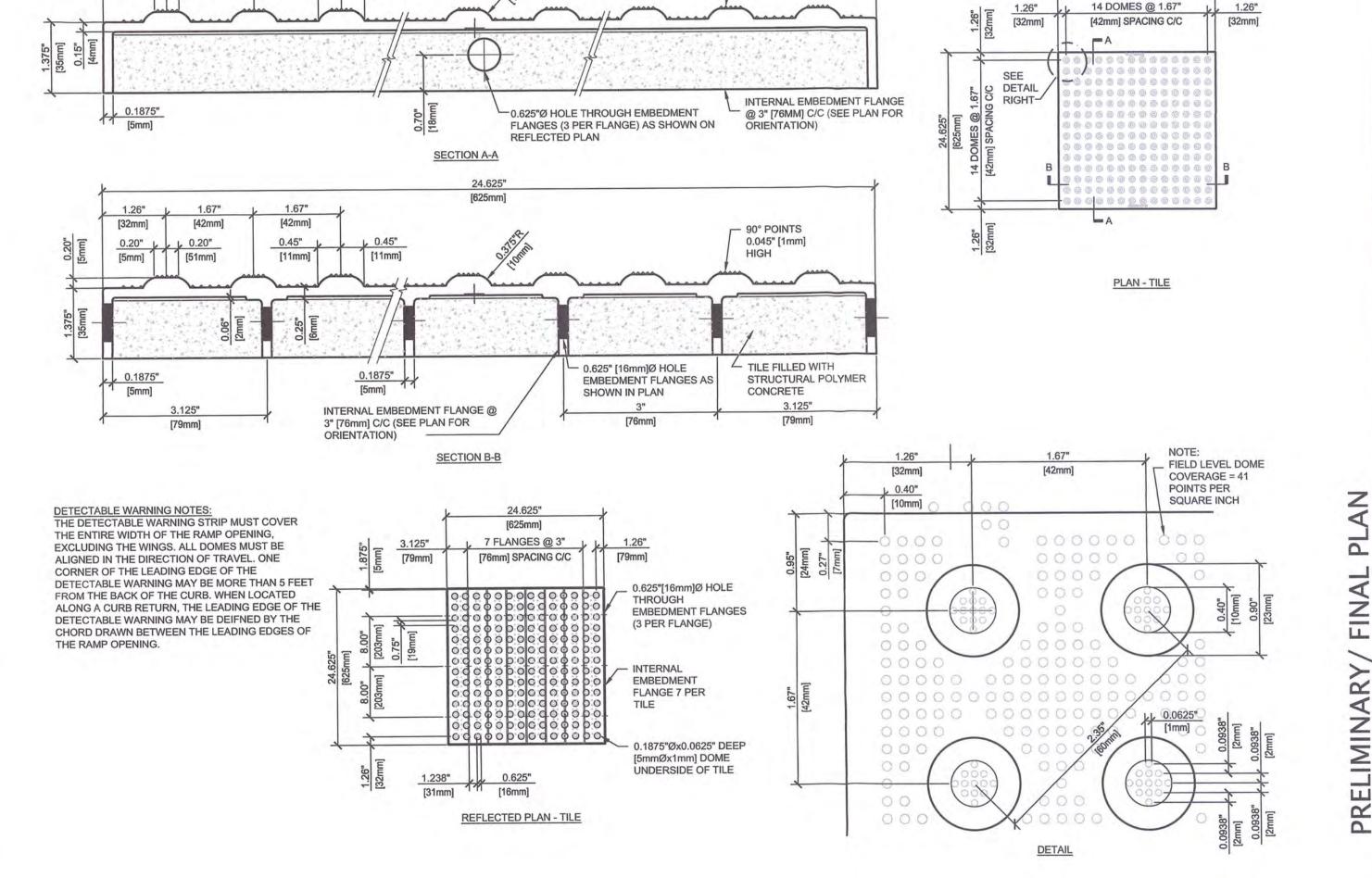
SAWCUT DETAIL



- 1. EXCAVATE TRENCH BOX AND INSTALL SHORING AS REQUIRED TO COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND CODES.
- 2. IF UNSUITABLE MATERIAL IS FOUND, UNDERCUT AS DIRECTED BY THE ENGINEER AND BACKFILL WITH SUITABLE MATERIAL TO BOTTOM OF BEDDING ELEVATION.
- 3. KEEP EXCAVATINGS DRY AND FREE OF WATER. INTERCEPT AND DIVERT SURFACE DRAINAGE AWAY FROM EXCAVATIONS. DEWATER ANY PRECIPITATION AND SUBSURFACE WATER FROM EXCAVATIONS.
- 4. DO NOT ADVANCE TRENCHING OPERATIONS MORE THAN 200 FEET AHEAD OF COMPLETED PIPELINE. 5. ALL TRENCHES WITHIN PAVED AREAS SHALL BE BACKFILLED WITH FULL DEPTH PA DOT NO. 2A COARSE AGGREGATE.

TRENCH RESTORATION

**PAVEMENT** 3/4" R. SURFACE [19mm] DESIGN END OF CURB BITUMINOUS JOINT FILLER CONCRETE CURB TERMINAL SECTION ALL CONCRETE CURBS AND TRANSITIONS, SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PENNDOT SPECIFICATIONS, PUBLICATION 408, CURRENT EDITION, SECTION 630. MAXIMUM SPACING ON SCORED JOINTS SHALL BE 15' [4572mm]. 4. 1/2" [13mm] THICK EXPANSION JOINTS SHALL BE LOCATED AT TANGENT POINTS IN CURB RETURNS, TRANSITIONS, AND AT A MAXIMUM OF 60' [1828.8cm] INTERVALS. EXPANSION MATERIAL SHALL ALSO BE PLACED BETWEEN CURBS AND ADJACENT STRUCTURES, SIDEWALKS, DRIVEWAYS AND CURB ACCESS RAMPS. THE 1/2" [13mm] JOINT FILLER SHALL EXTEND THE FULL DEPTH OF THE CONCRETE. CONCRETE SHALL BE FINISHED WITH A STEEL TROWEL FOLLOWED BY BRUSHING WITH A FINE BRUSH ALONG THE LENGTH OF THE CURB OR CURB AND GUTTER. SINGLE CURB MAY BE CONSTRUCTED BY THE USE OF FORMS OR MAY BE 7. ALL EXPOSED EDGES AND HAND TOOLED JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 1/4" [6mm] RADIUS UNLESS A LARGER RADIUS IS INDICATED BY THE APPLICABLE STANDARD DETAIL OR PROJECT PLANS. CONCRETE VERTICAL CURB CONCRETE CURB AND TERMINAL SECTION



DETAIL NOTE:

AND THE DEVELOPER'S ENGINEER.

90° POINTS

0.045" [1mm] HIGH

STOP REINF.-

TRUNCATED DONE TACTILE WARNING STRIP



Know what's below.
Call before you dig.

SITE SERIAL #20230801991 ALL DETAILS CONTAINED WITHIN THESE PLANS ARE A MINIMUM

STANDARD FOR ALL CONSTRUCTION WITHIN THE TOWNSHIP AND THAT INCORPORATION OF PORTIONS OR ALL OF THE TOWNSHIP'S STANDARD CONSTRUCTION DETAILS ON THE PLANS CONSTITUTES AN ACCEPTANCE OF AND ENDORSEMENT OF THOSE STANDARDS BY THE DEVELOPER

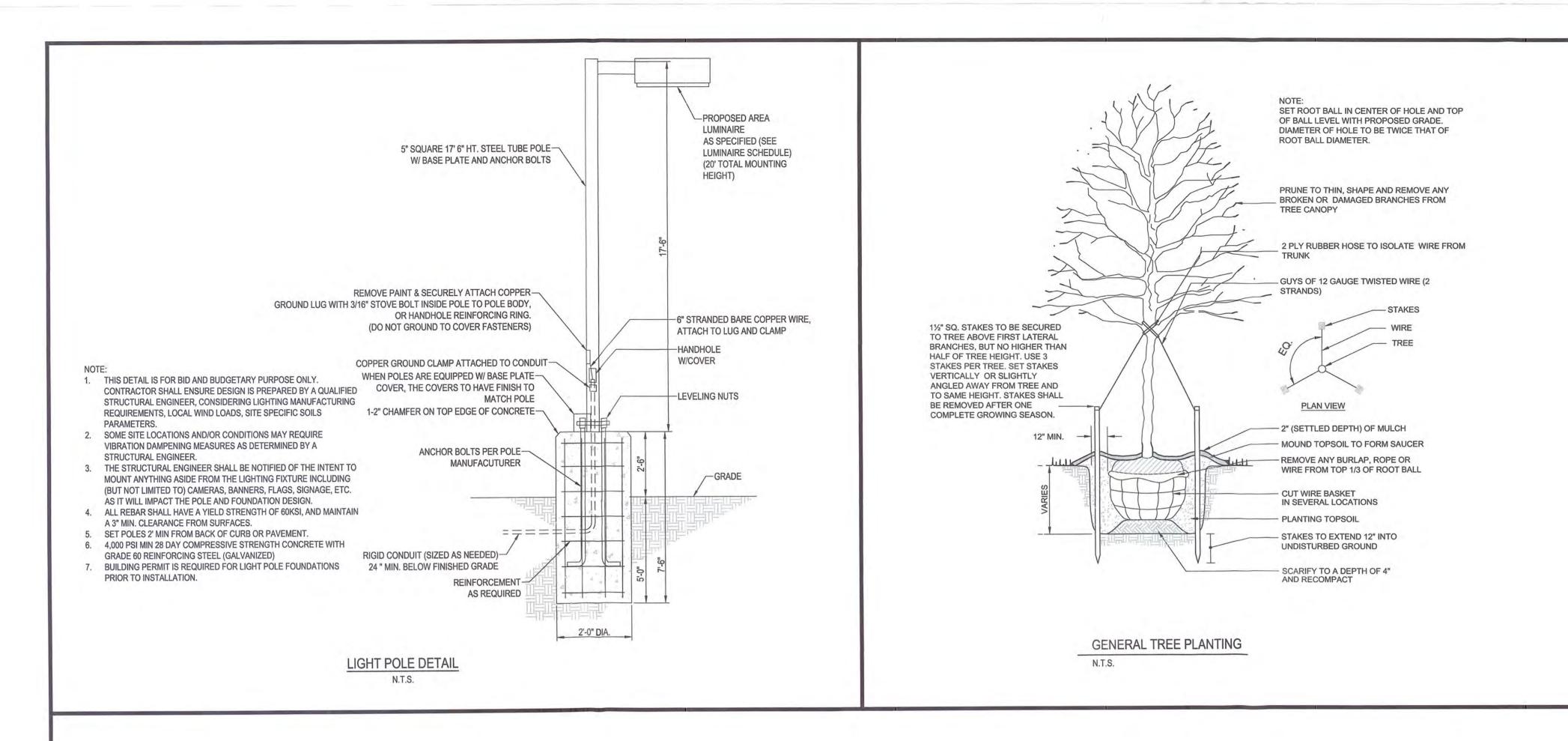
VERTICAL TEXT INDICATES PROPOSED FEATURES SLANTED TEXT INDICATES EXISTING FEATURES

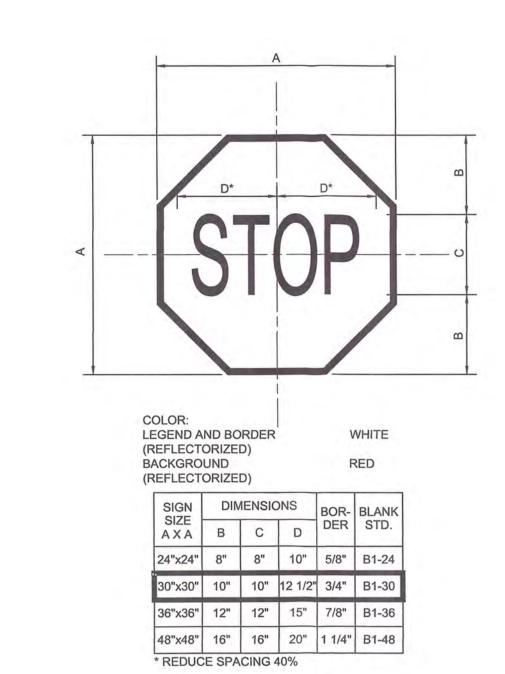
1"=20' 05/09/2023 DRAWN: DSGN: P MGR: 23-CATCL-01 SHEET: 9 OF 11

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CONSTRUC

PARKING





PRELIMINARY/ FINAL

PARKING WHITEHALL TOWNS



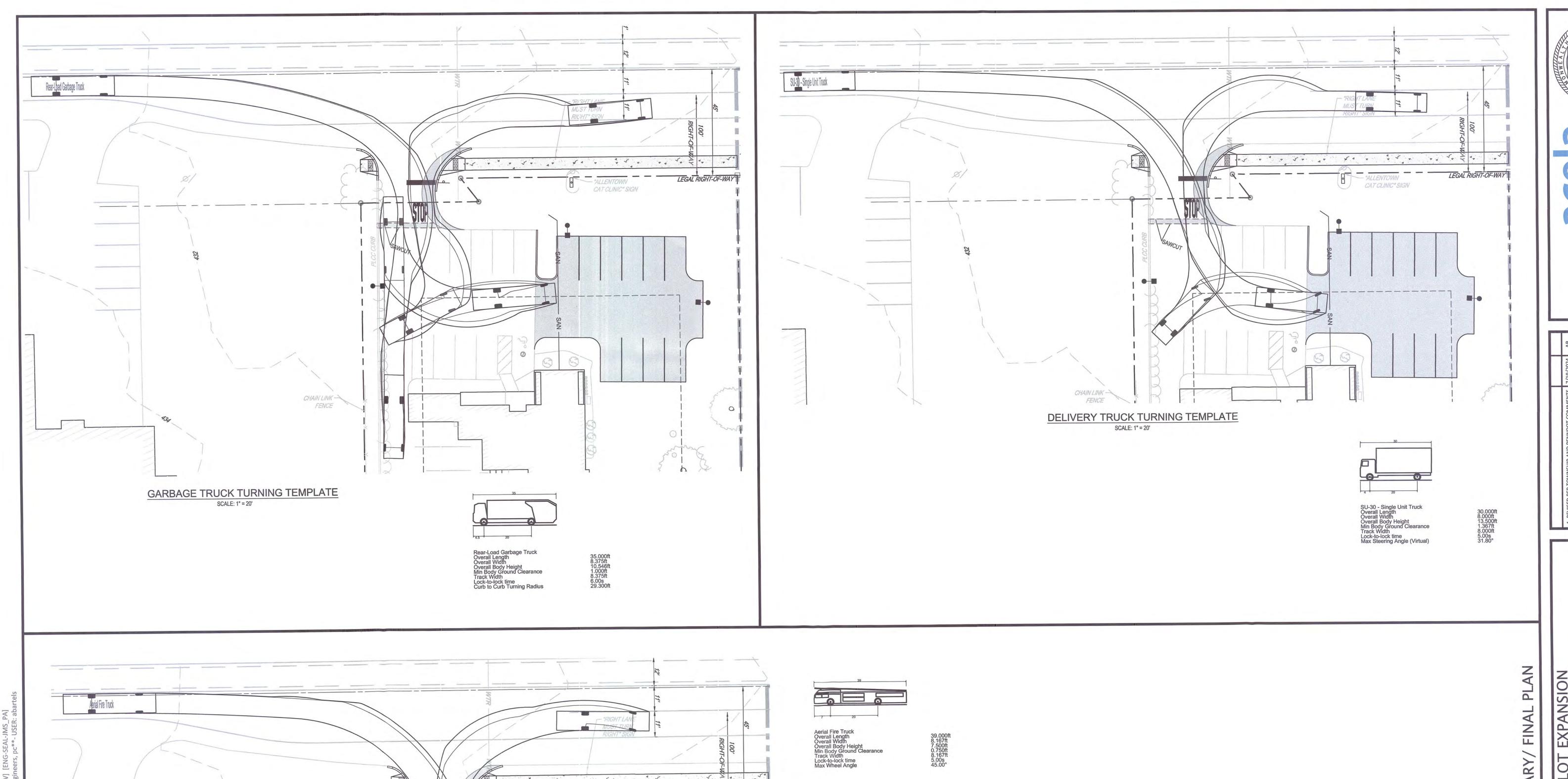
NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES SLANTED TEXT INDICATES EXISTING FEATURES

SHEET: 10 OF 11 DE-2

23-CATCL-01

LE: DATE: 05/09/2023

CONSTRUCTION DETAILS



PARKING WHITEHALL TOWNS

TEMPLAT

TURNING

E: DATE: 05/09/2023

JOB: 23-CATCL-01

SHEET: 11 OF 11

Know what's below.

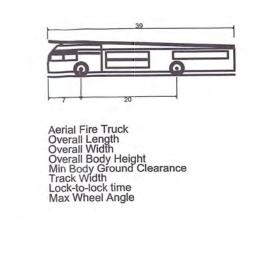
Call before you dig. SITE SERIAL #20230801991 NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES SLANTED TEXT INDICATES EXISTING FEATURES

WETE

LEGAL RIGHT-OF-WAY "ALLENTOWN CAT CLINIC" SIGN 

FIRE TRUCK TURNING TEMPLATE

SCALE: 1" = 20'



# Township Engineer Review

#### THE PIDCOCK COMPANY

CIVIL ENGINEERING AND LAND PLANNING

**ARCHITECTURE** 

LAND SURVEYING

Oxford Drive at Fish Hatchery Road

2451 Parkwood Drive Allentown, Pennsylvania 18103-9608

Telephone: 610-791-2252 Telefacsimile: 610-791-1256 E-mail: info@pidcockcompany.com

Website: www.pidcockcompany.com

Established 1924 J. Scott Pidcock, P.E., R.A.

Bruce E. Anderson, P.E., LEED AP Brian A. Dillman, P.E. Ronald J. Gawlik, P.E. Brian E. Harman, P.E., PTOE James A. Rothdeutsch, P.E., LEED AP John R. Russek, Jr., P.E. Brent C. Tucker, P.E.

Douglas E. Haberbosch, P.E. William G. Kmetz, P.L.S. Jeffrey R. Matyus John M. McRoberts, P.E. Brent D. Shriver, P.E. Todd L. Sonntag, R.A., LEED AP Anthony F. Tallarida, P.E. Ryan R. Troutman, P.E.

G. Edwin Pidcock, P.E., P.L.S. 1924-1967 John S. Pidcock, P.E., P.L.S. 1954-1999 Ralph M. Pidcock, P.L.S. 1952-2000 (Retired)

#### **MEMORANDUM**

TO: Mr. David Manhardt, AICP via e-mail

Director of Community Development

South Whitehall Township

FROM: Mr. Anthony F. Tallarida, PE

Manager, Municipal Engineering Services

SUBJECT: South Whitehall Township

Allentown Cat Clinic Major Plan #2023-102

Preliminary/Final Plan Review

DATE: September 5, 2024

COPIES: Mr. Thomas R. Petrucci, MPA

Township Manager

South Whitehall Township

Mr. Herb Bender

Director of Township Operations South Whitehall Township

Mr. Mike Elias

Public Works Utility and MS4 Program Coordinator

South Whitehall Township

Ms. Tracy J.B. Fehnel

Insurance Administrator & Executive Assistant

South Whitehall Township

Ms. Laura M. Harrier, BCO Building Code Official/Zoning Officer South Whitehall Township

Mr. John G. Frantz, CFEI, BCO Fire Marshal, Building Code Official South Whitehall Township

Joseph A. Zator, II, Esq. South Whitehall Township Solicitor Zator Law

Jennifer R. Alderfer, Esq. Assistant South Whitehall Township Solicitor Zator Law

Mr. Jeremie Schadler, P.E. Acela Architects + Engineers, PC

David M. & Michele L. Paul Allentown Cat Clinic

(all via e-mail)

Mr. Ronald J. Gawlik, PE, Township Engineer

#### **REPORT:**

South Whitehall Township Ordinances:

Zoning Ordinance (ZO)

Subdivision and Land Development Ordinance (SALDO)

Stormwater Management Ordinance (SMO)

See attached list for documents reviewed.

#### **Existing Lot:**

0.7 acre lot;

2,600 s.f. building w/ 13 parking spaces;

 $10,850 \pm \text{ s.f.}$  of total impervious cover;

4 light poles;

Public Water and Sewer.

#### Proposal:

The Allentown Cat Clinic, located at 4090 West Tilghman Street, is proposing to add 10 parking spaces (approximately 3,500 s.f. of impervious cover) and corresponding parking lot lighting. The Plans also indicate paving an additional  $600\pm$  s.f. of existing gravel to accommodate staff parking.

#### Waivers/Deferrals Granted:

None to date.

#### Recommendation:

Engineering approval recommended subject to the following comments being addressed.

jfw/laf

Enclosures

#### THE PIDCOCK COMPANY

South Whitehall Township Allentown Cat Clinic Major Plan #2023-102 Preliminary/Final Plan Review

September 5, 2024

#### **REVIEW COMMENTS**

#### A. Planning

1. In a letter dated August, 2024, the Design Engineer requested a waiver from SALDO 312-35(b) – A waiver from the requirement of providing curbing along Tilghman Street;

In the event a waiver is granted, update the waiver note on the Plans to list the date of approval.

#### B. General

- 1. The Shade Tree Commission should determine the acceptability of the proposed landscaping, SALDO §312-12(b)(28) and §312-12(b)(36);
- 2. Provide a sign tabulation for existing and proposed signage;
- 3. Provide a north arrow on Sheet 2, SALDO §312-12(b)(11);
- 4. Show the proposed sanitary sewer connection on the Layout and Zoning Plan, SALDO §312-12(b)(34);
- 5. Provide a project narrative describing the proposal, SALDO §312-12(b)(40);
- 6. Dimension the proposed sidewalk on the Plans; and
- 7. Revise the eastern property line swale grading to provide a maximum side slope of 3 feet horizontal to 1 foot vertical, SALDO §312-35(b)(3)(A)(viii)(1)(B)(ii).

#### C. Policy and Information

- 1. Provide copies of all correspondence, including all data submitted to outside agencies regarding required permits and approvals, to the Township and our office and list the status of these approvals on Note 12 (Sheet 1);
- 2. We note that the current submission includes the first sheet only of PennDOT correspondence for HOP Application No. 343110. We also have separately received correspondence for HOP Application No. 350637. To facilitate future review of the HOP materials, please add The Pidcock Company (PennDOT Business Partner ID 006676) to the HOP Application as an Engineer. At a minimum, add bharman@pidcockcompany.com as an additional contact;

- 3. We have not reviewed and would defer to the Township Fire Marshal and emergency response personnel regarding the acceptability of emergency access and fire protection requirements;
- 4. We defer to the Building Code Official for review of the adequacy of the existing handicapped parking spaces, appropriate signage/marking, ADA ramps/sidewalks, etc., as well as the need for additional amenities;
- 5. We defer to the Township Electrical Consultant for review of the proposed site lighting;
- 6. We defer to the Township Geotechnical Consultant for review of all geotechnical aspects of the design; and
- 7. Upon submission of plans for recording, all Statements and Certifications shall be signed and sealed/notarized as applicable, SALDO §312-14(b)(2).

The comments noted above are the result of our engineering review. We have not reviewed items associated with legal, zoning, geotechnical, lighting, water/sanitary sewerage systems, environmental, frontage streetscape improvements, building code, public safety, and other non-engineering issues, which should be reviewed by the appropriate Township Staff and Consultants.

#### South Whitehall Township Allentown Cat Clinic Major Plan #2023-102 Preliminary/Final Plan Review

List of Plans and Supplemental Information Prepared by Acela Architects + Engineers, PC and dated or last revised July 17, 2024 (except as noted)

- 1. Title Sheet, Sheet 1 of 11;
- 2. Existing Features & Demolition Plan, Sheet 2 of 11 (cursory review only);
- 3. Layout & Zoning Plan, Sheet 3 of 11;
- 4. Grading & Utility Plan, Sheet 4 of 11;
- 5. Lighting Plan, Sheet 5 of 11 (cursory review only);
- 6. Landscape Plan, Sheet 6 of 11 (cursory review only);
- 7. Erosion & Sedimentation Control Plan, Sheet 7 of 11 (cursory review only);
- 8. Erosions & Sedimentation Control Details, Sheet 8 of 11 (cursory review only);
- 9. Construction Details, Sheets 9 and 10 of 11;
- 10. Turning Template, Sheet 11 of 11; and
- 11. Stormwater Narrative, dated August 2, 2024.

In addition, we have received the following information in support of the Application:

- 1. LANTA Review Letter, dated July 28, 2024;
- 2. PennDOT HOP Review Letter, dated June 6, 2024;
- 3. Geotechnical Response Letter, dated August 7, 2024;
- 4. Zoning Response Letter, dated August 7, 2024;
- 5. Water and Sanitary Sewer Response Letter, dated Augusts 7, 2024;
- 6. Comment Response Letter, dated August 7, 2024;
- 7. Waiver Request Letter, dated August 7, 2024; and
- 8. Transmittal Letter, dated August 7, 2024.

# Township Water & Sewer Engineer Review

#### Spotts, Stevens and McCoy

Roma Corporate Center, Suite 106 1605 N. Cedar Crest Blvd. > Allentown PA 18104 610.849.9700 > F. 610.621.2001> SSMGROUP.COM



August 30, 2024

Mr. David Manhardt, AICP Director of Community Development South Whitehall Township 4444 Walbert Avenue Allentown PA 18104

Re: Parking Lot Expansion Allentown Cat Clinic

Land Development #2023-102 Review of Preliminary Final Plan SSM File 103400.0093

Dear Mr. Manhardt:

This correspondence is a review of the Preliminary/Final Land Development for the above referenced project dated July 10, 2024. The project is an addition to the existing building located at 4090 Tilghman Street. We have the following comments regarding the water and sanitary sewer utilities:

#### General Comments:

1. None at this time.

#### Water Comments:

2. The water line shown on most sheets has a tag note: "Approx. 6" DIP San. Lateral" with an arrow pointing at the water line. The note should be corrected to reflect the water service.

#### **Sanitary Sewer Comments:**

1. The sanitary sewer lateral shown on most sheets has a tag note: "Approximate 2" water lateral with an arrow pointing at the sanitary sewer lateral. The note should be corrected to reflect the sanitary lateral.

Please contact us should you have any questions or require any additional information regarding our comments.

Sincerely,

Spotts, Stevens, and McCoy

Jason M. Newhard, CCM, LO

Manager, Construction Management Services

Environmental Engineering

jason.newhard@ssmgroup.com

cc: SWT, PW

# Township Geotechnical Consultant Review

252 Brodhead Road • Suite 100 • Bethlehem, PA 18017-8944 Phone: 610.691.5644 • Fax: 610.691.6968 • HanoverEng.com

August 19, 2024

Mr. David Manhardt, AICP Director of Community Development South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104-1699 RE: Geotechnical Engineering Review of Provided Documents Parking Lot Expansion Allentown Cat Clinic Major Plan #2023-102 South Whitehall Township, Lehigh County, Pennsylvania Hanover Project SWT23-11(009)

#### Dear Mr. Manhardt:

Hanover Engineering has reviewed the information received on August 8, 2024 via email. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following, as prepared by Acela Architects + Engineers, PC:

- 1. Document referenced as "Parking Lot Expansion Allentown Cat Clinic Stormwater Narrative", dated August 2, 2024.
- 2. Letter referenced as "Parking Lot Expansion Allentown Cat Clinic Geotechnical Engineering Review Comments Acela Response", dated August 7, 2024.
- 3. Engineering Plan set entitled "Parking Lot Expansion Allentown Cat Clinic", Sheets 1 of 11 through 11 of 11 inclusive, dated May 9, 2023, revised July 19, 2024.

Based on our review, it is our understanding that the subject property currently exists as a 30,492 square foot (0.70 acre) single tax parcel containing an existing one (1) story building utilized as a veterinary clinic. We further understand that the applicant proposes to expand the existing parking lot from thirteen (13) spaces to twenty-four (24) spaces, to pave an existing gravel area for employee parking, to change pole-mounted lighting, to construct a new sidewalk, and to improve site landscaping. The proposed work will create less than 5,000 square feet (sf) of disturbance and will increase the impervious coverage from 10,847 sf to 14,416 sf. The existing building is currently served by public water and sewer service and will continue to be so served.

This is a second submission of documents to this office for review. We offer the following review of comments issued in our letter dated June 1, 2023, repeated below in italics, and any new comments generated by this submission:

- A. Subdivision and Land Development Ordinance
  - 1. Section 312.12(b)(18): Provide and label the location of all significant features listed or provide a note stating which features do not exist on the site.

This comment has been adequately addressed.

#### B. Stormwater Management Ordinance

1. Section 296-5.E: This proposal would create less than 10,000 square feet (sf) of additional impervious cover and is therefore exempt from meeting the provisions of Chapter 296 Stormwater Management. However, this development plan is still required to manage the quantity, velocity, and direction of resulting stormwater runoff as is reasonably necessary to prevent injury to health, safety, or other property. Demonstrate how the requirements of this section will be met.

This comment has been adequately addressed.

This submission has not generated any new comments.

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING

Christopher A. Taylor, PG

cat:cas/sas

\$:\Projects\Municipa\SWhitehallTownship\Swt23-11(009)-ParkingLotExpansionAllentownCatClinicMajorPlan2023-102\Docs\2024-08-19-SWT Geotech, Parking Lot Expansion A'town Cat Clinic geotech cmt ltr 2.doc

cc: Mr. Herb Bender, Public Works Director (via email)

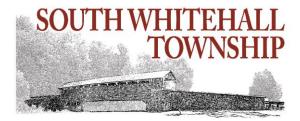
Mr. Anthony Tallarida, PE, The Pidcock Company (via email)

Mr. Mark Gnall, PE, The Pidcock Company (via email)

Mr. David M. Paul

Mr. Jeremie Schadler, PE, Acela Architects + Engineers, PC

# Public Works Department Review



## INTEROFFICE MEMORANDUM

To: Dave Manhardt, director of Community Development

FROM: HERB BENDER, PUBLIC WORKS MANAGER

**DATE: AUGUST 21, 2024** 

**SUBJECT: PARKING LOT EXPANSION ALLENTOWN CAT CLINIC** 

**MAJOR PLAN 2023-102** 

The Public Works Dept. reviewed the above project and has the following comments:

- 1. Water Curb Box is paved over. Please locate water box.
- 2. All spec's need to be Township spec
- 3. Verify integrity of existing sewer to remain

## Public Safety Commission Review

From:John G. FrantzTo:Christopher StrohlerCc:David Manhardt

**Subject:** Parking Lot Expansion Allentown Cat Clinic - 2023-102

**Date:** Tuesday, September 10, 2024 7:20:49 AM

Attachments: <u>image001.png</u>

Chris,

The Public Safety Commission review resulted in the following comments.

Fire Marshal Review – None.

Fire Company Review – None.

Emergency Management Review – None.

Police Review – None.

Emergency Medical Services Review – None.

Parkland School District Review – None.

The Commission made no recommendations to the plan.

#### John G. Frantz, CFEI, BCO

Fire Marshal, Building Code Official South Whitehall Township 4444 Walbert Avenue Allentown PA 18104-1699 610-398-0401 (office) 610-398-1068 (fax)

www.southwhitehall.com

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# Landscape and Shade Tree Commission Review



## **MEMORANDUM**

**To:** Planning Commission

FROM: Chris Strohler, Long-Range Planner

**DATE:** August 26, 2024

**SUBJECT:** Subdivision Plan Review

Allentown Cat Clinic Parking Lot Expansion

Major Plan 2023-102 Plan dated July 19, 2024

**COPIES:** Landscape and Shade Tree Commission, D. Manhardt, L. Harrier, A.

Tallarida, J. Alderfer, Esq., S. Pidcock, Applicant

At their August 26, 2024, meeting, the Landscape and Shade Tree Commission reviewed the above-mentioned plan and recommended the following:

The Landscape and Shade Tree Commission requests that the landscape schedule include proposed plant sizes at installation in addition to the estimated mature size. The Commission also recommends the applicant consider replacing the *Azelea X Tradition (Azalea Traditional Pink)* with a more urban and sun-tolerant species of shrub. The Commission suggests that replacing the *Azelea X Tradition (Azalea Traditional Pink)* with additional *Thuja Occidentalis (Arborvitae Hetz Midget)* at smaller spacing would create a denser buffer between the parking lot and West Tilghman Street.

Respectfully submitted,

**Christopher Strohler, AICP** 

Long-Range Planner, Community Development Department

hristopher Strohler

## Parks and Recreation Board Review



## **MEMORANDUM**

**To:** Planning Commission

FROM: Chris Strohler, Long-Range Planner

**DATE:** September 9, 2024

**SUBJECT:** Subdivision Plan Review

Allentown Cat Clinic Parking Lot Expansion

Major Plan 2023-102 Plan dated July 19, 2024

**COPIES:** Parks and Recreation Board, D. Manhardt, L. Harrier, A. Tallarida,

E. Bet, J. Alderfer, Esq., Applicant

At their September 9, 2024, meeting, the Parks and Recreation Board reviewed the above-mentioned plan and determined the following:

The Parks and Recreation Board recommend that the developer pay fees in lieu of common open space land dedication to meet the open space and recreation requirements of Section 312-36(d)(4) of the Subdivision and Land Development Ordinance. The amount of fees to be paid in lieu of common open space land dedication in a non-residential subdivision or land development shall be Twenty-Five Cents (\$0.25) per square foot of additional proposed impervious coverage (post-development impervious surface minus pre-development impervious surface). Per the Impervious Cover table on the Title Sheet TS-1, a net increase in impervious coverage of 4,237 square feet is proposed. Therefore, the fee to be charged would be \$1,059.25 (4,237 sq.ft. x \$0.25).

Respectfully submitted,

**Christopher Strohler, AICP** 

Long-Range Planner, Community Development Department

hristopher Strohler

# Lehigh Valley Planning Commission Review



STEVEN GLICKMAN Chair

CHRISTOPHER AMATO Vice Chair

> KEVIN SCHMIDT Treasurer

BECKY A. BRADLEY, AICP Executive Director

May 22, 2023

Mr. Gregg Adams, Planner South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104

Re: Allentown Cat Clinic – Land Development South Whitehall Township Lehigh County

Dear Mr. Adams:

The subject applicant proposes expanding and paving an existing gravel parking lot of 13 parking spaces and increasing it to 24 parking spaces including one handicapped space of .10 acre at 4090 West Tilghman Street (PIN548606528477).

The LVPC offers the following comments:

The LVPC commends these improvements for accessibility. This proposed improvement will increase access for all persons (of Policy 5.2).

Sidewalk infrastructure in this area being strengthened along the frontages of existing buildings, although the sidewalk infrastructure is not fully connected, with gaps is several locations. Part of *FutureLV* the Regional Plan Policy 5.3 is to "Strengthen sidewalk infrastructure".

The sidewalk that runs along N 40<sup>th</sup> Street and at the corner and does not extend to run along Tilghman Street. The sidewalk that runs up Parkway Road does connect with Tilghman Street, but ends prior to connecting with the corner at North 40<sup>th</sup> Street. This lack of sidewalk connectivity creates gaps in accessibility for pedestrians especially for people using a mobility devise or tools such as a wheelchair, walker, scooter, or a White Cane which allow people who are blind, DeafBlind, or visually impaired to navigate, or pushing a stroller and those who utilize public transportation. The image on the following page shows several LANTA bus stops in circled in blue, and the proposed location for the parking lot improvement circled in green.



As part of 'improving connections between bus stops and pedestrian and bicycle infrastructure (of Policy 5.2), the LVPC suggests that a sidewalk along the frontage of this location running along Tilghman Street be installed with the intention to connect with future sidewalks on either side eventually connecting with the existing sidewalk on Tilghman and the corner at North 40<sup>th</sup> Street to completely close all existing gaps. This would increase accessibility for pedestrians and 'incorporate universal design and ensure accessibility for all persons' (of Policy 5.2). However, the Municipality may determine that a sidewalk may be deferred at this location to such a time as the connecting infrastructure in place.

Municipalities, when considering subdivision/land developments, should reasonably attempt to be consistent with *FutureLV: The Regional Plan*, as required by the Pennsylvania Municipalities Planning Code (MPC) [Article 1§105, Article III§303, §304 & §306(a), Article VI§603(j)]. The LVPC review does not include an in-depth examination of plans relative to subdivision design standards or ordinance requirements since these items are covered in the municipal review.

Sincerely,

Bambi Griffin Rivera

Senior Community and Regional Planner

cc: Michele Paul, Applicant; Acela Architects and Engineers, PC, Project Engineer/Surveyor; Scott J. Pidcock, Township Engineer; David and Michele Paul, Record Property Owner

### **LANTA Review**



#### Lehigh and Northampton Transportation Authority

1060 Lehigh Street, Allentown, PA 18103 Phone 610-435-4517 – Fax 610-435-6774 www.lantabus.com

July 28, 2023

David and Dr. Michele Paul VMD Allentown Cat Clinic 4090 West Tilghman Street Allentown PA 18104

RE: LANTA Comments for Parking Lot expansion at Allentown Cat Clinic

Mr. and Dr. Michele Paul,

Thank you for contacting the Lehigh and Northampton Transportation Authority (LANTA) regarding the parking lot expansion at the Allentown Cat Clinic located on West Tilghman Street, between two eastbound LANTA bus stops.

LANTA typically reviews land development plans for proposed projects in municipalities in our service area to provide comments and recommendations for the project site in relation to our bus routes, bus stops, and any associated pedestrian and transit infrastructure. Like most land development plans we review, LANTA always strongly encourages the installation of sidewalks to help close the existing sidewalk gap along the transit corridor. While our existing bus stops vary in location on Tilghman Street, we support all pedestrian connectivity along the corridor to allow transit riders and pedestrians alike to safely access the bus stops and main entrances of their destinations.

Sincerely,

Molly S Wood, AICP

Planner/Land Use Specialist

Cc: David Manhardt, South Whitehall Township, Director of Community Development

## PennDOT Review



Date:

06/06/2024

Subject:

Highway Occupancy Permit Application No. 343110, Cycle No.1 - Returned For

Revisions

To:

Allentown Cat Clinic, PC

4090 Tilghman Street Allentown, PA 18103

From:

PennDOT Engineering District 5-0

1002 Hamilton Street Allentown, PA 18101

#### Dear Applicant,

PennDOT has reviewed your application for completeness, consistency and compliance with applicable Department Regulations. This review has identified issues that must be addressed in order for our review to continue.

The Department's review comments are attached.

Once the comments have been addressed, please resubmit the application and associated material for further review.

Upon resubmission, the applicant's engineer should put together a letter that describes how each comment has been addressed and where each can be found. This will help expedite the review. For guidance on HOP applications refer to 67 PA Code, Chapter 441, Chapter 459 and PennDOT Publication 282, "Highway Occupancy Permit Guidelines". Additional comments may follow upon review of the resubmitted application.

As an alternative to contacting the individual indicated below, the District is offering applicants an opportunity to attend HOP Collaboration Workshop Meetings (held weekly) for clarification on any of the following comments. To sign up, please open the HOP Collaboration Workshop link located in the Links section on the EPS Applications Portal and follow the instructions.

If you have any questions regarding this matter, you may contact Marah Haddad, District Permit Manager, at (610) 871-4467.

## South Whitehall Planning Document Review

# SOUTH WHITEHALL TOWNSHIP

4444 Walbert Avenue, Allentown, PA 18104-1699 www.southwhitehall.com • 610-398-0401

September 6, 2024

Allentown Cat Clinic Attn: David and Michele Paul 5655 Chestnut Street Emmaus, PA 18049

RE: Allentown Cat Clinic Parking Lot Expansion Major Plan #2023-102 Request For Preliminary/Final Plan Review

Dear David and Michele:

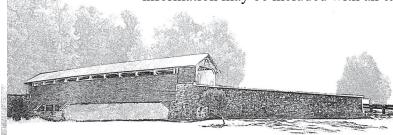
The purpose of this letter is to report on planning and non-engineering related comments that are to be addressed. My comments follow:

#### **Open Space and Recreation**

1. The plan will be forwarded to the Parks and Recreation Board on September 9, 2024 for a recommendation on how the applicant might best meet the Open Space and Recreation Requirements of Section 312-36(d)(4) of the Subdivision and Land Development Ordinance.

#### **Plan Recording Requirements**

- 1. Prior to plan recording, the applicant shall submit a check set of plans in PDF format to the Township Engineer and Township staff to ensure that the standards and requirements of the Lehigh County Recorder of Deeds Office for a recorded plan are met.
- 2. Signature Blocks and Certifications to appear on each plan sheet to be recorded.
- 3. The size of the plan sheet shall be noted on the upper left-hand corner of every plan sheet to be recorded.
- 4. Wherever a Parcel ID is shown on a plan sheet to be recorded, it shall include the appropriate parnum suffix, such as 547677593477<u>-1</u> or 547687003997<u>-59</u>.
- 5. Wherever an Owner's signature is required, the Signature shall be accompanied by a Printed Name and Title (Owner or Title within the owning organization), and an area for a Notary stamp. If there are multiple owners, there shall be signature blocks and areas for Notary stamps for each and every owner's name.
- 6. On the cover sheet or (if no cover sheet is present) the site plan sheet, include a table listing all of the properties involved in the project, including PIN and Parnum. This information may be included with an existing table or a new table may be created.



7. The review date of the Planning Commission and the review date and Resolution number of the Board of Commissioners shall be placed into the appropriate Board endorsement notes on the appropriate plan sheet to be recorded. Dates and Resolution number may be obtained from South Whitehall Township.

#### Official Map & Comprehensive Plan

- 1. The Comprehensive Plan envisions the tract within a Business District Land Use Type. The goals of Business District areas are to:
  - Incentivize infill and redevelopment
  - Incorporate residential to create mixed-use developments
  - Encourage local connectivity to surround land uses
  - Encourage walkability and multiple modes of transportation
  - Encourage regional connectivity through transit and multimodal infrastructure and circulation

This project proposes a parking lot expansion of an existing commercial/institutional use and is considered consistent with the Comprehensive Plan.

Your plan is scheduled to be reviewed by the Planning Commission on Thursday, September 12, 2024 at 7:00 p.m. in the South Whitehall Township Municipal Building located at 4444 Walbert Avenue. The meeting will also be livestreamed via GoToMeeting. To access the meeting through your computer, go to <a href="https://global.gotomeeting.com/join/757430189">https://global.gotomeeting.com/join/757430189</a>. To access the meeting through your phone, dial 1-224-501-3412 and, when prompted, enter 757 430 189 to join the meeting.

If you have any questions, please call.

Sincerely,

**Christopher Strohler, AICP** 

**Long-Range Planner, Community Development Department** 

Christopher Strohler

South Whitehall Township

610.398.0401

strohlerc@southwhitehall.com

cc: T. Petrucci D. Manhardt L. Harrier J. Frantz H. Bender M. Elias A. Tallarida E. Bet J. Zator, Esq J. Alderfer, Esq

## **Zoning Review**

## Applicant's Correspondence

Project Narrative

Waiver Request



acela architects + engineers, pc 2633 Moravian Ave. Allentown, PA 18103 office: 610.365.4023

website: www.acela-ae.com email: info@acela-ae.com

South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104 May 5, 2023 23-CATCL-01

#### **Allentown Cat Clinic - Project Narrative**

The Allentown Cat Clinic, located at 4090 West Tilghman Street, is applying for Land Development approval for the expansion of their parking lot from 14 spaces to 24 spaces. Additionally, they are proposing to relocate a light pole, add additional lighting and pave an existing gravel area in the rear of the building for employee parking.

The total project will be under 5,000 sf of disturbance and will increase the impervious cover from 10,847 sf to 14,416 sf. An applicaion will be submitted to LVPC for Site Plan review only. Since there will be minimal earth disturbance, LCCD approval will not be required.

If you should have any questions, please feel free to contact me.

Roderick M. Chirumbolo, P.E.

Acela Architects + Engineers, PC

acela architects + engineers, pc 2633 Moravian Ave. Allentown, PA 18103

#### www.acela-ae.com

info@acela-ae.com 610.365.4023



Innovation. Integrated. \$\displaystyle{1}\$

August 7, 2024 23-CATCL-01

South Whitehall Township Planning Commission Attn: Greg Adams 4444 Walbert Avenue Allentown, PA 18104

Re:

**Parking Lot Expansion Allentown Cat Clinic** 

South Whitehall Township Review Letter - Waiver Request

#### Dear Mr. Adams:

In response to comment 1 of the Township Review letter dated June 7, 2023, the applicant respectfully requests a waiver of Chapter 312, Section 35, subsection (b). The applicant's justification for the waiver request is property adjacent to the site does not have any curbing and adding the curbing would disrupt the existing drainage patterns. Additionally, PennDOT does not require curbing at this time.

Thank you in advance for your consideration of this waiver.

Jeremie Schadler, PE, PMP