



**Wednesday, April 17, 2024**  
**Board of Commissioners Meeting – 7:00 PM**

**1. CALL TO ORDER**

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- A. Roll Call

**2. PLEDGE OF ALLEGIANCE**

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**3. ANNOUNCEMENTS**

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- A. All public sessions of the South Whitehall Township Board of Commissioners are electronically recorded, filed, and posted on the Township's Website for Public Access.
- B. Public /Virtual Meeting Rules
- C. Board of Commissioners Met in Executive Session on the following dates to discuss Legal/Personnel Matters: April 10th and April 17, 2024.

**4. COURTESY OF THE FLOOR - Public Comment on Non-Agenda Items**

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**5. PRESENTATIONS**

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- A. Financial Summary Report - Tricia Dickert, Director of Finance

**6. MINUTES**

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- A. April 3, 2024 - Board of Commissioners Meeting Minutes
- *Motion to approve minutes as presented.*

**7. ORDINANCES**

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**8. RESOLUTIONS**

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- A. A Resolution Appointing Phillip Ingram as a Regular Member to the South Whitehall Township Civil Service Commission
- *Motion to adopt resolution appointing Phillip Ingram as a regular member to the SWT CSC.*
- B. A Resolution Appointing Shoukat Mughal as a Regular Member to the South Whitehall Township Civil Service Commission.
- *Motion to adopt resolution appointing Shoukat Mughal as a regular member to the SWT CSC.*
- C. Resolutions for SR 0309 & SR 1002 (Tilghman Street) Interchange Project.
- *Sidewalk Maintenance Agreement*

- *Roadway Lighting Agreement*
- *Interconnect with UMT, COA & SWT Agreement*
  - *Motion to adopt said resolution approving a Sidewalk Maintenance Agreement between SWT & PennDOT for the SR 0309 and SR 1002 (Tilghman Street) Interchange Project*
  - *Motion to adopt said resolution approving a Roadway Lighting Agreement between SWT & PennDOT for the SR 0309 and SR 1002 (Tilghman Street) Interchange Project.*
  - *Motion to adopt said resolution approving a Cooperative Memorandum of Agreement between COA, SWT & UMT for the multi-jurisdictional signal system that is a part of the SR 0309 and SR 1002 (Tilghman Street) Interchange Project*

D. A Resolution of the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, Authorizing the Township Manager to Execute a Professional Services Contract with Landstudies for a Feasibility Assessment and Concept Plan Development for the Jordan Creek at Covered Bridge Park.

- *Motion to adopt said resolution authorizing Township Manager to execute Professional Services Contract with Landstudies for a feasibility assessment and concept plan development for the Jordan Creek at CBP.*

E. A Resolution of the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, Authorizing the Township Manager to Execute a Settlement Agreement with Chabad Lubavitch of the Lehigh Valley, Inc.

- *Motion to adopt resolution authorizing the execution of said settlement agreement.*

F. A Resolution Extending the Conditional Preliminary/Final Approval to a Major Plan Entitled "1670 Church Road Pradda Property LLC".

- *Motion to adopt resolution granting a six month (180 day) extension of the P/F Plan regarding "1670 Church Road Pradda Property LLC".*

G. A Resolution Granting Preliminary/Final Approval To A Major Plan Entitled "Nestle Purina Allentown PA Facility New Municipal Water Service"

- *Motion to adopt resolution granting P/F Plan approval to a major plan "Nestle Purina Allentown PA Facility New Municipal Water Service".*

H. A Resolution of the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, Authorizing the Township Manager to Execute a Professional Services Contract with the Pennsylvania Chiefs of Police Association for an Executive Search for the Position of Chief of Police of the South Whitehall Township Police Department.

- *Motion to adopt said resolution authorizing the execution of a professional services contract with the PA Chiefs of Police Association for an executive search for position of Chief of Police for SWT-PD.*

I. Proceed to 9-A, followed by 8-I. A Resolution Extending a Conditional Offer of Employment for Entry-Level Position of Patrol Officer in the Township's Police Department to Applicant #76055, Conditioned Upon the Individual Satisfactorily Completing the Background Investigation, Polygraph Examination, Medical Examination, and Psychological Examination to Confirm their Fitness for Duty.

- *Motion to adopt resolution extending a conditional offer of employment to Applicant #76055.*



## **9. MOTIONS**

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A. Motion to Proceed with Adoption of the Civil Service Promotional List for Entry-Level Position of Patrol Officer in the South Whitehall Township Police Department.

B. Motion to Proceed with Capital Purchase (Vehicle Replacements) for South Whitehall Township Police Department.

- *Motion to approve the purchase of the 3 Chevrolet Tahoe's from Whitmoyer Auto Group.*

C. Motion to Proceed with Capital Purchase (rifles and associated equipment) for South Whitehall Township Police Department

D. Motion to Proceed with Request for Proposal for Zoning Consultant for Jordan Valley Open Space Zoning Overaly

## **10. CORRESPONDENCE AND INFORMATION ITEMS**

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A. Boards and Commissions - Informational Items / Vacancies

## **11. DIRECTION/DISCUSSION ITEMS**

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A. ArcGIS Urban System - Presentation/Discussion

## **12. OLD BUSINESS**

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## **13. COURTESY OF THE FLOOR - Public Comment on Non-Agenda Items**

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## **14. MOTION TO AUTHORIZE PAYMENT OF INVOICES & DISBURSEMENTS**

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A. Invoices and Disbursements

## **15. EXECUTIVE SESSION**

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A. Scheduled Accordingly.

## **16. ADJOURNMENT**

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A. Motion to Adjourn.



# Item Cover Page

**BOARD OF COMMISSIONERS AGENDA ITEM REPORT**

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Finance

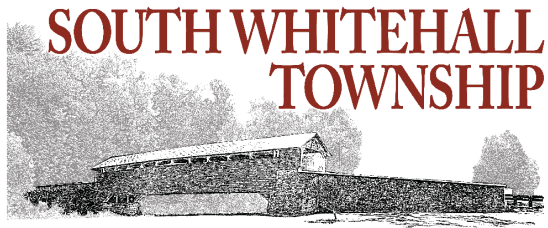
**ITEM TYPE:** Presentation

**AGENDA SECTION:** PRESENTATIONS

**SUBJECT:** Financial Summary Report - Tricia Dickert, Director of Finance

**SUGGESTED ACTION:**

**ATTACHMENTS:**  
[4.12.2024 - IOM from KB to BOC re-Finacial Update.pdf](#)



**MEMORANDUM FOR  
AGENDA ITEMS**

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Kristin Blahnik, Financial Reporting & Fund Balance Specialist
<b>DATE:</b>	April 12, 2024
<b>SUBJECT:</b>	March 2024 Financial Review YTD
<b>COPY TO:</b>	T. Petrucci, H. Bender, T. Dickert

**General Fund:**

	<u>Budget</u>	<u>Actual</u>	<u>% Budget</u>
Revenue:	\$19,788,338	\$2,316,738.52	11.7%
Expense:	<u>\$20,156,380</u>	<u>\$3,771,147.34</u>	25.7%
Net:	(\$368,042)	(\$1,454,408.82)	

\*Please note the 2024 Expense Budget amount includes the 2023 Rollover Pos.

**Fire Tax Fund:**

	<u>Budget</u>	<u>Actual</u>	<u>% Budget</u>
Revenue:	\$1,372,000	\$18,155.83	1.3%
Expense:	<u>\$1,372,000</u>	<u>\$155,258.77</u>	11.3%
Net:	\$0	(\$137,102.94)	

**Water Fund:**

	<u>Budget</u>	<u>Actual</u>	<u>% Budget</u>
Revenue:	\$4,870,500	\$1,149,239.49	23.6%
Expense:	<u>\$5,207,308</u>	<u>\$707,743.24</u>	13.6%
Net:	(\$336,808)	\$441,496.25	

\*Please note the 2024 Expense Budget amount includes the 2023 Rollover Pos.

**Sewer Fund:**

	<u>Budget</u>	<u>Actual</u>	<u>% Budget</u>
Revenue:	\$4,169,258	\$890,345.28	21.4%
Expense:	<u>\$4,500,290</u>	<u>\$790,304.26</u>	17.6%
Net:	(\$331,032)	\$100,041.02	

\*Please note the 2024 Expense Budget amount includes the 2023 Rollover Pos.

**Refuse/Recycling Fund:**

	<u>Budget</u>	<u>Actual</u>	<u>% Budget</u>
Revenue:	\$5,022,240	\$1,263,999.73	25.2%
Expense:	<u>\$4,815,132</u>	<u>\$1,149,647.09</u>	23.9%
Net:	\$207,108	\$114,352.64	

\*Please note the 2024 Expense Budget amount includes the 2023 Rollover Pos.

**Capital Fund:**

	<u>Budget</u>	<u>Actual</u>	<u>% Budget</u>
Revenue:	\$4,888,473	\$23,134.00	0.47%
Expense:	<u>\$6,121,259</u>	<u>\$89,873.19</u>	1.5%
Net:	(\$1,232,786)	(\$66,739.19)	

\*Please note the 2024 Expense Budget amount includes the 2023 Rollover Pos.

**State Highway Aid Fund:**

	<u>Budget</u>	<u>Actual</u>	<u>% Budget</u>
Revenue:	\$726,270	\$728,633.92	100.3%
Expense:	<u>\$875,864</u>	<u>\$188,272.49</u>	21.5%
Net:	(\$149,594)	\$540,361.43	

\*Please note the 2024 Expense Budget amount includes the 2023 Rollover Pos.



# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Administration

**ITEM TYPE:** Minutes

**AGENDA SECTION:** MINUTES

**SUBJECT:** April 3, 2024 - Board of Commissioners Meeting Minutes

**SUGGESTED ACTION:**

- *Motion to approve minutes as presented.*

**ATTACHMENTS:**



# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Administration

**ITEM TYPE:** Resolution

**AGENDA SECTION:** RESOLUTIONS

**SUBJECT:** A Resolution Appointing Phillip Ingram as a Regular Member to the South Whitehall Township Civil Service Commission

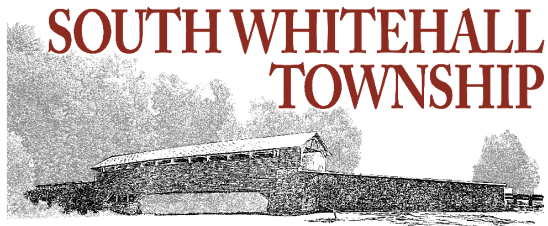
**SUGGESTED ACTION:**

- *Motion to adopt resolution appointing Phillip Ingram as a regular member to the SWT CSC.*

**ATTACHMENTS:**

[Memorandum- Civil Service Commission Appointments.pdf](#)

[2024.04.17 BOC - Resolution 2024-\\_\\_ - Appointing Phillip Ingram to CSC as Regular Member.pdf](#)



**MEMORANDUM FOR  
AGENDA ITEMS**

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Tom Petrucci, Township Manager
<b>DATE:</b>	April 11, 2024
<b>SUBJECT:</b>	Approval of Resolutions: Civil Service Commission Appointments
<b>COPY TO:</b>	S. Brown; T. Fehnel

- **Background Information:**

Upon review of relevant Township records, the Civil Service Commission is comprised of one (1) regular member (Vinny Quinn, term expiring July 31, 2025) and three (3) alternates (Shoukat Mughal, term expiring October 19, 2028, Philip Ingram, term expiring July 31, 2025 and Adeel Ahmad, term expiring May 17, 2029).

As per the Civil Service Commission Rules, the alternate members have the same authority as regular members to ensure that the Civil Service Commission may hold a quorum and conduct official business of the Civil Service Commission. However, administratively, it is prudent to now move two (2) alternates to primary positions. This action will also create two (2) vacancies in the alternate positions.

Accordingly, the Police Department and Township Manager are requesting the following:

1. Appoint Shoukat Mughal to a regular member term expiring December 31, 2027.
2. Appoint Phillip Ingram to a regular member term expiring December 31, 2029.

In this way, the Civil Service Commission will be comprised of three (3) regular members with staggered terms ending in 2025, 2027 and 2029. There will be one (1) alternate member, who is Adeel Ahmand, and two (2) alternate vacancies.

- **Action Requested:**

Approval of the following two (2) Resolutions:

1. **A RESOLUTION APPOINTING SHOUKAT MUGHAL AS A REGULAR MEMBER TO THE SOUTH WHITEHALL TOWNSHIP CIVIL SERVICE COMMISSION**
2. **A RESOLUTION APPOINTING PHILLIP INGRAM AS A REGULAR MEMBER TO THE SOUTH WHITEHALL TOWNSHIP CIVIL SERVICE COMMISSION**

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

N/A



**SOUTH WHITEHALL TOWNSHIP  
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2024-\_\_  
(Duly Adopted April 17, 2024)**

**A RESOLUTION APPOINTING PHILLIP INGRAM AS A REGULAR MEMBER  
TO THE SOUTH WHITEHALL TOWNSHIP CIVIL SERVICE COMMISSION**

**WHEREAS**, the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, are cognizant of a vacancy on the South Whitehall Township Civil Service Commission; and

**WHEREAS**, Mr. Phillip Ingram has acknowledged his willingness to serve as a regular member on the South Whitehall Township Civil Service Commission.

**NOW, THEREFORE, BE IT RESOLVED** that Mr. Phillip Ingram, 3936 Walbert Avenue, Allentown, Lehigh County, Pennsylvania, be appointed as a regular member to the South Whitehall Township Civil Service Commission, said appointment terminating December 31, 2029, or until a successor shall have been appointed.

**DULY ADOPTED** this 17<sup>th</sup> day of **April 2024**, by the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, in lawful session duly assembled.

**TOWNSHIP OF SOUTH WHITEHALL  
BOARD OF COMMISSIONERS**

\_\_\_\_\_  
Diane Kelly, President

**ATTEST:**

\_\_\_\_\_  
Tricia Dickert, Secretary



# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Administration

**ITEM TYPE:** Resolution

**AGENDA SECTION:** RESOLUTIONS

**SUBJECT:** A Resolution Appointing Shoukat Mughal as a Regular Member to the South Whitehall Township Civil Service Commission.

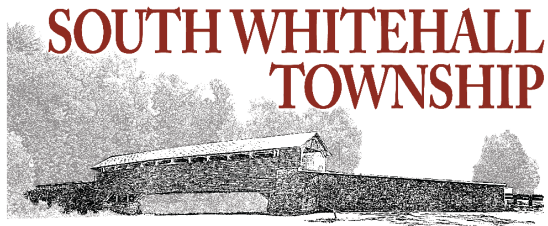
**SUGGESTED ACTION:**

- *Motion to adopt resolution appointing Shoukat Mughal as a regular member to the SWT CSC.*

**ATTACHMENTS:**

[Memorandum- Civil Service Commission Appointments.pdf](#)

[2024.04.17 BOC - Resolution 2024-\\_\\_ - Appointing Shoukat Mughal, as a Regular Member to CSC.pdf](#)



**MEMORANDUM FOR  
AGENDA ITEMS**

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Tom Petrucci, Township Manager
<b>DATE:</b>	April 11, 2024
<b>SUBJECT:</b>	Approval of Resolutions: Civil Service Commission Appointments
<b>COPY TO:</b>	S. Brown; T. Fehnel

- **Background Information:**

Upon review of relevant Township records, the Civil Service Commission is comprised of one (1) regular member (Vinny Quinn, term expiring July 31, 2025) and three (3) alternates (Shoukat Mughal, term expiring October 19, 2028, Philip Ingram, term expiring July 31, 2025 and Adeel Ahmad, term expiring May 17, 2029).

As per the Civil Service Commission Rules, the alternate members have the same authority as regular members to ensure that the Civil Service Commission may hold a quorum and conduct official business of the Civil Service Commission. However, administratively, it is prudent to now move two (2) alternates to primary positions. This action will also create two (2) vacancies in the alternate positions.

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1. Appoint Shoukat Mughal to a regular member term expiring December 31, 2027.
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In this way, the Civil Service Commission will be comprised of three (3) regular members with staggered terms ending in 2025, 2027 and 2029. There will be one (1) alternate member, who is Adeel Ahmand, and two (2) alternate vacancies.

- **Action Requested:**

Approval of the following two (2) Resolutions:

1. **A RESOLUTION APPOINTING SHOUKAT MUGHAL AS A REGULAR MEMBER TO THE SOUTH WHITEHALL TOWNSHIP CIVIL SERVICE COMMISSION**
2. **A RESOLUTION APPOINTING PHILLIP INGRAM AS A REGULAR MEMBER TO THE SOUTH WHITEHALL TOWNSHIP CIVIL SERVICE COMMISSION**

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

N/A

**SOUTH WHITEHALL TOWNSHIP  
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2024-\_\_  
(Duly Adopted April 17, 2024)**

**A RESOLUTION APPOINTING SHOUKAT MUGHAL AS A REGULAR MEMBER  
TO THE SOUTH WHITEHALL TOWNSHIP CIVIL SERVICE COMMISSION**

**WHEREAS**, the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, are cognizant of a vacancy on the South Whitehall Township Civil Service Commission; and

**WHEREAS**, Mr. Shoukat Mughal has acknowledged his willingness to serve as a regular member on the South Whitehall Township Civil Service Commission.

**NOW, THEREFORE, BE IT RESOLVED** that Shoukat Mughal, 1327 Cornell Road, Allentown, Lehigh County, Pennsylvania, be appointed as a regular member to the South Whitehall Township Civil Service Commission, said appointment terminating December 31, 2027, or until a successor shall have been appointed.

**DULY ADOPTED** this 17<sup>th</sup> day of **April 2024**, by the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, in lawful session duly assembled.

**TOWNSHIP OF SOUTH WHITEHALL  
BOARD OF COMMISSIONERS**

\_\_\_\_\_  
Diane Kelly, President

**ATTEST:**

\_\_\_\_\_  
Tricia Dickert, Township Secretary



# Item Cover Page

**BOARD OF COMMISSIONERS AGENDA ITEM REPORT**

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Community Development

**ITEM TYPE:** Resolution

**AGENDA SECTION:** RESOLUTIONS

**SUBJECT:** Resolutions for SR 0309 & SR 1002 (Tilghman Street) Interchange Project.

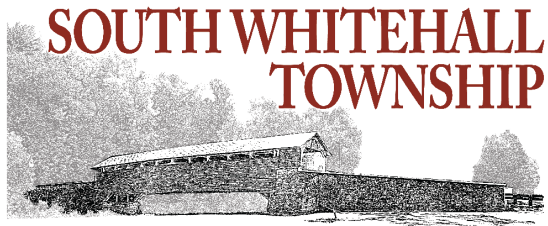
- *Sidewalk Maintenance Agreement*
- *Roadway Lighting Agreement*
- *Interconnect with UMT, COA & SWT Agreement*
  - *Motion to adopt said resolution approving a Sidewalk Maintenance Agreement between SWT & PennDOT for the SR 0309 and SR 1002 (Tilghman Street) Interchange Project*
  - *Motion to adopt said resolution approving a Roadway Lighting Agreement between SWT & PennDOT for the SR 0309 and SR 1002 (Tilghman Street) Interchange Project.*
  - *Motion to adopt said resolution approving a Cooperative Memorandum of Agreement between COA, SWT & UMT for the multi-jurisdictional signal system that is a part of the SR 0309 and SR 1002 (Tilghman Street) Interchange Project*

**SUGGESTED ACTION:**

**ATTACHMENTS:**

- [Memorandum for Sidewalk and Lighting Agreements- 309 Highway Improvement Project.pdf](#)
- [Resolution for Interchange Sidewalk Agreement.pdf](#)
- [Exhibit A- Sidewalk Installation Plan.pdf](#)
- [Exhibit B- SR 309-12M Sidewalk Maintenance Agreement.pdf](#)
- [Resolution for Interchange Lighting Agreement.pdf](#)
- [Exhibit A 96432\\_FHL\\_Permanent Highway Lighting Plan- Correct.pdf](#)
- [Exhibit B- SR309-12M Roadway Lighting Agreement.pdf](#)
- [Memorandum for Interconnect of Signalized Intersections- 309 Interchange Highway Improvement Project.pdf](#)
- [Resolution for Interchange Interconnect.pdf](#)





**MEMORANDUM FOR  
AGENDA ITEMS**

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Tom Petrucci, Township Manager
<b>DATE:</b>	April 10, 2024
<b>SUBJECT:</b>	Approval of Two (2) Resolutions for SR 0309 & SR 1002 (Tilghman Street) Interchange Project: 1). Resolution Approving Sidewalk Maintenance Agreement; 2). Resolution Approving Roadway Lighting Agreement
<b>COPY TO:</b>	H. Bender; J. Alderfer; D. Manhardt; T. Fehnel

• **Background Information:**

As part of the SR 0309 & SR 1002 (Tilghman Street) Interchange Project, PennDOT is installing new lighting and sidewalks that require acknowledgement of the associated maintenance responsibilities of the improvements.

Upon receipt of these draft agreements, which are enclosed, Township management engaged in a series of conference calls and communication exchanges in order to understand the responsibilities of the Township. A summary of the key points of those exchanges is provided below for reference:

**Sidewalk Maintenance Agreement:**

1. Please confirm whether the sidewalk is on private property or will be in PennDOT ROW. This response then guides how we approach this matter overall.

*Response: Please reference the curb ramp sidewalk plan (attached). The plans show most of the sidewalks to be installed outside of PennDOT’s Right of Way. The Department has agreed to install the sidewalks with the agreement that upon completion, maintenance responsibility is to be turned over to the Township.*

2. There is nothing in the agreement that conveys the sidewalk over to the Township fee simple. Kindly confirm.

*Response: As discussed, sidewalks were previously requested by the Township to be installed. The Department agreed to cover the cost of installation. The agreement is for turning over maintenance responsibility over to the Township/municipality.*

3. If the sidewalk is not in the PennDOT ROW, then an ordinance should be adopted by the Township to specifically call out the areas associated with this project and require the adjacent property owners to maintain the area. This is also set forth in section 4E of the Agreement.



*Response: The department feels that this is a Township/Municipality preference.*

4. If the Township submits the HOP and the sidewalk is destroyed subsequently for whatever reason (or due to construction), what remedy would either the Township or the property owner, as applicable have in the event of that scenario occurring?

*Response: Ownership/responsibility of the sidewalk occurs at the completion of the sidewalk installation. HOP would need to be submitted by the owner of the sidewalk for future maintenance or construction proposed by the municipality/township/property owner.*

### **Roadway Lighting Agreement:**

1. How do the lighting levels compare in the proposed condition to those in the existing condition?

*Response: There is no existing interchange lighting currently. The proposed lighting is designed to PennDOT and AASHTO standards. The proposed interchange lighting is considered to be partial interchange lighting and provides lighting at all the conflict points within the interchange as well as at the intersections. This lighting will significantly enhance safety within the interchange.*

2. How many light fixtures are proposed as part of the project?

*Response: There are 41 proposed lights on the project. Lighting consists of 34 new pole mounted lights, 4 lights attached to utility poles and 3 on signal poles. Within the project limits there are 2 existing utility pole mounted lights at the intersections and there are no existing lights at the ramps.*

3. Can the Department provide an estimate of light fixture components.

*Response: The items below are included in the project for highway lighting with the estimated unit price for each component. These are items that could require replacement or repair during the life span of the system. Unit prices include installation.*

- Lighting Poles - \$4,000
  - Pole Foundation - \$1,400
  - LED Luminaires - \$1,100
- TOTAL for each unit- \$6,500.00***

**NOTE-** As per Township records, the estimated electrical costs for each street light pole are approximately \$250.00 per year.

4. The Township does not have the capacity to maintain the lighting proposed on the ramps of the interchange and 309 itself. This is where it is unclear to the Township how we would maintain them. Is there a way for PennDOT to maintain the lights identified in these sections?

*Response: The Township would only be responsible for maintaining the lights at the signalized intersections for the highlighted sections of the enclosed plans (Highway Lighting Plan).*

**NOTE-** After contacting PennDOT, the Township was able to **minimize** the number of lights that were originally asked to be maintained by PennDOT (please note that PennDOT was originally asking the Township to maintain **all** lights).

5. The Lighting Agreement as submitted requires a Highway Occupancy Permit (HOP) to be submitted by the Township.

*Response: The Township will not be required to undertake the complete HOP process for this project, as the lights are being installed by PennDOT.*

- **Conclusion(s):**

- The enclosed Sidewalk Maintenance Agreement and the Roadway Lighting Agreement are standard PennDOT templates and are not able to be modified.
- Both the lighting and the sidewalk improvements are significant additional safety measures, with the installation costs borne by PennDOT.
- Should the Township accept the sidewalk installations for the sections that are not located in PennDOT ROW (and will be located on private property), an ordinance will be required pursuant to the First Class Township Code to assign the maintenance responsibilities to the relevant property owners. That action can occur separately from the approval of the Sidewalk Maintenance Agreement and is viewed by PennDOT as a matter of local concern.
- The Township is able to maintain the identified lighting improvements either through local personnel or contracted forces.

- **Action Requested:**

Approval of the following Resolutions:

1. **A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH WHITEHALL, LEHIGH COUNTY, COMMONWEALTH OF PENNSYLVANIA, APPROVING A SIDEWALK MAINTENANCE AGREEMENT BETWEEN SOUTH WHITEHALL TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION FOR THE SR 0309 AND SR 1002 (TILGHMAN STREET) INTERCHANGE PROJECT**
2. **A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH WHITEHALL, LEHIGH COUNTY, COMMONWEALTH OF PENNSYLVANIA, APPROVING A ROADWAY LIGHTING AGREEMENT BETWEEN SOUTH WHITEHALL TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION FOR THE SR 0309 AND SR 1002 (TILGHMAN STREET) INTERCHANGE PROJECT**

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

Enclosure(s) (as noted)

**SOUTH WHITEHALL TOWNSHIP  
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2024-XX**

**(Duly Adopted April 17, 2024)**

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF  
THE TOWNSHIP OF SOUTH WHITEHALL, LEHIGH COUNTY,  
COMMONWEALTH OF PENNSYLVANIA, APPROVING A  
SIDEWALK MAINTENANCE AGREEMENT BETWEEN SOUTH  
WHITEHALL TOWNSHIP AND THE PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION FOR THE SR 0309 AND  
SR 1002 (TILGHMAN STREET) INTERCHANGE PROJECT**

**WHEREAS**, the Commonwealth of Pennsylvania Department of Transportation (PennDOT) intends to install ground facilities improvements as part of the SR 0309 and SR 1002 (Tilghman Street) Interchange Project; and

**WHEREAS**, PennDOT, PennDOT shall, with its own forces or by contract, install sidewalk ground facilities in South Whitehall Township as part of the SR 0309 and SR 1002 (Tilghman Street) Interchange Project in accordance with plans prepared by PennDOT. Said plans are incorporated herein as though more fully set forth at length as Exhibit “A”; and

**WHEREAS**, in order to effectuate the installation of the sidewalk ground facilities, PennDOT requires the execution of a Sidewalk Maintenance Agreement between PennDOT and South Whitehall Township; said Sidewalk Maintenance Agreement is incorporated herein as though more fully set forth at length as Exhibit “B”.

**NOW, THEREFORE, BE IT RESOLVED**, by the Board of Commissioners of South Whitehall Township hereby adopts the following:

1. All “Whereas” clauses are incorporated herein as though more fully set forth at length.
2. The Board of Commissioners hereby approve the execution of the Sidewalk Maintenance Agreement (Exhibit “B”) between South Whitehall Township and PennDOT.
3. The Township Manager of the Township of South Whitehall is hereby authorized and directed to execute on behalf of the Township of South Whitehall the Sidewalk Maintenance Agreement, which is attached hereto as Exhibit “B” and incorporated herein as though more fully set forth at length.

**FURTHER RESOLVED**, that all Resolutions or parts of Resolutions inconsistent with this Resolution are hereby repealed and superseded by this Resolution.

**DULY ADOPTED** this 17<sup>th</sup> day of April, 2024, by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners at which a quorum was present. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice-President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH  
WHITEHALL  
BOARD OF COMMISSIONERS**

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Diane Kelly, President

**ATTEST:**

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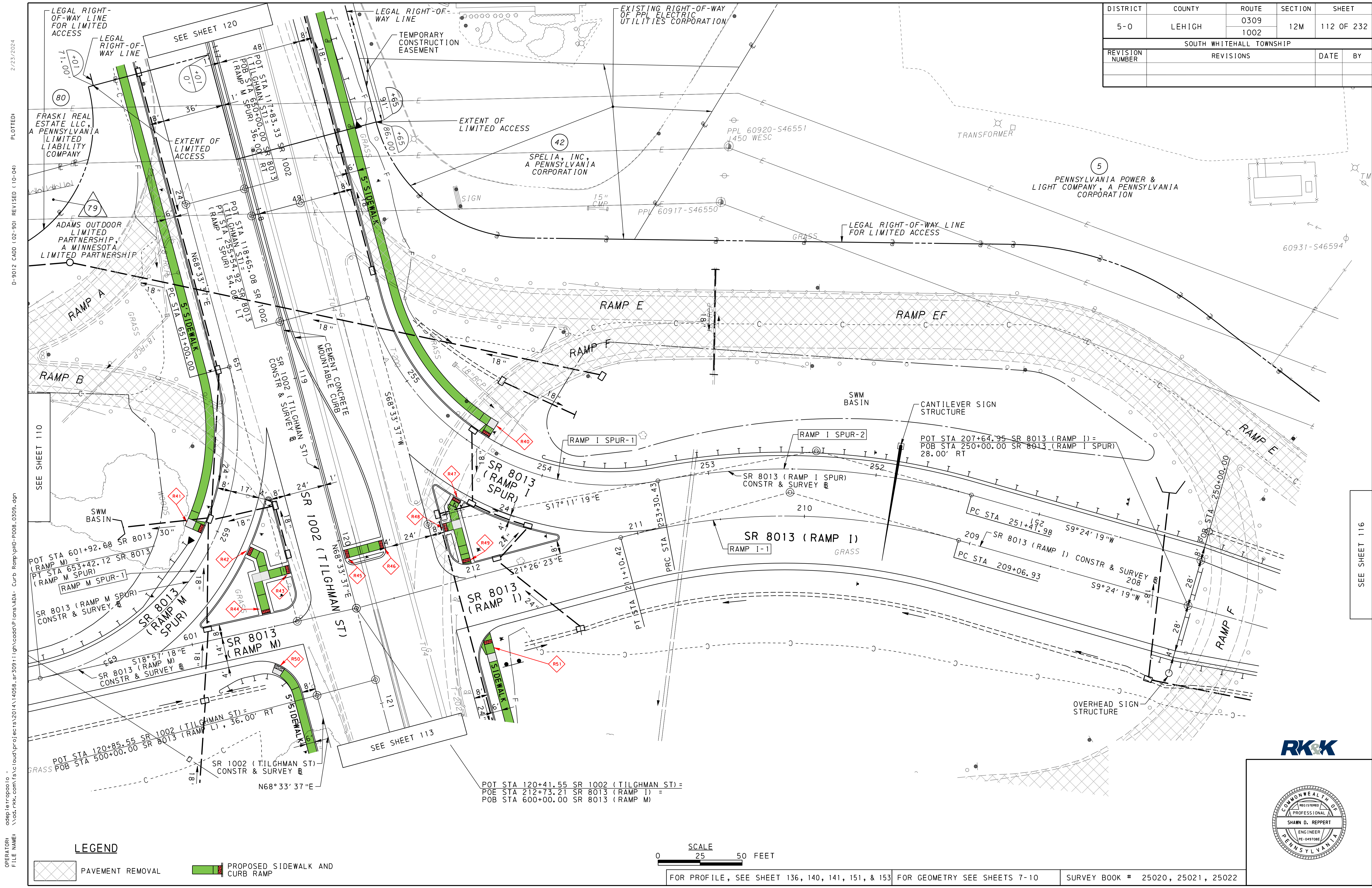
Tricia Dickert, Township Secretary

# EXHIBIT “A”

# **EXHIBIT “B”**



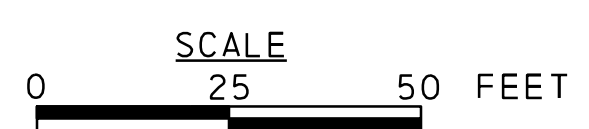
DISTRICT	COUNTY	ROUTE	SECTION	SHEET	
5-0	LEHIGH	0309 1002	12M	112 OF 232	
SOUTH WHITEHALL TOWNSHIP					
REVISION NUMBER	REVISIONS			DATE	BY



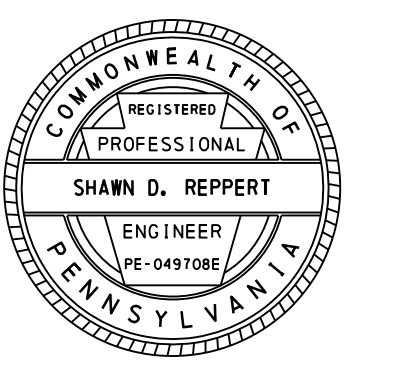
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 D-9012 CADD (02-90) REVISED (11-04) PLOTTED: 2/23/2024

**LEGEND**

- PAVEMENT REMOVAL
- PROPOSED SIDEWALK AND CURB RAMP



FOR PROFILE, SEE SHEET 136, 140, 141, 151, & 153 FOR GEOMETRY SEE SHEETS 7-10 SURVEY BOOK # 25020, 25021, 25022



SEE SHEET 116

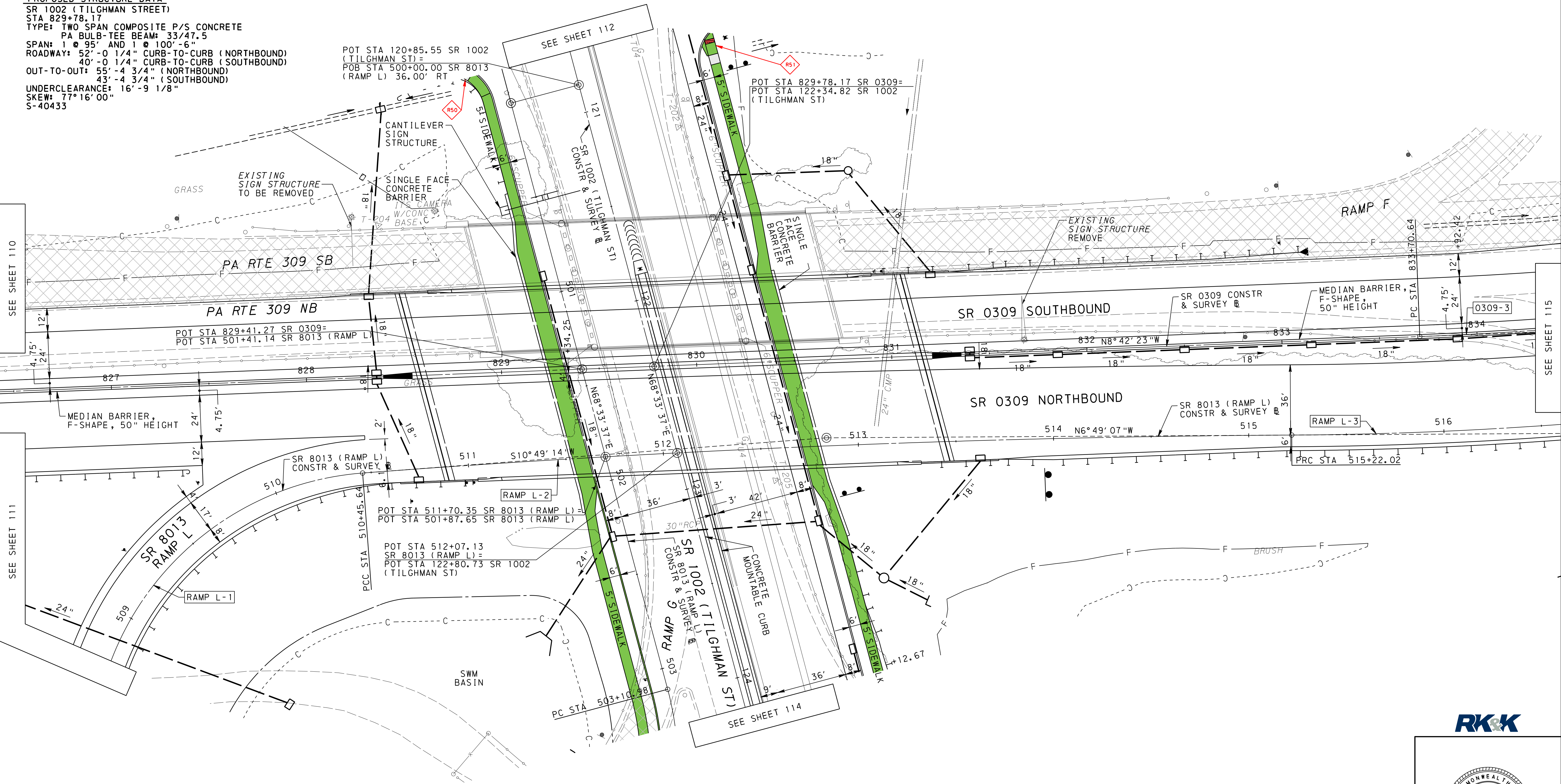
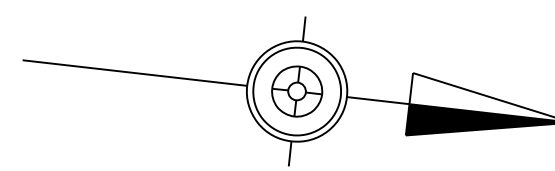


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 D-9012 CADD (02-90) REVISED (110-04) PLOTTED: 2/23/2024

**EXISTING STRUCTURE DATA**  
 TILGHMAN STREET (S-2177)  
 STA 31+34.53  
 TYPE: STEEL, I-BEAMS  
 SPAN: 2 @ 48'-9" AND 1 @ 77'-6"  
 ROADWAY: 30'-0" CURB-TO-CURB  
 BOTH DIRECTIONS  
 OUT-TO-OUT: 67'-6"  
 UNDERCLEARANCE: 14'-3" AS MEASURED  
 IN THE FIELD  
 SKEW: 77°16'30"  
 YEAR BUILT: 1958

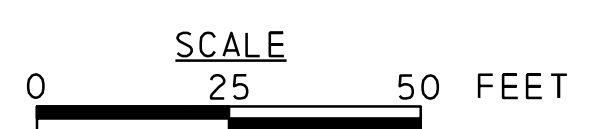
**PROPOSED STRUCTURE DATA**  
 SR 1002 (TILGHMAN STREET)  
 STA 829+78.17  
 TYPE: TWO SPAN COMPOSITE P/S CONCRETE  
 PA BULB-TEE BEAM: 33/47.5  
 SPAN: 1 @ 95' AND 1 @ 100'-6"  
 ROADWAY: 52'-0 1/4" CURB-TO-CURB (NORTHBOUND)  
 40'-0 1/4" CURB-TO-CURB (SOUTHBOUND)  
 OUT-TO-OUT: 55'-4 3/4" (NORTHBOUND)  
 43'-4 3/4" (SOUTHBOUND)  
 UNDERCLEARANCE: 16'-9 1/8"  
 SKEW: 77°16'00"  
 S-40433

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	113 OF 232
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

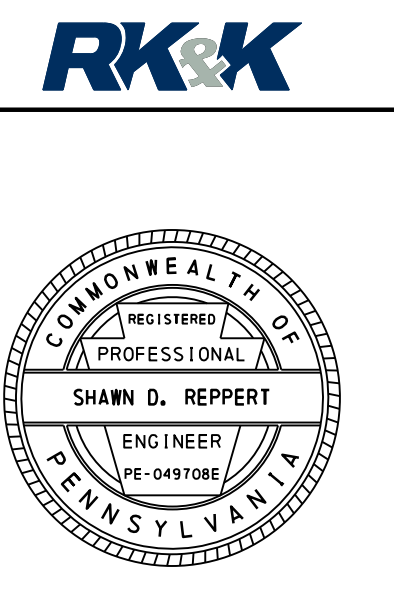


**LEGEND**

	PAVEMENT REMOVAL		PROPOSED SIDEWALK AND CURB RAMP
--	------------------	--	---------------------------------

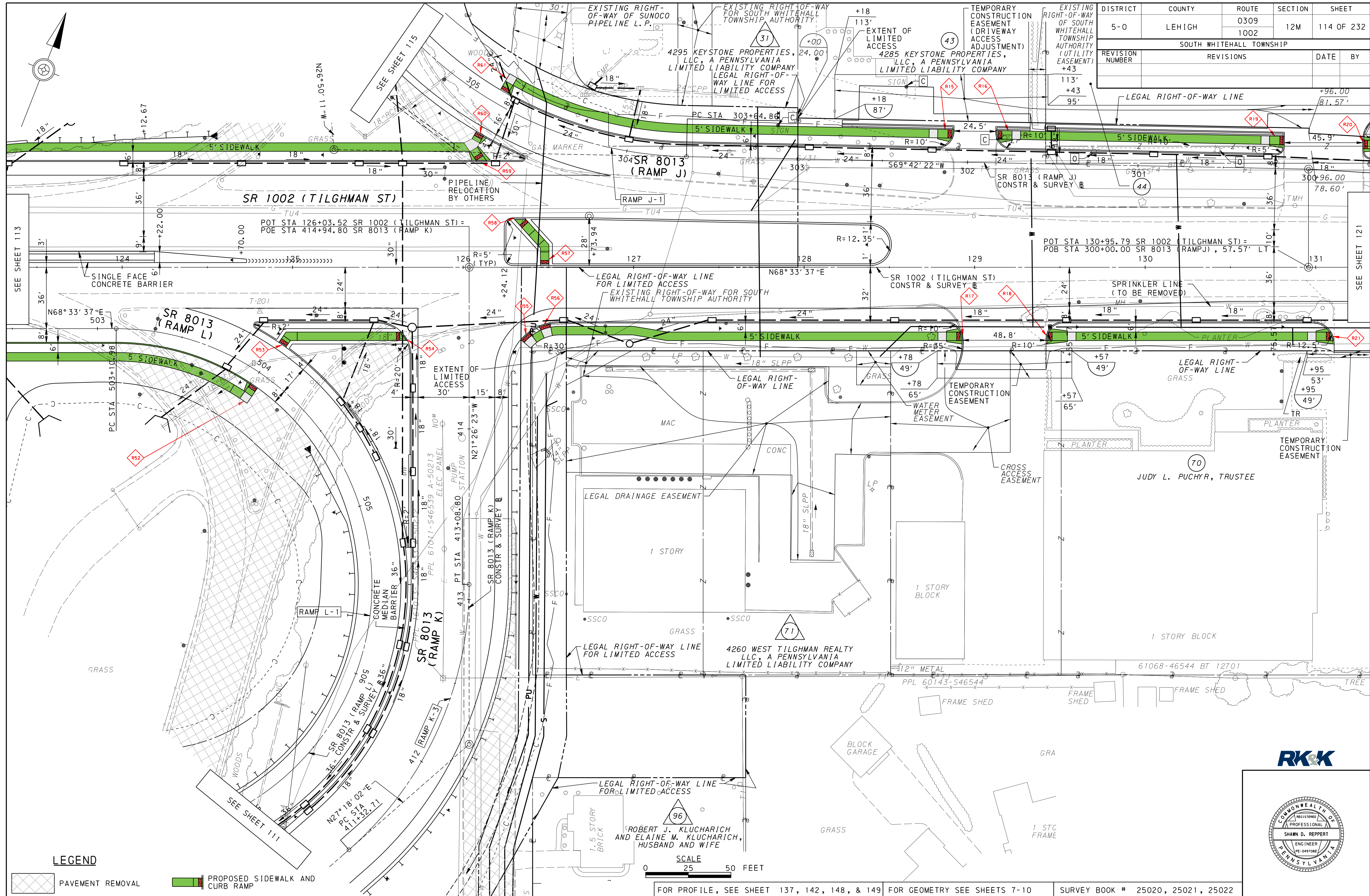


FOR PROFILE, SEE SHEET 131, 136, & 150  
 FOR GEOMETRY SEE SHEETS 7-10  
 SURVEY BOOK # 25020, 25021, 25022





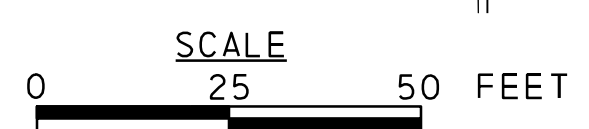
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 D-9012 CADD (02-90) REVISED (110-94) 2/23/2024 PLOTTED:



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	114 OF 232
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	
+43	(UTILITY EASEMENT)			

**LEGEND**

- PAVEMENT REMOVAL
- PROPOSED SIDEWALK AND CURB RAMP



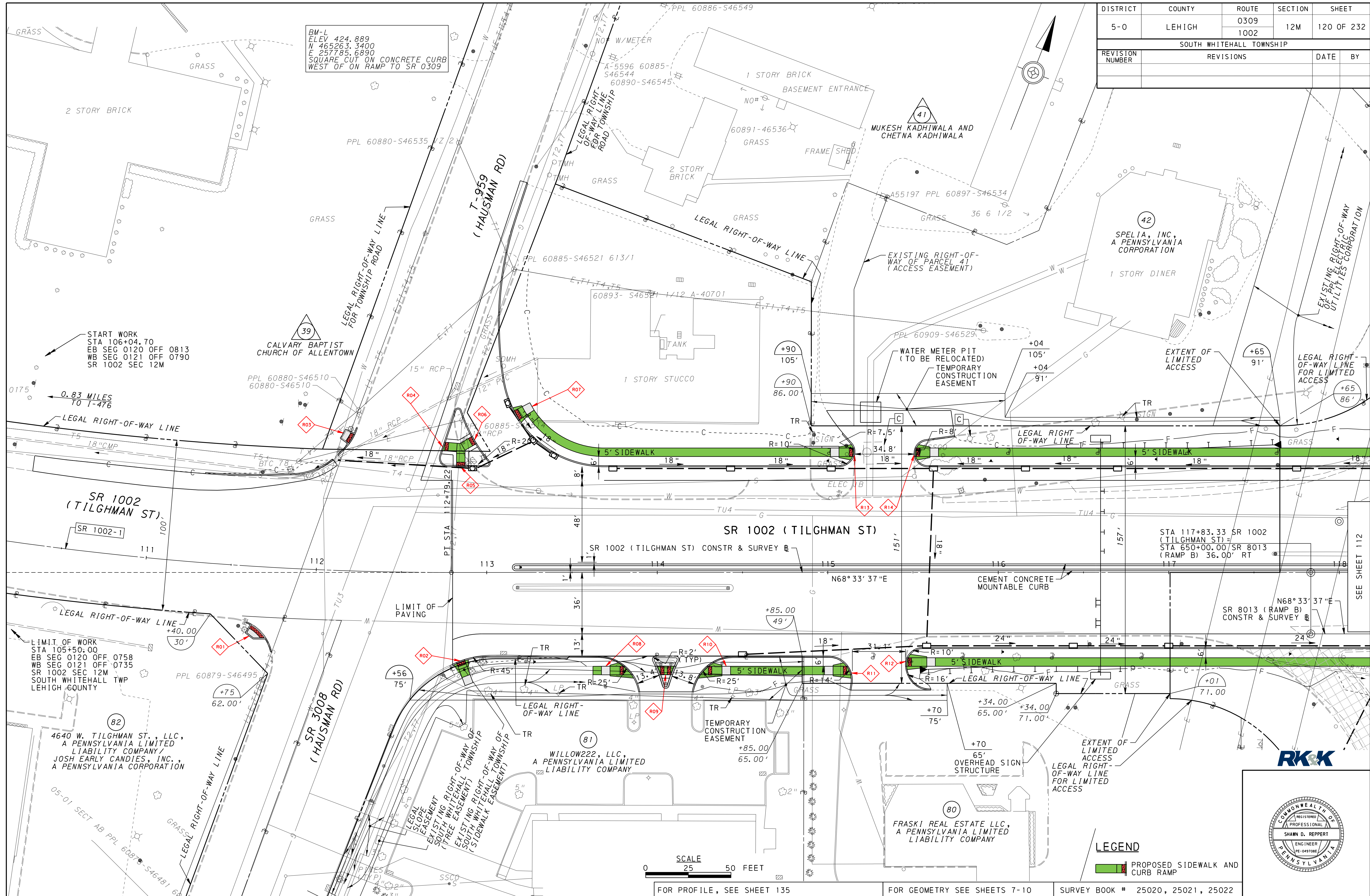
FOR PROFILE, SEE SHEET 137, 142, 148, & 149 FOR GEOMETRY SEE SHEETS 7-10 SURVEY BOOK # 25020, 25021, 25022





OPERATOR: odelp@trpao.io  
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 PLOTTED: D-9012 CADD (02-90) REVISED (110-04) 2/23/2024

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	120 OF 232
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	



BM-L  
 ELEV. 424.889  
 N 465263.3400  
 E 257785.6890  
 SQUARE CUT ON CONCRETE CURB  
 WEST OF ON RAMP TO SR 0309

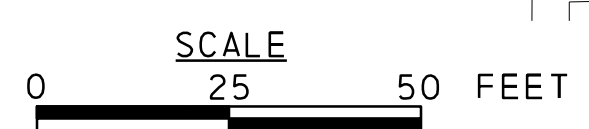
START WORK  
 STA 106+04.70  
 EB SEG 0120 OFF 0813  
 WB SEG 0121 OFF 0790  
 SR 1002 SEC 12M

LIMIT OF WORK  
 STA 105+50.00  
 EB SEG 0120 OFF 0758  
 WB SEG 0121 OFF 0735  
 SR 1002 SEC 12M  
 SOUTH WHITEHALL TWP  
 LEHIGH COUNTY

4640 W. TILGHMAN ST., LLC,  
 A PENNSYLVANIA LIMITED  
 LIABILITY COMPANY/  
 JOSH EARLY CANDIES, INC.,  
 A PENNSYLVANIA CORPORATION

WILLOW222, LLC,  
 A PENNSYLVANIA LIMITED  
 LIABILITY COMPANY

FRASKI REAL ESTATE LLC,  
 A PENNSYLVANIA LIMITED  
 LIABILITY COMPANY



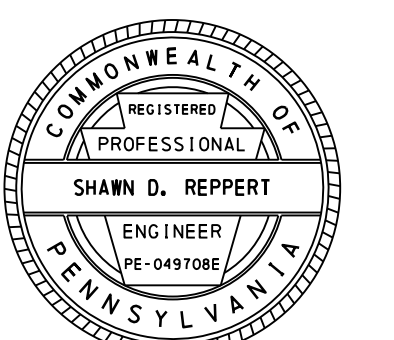
FOR PROFILE, SEE SHEET 135

FOR GEOMETRY SEE SHEETS 7-10

SURVEY BOOK # 25020, 25021, 25022

**LEGEND**

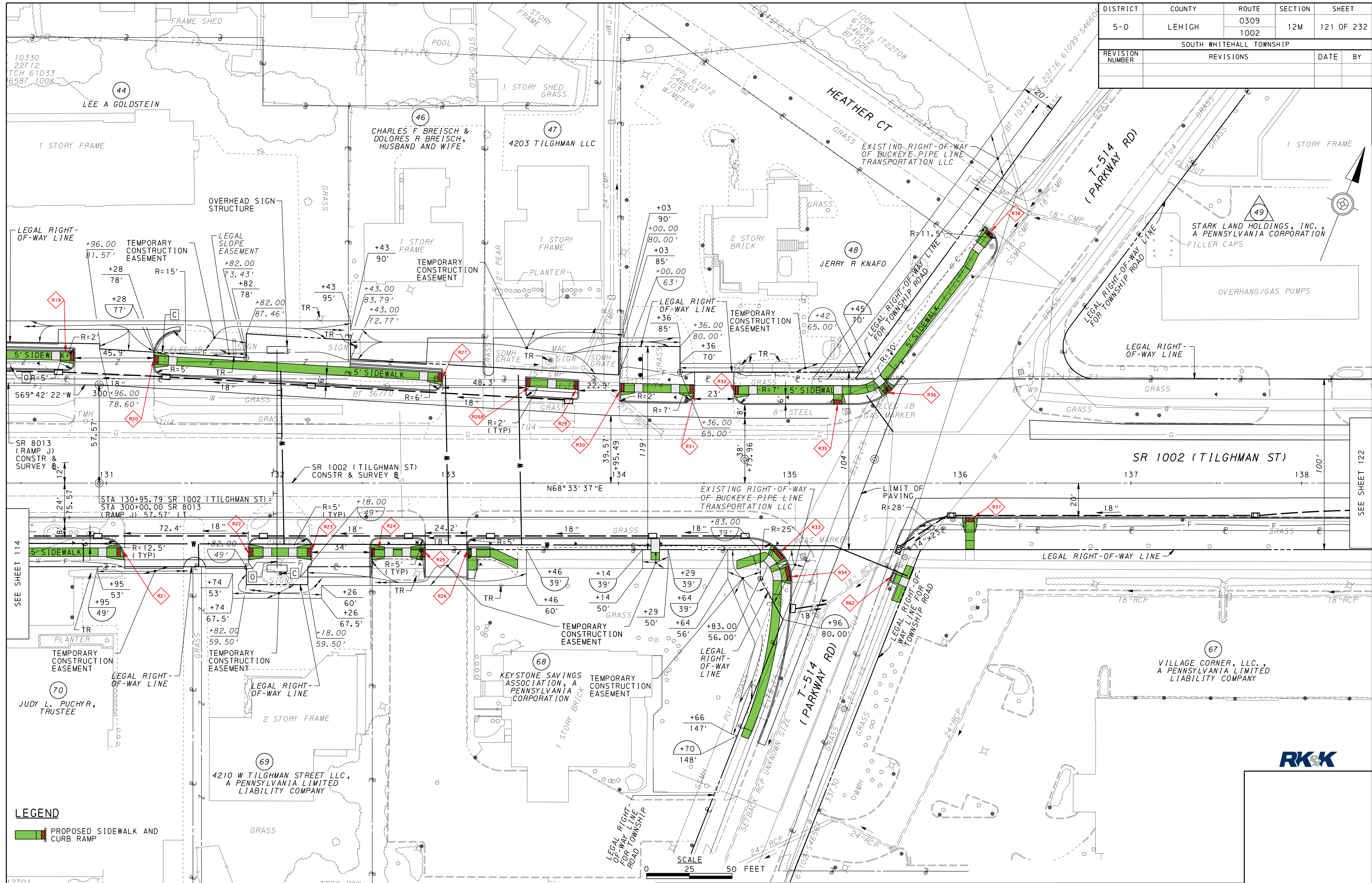
- PROPOSED SIDEWALK AND CURB RAMP





OPERATOR: adpjetropoio  
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 D-9012 CADD (02-90) REVISED (110-04)  
 PLOTTED: 2/23/2024

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	121 OF 232
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	



**LEGEND**  
 PROPOSED SIDEWALK AND CURB RAMP

FOR PROFILE, SEE SHEET 138      FOR GEOMETRY SEE SHEETS 7-10      SURVEY BOOK # 25020, 25021, 25022

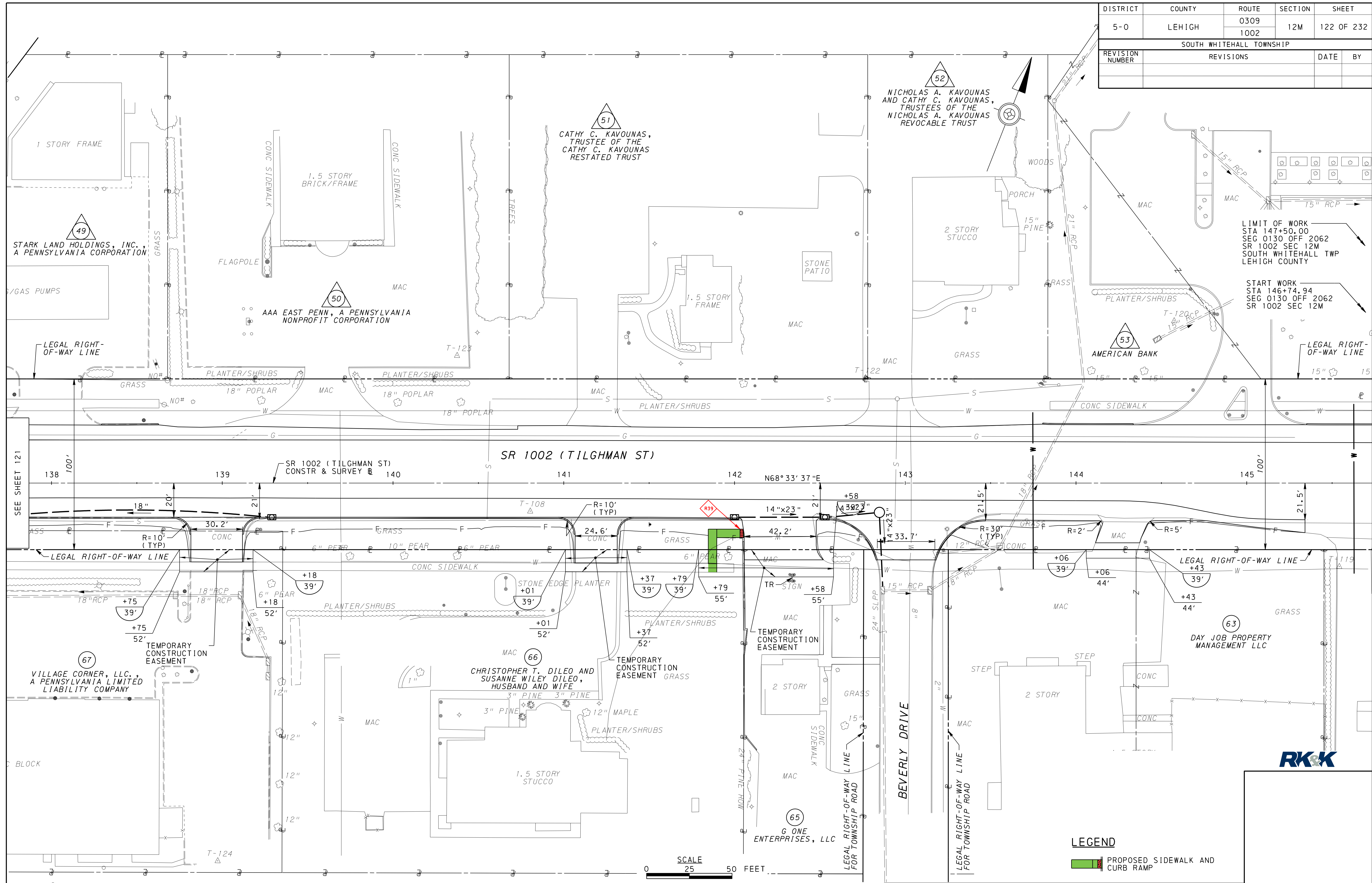


SEE SHEET 122



OPERATOR: adepietropolo  
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 D-9012 CADD (02-90) REVISED (110-04)  
 PLOTTED: 2/23/2024

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	122 OF 232
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	



LIMIT OF WORK  
 STA 147+50.00  
 SEG 0130 OFF 2062  
 SR 1002 SEC 12M  
 SOUTH WHITEHALL TWP  
 LEHIGH COUNTY

START WORK  
 STA 146+74.94  
 SEG 0130 OFF 2062  
 SR 1002 SEC 12M

**LEGEND**

PROPOSED SIDEWALK AND CURB RAMP

SCALE  
 0 25 50 FEET

FOR GEOMETRY SEE SHEETS 7-10

SURVEY BOOK # 25020, 25021, 25022

County(ies):	<b>Lehigh</b>	Agreement #:	057595
Project Short Title:	<b>SR 309-12M</b>	MPMS #:	<b>96432</b>
Project (SR & Sec):	<b>SR 309-12M</b>	Federal ID #:	236000504

## SIDEWALK MAINTENANCE AGREEMENT

This Sidewalk Maintenance Agreement is made between the Commonwealth of Pennsylvania (“Commonwealth”), acting through the Department of Transportation (“PennDOT”)

and

South Whitehall Twp., of the Commonwealth of Pennsylvania (“Municipality”).

PennDOT is authorized to cooperate with political subdivisions of the Commonwealth in the coordination of plans and policies for the development of ground facilities, and is authorized to enter into all necessary contacts and agreements with political subdivisions of the Commonwealth pursuant to Sections 2002(a)(7) and 2001.1 of the Administrative Code of 1929, as amended, 71 P.S. §§512(a)(7) and 511.1.

PennDOT and the Municipality recognize that new construction must be accessible and usable by persons with disabilities; that alterations to existing facilities, within the scope or limits of a project, must provide usability by persons with disabilities to the maximum extent feasible; that existing facilities that have not been altered must not deny access to persons with disabilities; and, that all alteration type projects such as reconstruction, milling, resurfacing, must assess pedestrian needs and improve or upgrade altered existing facilities to the latest ADA standards.

The parties, intending to be legally bound, agree as follows:

1. **Project Location.** PennDOT shall design and construct a project involving improvements at the locations shown below (“Project”). PennDOT has determined sidewalk is appropriate as part of the Project:

County	State Route	Beginning Segment/Offset	Ending Segment/Offset
Lehigh	SR 1002 EB	0120/0758	0130/2062
Lehigh	SR 1002 WB	0121/0735	0130/2062

2. **Construction Plan.** PennDOT shall, with its own forces or by contract, install sidewalk in accordance with plans prepared by PennDOT. Such plans and installation shall comply with the Americans with Disabilities Act (“ADA”), as amended, and its related regulations, and in accordance the guidance set forth in PennDOT Publication 13M, Chapter 6, unless it is structurally impracticable to meet the requirements of the ADA and its related regulations, or there are insurmountable site or technical infeasibilities involved in the design or construction of the pedestrian facilities. Where existing such constraints limit the ability to fully meet the latest ADA standards, the improvements or upgrades must be done to provide access to the maximum extent feasible.

3. **Notice of Completion.** Upon completion of the Project by PennDOT or its contractors, PennDOT will send to the Municipality a written notice of completion.

4. **Maintenance.**

- a. **Scope.** All references to sidewalk in this agreement shall include curb ramps and blended transitions included as part of the Project.
- b. **Municipality to Maintain Sidewalk.** Upon receipt of the written notice of completion the Municipality shall, at its sole cost and expense, provide for year-round maintenance of the sidewalk(s).

- c. **Level of Service.** Sidewalk shall remain in operable working condition. The Municipality shall maintain those features of facilities and equipment required to be readily accessible to and usable by persons with disabilities in accordance with 28 CFR § 35.133. The Municipality shall adopt standards and practices ensuring the Municipality's day-to-day operations to keep the pedestrian path of travel open and usable for all persons, including those with disabilities, throughout the year (including snow and debris removal, and maintenance of accessible pedestrian walkways in work zones).
  
- d. **Service Interruptions.** While isolated or temporary interruptions in service or access due to maintenance or repairs may be allowed, the Municipality shall ensure reasonable alternative pedestrian access accommodations for long-term disruptions.
  
- e. **Municipal Sidewalk Ordinances.** The Municipality, by ordinance, may provide its sidewalk maintenance responsibilities under this agreement shall be performed by adjacent property owners.
  
- f. *This provision is only applicable if the following box is checked:*   
**Retaining Walls.** PennDOT shall be responsible for structural maintenance of retaining walls supporting the travelled portion of the state highway available to motor vehicles, and the Municipality shall be responsible for structural maintenance of retaining walls exclusively supporting or whose sole purpose is to support curbing, footways, and sidewalk. The Municipality, to the extent provide for by law, may provide this maintenance responsibility shall be performed by adjacent property owners.
  
- g. *This provision is only applicable if the following box is checked:*   
**Sidewalks on Bridge.** PennDOT shall maintain the structural integrity and substructure of the pedestrian facilities to ensure structural integrity of the sidewalk. The Municipality shall remove snow and debris from the sidewalk to ensure the path of travel on pedestrian facilities on the bridge is open and usable

for all persons throughout the year. PennDOT and the Municipality shall also maintain accessible pedestrian walkways on bridges in their respective work zones and correct other disruptions each party may cause to such pedestrian walkways with only isolated or temporary disruptions in accessibility. Reasonable alternative pedestrian access accommodations shall be made for long-term disruptions. The Municipality, by ordinance, may provide its sidewalk maintenance responsibilities under this agreement be performed by abutting property owners.

5. **Liquid Fuels Funds.** If the Municipality fails to perform the terms, conditions, or provisions of this agreement, PennDOT may withhold the Municipality's Liquid Fuels Tax Fund Allocation to complete necessary work and reimburse PennDOT for the costs due.

6. **Notification of Required Action.** If PennDOT determines repair, maintenance, or other required action is necessary with respect to the sidewalk, PennDOT shall notify the Municipality in writing. The Municipality shall begin necessary work within five calendar days of receipt of PennDOT's notice. The Municipality or its contractor shall provide safeguards to protect the safety of the traveling public during the work (including work zone traffic control in accordance with PennDOT regulations and publications). The Municipality shall be responsible for promptly completing the necessary work, even if the general maintenance responsibility for the sidewalk has been delegated to adjacent property owners or other parties; however, if a municipal ordinance makes the adjacent property owners financially responsible for the cost of the work, nothing shall prevent the Municipality from seeking reimbursement from them. If the Municipality fails to commence necessary work within this five-day period or fails to prosecute the work diligently to completion, PennDOT may perform the repair, maintenance, or other necessary action at the Municipality's sole cost and expense.

7. **Failure to Make Payment.** Failure by the Municipality to pay PennDOT within 45 days of receipt of an invoice for work performed by PennDOT shall constitute a default. Payment shall be deemed made as follows, according to the manner chosen:

- a. if made in person, when tendered;



- b. if made by electronic transfer, as provided by state and federal banking laws and regulations;
- c. if made by U.S. First Class Mail, postage prepaid, when posted; or
- d. if made by overnight delivery service having positive tracking, when picked up.

8. **Responsibility for Liability.** PennDOT shall pay for loss, liability, or expense, which arises out of or relates to PennDOT's acts or omissions with respect to its obligations under this agreement, where a final determination of liability on the part of PennDOT is established by a court of law or where settlement has been agreed to by PennDOT. This provision shall not be construed to limit PennDOT's rights, claims, or defenses which arise as a matter of law or pursuant to this agreement. This provision shall not be construed to limit the sovereign immunity of the Commonwealth or PennDOT. The Municipality shall pay for loss, liability, or expense, which arises out of or relates to the Municipality's acts or omissions with respect to its obligations under this agreement, where a final determination of liability on the part of the Municipality is established by a court of law or where settlement has been agreed to by the Municipality. This provision shall not be construed to limit the Municipality's rights, claims or defenses which arise as a matter of law or pursuant to this agreement. This provision shall not be construed to limit immunity or defense of the Municipality (including those under the Political Subdivision Tort Claims Act, 42 Pa.C.S. §§ 8541-8564).

9. **Resolutions and Ordinances.** The Municipality shall pass ordinances or resolutions as may be necessary to accomplish the purposes of this agreement.

10. **Term and Termination.**

- a. **Term.** This Agreement shall continue in full force and effect indefinitely, unless terminated as provided in this Agreement. The effective date of this Agreement shall be the date this Agreement is fully executed by the Municipality and PennDOT and all approvals required by Commonwealth contracting procedures have been obtained, as indicated by the date of the last Commonwealth signature.

- b. **Termination for Convenience of Non-Appropriation.** The parties may cancel or terminate this Agreement for convenience or non-appropriation until the date the Project is awarded, but not after that date. Each party shall bear the costs it incurred during the time this Agreement was in effect.
- c. **Termination for Cause.** This Agreement shall not terminate for cause unless the cause renders it void or otherwise unenforceable. If one party alleges an event of default has occurred resulting in termination, and the other party disputes whether a breach has occurred, then this Agreement shall not terminate until and unless the dispute is resolved and this Agreement is determined to be void or otherwise unenforceable.

11. **Amendments and Modifications.** No alterations or variations to this agreement shall be valid unless made in writing and signed by the parties. Amendments to this agreement shall be accomplished through a formal written document signed by the parties with the same formality as the original agreement.

12. **Severability.** “The provisions of this agreement are severable. If any phrase, clause, sentence or provision of this agreement is declared to be contrary to the Constitution of Pennsylvania or of the United States or of the laws of the Commonwealth and its applicability to any government, agency, person or circumstance is held invalid, the validity of the remainder of this agreement and its applicability to any government, agency, person or circumstance will not be affected.

13. **No Waiver.** Either party may elect not to enforce its rights and remedies under this agreement in the event of a breach by other parties of any term or condition of this agreement. In any event, the failure by either party to enforce its rights and remedies under this agreement may not be construed as a waiver of any subsequent breach of the same or any other term or condition of this agreement.

14. **Independence of the Parties.** Nothing contained in this agreement is intended or may be construed to, in any respect, create or establish the relationship of partners between the

Municipality and PennDOT, or as constituting PennDOT as the representative or general agent of the Municipality.

15. **Assignment.** This agreement may not be assigned, either in whole or in part, without PennDOT's written consent.

16. **No Third-Party Beneficiary Rights.** This agreement does not create or intend to confer any rights in or on persons or entities not a party to this agreement.

17. **Notice.** All notices and reports arising out of, or from, the provisions of this agreement must be in writing and given to the parties at the address provided under this agreement, either by regular mail, e-mail, or delivery in person:

If to PennDOT:

Address: District Executive; Engineering District 5-0  
1002 W. Hamilton Street; Allentown, PA 18101  
Email: ckufro@pa.gov

If to Municipality:

Address: South Whitehall Township  
4444 Walbert Ave., Allentown, PA 18104  
Email: petruccit@southwhitehall.com

or to such other person or address as the parties may provide to each other in writing.

18. **Force Majeure.** Neither party will be liable for failure to perform under this agreement if such failure to perform arises out of causes beyond the control and without the fault or negligence of the nonperforming party. Such causes may include, but are not limited to, acts of God or the public enemy, fires, floods, epidemics, quarantine restrictions, freight embargoes, and unusually severe weather. This provision will become effective only if the party failing to perform immediately notifies the other party of the extent and nature of the problem, limits delay in performance to that required by the event and takes all reasonable steps to minimize delays. This provision will not be effective unless the failure to perform is beyond the control and without the fault or negligence of the nonperforming party.

19. **Integration and Merger.** The parties intend this statement of their agreement to constitute the complete, exclusive, and fully integrated statement of their agreement. As such, it is the sole expression of their agreement, and they are not bound by any other agreements of whatsoever kind or nature. The parties also intend that this agreement may not be supplemented, explained, or interpreted by any evidence of trade usage or course of dealing. In entering this agreement, the parties did not rely upon oral or written statements or representations not contained within the document itself.

20. **Counterparts.** This agreement may be executed in counterparts, each of which is deemed an original and has the full force and effect as an original, but all of which constitute one and the same instrument.

[The remainder of this page is intentionally left blank.]

The parties have executed this agreement to be effective as of the date of the last signature affixed below.

Municipality

BY \_\_\_\_\_  
Title: \_\_\_\_\_ Date \_\_\_\_\_

Please attach a resolution providing proof of signature authority for the signer to sign on behalf of the Municipality, Authority, or other governmental entity. Signers need to indicate titles and date signatures.

---

**DO NOT WRITE BELOW THIS LINE--FOR DEPARTMENT USE ONLY**

APPROVED AS TO LEGALITY  
AND FORM

COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION

BY \_\_\_\_\_  
Office of Chief Counsel Date \_\_\_\_\_

BY \_\_\_\_\_  
Deputy Secretary or designee Date \_\_\_\_\_

BY \_\_\_\_\_  
Office of General Counsel Date \_\_\_\_\_

BY \_\_\_\_\_  
Office of Attorney General Date \_\_\_\_\_

AT-27.3

**SOUTH WHITEHALL TOWNSHIP  
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2024-XX**

**(Duly Adopted April 17, 2024)**

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF  
THE TOWNSHIP OF SOUTH WHITEHALL, LEHIGH COUNTY,  
COMMONWEALTH OF PENNSYLVANIA, APPROVING A  
ROADWAY LIGHTING AGREEMENT BETWEEN SOUTH  
WHITEHALL TOWNSHIP AND THE PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION FOR THE SR 0309 AND  
SR 1002 (TILGHMAN STREET) INTERCHANGE PROJECT**

**WHEREAS**, the Commonwealth of Pennsylvania Department of Transportation (PennDOT) intends to install lighting as part of the SR 0309 & SR 1002 (Tilghman Street) Interchange Project; and

**WHEREAS**, PennDOT, by contract and without cost to South Whitehall Township, shall construct an electrical roadway lighting system for SR 309, SR 1002, SR 8013, SR 8008 including lighting attached to the underside of the bridge, in South Whitehall Twp, SR 309 over SR 1002 , Lehigh County, consisting of sufficient poles, arms, bases, conduit, junction boxes, wire, cables, luminaires, controls and related equipment, at the places and positions and in the intensities shown on the drawings and provided for in the specifications prepared for or approved by PennDOT in the Highway Lighting Plan, which is incorporated herein as though fully set forth at length as Exhibit “A” and collectively referred to as the “Lighting System”; and

**WHEREAS**, PennDOT’s right, title, warranties, and interest in and to the Lighting System transfer to South Whitehall Township upon completion of the installation of the Lighting System in an operable condition satisfactory to PennDOT; and

**WHEREAS**, South Whitehall Township shall assume ownership, custody, and control of the Lighting System pursuant to the authority set forth in this Resolution; and

**WHEREAS**, in order to effectuate the transfer of the Lighting System to South Whitehall Township from PennDOT, the Township shall execute a Roadway Lighting Agreement between South Whitehall Township and PennDOT; said Roadway Lighting Agreement is incorporated herein as though more fully set forth at length as Exhibit “B”.

**NOW, THEREFORE, BE IT RESOLVED**, by the Board of Commissioners of South Whitehall Township hereby adopts the following:

1. All “Whereas” clauses are incorporated herein as though more fully set forth at length.
2. The Board of Commissioners hereby approve the transfer of the Lighting System to South Whitehall Township from PennDOT and acknowledge that PennDOT’s right, title, warranties, and interest in and to the Lighting System transfer to South Whitehall Township upon completion of the installation of the Lighting System in an operable condition satisfactory to PennDOT.
3. The Township Manager of the Township of South Whitehall is hereby authorized and directed to execute on behalf of the Township of South Whitehall the Roadway Lighting Agreement, which is attached hereto as Exhibit “B” and incorporated herein as though more fully set forth at length.

**FURTHER RESOLVED**, that all Resolutions or parts of Resolutions inconsistent with this Resolution are hereby repealed and superseded by this Resolution.

**DULY ADOPTED** this 17<sup>th</sup> day of April, 2024, by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners at which a quorum was present. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice-President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH  
WHITEHALL  
BOARD OF COMMISSIONERS**

---

Diane Kelly, President

**ATTEST:**

---

Tricia Dickert, Township Secretary

# EXHIBIT “A”



# **EXHIBIT “B”**

DISTRICT	COUNTY	ROUTE	SECTION	SHEET	
5-0	LEHIGH	0309	12M	1 OF 13	
SOUTH WHITEHALL TOWNSHIP					
REVISION NUMBER	REVISIONS			DATE	BY

## GENERAL NOTES

1. MOUNTING HEIGHT FOR ALL PROPOSED LUMINAIRES IS 30 FEET FROM ROADWAY SURFACE.
2. ALL BRACKET ARMS ARE 12 FEET SINGLE MEMBER ARMS, EXCEPT LUMINAIRE #23A/B AND #26A/B WHICH ARE DUAL BRACKET ARMS.
3. ALL STATIONS AND OFFSETS LISTED REFER TO THE LOCATION OF THE POLE.
4. ALL JUNCTION BOXES WITHIN PROJECT LIMITS SHALL BE TYPE 1, UNLESS OTHERWISE NOTED.
5. INSTALL ALL CONDUITS UNDER ROADWAYS PRIOR TO PAVING OPERATIONS, SEE RC-84M.
6. INSTALL ALL THE CONDUITS AND JUNCTION BOXES WITHIN THE PROJECT LIMITS IN COORDINATION WITH THE ROADWAY CONSTRUCTION. SEE TRAFFIC CONTROL PLANS FOR CONSTRUCTION SEQUENCE.
7. PROVIDE MATERIALS AND CONSTRUCT THIS PROJECT IN ACCORDANCE WITH PA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, PUBLICATION 408, DATED 2020, AND ALL OF ITS SUPPLEMENTS AND SPECIAL PROVISIONS, AND PUBLICATION 72 STANDARD LIGHTING DRAWINGS. REFER TO SECTION 910 FOR HIGHWAY LIGHTING FOR FURNISHING, INSTALLATION, ERECTION, AND WIRING OF THE LIGHTING SYSTEM, INCLUDING THE ELECTRICAL POWER SUPPLY AND DISTRIBUTION SYSTEM.
8. PROVIDE POLE AND POWER SUPPLY ID TAGS WITH 1" HIGH REFLECTIVE ALUMINUM CHARACTERS AND SLIDE IN ALUMINUM HOLDERS, WIDTH AS REQUIRED TO ACCOMODATE THE CHARACTERS. ATTACH WITH STAINLESS STEEL RIVETS. MOUNT THE TAGS APPROXIMATELY 6 FEET ABOVE THE FOUNDATION. PROVIDE CHARACTER PLATES WITH BLACK CHARACTERS ON WHITE BACKGROUND OR WHITE CHARACTERS ON BLACK BACKGROUND. PROVIDE AS MANUFACTURED BY ELECTROMARK, ALMETEK, TECH PRODUCTS. OR APPROVED EQUAL. SEE RC-83M FOR DETAILS.
9. PER ACT 187, MAINTAIN A MINIMUM 18" CLEARANCE FROM ALL UNDERGROUND UTILITIES.
10. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
11. WHENEVER POSSIBLE, MAKE SPLICES ABOVE GRADE IN POLE BASES, PROVIDE WATERTIGHT, SUBMERSIBLE, NON-FUSIBLE, PREMOLDED, DISCONNECTABLE CONNECTOR KITS FOR SPLICES IN JUNCTION BOXES. SPLICE IN JUNCTION BOX ONLY WHERE REQUIRED.
12. ALL ROADWAY LIGHTING LUMINAIRES ARE CONNECTED AT 120/240 VOLTS ON A THREE WIRE 120/240 VOLT SEPARATE SERVICE DROP.
13. PROVIDE METERED ELECTRIC SERVICE FOR THE ROADWAY LIGHTING.
14. MAINTAIN A 25' LATERAL OFFSET FROM ALL HIGH VOLTAGE OVERHEAD LINES.
15. PLACE CONDUIT MARKERS AT ALL GUIDE RAIL CROSSINGS. LOCATE THE MARKER DIRECTLY OVER THE TRENCH AND UNDER THE GUIDE RAIL.
16. PROVIDE A SEPARATE EQUIPMENT GROUNDING CONDUCTOR WITH ALL CONDUITS. DO NOT CONNECT THE NEUTRAL TO GROUND EXCEPT AT THE CONTROL CABINET. CONNECT THE EQUIPMENT GROUNDING CONDUCTOR TO GROUND AT EACH POLE. PROVIDE WITH THE SAME INSULATION AND SIZE AS THE CIRCUIT CONDUCTORS.
17. THE UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST INFORMATION AVAILABLE AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CORRECTNESS OF THE INFORMATION IS NOT GUARANTEED. THE CONTRACTOR MUST VERIFY THE INFORMATION AND TAKE ALL PRECAUTIONS TO FULLY PROTECT THE UTILITY SERVICE.
18. STATION LOCATION AND OFFSET FOR JUNCTION BOXES ARE APPROXIMATE AND MAY BE ADJUSTED ACCORDINGLY TO BEST MEET FIELD CONDITIONS.
19. SEAL CONDUITS/CONDULETS AT ENCLOSURES TO PREVENT RODENT ENTRY.
20. THE CONTROL CABINET LOCATION IS APPROXIMATE AND ITS EXACT LOCATION NEEDS TO BE COORDINATED WITH THE ELECTRIC UTILITY. COORDINATE WITH THE DEPARTMENT REPRESENTATIVE, ANY DEVIATION FROM THE INDICATED LOCATION. THE DEPARTMENT REPRESENTATIVE MUST APPROVE THE FINAL CONTROL CABINET LOCATION.
21. CONDUIT RUNS AND JUNCTION BOX LOCATIONS ARE SHOWN DIAGRAMMATICALLY. COORDINATE INSTALLATION OF THESE ITEMS WITH THE INSTALLATION OF HIGHWAY LIGHTING SYSTEM, TRAFFIC SIGNAL SYSTEM, OTHER CONTRACT WORK, RIGHT OF WAY LINES, EXISTING INSTALLATIONS AND UNDERGROUNDS UTILITIES.
22. PROVIDE LETTERING/LOGO LIGHTING ON ALL JUNCTION BOX COVERS.
23. PA ONE-CALL TOLL FREE TELEPHONE NO. 1-800-242-1776. COORDINATE WITH PA ONE-CALL PRIOR TO DIGGING.
24. PROVIDE LUMINAIRES WITH NEMA TWIST-LOCK PHOTOCCELL RECEPTACLE AND SHORTING CAP.
25. SIGNAL POLES ARE SHOWN FOR REFERENCE ONLY. PLEASE SEE SIGNAL PLANS FOR ADDITIONAL DETAILS.
26. THE TABS SHEET PROVIDES TWO DESIGN OPTIONS FOR CONTRACTOR TO SELECT EITHER STEEL LIGHTING POLES AND ARMS OR ALUMINUM LIGHTING POLES AND ARMS. CONTRACTOR TO ONLY SELECT TWO OF THESE FOUR BID ITEMS. THESE ITEMS ARE CALLED OUT AS DESIGN 1 OR DESIGN 2 IN THE TABS SHEET.

90% Constructability Review Submission  
February 2024

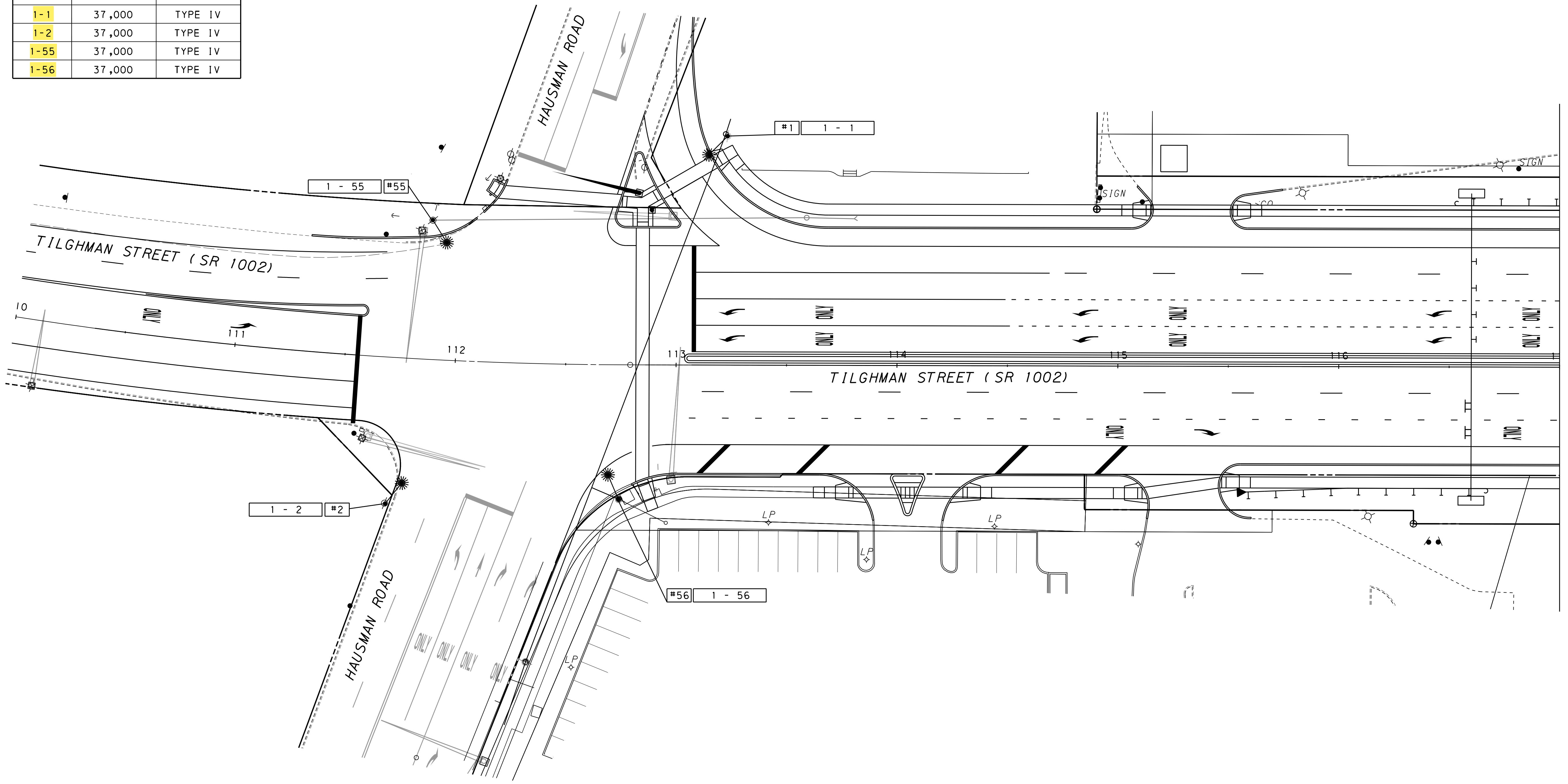
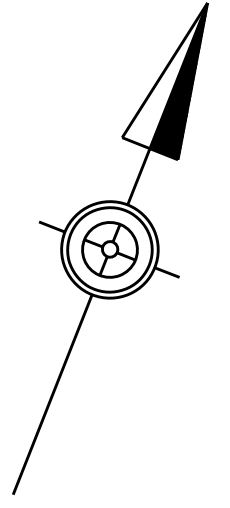
HIGHWAY LIGHTING  
GENERAL NOTES

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	2 OF 13
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

POLE AND JUNCTION BOX SCHEDULE				
NO.	ITEM	ROADWAY	STATION	OFFSET
1	UTILITY POLE	SR 1002	112+85.50	89.17 LT
2	UTILITY POLE	SR 1002	111+72.16	72.75 RT
55	UTILITY POLE	SR 1002	111+86.50	63.09 LT
56	UTILITY POLE	SR 1002	112+74.17	60.82 RT

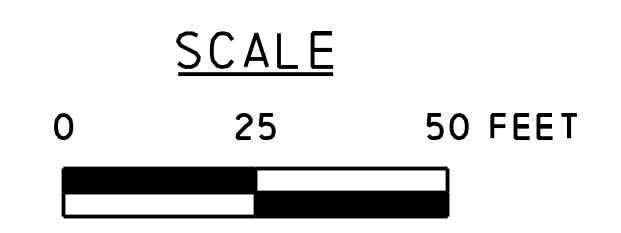
LUMINAIRE SCHEDULE		
NO.	LUMENS	DISTRIBUTION
1-1	37,000	TYPE IV
1-2	37,000	TYPE IV
1-55	37,000	TYPE IV
1-56	37,000	TYPE IV

Township responsibilities are highlighted.



**LIGHTING LEGEND**

- LIGHT POLE AND LUMINAIRE
- JUNCTION BOX, JB-1
- 2" PVC CONDUIT
- LIGHTING CONTROLLER ASSEMBLY
- SERVICE DISCONNECT
- LIGHTING CONTROL PANEL DISCONNECT

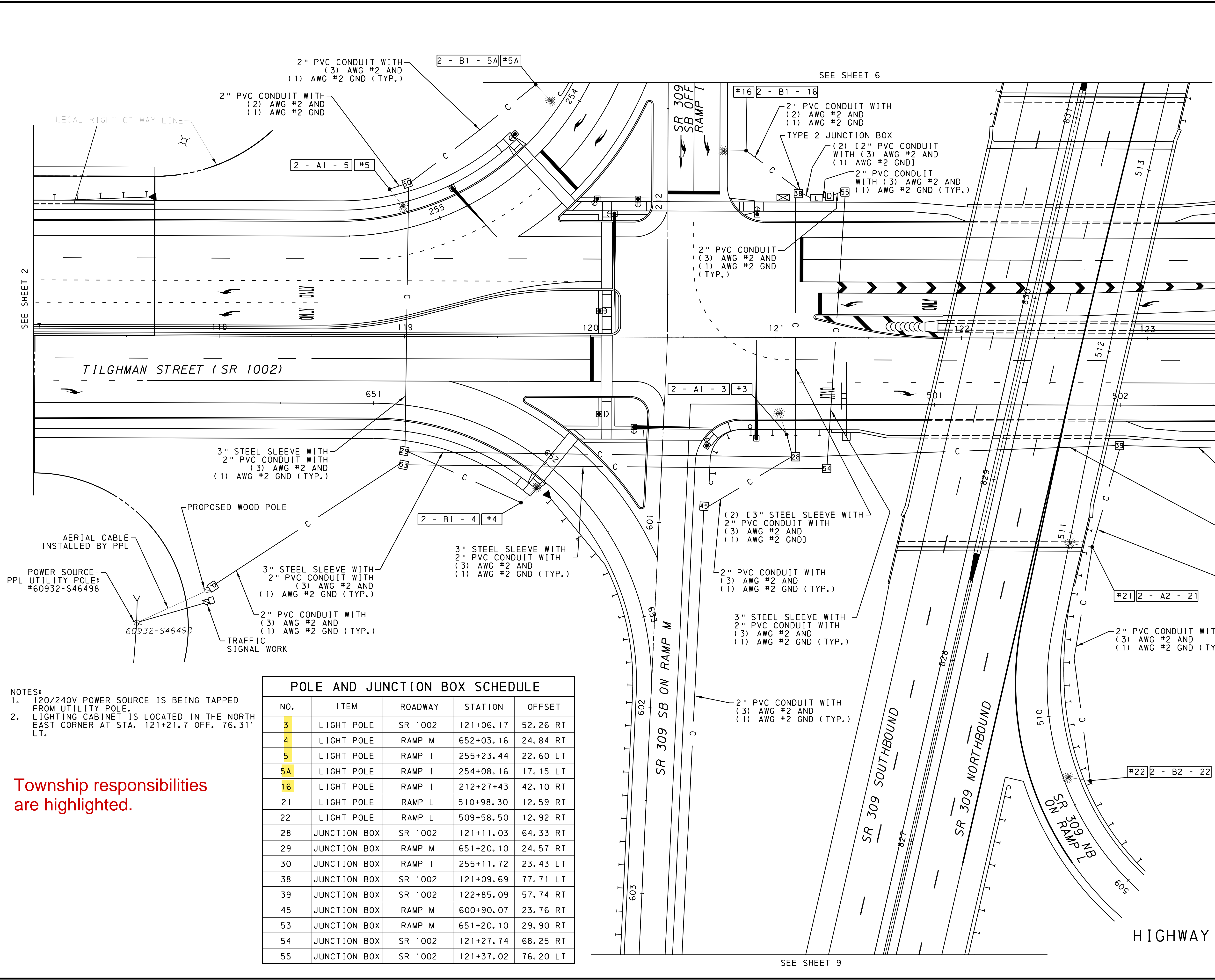


NOTES:  
1. LIGHTS 1-1, 1-2, 1-55, AND 1-56 ARE MOUNTED ON UTILITY POLES.

**HIGHWAY LIGHTING PLAN**



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	3 OF 13
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	



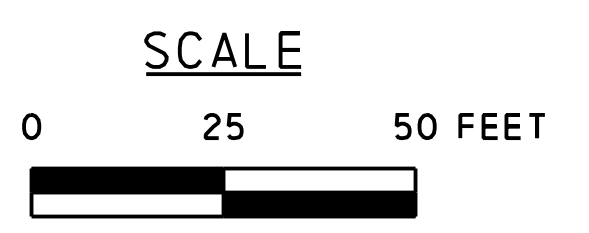
NO.	LUMENS	DISTRIBUTION
2-A1-3	37,000	TYPE IV
2-B1-4	37,000	TYPE IV
2-A1-5	37,000	TYPE IV
2-B1-5A	37,000	TYPE IV
2-B1-16	37,000	TYPE IV
2-A2-21	12,000	TYPE II
2-B2-22	27,000	TYPE IV

NO.	ITEM	ROADWAY	STATION	OFFSET
3	LIGHT POLE	SR 1002	121+06.17	52.26 RT
4	LIGHT POLE	RAMP M	652+03.16	24.84 RT
5	LIGHT POLE	RAMP I	255+23.44	22.60 LT
5A	LIGHT POLE	RAMP I	254+08.16	17.15 LT
16	LIGHT POLE	RAMP I	212+27+43	42.10 RT
21	LIGHT POLE	RAMP L	510+98.30	12.59 RT
22	LIGHT POLE	RAMP L	509+58.50	12.92 RT
28	JUNCTION BOX	SR 1002	121+11.03	64.33 RT
29	JUNCTION BOX	RAMP M	651+20.10	24.57 RT
30	JUNCTION BOX	RAMP I	255+11.72	23.43 LT
38	JUNCTION BOX	SR 1002	121+09.69	77.71 LT
39	JUNCTION BOX	SR 1002	122+85.09	57.74 RT
45	JUNCTION BOX	RAMP M	600+90.07	23.76 RT
53	JUNCTION BOX	RAMP M	651+20.10	29.90 RT
54	JUNCTION BOX	SR 1002	121+27.74	68.25 RT
55	JUNCTION BOX	SR 1002	121+37.02	76.20 LT

NOTES:  
 1. 120/240V POWER SOURCE IS BEING TAPPED FROM UTILITY POLE.  
 2. LIGHTING CABINET IS LOCATED IN THE NORTH EAST CORNER AT STA. 121+21.7 OFF. 76.31' LT.

Township responsibilities are highlighted.

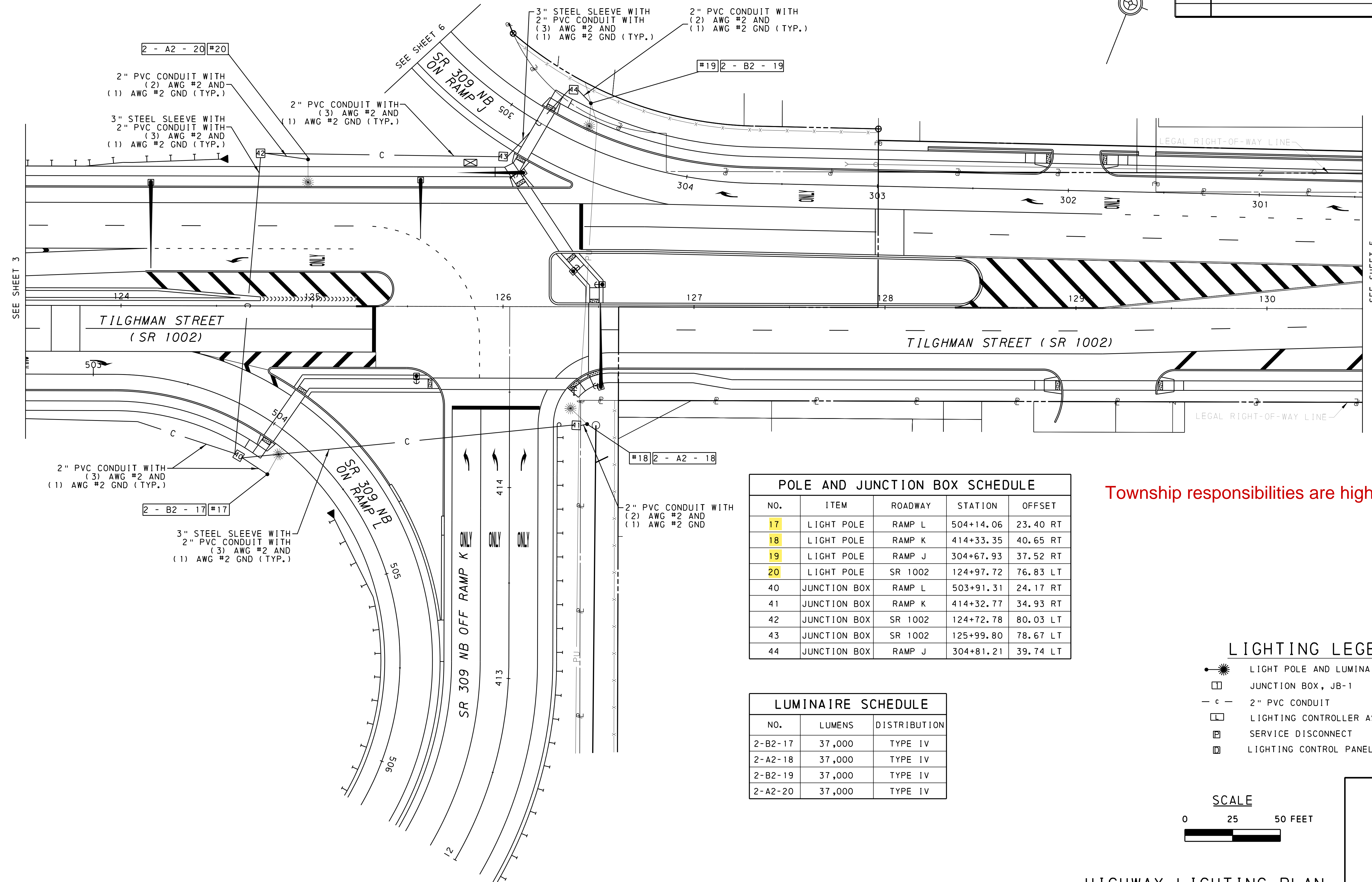
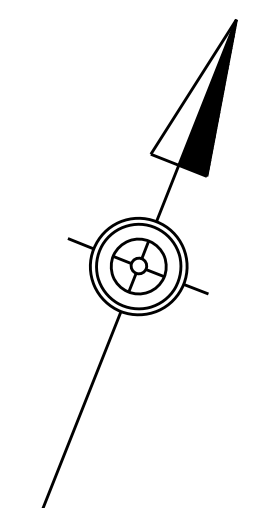
	LIGHT POLE AND LUMINAIRE
	JUNCTION BOX, JB-1
	2" PVC CONDUIT
	LIGHTING CONTROLLER ASSEMBLY
	SERVICE DISCONNECT
	LIGHTING CONTROL PANEL DISCONNECT



HIGHWAY LIGHTING PLAN



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	4 OF 13
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	



**POLE AND JUNCTION BOX SCHEDULE**

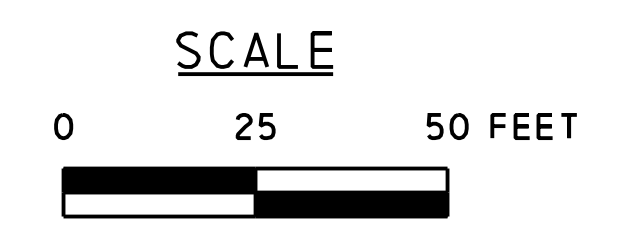
NO.	ITEM	ROADWAY	STATION	OFFSET
17	LIGHT POLE	RAMP L	504+14.06	23.40 RT
18	LIGHT POLE	RAMP K	414+33.35	40.65 RT
19	LIGHT POLE	RAMP J	304+67.93	37.52 RT
20	LIGHT POLE	SR 1002	124+97.72	76.83 LT
40	JUNCTION BOX	RAMP L	503+91.31	24.17 RT
41	JUNCTION BOX	RAMP K	414+32.77	34.93 RT
42	JUNCTION BOX	SR 1002	124+72.78	80.03 LT
43	JUNCTION BOX	SR 1002	125+99.80	78.67 LT
44	JUNCTION BOX	RAMP J	304+81.21	39.74 LT

**LUMINAIRE SCHEDULE**

NO.	LUMENS	DISTRIBUTION
2-B2-17	37,000	TYPE IV
2-A2-18	37,000	TYPE IV
2-B2-19	37,000	TYPE IV
2-A2-20	37,000	TYPE IV

Township responsibilities are highlighted.

- LIGHTING LEGEND**
- LIGHT POLE AND LUMINAIRE
  - JUNCTION BOX, JB-1
  - 2" PVC CONDUIT
  - LIGHTING CONTROLLER ASSEMBLY
  - SERVICE DISCONNECT
  - LIGHTING CONTROL PANEL DISCONNECT

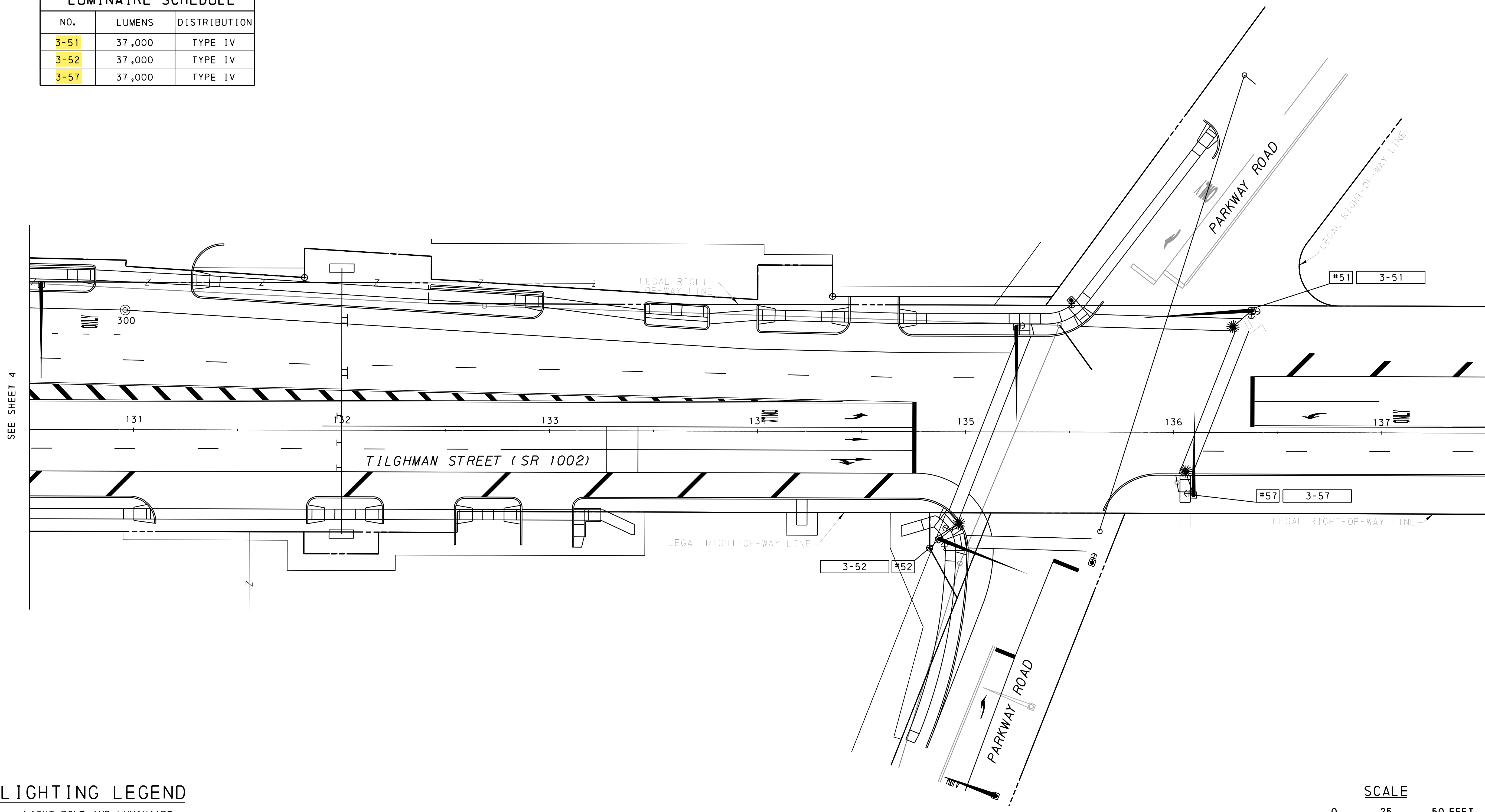
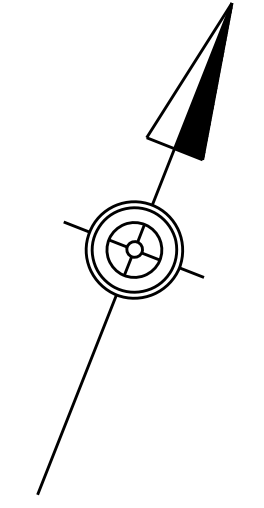


HIGHWAY LIGHTING PLAN

DISTRICT	COUNTY	ROUTE	SECTION	SHEET	
5-0	LEHIGH	0309	12M	5 OF 13	
SOUTH WHITEHALL TOWNSHIP					
REVISION NUMBER	REVISIONS			DATE	BY

POLE AND JUNCTION BOX SCHEDULE				
NO.	ITEM	ROADWAY	STATION	OFFSET
51	SIGNAL POLE	SR 1002	136+39.50	59.45 LT
52	SIGNAL POLE	SR 1002	134+86.90	52.04 RT
57	SIGNAL POLE	SR 1002	136+10.21	30.14 RT

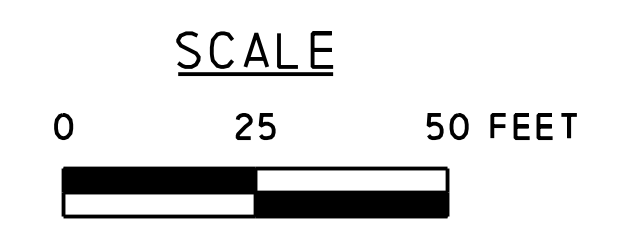
LUMINAIRE SCHEDULE		
NO.	LUMENS	DISTRIBUTION
3-51	37,000	TYPE IV
3-52	37,000	TYPE IV
3-57	37,000	TYPE IV



**LIGHTING LEGEND**

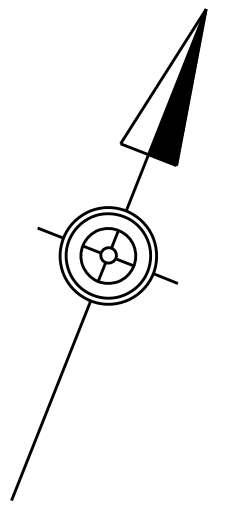
- LIGHT POLE AND LUMINAIRE
- JUNCTION BOX, JB-1
- 2" PVC CONDUIT
- LIGHTING CONTROLLER ASSEMBLY
- SERVICE DISCONNECT
- LIGHTING CONTROL PANEL DISCONNECT

NOTES:  
 1. LIGHTS 51, 52, AND 57 ARE MOUNTED ON SIGNAL POLES. INSTALLATION OF FIXTURES SHOULD BE COORDINATED WITH SIGNAL INSTALLATION.



**HIGHWAY LIGHTING PLAN**

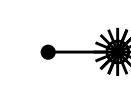

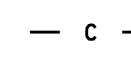



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	6 OF 13
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

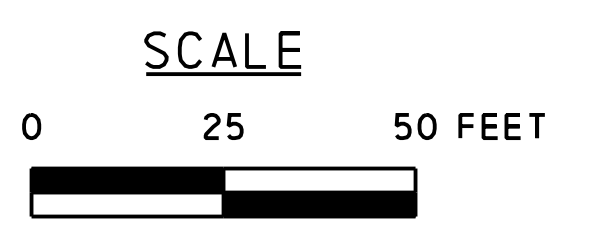


POLE AND JUNCTION BOX SCHEDULE				
NO.	ITEM	ROADWAY	STATION	OFFSET
6	LIGHT POLE	RAMP I	206+48.02	33.59 LT
32	JUNCTION BOX	RAMP I	251+80.50	26.69 LT
33	JUNCTION BOX	RAMP I	206+58.13	37.28 LT

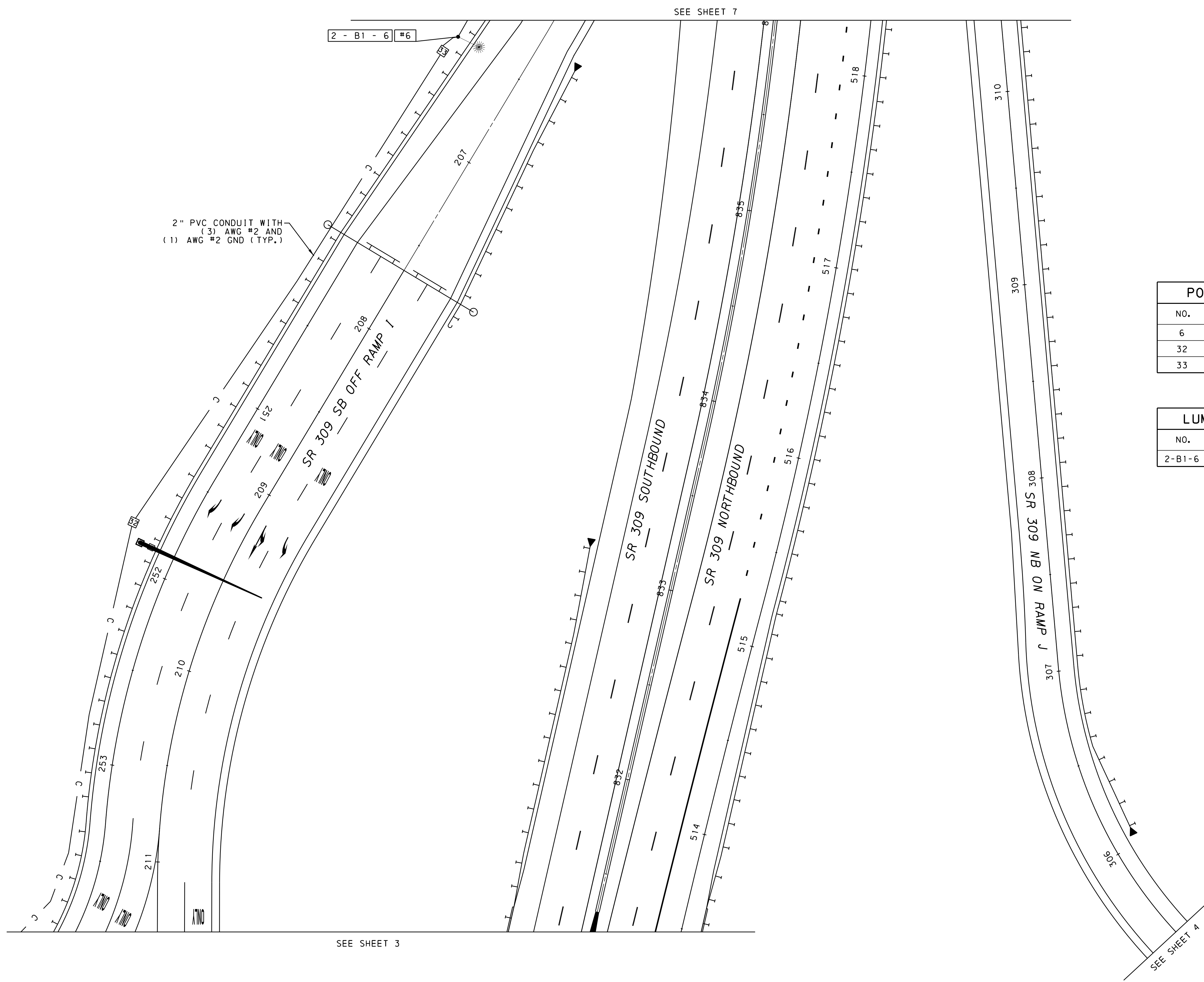
LUMINAIRE SCHEDULE		
NO.	LUMENS	DISTRIBUTION
2-B1-6	12,000	TYPE II

**LIGHTING LEGEND**

-  LIGHT POLE AND LUMINAIRE
-  JUNCTION BOX, JB-1
-  2" PVC CONDUIT
-  LIGHTING CONTROLLER ASSEMBLY
-  SERVICE DISCONNECT
-  LIGHTING CONTROL PANEL DISCONNECT



**HIGHWAY LIGHTING PLAN**



SEE SHEET 7

2 - B1 - 6 #6

2" PVC CONDUIT WITH  
(3) AWG #2 AND  
(1) AWG #2 GND (TYP.)

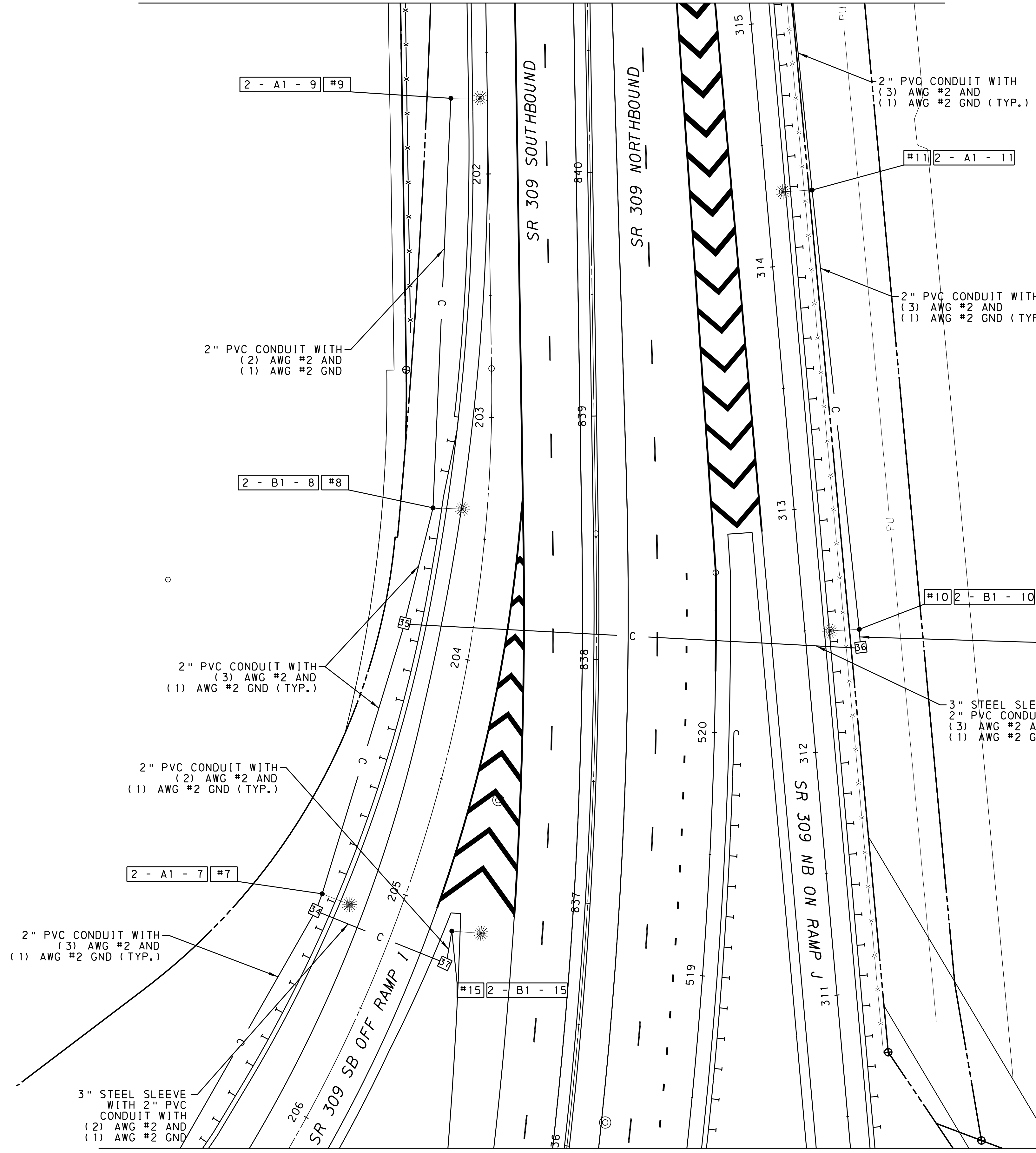
SEE SHEET 3

SEE SHEET 4



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	7 OF 13
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

SEE SHEET 8



### POLE AND JUNCTION BOX SCHEDULE

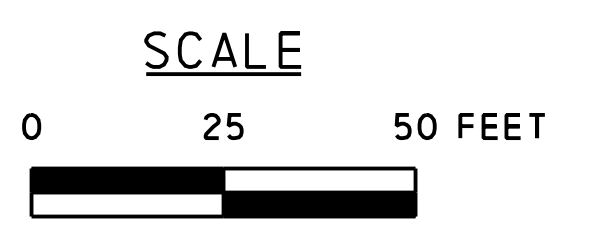
NO.	ITEM	ROADWAY	STATION	OFFSET
7	LIGHT POLE	RAMP I	205+11.46	32.34 LT
8	LIGHT POLE	RAMP I	203+38.85	22.22 RT
9	LIGHT POLE	RAMP I	201+68.49	14.93 RT
10	LIGHT POLE	RAMP J	312+48.71	22.31 RT
11	LIGHT POLE	RAMP J	314+29.98	18.87 RT
15	LIGHT POLE	SR 309 SB	836+84.42	54.93 LT
34	JUNCTION BOX	RAMP I	205+19.16	32.59 LT
35	JUNCTION BOX	RAMP I	203+89.13	28.25 LT
36	JUNCTION BOX	RAMP J	312+41.38	22.24 RT
37	JUNCTION BOX	SR 309 SB	836+71.05	56.90 LT

### LUMINAIRE SCHEDULE

NO.	LUMENS	DISTRIBUTION
2-A1-7	12,000	TYPE II
2-B1-8	12,000	TYPE II
2-A1-9	12,000	TYPE II
2-B1-10	27,000	TYPE IV
2-A1-11	27,000	TYPE IV
2-B1-15	12,000	TYPE II

### LIGHTING LEGEND

- LIGHT POLE AND LUMINAIRE
- JUNCTION BOX, JB-1
- 2" PVC CONDUIT
- LIGHTING CONTROLLER ASSEMBLY
- SERVICE DISCONNECT
- LIGHTING CONTROL PANEL DISCONNECT

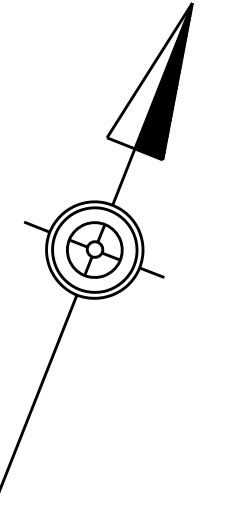


## HIGHWAY LIGHTING PLAN

SEE SHEET 6

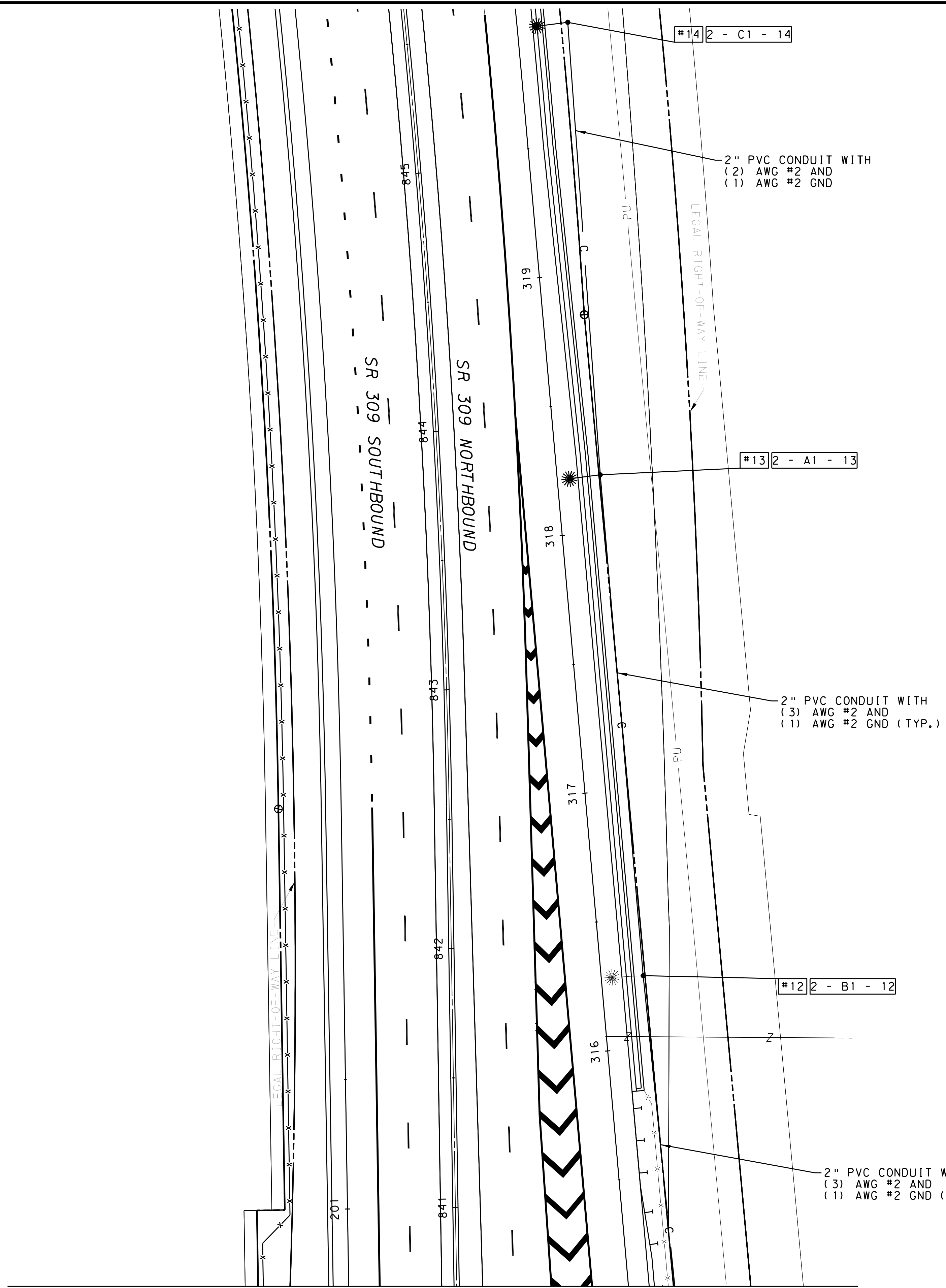


DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	8 OF 13
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	



POLE AND JUNCTION BOX SCHEDULE				
NO.	ITEM	ROADWAY	STATION	OFFSET
12	LIGHT POLE	RAMP J	316+27.77	16.23 RT
13	LIGHT POLE	RAMP J	318+22.04	16.70 RT
14	LIGHT POLE	RAMP J	319+97.21	19.68 RT

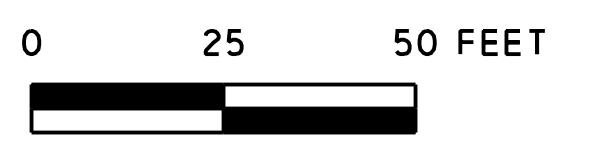
LUMINAIRE SCHEDULE		
NO.	LUMENS	DISTRIBUTION
2-B1-12	30,000	TYPE II
2-A1-13	30,000	TYPE II
2-B1-14	30,000	TYPE II



**LIGHTING LEGEND**

- LIGHT POLE AND LUMINAIRE
- JUNCTION BOX, JB-1
- 2" PVC CONDUIT
- LIGHTING CONTROLLER ASSEMBLY
- SERVICE DISCONNECT
- LIGHTING CONTROL PANEL DISCONNECT

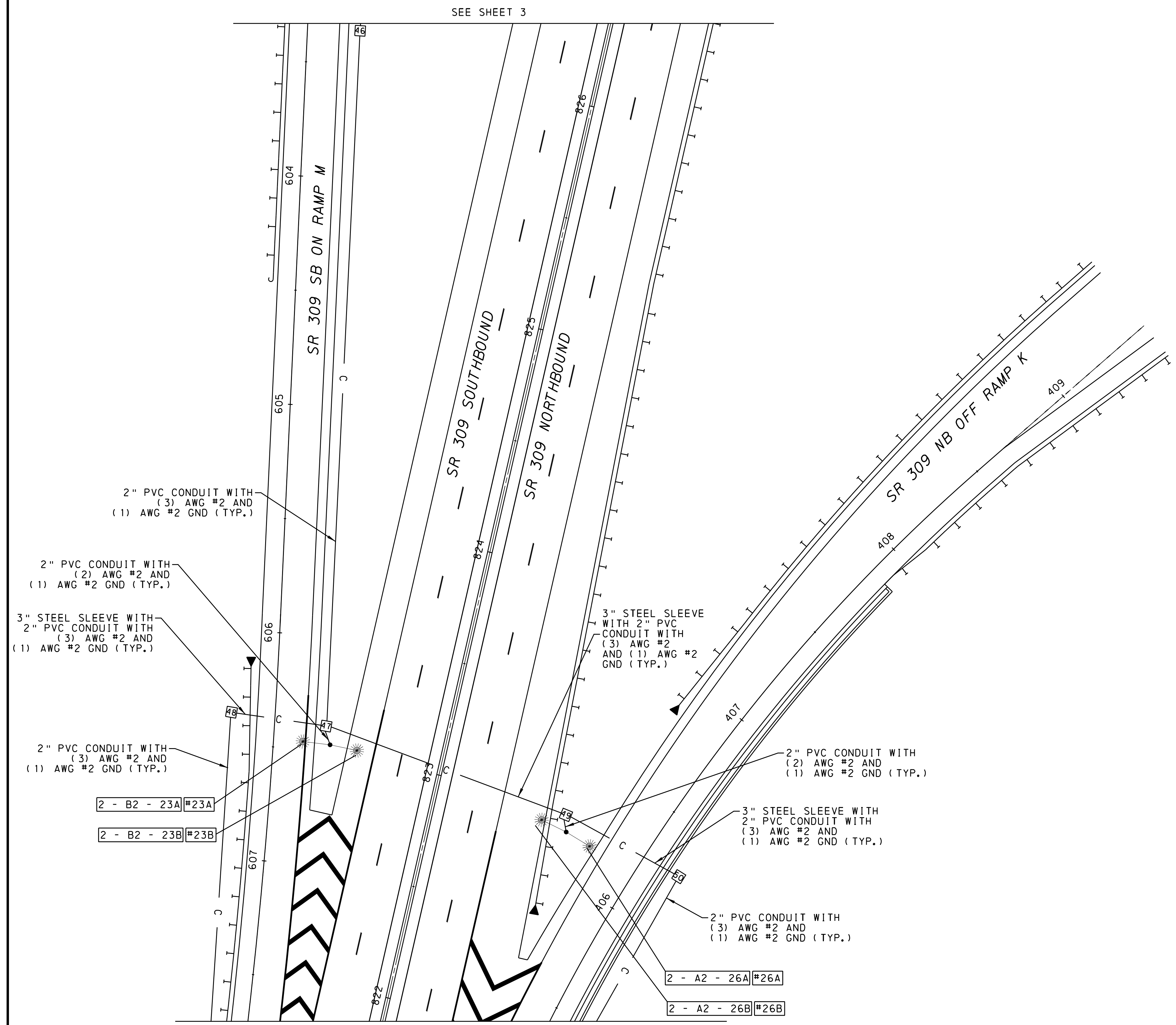
**SCALE**



SEE SHEET 7

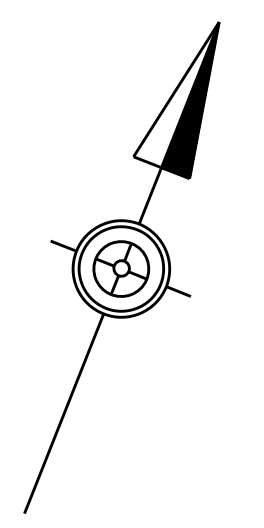
**HIGHWAY LIGHTING PLAN**

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	9 OF 13
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	



NO.	ITEM	ROADWAY	STATION	OFFSET
23A/23B	LIGHT POLE	RAMP M	606+52.59	24.82 RT
26A/26B	LIGHT POLE	RAMP K	406+17.43	34.57 LT
46	JUNCTION BOX	RAMP M	603+35.29	22.97 RT
47	JUNCTION BOX	RAMP M	606+39.35	22.50 RT
48	JUNCTION BOX	RAMP M	606+35.92	19.21 LT
49	JUNCTION BOX	RAMP K	406+23.47	38.76 LT
50	JUNCTION BOX	RAMP K	406+27.42	17.36 RT

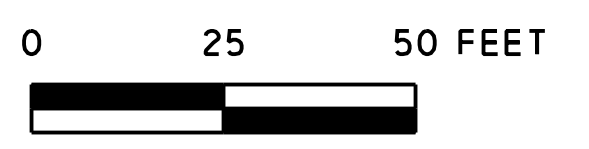
NO.	LUMENS	DISTRIBUTION
2-B2-23A	12,000	TYPE 11
2-B2-23B	12,000	TYPE 11
2-A2-26A	12,000	TYPE 11
2-A2-26B	12,000	TYPE 11



**LIGHTING LEGEND**

- LIGHT POLE AND LUMINAIRE
- JUNCTION BOX, JB-1
- 2" PVC CONDUIT
- LIGHTING CONTROLLER ASSEMBLY
- SERVICE DISCONNECT
- LIGHTING CONTROL PANEL DISCONNECT

**SCALE**

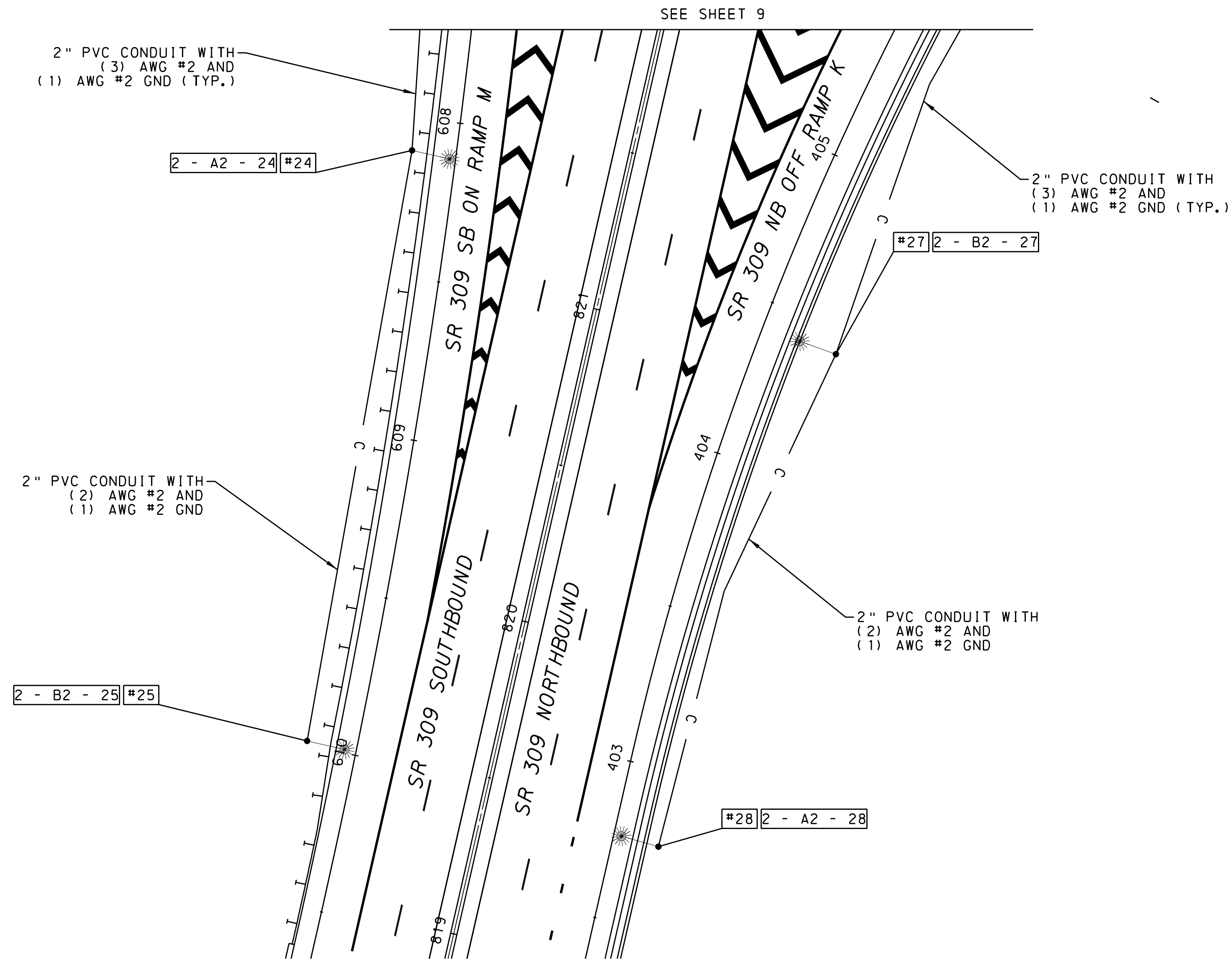
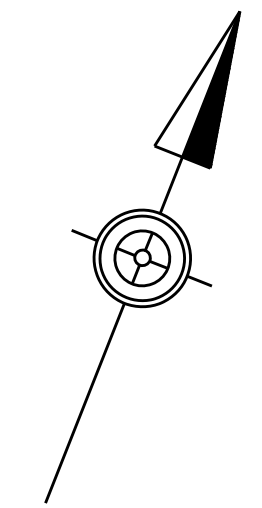


**HIGHWAY LIGHTING PLAN**

DISTRICT	COUNTY	ROUTE	SECTION	SHEET	
5-0	LEHIGH	0309	12M	10 OF 13	
SOUTH WHITEHALL TOWNSHIP					
REVISION NUMBER	REVISIONS			DATE	BY

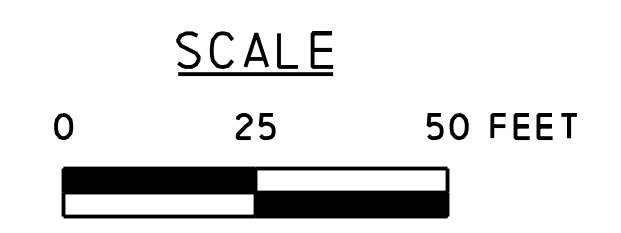
POLE AND JUNCTION BOX SCHEDULE				
NO.	ITEM	ROADWAY	STATION	OFFSET
24	LIGHT POLE	RAMP M	608+10.34	11.40 LT
25	LIGHT POLE	RAMP M	609+98.61	15.64 LT
27	LIGHT POLE	RAMP K	404+42.04	24.32 RT
28	LIGHT POLE	RAMP K	402+75.98	14.43 RT

LUMINAIRE SCHEDULE		
NO.	LUMENS	DISTRIBUTION
2-A2-24	12,000	TYPE II
2-B2-25	12,000	TYPE II
2-B2-27	27,000	TYPE IV
2-A2-28	12,000	TYPE II



### LIGHTING LEGEND

- LIGHT POLE AND LUMINAIRE
- JUNCTION BOX, JB-1
- 2" PVC CONDUIT
- LIGHTING CONTROLLER ASSEMBLY
- SERVICE DISCONNECT
- LIGHTING CONTROL PANEL DISCONNECT

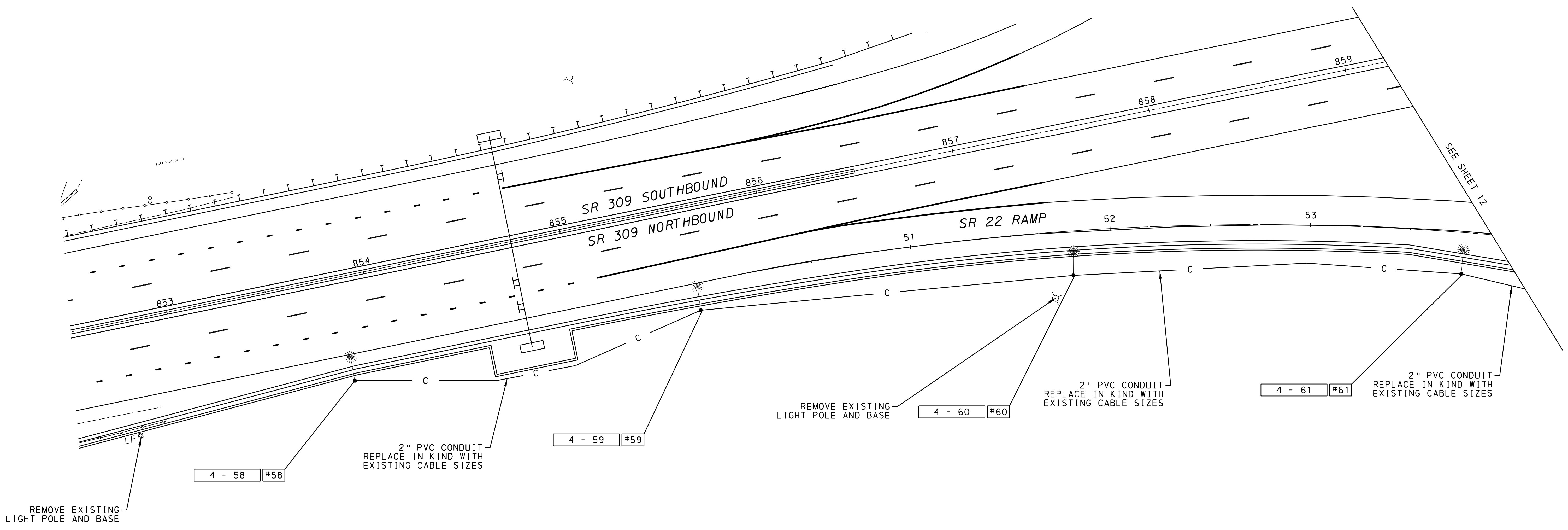
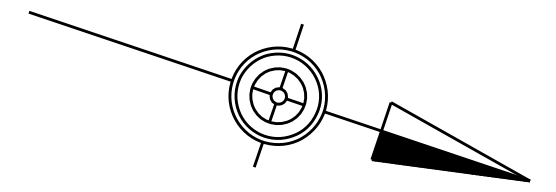


HIGHWAY LIGHTING PLAN

DISTRICT	COUNTY	ROUTE	SECTION	SHEET	
5-0	LEHIGH	0309	12M	11 OF 13	
SOUTH WHITEHALL TOWNSHIP					
REVISION NUMBER	REVISIONS			DATE	BY

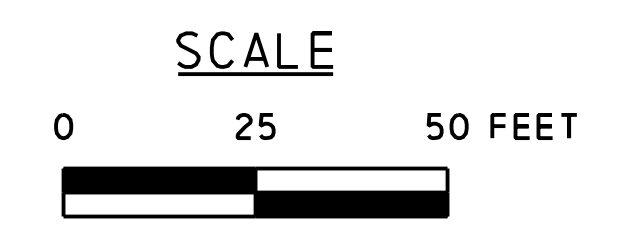
POLE AND JUNCTION BOX SCHEDULE				
NO.	ITEM	ROADWAY	STATION	OFFSET
58	LIGHT POLE	SR-22	853+85.06	52.27 RT
59	LIGHT POLE	SR-22	855+60.94	52.60 RT
60	LIGHT POLE	SR-22	51+79.97	22.09 RT
61	LIGHT POLE	SR-22	53+76.81	20.66 RT

LUMINAIRE SCHEDULE		
NO.	LUMENS	DISTRIBUTION
4-58	12,000	TYPE II
4-59	12,000	TYPE II
4-60	12,000	TYPE II
4-61	12,000	TYPE II



- NOTES:
- LST-58 TO LST-62 ARE TYING INTO THE EXISTING INTERCHANGE LIGHTING. AS THE MAJORITY OF THE LIGHTS ON THIS SYSTEM ARE OUTSIDE THE PROJECT LIMITS, NO CIRCUIT DIAGRAM IS SHOWN FOR THIS SYSTEM.
  - CONTRACTOR TO REMOVE EXISTING CABLES BETWEEN EXISTING LIGHT POLES THAT ARE BEING REMOVED. EXISTING CONDUIT MAY BE ABANDONED.
  - CONTRACTOR TO IDENTIFY EXISTING CABLE SIZE AND REPLACE IN KIND IN PROPOSED CONDUITS.

- LIGHTING LEGEND**
- LIGHT POLE AND LUMINAIRE
  - JUNCTION BOX, JB-1
  - 2" PVC CONDUIT
  - LIGHTING CONTROLLER ASSEMBLY
  - SERVICE DISCONNECT
  - LIGHTING CONTROL PANEL DISCONNECT

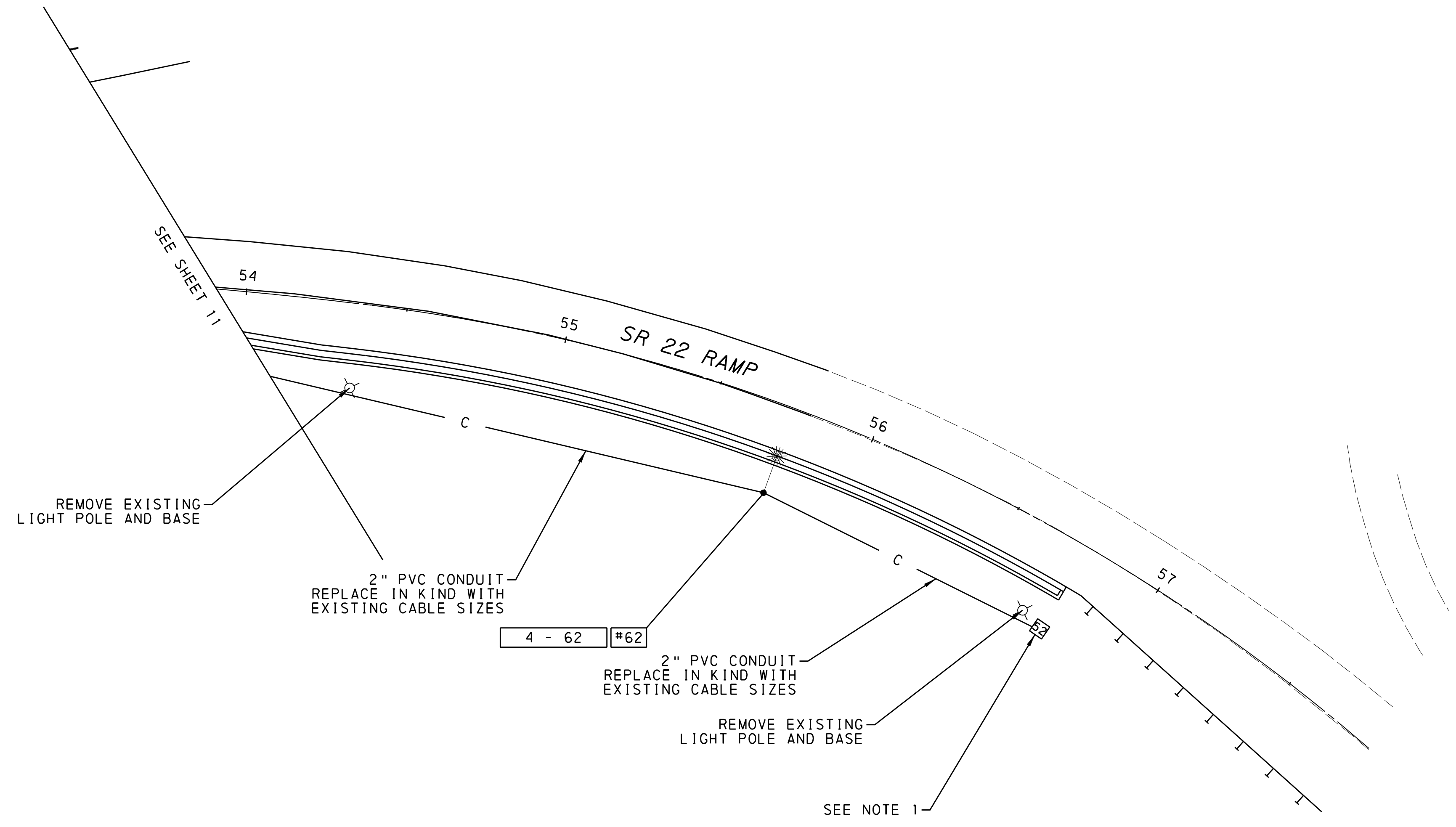
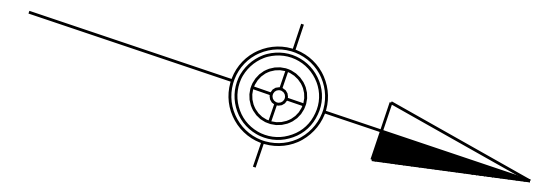


**HIGHWAY LIGHTING PLAN**

DISTRICT	COUNTY	ROUTE	SECTION	SHEET	
5-0	LEHIGH	0309	12M	12 OF 13	
SOUTH WHITEHALL TOWNSHIP					
REVISION NUMBER	REVISIONS			DATE	BY

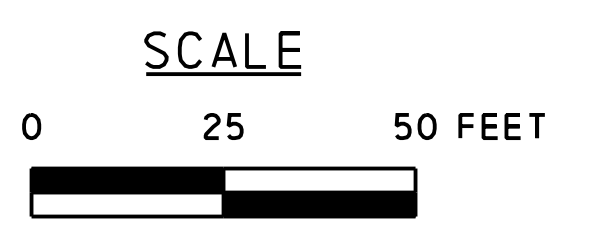
POLE AND JUNCTION BOX SCHEDULE				
NO.	ITEM	ROADWAY	STATION	OFFSET
62	LIGHT POLE	SR-22	55+74.03	27.89 RT
52	JUNCTION BOX	SR-22	56+75.03	29.57 RT

LUMINAIRE SCHEDULE		
NO.	LUMENS	DISTRIBUTION
4-62	12,000	TYPE II



**LIGHTING LEGEND**

- LIGHT POLE AND LUMINAIRE
- JUNCTION BOX, JB-1
- 2" PVC CONDUIT
- LIGHTING CONTROLLER ASSEMBLY
- SERVICE DISCONNECT
- LIGHTING CONTROL PANEL DISCONNECT

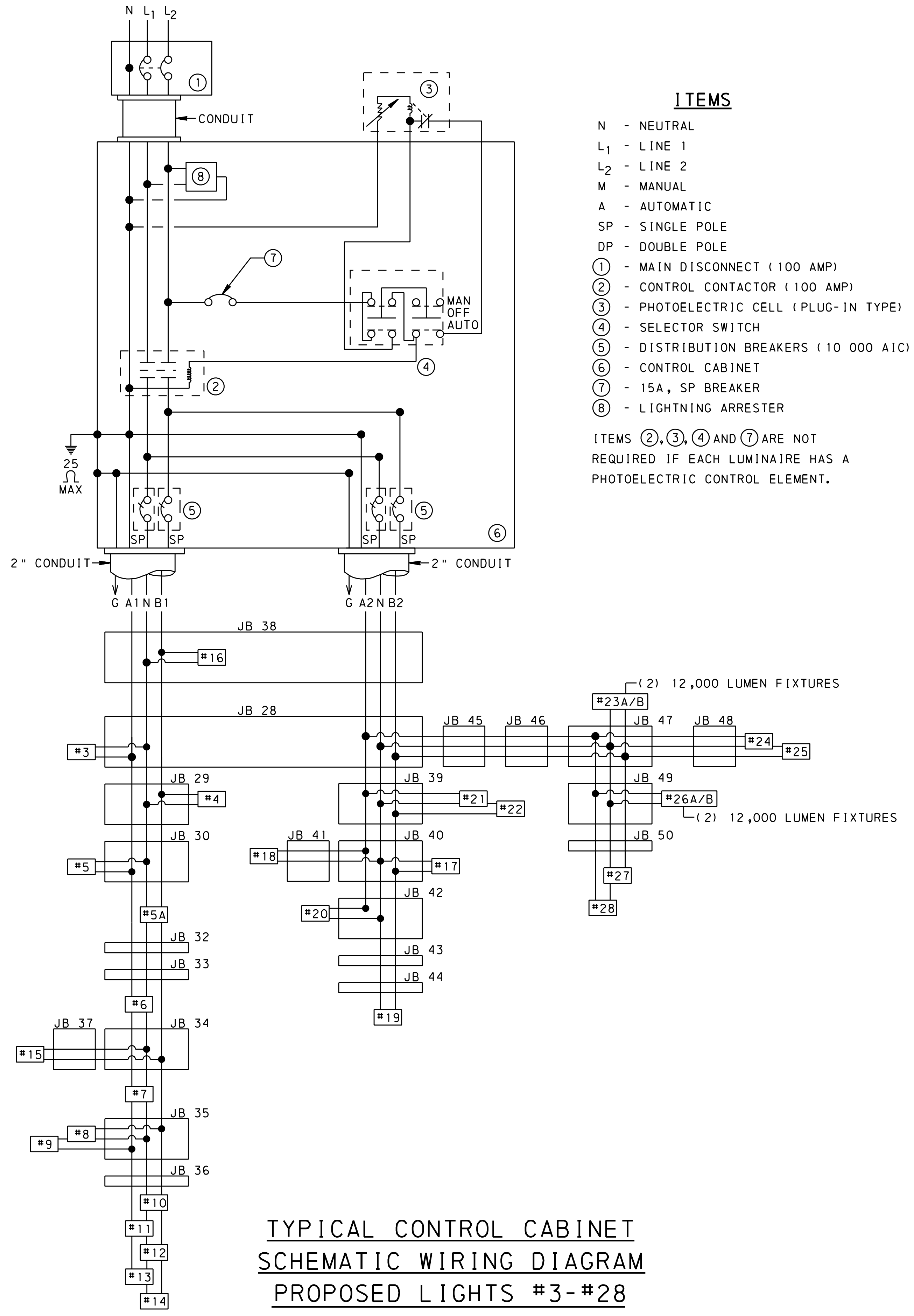


- NOTES:**
- JUNCTION BOX TO BE PLACED ON TOP OF EXISTING CONDUIT. CONTRACTOR TO SPLICE AND TIE PROPOSED CABLES INTO EXISTING CABLES.
  - LST-58 TO LST-62 ARE TYING INTO THE EXISTING INTERCHANGE LIGHTING. AS THE MAJORITY OF THE LIGHTS ON THIS SYSTEM ARE OUTSIDE THE PROJECT LIMITS, NO CIRCUIT DIAGRAM IS SHOWN FOR THIS SYSTEM.
  - CONTRACTOR TO REMOVE EXISTING CABLES BETWEEN EXISTING LIGHT POLES THAT ARE BEING REMOVED. EXISTING CONDUIT MAY BE ABANDONED.
  - CONTRACTOR TO IDENTIFY EXISTING CABLE SIZE AND REPLACE IN KIND IN PROPOSED CONDUITS.

**HIGHWAY LIGHTING PLAN**

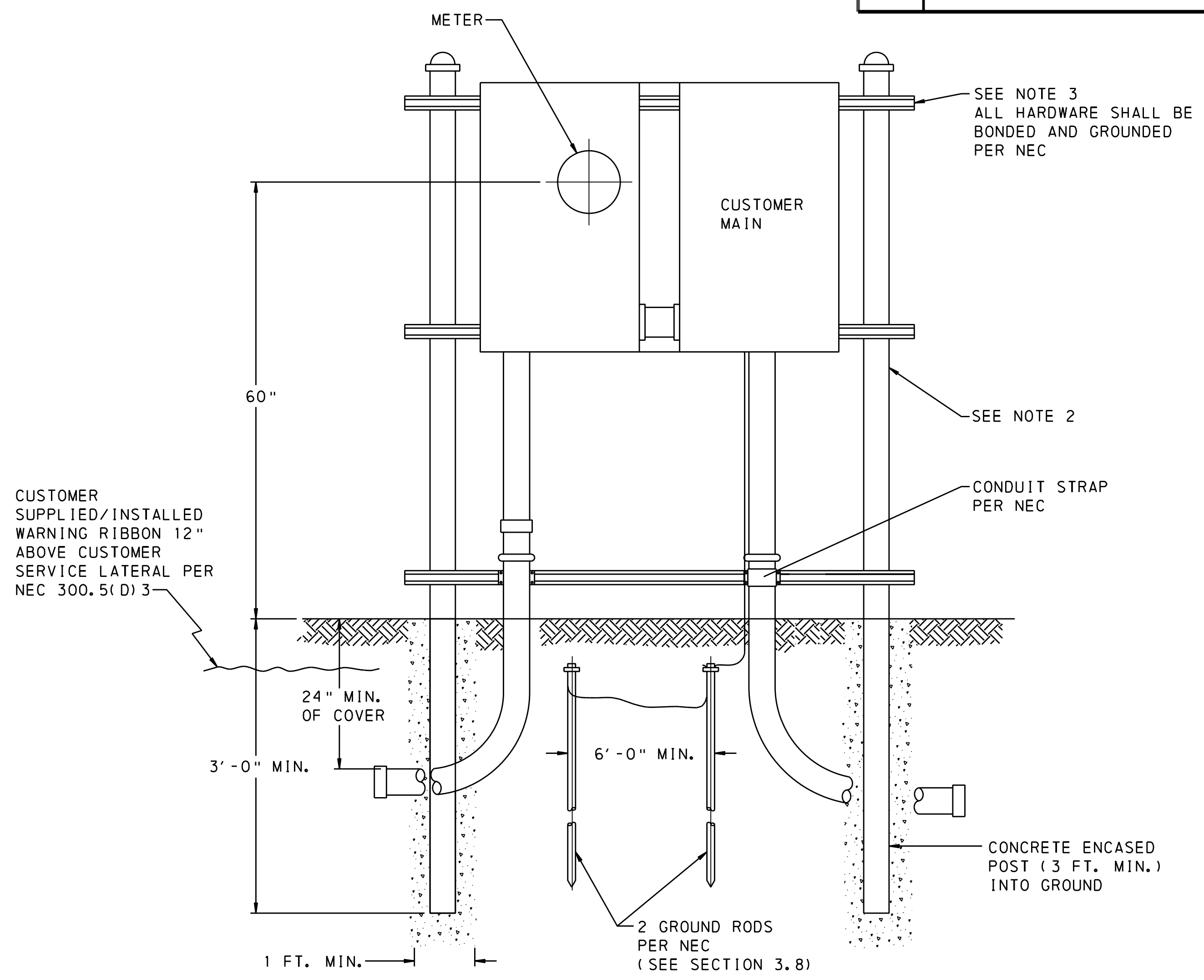
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M	13 OF 13
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

CONTROLLER CABINET  
 120/240V - 3 WIRE SUPPLY FROM  
 UTILITY POLE #60932-S46498  
 STA. 117+55.97, OFF. 154.60' RT



- ITEMS**
- N - NEUTRAL
  - L1 - LINE 1
  - L2 - LINE 2
  - M - MANUAL
  - A - AUTOMATIC
  - SP - SINGLE POLE
  - DP - DOUBLE POLE
  - ① - MAIN DISCONNECT (100 AMP)
  - ② - CONTROL CONTACTOR (100 AMP)
  - ③ - PHOTOELECTRIC CELL (PLUG-IN TYPE)
  - ④ - SELECTOR SWITCH
  - ⑤ - DISTRIBUTION BREAKERS (10 000 AIC)
  - ⑥ - CONTROL CABINET
  - ⑦ - 15A, SP BREAKER
  - ⑧ - LIGHTNING ARRESTER
- ITEMS ②, ③, ④ AND ⑦ ARE NOT REQUIRED IF EACH LUMINAIRE HAS A PHOTOELECTRIC CONTROL ELEMENT.

**TYPICAL CONTROL CABINET  
 SCHEMATIC WIRING DIAGRAM  
 PROPOSED LIGHTS #3-#28**



**CENTRAL DISTRIBUTION SYSTEM DETAIL**

- NOTES:
1. FOR CUSTOMER/COMPANY RESPONSIBILITIES, SEE "FIRST ENERGY - CUSTOMER GUIDE FOR ELECTRIC SERVICE - PA, JUNE 2015", EXHIBIT 1.
  2. SUPPORT POST (CUSTOMER - OWNED): USE TWO 3-INCH MIN. GALVANIZED RIGID METAL CONDUIT (RMC) - STEEL (MIN. 0.205" THICK) CAPPED AND CONCRETE ENCASED IN GROUND.
  3. MOUNTING HARDWARE: USE THREE 12 GAUGE 1-5/8"x1-5/8" CONTINUOUS SLOT HOT DIPPED GALVANIZED CHANNEL (E.G. UNISTRUT) COMPLETE WITH 1-1/4"x5/16" DIA. 13 THD. SPRING NUT (2 PER CHANNEL) 5/16" HEX NUT, AND LOCK WASHER SECURELY MOUNTED TO SUPPORT POSTS.
  4. SUPPLY-SIDE CONDUIT SHALL BE RIGID GALVANIZED OR IMC STEEL, OR SCHEDULE 80 PVC (ELECTRICAL GRADE).
  5. METER SOCKET(S) MAY BE CONNECTED TO EXTERNAL GROUND RODS, IF REQUIRED BY THE LOCAL INSPECTION AUTHORITIES.
  6. THIS EXHIBIT CAN ALSO BE USED FOR STAND-ALONE, SELF CONTAINED METERING.

**HIGHWAY LIGHTING  
 DETAILS**

County(ies):	Lehigh	Agreement #:	057596
Project Short Title:	SR 309-12M	MPMS #:	96432
Project (SR & Sec):	SR309-12M	Federal ID #:	236000504

## ROADWAY LIGHTING AGREEMENT

This Roadway Lighting Agreement for installation and maintenance of a lighting system is between the Commonwealth of Pennsylvania, acting through the Department of Transportation (“PennDOT”),

and

South Whitehall Twp., a political subdivision, acting through its proper officials (“Municipality”).

The parties, intending to be legally bound, agree as follows:

1. **Installation of Lighting System.** PennDOT, by contract and without cost to the Municipality, shall construct an electrical roadway lighting system for SR 309, SR 1002, SR 8013, SR 8008 including lighting attached to the underside of the bridge, in South Whitehall Twp, SR 309 over SR 1002 , Lehigh County (“Bridge”), consisting of sufficient poles, arms, bases, conduit, junction boxes, wire, cables, luminaires, controls and related equipment (“Lighting System”), at the places and positions and in the intensities shown on the drawings and provided for in the specifications prepared for or approved by PennDOT attached to this agreement as Exhibit A (the drawings and specifications are collectively referred to in this agreement as the “Lighting Plan”).
2. **Highway Occupancy Permit.** The Municipality must apply for a highway occupancy permit in conjunction with the transfer of the Lighting System under Section 3 below. PennDOT’s approval may not be unreasonably withheld. The Municipality must comply

with this agreement, the highway occupancy permit, and PennDOT's regulations at 67 Pa. Code Chapter 459, including, but not limited to, indemnification and maintenance and protection of traffic.

3. **Transfer of Right, Title, and Interest.** PennDOT's right, title, warranties, and interest in and to the Lighting System transfer to the Municipality upon completion of the installation of the Lighting System in an operable condition satisfactory to PennDOT.
4. **Conditions of Transfer.** The Municipality shall assume ownership, custody, and control of the Lighting System, as authorized in the resolution attached as Exhibit B, subject to the following:
  - a. **Operation and Maintenance.** Except as provided in subsection (c) below, the Municipality, at its sole cost and expense, shall energize, operate, and maintain the Lighting System, in a good state of repair satisfactory to PennDOT. The Lighting System may not be an impediment, either horizontally or vertically, to the vehicular use of the entire traveled width of the roadway. The Municipality shall provide safeguards during maintenance or repair work to protect the safety of the traveling public.
  - b. **Specifications and Approval.** Upon expiration of the guarantee to be furnished by PennDOT's contractor in accordance with PennDOT's Specifications, Publication 408 (current edition), its amendments and supplements ("Publication 408"), the Municipality, at its cost and expense, shall replace defective units, poles, bases, arms, junction boxes, wire, cables, conduit, luminaires, controls, and other components of the Lighting System, in accordance with Publication 408. The Municipality shall not make any replacement without first securing PennDOT approval, in accordance with 67 Pa. Code Chapter 459.



- c. **PennDOT Repairs.** The Municipality hereby grants to PennDOT the right to repair any or all parts of the Lighting System not maintained in a condition satisfactory to PennDOT, subject to reimbursement by the Municipality of the cost.
  - d. **Third Party Contracts.** The Municipality is solely responsible for making contractual arrangements with electric utilities and, if involved, maintenance contractors, for services and materials required to comply with this agreement.
  - e. **Prohibited Use.** Agreements that the Municipality signs with electrical utilities and, if involved, maintenance contractors must contain a clause prohibiting use of the Lighting System for purposes other than highway lighting.
5. **Liquid Fuels Tax Fund.** If the Municipality fails to perform any of the terms, conditions, or provisions of this Agreement, including, but not limited to, any default in maintenance requirements, for a period of 45 days, the Municipality authorizes PennDOT to withhold so much of the Municipality's Liquid Fuels Tax Fund allocation as may be necessary to maintain the Lighting System or to reimburse PennDOT in full for all costs due or incurred under this agreement and to apply funds or a portion of them to remedy the default.
6. **Commonwealth Standard Provisions.** The Municipality agrees to comply with the Commonwealth provisions attached as Exhibit C.
7. **Administrative Agency Law.** Actions arising under the highway occupancy permit to be issued to the Municipality shall be governed by the Administrative Agency Law, 2 Pa. C.S. Sections 501-508 and 701-704; 1 Pa. Code Chapters 31, 33 and 35, known as the General Rules of Administrative Practice and Procedure; and 67 Pa. Code Chapters 459 and 491.

8. **Merger with Highway Occupancy Permit.** This section applies where a highway occupancy permit has been issued in conjunction with construction of the Lighting System. Upon completion of the construction of the Lighting System and the assumption of ownership, custody, and control of it by the Municipality, this agreement shall be merged with the highway occupancy permit to be issued to the Municipality. Terms, conditions, or provisions of this agreement that have not yet been performed or whose performance continues after construction shall become terms, conditions, and provisions of the highway occupancy permit.
  
9. **Records and Audit Requirements.** The Municipality shall maintain, and shall require its consultants and contractors to maintain, all books, documents, papers, records, supporting cost proposals, accounting records, employees' timecards, payroll records, and other evidence pertaining to costs incurred under this agreement for a period of seven years. The Municipality shall make materials available at all reasonable times and shall furnish copies, if requested.
  
10. **Term.** The term of this agreement shall commence on the Effective Date (as defined below) and shall remain in effect in accordance with the highway occupancy permit identified in Section 3 above. The Effective Date shall be the date that this agreement is fully executed by the Municipality and PennDOT and all approvals required by Commonwealth contracting procedures have been obtained, as indicated by the date of the last Commonwealth signature.
  
11. **Amendments and Modifications.** No alterations or variations to this agreement will be valid unless made in writing and signed by the parties. Amendments to this agreement shall be accomplished through a formal written document signed by the parties with the same formality as this agreement.
  
12. **Severability.** The provisions of this agreement are severable. If any phrase, clause, sentence, or provision of this agreement is declared to be contrary to the Constitution of

Pennsylvania or of the United States or of the laws of the Commonwealth and its applicability to any government, agency, person, or circumstance is held invalid, the validity of the remainder of this agreement and its applicability to any government, agency, person, or circumstance will not be affected.

13. **No Waiver.** Either party may elect not to enforce its rights and remedies under this agreement in the event of a breach by other parties of any term or condition of this agreement. In any event, the failure by either party to enforce its rights and remedies under this agreement may not be construed as a waiver of any subsequent breach of the same or any other term or condition of this agreement.
14. **Independence of the Parties.** Nothing contained in this agreement is intended or may be construed to, in any respect, create or establish the relationship of partners between the Municipality and PennDOT, or as constituting PennDOT as the representative or general agent of the Municipality.
15. **Assignment.** This agreement may not be assigned, either in whole or in part, without PennDOT's written consent.
16. **No Third-Party Beneficiary Rights.** This agreement does not create or intend to confer any rights in or on persons or entities not a party to this agreement.
17. **Notice.** All notices and reports arising out of, or from, the provisions of this agreement must be in writing and given to the parties at the address provided under this agreement, either by regular mail, e-mail, or delivery in person:

To PennDOT:

Title: District Executive; Engineering District 5-0  
Address: 1002 W. Hamilton Street; Allentown, PA 18101  
E-mail: ckufro@pa.gov

To the Municipality:

Title: Township Manager  
Address: 4444 Walbert Ave., Allentown, PA 18104  
E-mail: petruccit@southwhitehall.com

or to such other person or address as the parties may provide to each other in writing.

18. **Force Majeure.** Neither party will be liable for failure to perform under this agreement if a failure to perform arises out of causes beyond the control and without the fault or negligence of the nonperforming party. Causes may include, but are not limited to, acts of God or the public enemy, fires, floods, epidemics, quarantine restrictions, freight embargoes, and unusually severe weather. This provision will become effective only if the party failing to perform immediately notifies the other party of the extent and nature of the problem, limits delay in performance to that required by the event, and takes all reasonable steps to minimize delays. This provision will not be effective unless the failure to perform is beyond the control and without the fault or negligence of the nonperforming party.
19. **Integration and Merger.** The parties intend this statement of their agreement to constitute the complete, exclusive, and fully integrated statement of their agreement. As such, it is the sole expression of their agreement, and they are not bound by any other agreements of whatsoever kind or nature. The parties also intend that this agreement may not be supplemented, explained, or interpreted by any evidence of trade usage or course of dealing. In entering this agreement, the parties did not rely upon oral or written statements or representations not contained within the document itself.
20. **Counterparts.** This agreement may be executed in counterparts, each of which is deemed an original and has the full force and effect as an original, but all of which constitute one and the same instrument.

**[The remainder of this page is intentionally left blank.]**

The parties have executed this agreement to be effective as of the date of the last signature affixed below.

[South Whitehall Township]\*

BY \_\_\_\_\_  
Title: \_\_\_\_\_ Date

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**DO NOT WRITE BELOW THIS LINE--FOR COMMONWEALTH USE ONLY**

COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION

BY \_\_\_\_\_  
Deputy Secretary or Designee Date

APPROVED AS TO LEGALITY  
AND FORM

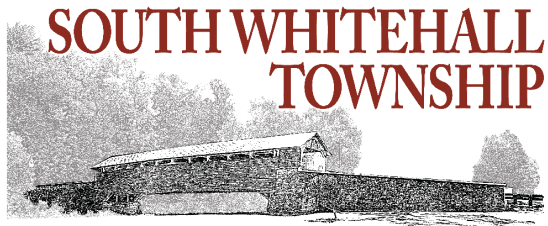
BY \_\_\_\_\_  
for Chief Counsel Date

BY \_\_\_\_\_  
Deputy General Counsel Date

BY \_\_\_\_\_  
Deputy Attorney General Date

\*Municipality's resolution authorizing execution and attestation must accompany this agreement.

AT-61.2



# MEMORANDUM FOR AGENDA ITEMS

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Tom Petrucci, Township Manager
<b>DATE:</b>	April 12, 2024
<b>SUBJECT:</b>	Approval of Resolution for SR 0309 & SR 1002 (Tilghman Street) Interchange Project: Interconnect for Traffic Signals- Cooperative Memorandum of Agreement
<b>COPY TO:</b>	H. Bender; J. Alderfer; D. Manhardt; T. Fehnel

*Please note that this is portion of the agenda pertaining to the above-reference project is tentative, as the specific language of the Cooperative Memorandum of Agreement is not finalized between South Whitehall Township, Upper Macungie Township and the City of Allentown.*

- **Background Information:**

The SR 0309 and Tilghman Street (SR 1002) Interchange Project is a federally funded project conducted by the Pennsylvania Department of Transportation to replace the SR 0309 and Tilghman Street (SR 1002) Interchange in South Whitehall Township, Lehigh County, Pennsylvania. The project is primarily an interchange replacement project, but two new traffic signals are proposed for the ramp intersections with Tilghman Street (SR 1002), and ten existing traffic signals will be impacted by the project.

The purpose of the project is to reconstruct the existing SR 0309/Tilghman Street (SR 1002) Interchange to provide a facility that meets current design standards with a focus on including sufficient acceleration and deceleration lanes on SR 0309. Based on the analysis of existing and future conditions, improvements to this interchange are needed to improve safety, mitigate future congestion, eliminate facility deficiencies, and accommodate economic development.

The proposed new traffic signals and full signal replacements will incorporate modern signal technologies including emergency vehicle pre-emption, radar dilemma zone detection and video detection for actuated movements and for SR 0309 ramp pre-emption. The signals will be coordinated using spread spectrum radio for communication based on District 5 preference. Pedestrian push buttons and pedestrian countdown timers will be provided for all signalized crossings. ADA compliant curb ramps and sidewalks will be included throughout the project as feasible. The SR 0309 / Tilghman Street Interchange Project addresses the identified project purpose and needs to improve safety, relieve congestion, increase accessibility and mobility, and mitigate facility deficiencies.

The following twelve signalized intersections will have signal impacts as part of the project (note-South Whitehall Township intersections are highlighted in yellow):

1. Tilghman Street (SR 1002) & K-Mart Shopping Center – Signal improvements
2. Tilghman Street (SR 1002) & Hausman Road / Cetronia Road (SR 3008) – Signal improvements

3. Tilghman Street (SR 1002) & SR 309 SB Ramps – Proposed new signalized intersection
4. Tilghman Street (SR 1002) & SR 309 NB Ramps – Proposed new signalized intersection
5. Tilghman Street (SR 1002) & Parkway Road – Full signal replacement
6. Tilghman Street (SR 1002) & 40th Street – Signal timing improvements (City of Allentown)
7. Tilghman Street (SR 1002) & Springhouse Road – Signal timing improvements
8. Cetronia Road (SR 3008) & Broadway – Signal timing improvements
9. Cetronia Road (SR 3008) & Tilghman Square Drive – Signal improvements
10. Cetronia Road (SR 3008) & Robert Morris Boulevard – Signal timing improvements
11. Cetronia Road (SR 3008) & Shantz Road North (SR 2015) – Signal timing improvements (Upper Macungie Township)
12. Cetronia Road (SR 3008) & Shantz Road South (SR 2015) – Signal timing improvements (Upper Macungie Township)

It is important to note the following:

- The Township Engineer was engaged to review the technical aspects of this project. Comments issued by the Township Engineer on the plans remain under technical review.
- In order to implement the interconnect plan, PennDOT is requiring that South Whitehall Township, Upper Macungie Township and the City of Allentown enter into a Cooperative Memorandum of Agreement to ensure that the interconnect is properly administered, funded and maintained.
- The Cooperative Memorandum of Agreement for the interconnect plan will only become effective should Federal funding be secured for this project.
- As noted above, South Whitehall Township has the most signalized intersections that would be part of the interconnect system; therefore, it is proposed to have South Whitehall Township serve as the lead agency for purposes of primarily administrative coordination.
- It is proposed that each municipality would be fiscally responsible for the operation and maintenance costs associated with their own signalized sections. If there would be a cost impacting the entire interconnect system, the costs would be shared proportionately.

- **Action Requested:**

Approval of the following Resolution:

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH WHITEHALL, LEHIGH COUNTY, COMMONWEALTH OF PENNSYLVANIA, APPROVING A COOPERATIVE MEMORANDUM OF AGREEMENT BETWEEN THE MUNICIPALITIES OF THE CITY OF ALLENTOWN, SOUTH WHITEHALL TOWNSHIP AND UPPER MACUNGIE TOWNSHIP FOR THE MULTI-JURISDICTIONAL SIGNAL SYSTEM THAT IS A PART OF THE SR 0309 AND SR 1002 (TILGHMAN STREET) INTERCHANGE PROJECT**

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

Enclosure(s)

**SOUTH WHITEHALL TOWNSHIP**  
**LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2024-XX**

**(Duly Adopted April 17, 2024)**

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF  
THE TOWNSHIP OF SOUTH WHITEHALL, LEHIGH COUNTY,  
COMMONWEALTH OF PENNSYLVANIA, APPROVING A  
COOPERATIVE MEMORANDUM OF AGREEMENT BETWEEN  
THE MUNICIPALITIES OF THE CITY OF ALLENTOWN,  
SOUTH WHITEHALL TOWNSHIP AND UPPER MACUNGIE  
TOWNSHIP FOR THE MULTI-JURISDICTIONAL SIGNAL  
SYSTEM THAT IS A PART OF THE SR 0309 AND SR 1002  
(TILGHMAN STREET) INTERCHANGE PROJECT**

**WHEREAS**, the Commonwealth of Pennsylvania (hereinafter called “Commonwealth”) is about to upgrade traffic signals along SR 1002 (Tilghman Street) and SR 3008 Cetronia Road through the municipalities of the City of Allentown, South Whitehall Township and Upper Macungie Township as part of the SR 0309 & SR 1002 (Tilghman Street) Interchange Project (hereinafter called “Project”); and

**WHEREAS**, the Project includes the installation of two new traffic signals, replacement of select traffic signal equipment, video and radar detection, emergency pre-emption, signal controllers and pedestrian indications (hereinafter called the “Traffic Signal Enhancements”).

**WHEREAS**, the Project also includes the installation of a communications system to interconnect traffic signals, the installation of spread spectrum radio (the installation of which shall be to the maximum extent that is, and wireless communications, practicable without requiring any fiber optic connections), and wireless communications (hereinafter called the “Communications Control System”); and

**WHEREAS**, the Traffic Signal Enhancements and the Communications Control System will become one multi-jurisdictional signal system, hereinafter called “MJSS”; and

**WHEREAS**, the Commonwealth has made application to the Federal Highway Administration for certain federal funds to enable the Commonwealth to construct and implement the MJSS and to make operational refinements to the MJSS and associated signal timings during a contractually designated test period. The Commonwealth shall undertake such Project, only, if it receives Federal Highway Administration funding; and



**WHEREAS**, should the project proceed, the municipalities shall be responsible for the ongoing maintenance of the traffic signals and the MJSS as the permit holders; and

**WHEREAS**, the municipalities have determined it is necessary to collectively adopt a Cooperative Memorandum of Agreement which sets forth the obligations of the municipalities for the maintenance and operation of the MJSS; and

**WHEREAS**, the obligations of the municipalities for the MJSS are contingent upon the Commonwealth obtaining Federal Highway Administration funding and proceeding with the construction and implementation of the MJSS. If the Commonwealth determines that it shall not proceed with the MJSS, the parties shall have no further obligations under this Agreement, and the Agreement will be terminated.

**NOW, THEREFORE, BE IT RESOLVED**, by the Board of Commissioners of South Whitehall Township hereby adopts the following:

1. All “Whereas” clauses are incorporated herein as though more fully set forth at length.
2. This Agreement is entered into pursuant to the provisions of 53 Pa.C.S.A. §2303-2307 (relating to Intergovernmental Cooperation).
3. Subject to confirmation of funding by the Federal Highway Administration, the Commonwealth of Pennsylvania intends to upgrade certain traffic signals along SR 1002 (Tilghman Street) and SR 3008 Cetronia Road through the municipalities of the City of Allentown, South Whitehall Township and Upper Macungie Township as part of the SR 0309 & SR 1002 (Tilghman Street) Interchange Project.
4. Once the Commonwealth's project construction is complete and the included testing and operational support periods end, the City of Allentown, South Whitehall Township and Upper Macungie Township will establish a collaborative maintenance support and operational oversight program to be directed by South Whitehall Township and funded collectively by the three (3) municipalities.
5. The Agreement sets forth terms and conditions for multi-jurisdictional signal system MJSS oversight requirements, communications and signal control system maintenance requirements, traffic signal maintenance requirements, system housing responsibilities, supporting the interoperability and compatibility of MJSS, developer or other transportation enhancement project funding requirements under certain circumstances, coordinating to maximize safe and efficient MJSS operations for the life of the system, and dispute resolution.
6. The Township Manager of the Township of South Whitehall is hereby authorized and directed to execute on behalf of the Township of South Whitehall the

Cooperative Memorandum of Agreement, which is attached hereto as Exhibit “A” and incorporated herein as though more fully set forth at length.

**FURTHER RESOLVED**, that all Resolutions or parts of Resolutions inconsistent with this Resolution are hereby repealed and superseded by this Resolution.

**DULY ADOPTED** this 17<sup>th</sup> day of April, 2024, by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners at which a quorum was present. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice-President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH  
WHITEHALL  
BOARD OF COMMISSIONERS**

---

Diane Kelly, President

**ATTEST:**

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Tricia Dickert, Township Secretary

# EXHIBIT “A”

**COOPERATIVE MEMORANDUM OF AGREEMENT**

**SR 1002 (Tilghman Street) and SR 3008 (Cetronia Road) Corridors MULTI-JURISDICTIONAL SIGNAL SYSTEM**

**THIS COOPERATIVE MEMORANDUM OF AGREEMENT**, made this **XX day of April, 2024**, by and between

The City of Allentown, located at 435 Hamilton Street, Allentown PA 19101, hereinafter called “Party #1”,

and

The South Whitehall Township, located at 4444 Walbert Avenue, Allentown, PA 19104, hereinafter called “Party #2”,

and

The Upper Macungie Township, located at 8330 Schantz Road, Breinigsville, PA 18031, hereinafter called “Party #3”,

and

**WITNESSETH :**

**WHEREAS**, the Commonwealth of Pennsylvania hereinafter called the “Commonwealth”, is about to upgrade traffic signals along SR 1002 (Tilghman Street) and SR 3008 Cetronia Road through the municipalities Party #1, Party #2, and Party #3 as part of the SR 0309 & SR 1002 (Tilghman Street) Interchange Project hereinafter called the “Project”; and,

**WHEREAS**, the Project includes the installation of two (2) new traffic signals, replacement of select traffic signal equipment, video and radar detection, emergency pre-emption, signal controllers and pedestrian indications, hereinafter called the “Traffic Signal Enhancements”. The Project also includes the installation of a communications system to interconnect the new (2) and existing (10) traffic signals, the installation of spread spectrum radio (the installation of which shall be to the maximum extent that is practicable without requiring any fiber optic connections), and wireless communications, hereinafter called the “Communications Control System”.

**WHEREAS**, the Traffic Signal Enhancements and the Communications Control System will become one multi-jurisdictional signal system, hereinafter called “MJSS”.

**NOW, THEREFORE**, in consideration of the foregoing premises and the mutual covenants hereinafter contained, the parties, with intent to be legally bound, agree as follows:

1. Project construction of the MJSS will include a testing and operational support period. Construction documents will require the Contractor to provide operational oversight and Communications Control System maintenance during that period. Maintenance of specific traffic signals will be the responsibility of the permit holder as defined on each signal installation’s current “*Application for Permit to Install and Operate Traffic Signals*” and will remain in effect until construction begins and the construction operational support period ends.
2. Upon completion of the testing and operational support period for the MJSS, the parties will establish a collaborative maintenance support and operational oversight program for no less than a three-year period which will be directed by Party #2. Requirements to be covered in this agreement include:
  - a. MJSS Oversight Requirements:

- i. As necessary and as requested, confirmation to all parties and their traffic signal maintenance providers noting the system is functioning and/or malfunctioning. This includes verification there is active two-way communication to all traffic signals, verification the system software and traffic responsive software is operational, and confirmation all detection zones are functioning. Any Party may request this confirmation and coordinate with other Parties to ensure operation.
  - ii. The implementation and coordination of timing plan revisions in areas covered by the MJSS due to other projects of the Commonwealth, any of the parties, or due to upgrades associated with approved Highway Occupancy Permits, and/or approved land development plans.
    - 1. Timing modifications are to be reviewed and approved by the Commonwealth consistent with existing signal timing modification procedures.
    - 2. Approved timing plan modifications will be implemented as soon as is practicable after confirmation of approval is received in writing from the Commonwealth.
  - iii. The implementation of the special events timing plan at the discretion of the parties and with input agreement from the Commonwealth.
  - iv. Participation in MJSS status meetings as noted in paragraph 5 below.
- c. Traffic Signal Maintenance Requirements:
- i. Standard maintenance and record-keeping, as applicable and determined to be necessary, shall be conducted individually by the municipalities in accordance with PennDOT Publication 191, Guidelines for the Maintenance of Traffic Signal Systems and per manufacturer maintenance guidance. Each individual municipality agrees to be fiscally responsible for the costs associated with their own individual signals (as well as any and all associated equipment) located within the jurisdictional limits of their own municipalities. Should there be costs associated with the MJSS overall, each municipality shall pay a proportionate share of the overall costs based on the number of signals located in each individual municipality.
3. Party #2 will house the master signal system controller, the system-wide computer system and associated software as well as an antenna and other communications equipment required to provide communication to field controllers. Housing responsibilities will include:
- a. Providing minimal office table-top space for the adaptive controller and system computer, if determined to be necessary for the proper functionality of the MJSS.
  - b. Permitting an antenna to be mounted at the office, if determined to be necessary for the proper functionality of the MJSS.
  - c. Incidental costs associated with providing power to the controller and system computer to be located in the office.
4. Spare equipment provided by the Commonwealth (if any), or any equipment removed from the intersection(s) as part of the Project shall be given to the respective individual municipalities in which the spare equipment originated or from where the spare equipment was removed. Such

equipment may include (but is not limited to): controllers, light emitting diode signal indications and countdown pedestrian indications.

5. The parties agree to support the interoperability and compatibility of MJSS by requiring future enhancements and upgrades to the MJSS to use emergency preemption systems, video and radar detection equipment, signal controllers and other equipment to be compatible with the existing MJSS. For all signal projects (Developer-led, Municipality-led, State-led), plans, specifications and estimates shall be provided to the Commonwealth and to each party for review.
6. The parties agree to coordinate as needed to maximize safe and efficient MJSS operations for the life of the system. Key coordination activities include:
  - a. Implementation of timing plans.
  - b. Implementation of a maintenance plan in accordance with paragraph 2 above. Party #2 will coordinate the implementation of this agreement.
  - c. Agreement to support the interoperability and compatibility (including all associated equipment and software) of MJSS as detailed in paragraph 2 above.
  - d. Agreement to have a MJSS status meeting on an as needed basis to be initiated by Party #2. Any proposed changes or updates to the communications system necessitates a MJSS status meeting. If no changes are proposed to the system by any Party since the last MJSS status meeting, then a MJSS status meeting is not required.
  - e. Agreement to meet as needed to discuss future enhancements. Party #2 will coordinate these meetings. This meeting is only required if changes or enhancements to the system are desired by one or more Parties.
  - f. Agreement to address dispute resolution as detailed in paragraph 7 below.
  - g. Coordination with any PennDOT District 5-0 County Traffic Signal Program.
  - h. Coordination concerning any future land developments or corridor/system enhancements to determine if there are any impacts to the MJSS.
  - i. Coordination concerning any special event timing plans, which shall include, but not be limited to any major traffic detour routes.
7. Disputes arising between the parties should be resolved in the following manner:
  - a. Party #1 and Party #3 agree to meet along with Party #2 to discuss the dispute and identify a resolution.
  - b. If the dispute is not resolved or if there is a dispute with Party #2; the parties agree to meet with an arbitrator to resolve the dispute. The decision of the arbitrator shall be final and conclusive unless, within thirty (30) days after receipt of such written determination, Party #1 and/or Party #3 then file a claim with the Court of Common Pleas. Pending a final judicial resolution of a controversy or claim, Party #1 and/or Party #3 shall proceed diligently with the performance of the Agreement in a manner consistent with the interpretation of the arbitrator.
7. This Agreement is contingent upon the governing body of each party granting approval at a public meeting pursuant to and in accordance with the Intergovernmental Cooperation Act, 53 Pa. C.S. §2301 et seq. This Agreement is also contingent upon its execution by all parties to the Agreement along with PennDOT moving forward with the Project and receipts of funds. This agreement shall remain in place for the life of the multijurisdictional signal systems unless discontinued by all parties. Removal by individual parties will be coordinated with the County such that adjustments to remaining MJSS elements can be made. Technical issues regarding this agreement and the proposed MJSS maintenance and operations should be forwarded to:



Director of Public Works  
City of Allentown  
435 Hamilton Street  
Allentown, PA 18101

Township Manager  
Upper Macungie Township  
8330 Schantz Road  
Breinigsville, PA 18031

Township Manager  
South Whitehall Township  
4444 Walbert Avenue  
Allentown, PA 18104

IN WITNESS WHEREOF, PARTY #1, PARTY #2, and PARTY #3 have caused this Agreement to be duly executed, sealed and attested by their proper officials, pursuant to due and legal action authorizing the same to be done, the day and year first above written.

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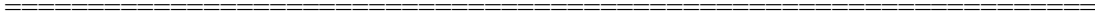
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ATTEST: **CITY OF ALLENTOWN**

by \_\_\_\_\_ by \_\_\_\_\_  
Signature Date Signature Date

\_\_\_\_\_  
Title Title

IN WITNESS WHEREOF, PARTY #1, PARTY #2, and PARTY #3 have caused this Agreement to be duly executed, ensealed and attested by their proper officials, pursuant to due and legal action authorizing the same to be done, the day and year first above written.



**ATTEST: SOUTH WHITEHALL TOWNSHIP**

by \_\_\_\_\_ by \_\_\_\_\_  
Signature Date Signature Date

\_\_\_\_\_  
Title Title

IN WITNESS WHEREOF, PARTY #1, PARTY #2, and PARTY #3 have caused this Agreement to be duly executed, sealed and attested by their proper officials, pursuant to due and legal action authorizing the same to be done, the day and year first above written.

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**ATTEST: UPPER MACUNGIE TOWNSHIP**

by \_\_\_\_\_ by \_\_\_\_\_  
Signature Date Signature Date

\_\_\_\_\_  
Title Title



# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Community Development

**ITEM TYPE:** Resolution

**AGENDA SECTION:** RESOLUTIONS

**SUBJECT:** A Resolution of the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, Authorizing the Township Manager to Execute a Professional Services Contract with Landstudies for a Feasibility Assessment and Concept Plan Development for the Jordan Creek at Covered Bridge Park.

**SUGGESTED ACTION:**

- *Motion to adopt said resolution authorizing Township Manager to execute Professional Services Contract with Landstudies for a feasibility assessment and concept plan development for the Jordan Creek at CBP.*

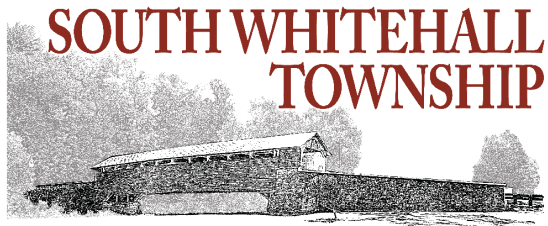
### ATTACHMENTS:

[Memorandum- Jordan Creek Feasibility Study.pdf](#)

[Resolution- Jordan Creek Feasibility Study.pdf](#)

[2024-03-19 - Jordan Creek at Covered Bridge Park Feasibility Proposal\\_REV1.pdf](#)

[2024-03-20 - Jordan Creek at Covered Bridge Park assessment Reach.pdf](#)



**MEMORANDUM FOR  
AGENDA ITEMS**

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Tom Petrucci, Township Manager
<b>DATE:</b>	April 9, 2024
<b>SUBJECT:</b>	Approval of Resolution: Feasibility Assessment and Concept Plan Development for Jordan Creek at Covered Bridge Park
<b>COPY TO:</b>	H. Bender; D. Manhardt; C. Strohler; T. Fehnel

- **Background Information:**

South Whitehall Township management/administration have observed repeated instances of flooding and scouring at Covered Bridge Park along the Jordan Creek.

Upon review of the 2013/2014 Covered Bridge Park Master Site Plan, the proposed current and future amenities were built around the concept of remediating the environmental and flooding concerns related to the Jordan Creek. As the park has been developed over time, the environmental and hydrogeological issues have not been rectified and the flooding/scouring issues have continued.

Township management/administration have determined it is in the best interests of the Township to evaluate potential options for the long-term environmental remediation of the Jordan Creek-both upstream and downstream of the Covered Bridge Park/Wehr’s Dam area with the broadly defined goal of improving the stream morphology.

Enclosed is a professional services proposal for environmental services firm, LandStudies, to conduct a Feasibility Assessment and Concept Plan Development for the Jordan Creek at Covered Bridge Park in the amount of \$9,900.00. LandStudies is an environmental firm based in Lititz, PA that has extensive background and experience in working with municipalities on environmental issues and ecological plans. Their staff has the appropriate certifications and experience to assist the Township with this project.

The overall proposed intent of this study and the key factors associated with this study are identified as follows:

- Identify options for environmental remediation options in the identified study area based on the existing layout and configuration of Covered Bridge Park.
- It is important to note that this study is a starting point to help give the Township options to consider for future study and remediation options. This proposal is not for a complete



Hydrologic and Hydraulic (H&H) Study. However, the scope of work of this proposal will confirm whether it would be recommended to conduct a full H&H Study as an option.

- This study is not necessarily a panacea for all of the above-identified issues at Covered Bridge Park. This is a starting point in order for the Township, including management/administration and the governing body, to evaluate future potential remediation options.

This study was reviewed by the Board of Commissioners during the regular public meeting held on Wednesday, April 3, 2024, and the governing body was supportive of moving forward with the proposal.

- **Action Requested:**

Approval of the following Resolution:

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF SOUTH  
WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
AUTHORIZING THE TOWNSHIP MANAGER TO EXECUTE A  
PROFESSIONAL SERVICES CONTRACT WITH LANDSTUDIES FOR A  
FEASIBILITY ASSESSMENT AND CONCEPT PLAN DEVELOPMENT FOR  
THE JORDAN CREEK AT COVERED BRIDGE PARK**

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

General Fund- 01460002-40312 (Community Development Consulting Services)- \$240,000.00. To date, \$92,329.89 has been encumbered in this account (including 2023 carried over purchase orders totaling \$137,759.63); however, \$239,512.50 is currently available in the account due to the fact that the 2023 purchase orders for encumbered contracts for consultants were already carried over and the total adjust line item with all encumbered amounts is \$377,759.63. \$45,917.24 has been expended to date in the account.

**SOUTH WHITEHALL TOWNSHIP  
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2024-\_\_**

**(Duly Adopted April 17, 2024)**

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF SOUTH  
WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
AUTHORIZING THE TOWNSHIP MANAGER TO EXECUTE A  
PROFESSIONAL SERVICES CONTRACT WITH LANDSTUDIES FOR A  
FEASIBILITY ASSESSMENT AND CONCEPT PLAN DEVELOPMENT  
FOR THE JORDAN CREEK AT COVERED BRIDGE PARK**

**WHEREAS**, the Board of Commissioners has determined it is in the best interests of the Township to evaluate potential options for the long-term environmental remediation of the Jordan Creek- both upstream and downstream of the Covered Bridge Park/Wehr’s Dam area with the broadly defined goal of improving the stream morphology; and

**WHEREAS**, the Board of Commissioners desires to engage a professional services firm that is qualified in the areas of environmental remediation and ecological studies.

**WHEREAS**, the Township has obtained a proposal from the environmental professional services firm LandStudies, Inc., which is located in Lititz, Pennsylvania.

**NOW, THEREFORE, BE IT RESOLVED**, by the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, does hereby approve the following:

1. All “Whereas” clauses are incorporated herein as though more fully set forth at length.
2. That the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania does hereby approve entering into a professional services contract with LandStudies, Inc. at a cost not to exceed nine-thousand nine-hundred dollars (\$9,900.00).
3. The Township Manager of the Township of South Whitehall is hereby authorized and directed to execute on behalf of the Township of South Whitehall the LandStudies, Inc. Proposal #PD-1139.2-24 (dated March 16, 2024), which is attached hereto as Exhibit “A” and incorporated herein as though more fully set forth at length.
4. The Township Manager of the Township of South Whitehall is hereby designated as the Project Manager for this project, and will serve as the primary point of contact between LandStudies, Inc. and the Township in order to ensure the completion of the project.

**DULY ADOPTED**, this 17<sup>th</sup> day of April, 2024 by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners at which a quorum was present. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice-President in the absence of the

President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH  
WHITEHALL BOARD OF  
COMMISSIONERS**

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Diane Kelly, President

**ATTEST:**

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Tricia Dickert, Township Secretary

# EXHIBIT “A”



March 19, 2024

Tom Petrucci  
South Whitehall Township  
4444 Walbert Avenue  
Allentown, PA 18104

RE: Proposal of Services  
Jordan Creek at Covered Bridge Park Feasibility  
LSI Proposal #PD-1139.2-24

Dear Tom,

Thank you for the opportunity to prepare a scope of work to evaluate 7,300 LF of Jordan Creek at Covered Bridge Park, within the extents shown on the attached assessment map, and prepare a concept plan and narrative summary for restoration opportunities that have multiple benefits to the township and community. LandStudies completed an assessment and master plan working with YSM Landscape Architects for the township in 2013/14 and is familiar with the site conditions at the time. We will use this background knowledge to build a concept plan aligned with the new goals of the township. We understand that the intent is to evaluate options with the dam remaining in place, and that assessment and recommendations are needed both upstream and downstream of the dam. This concept plan and summary narrative will be a guide for the township to take the next steps toward design, permit, and ultimately construction. The deliverables will also serve in support of future grant applications for project funding.

The following scope of work outlines the services we propose:

**SCOPE OF WORK**

**Task 1 – Concept Plan ..... \$9,990**

LandStudies will review the available site data provided by South Whitehall Township, as well as additional site mapping and watershed information that is available online. We will review previously prepared plans and work developed for the project vicinity that are available and relevant to proposed concept goals. A water resources engineer, and landscape architect will meet with stakeholders and conduct a site visit to evaluate the condition and dimensions of the existing channel, the presence of Legacy Sediment on the site, and other potential site constraints and opportunities. Based on the background information and the site assessment findings, we will develop a conceptual restoration plan as a planning tool for the township. We will identify how this could be a benefit to South Whitehall Township and what the next steps are.

Deliverables for this task will include a rendered concept plan illustrating the restoration opportunities within the context of the preliminary site layout. A brief summary narrative of the findings and concept plan that will define the next steps including, further study components, preliminary cost opinion, phasing, and funding opportunities.

LandStudies will attend one (1) virtual meeting with the client to present the concept plan and discuss the next steps.

**Fixed Fee ..... \$9,990**

### **EXCLUSIONS**

- H&H Study
- Nutrient and Sediment Load Reductions
- Cost Opinion
- Design calculations and detailed plans
- Construction documents
- Agency or municipal permitting
- Concept plan revisions
- Additional meetings outside of those listed above

### **ADDITIONAL SERVICES AVAILABLE**

Upon Request, LandStudies will provide a proposal for the following additional services associated with this scope of work:

- Design
- Permitting
- Construction management/oversight
- Installation of erosion and sediment control BMPs
- Plant installation
- Monitoring
- Maintenance

### **SCHEDULE**

Upon authorization of this scope of work, LandStudies, Inc. and the client will establish a mutually acceptable project schedule.

### **TERMS AND CONDITIONS**

By authorizing this contract, LandStudies, Inc. and the client agree to the provisions outlined by the attached 'Terms and Conditions'.

### **BILLING**

**This signed contract is necessary to begin the work associated with this contract.**

Work associated with this contract will be billed monthly as it is completed on a percent complete basis.

Any additional out-of-scope services will be addressed through a change order or billed at Time & Materials.

Payment not received within thirty (30) days will be deemed delinquent and will become subject to a penalty charge of 21% per year on the unpaid balance.

Fees, terms, and conditions are valid for 30 days. If the Scope of Work and fees are acceptable to you, please acknowledge so by signing, dating, and returning this contract to our office within the 30 day-period.

It is important that any questions with respect to matters outlined above be addressed and resolved promptly. Please do not hesitate to discuss them with us at any time. We look forward to working with you on this project and appreciate the opportunity to serve your needs. If you have any questions or comments, please feel free to call me at 717-627-4440 at your convenience.

Sincerely,



Eric Lyons  
Project Manager



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Proposal of Services: **Jordan Creek at Covered Bridge Park Feasibility**  
Proposal Number: **PD-1139.2-24**  
Contract Submittal Date: **March 19, 2024**  
Contract Amount: **Fixed Fee \$9,990**

Accepted and approved by: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name: \_\_\_\_\_

Company Name: \_\_\_\_\_

Title: \_\_\_\_\_

Name & Email address to send invoices to:  
\_\_\_\_\_

PO and/or Job Number (if applicable):  
\_\_\_\_\_

# LandStudies, Inc. (Sometimes “LandStudies”)

## Terms and Conditions

### Professional Services

**Fixed Fee Projects:** Unless otherwise agreed, payment schedule is based on the percent of work completed for each phase of work.

**Time and Material (T&M) Projects:** Billings are based on the hours worked, including travel time, and actual expenses incurred plus profit. Where an estimated total has been given, unless specifically noted, it is not a guaranteed figure but is provided solely to assist in project planning.

**Overtime:** Overtime service will be provided only upon authorization at 1.5 times the hourly rate.

**Equipment Usage –** Costs for use of company equipment on a project site will be billed at a set rate, rates are available upon request. Direct expenses will be charged at cost plus profit.

### Proposals

Proposals are open for thirty (30) days, unless withdrawn within that time. If work begins upon Client's request prior to execution of an agreement or engagement letter, these terms will govern the terms of the engagement. When an agreement or engagement letter is executed, these terms will supplement the agreement. If there is a conflict between these terms and conditions and the terms of any such agreement or engagement letter, the terms of this agreement or engagement letter will prevail. These terms and conditions will apply to the agreement between LandStudies and the Client, unless otherwise expressly agreed, notwithstanding contrary terms or conditions contained in any purchase order, engagement letter, agreement, or other document which Client uses to accept LandStudies' proposal.

### Client's Responsibility

In addition to other agreed upon obligations, the Client must assure access to the site and suitable storage areas for LandStudies' tools, equipment, and materials. Client must timely provide complete physical information about the site and/or buildings, including but not limited to surveys, maps, elevations, flow rates, hazardous substances, and the like, necessary or desirable for LandStudies to complete its work. Client must also timely provide access to legal, accounting, and insurance advice as LandStudies may require, and Client must timely review proposals, schedules, plans, and specifications prepared by LandStudies, and cooperate with LandStudies so that LandStudies may complete its work in a timely fashion. Client further agrees to credit LandStudies, Inc. in any publicity referencing the project design. Unless otherwise agreed in writing, Client shall obtain at its expense all permits and authorizations necessary for performance of LandStudies' work or for the project of which LandStudies' work is a part.

### Invoices

Unless otherwise agreed, Clients will generally be invoiced monthly for services performed during the previous month. Payment is due on receipt. Interest will be added after 30 days at the rate of 1.5% per month or partial month overdue. LandStudies, Inc. may suspend or terminate its work upon ten days notice if any invoice is not paid when due. Client will reimburse LandStudies its reasonable attorney's fees and litigation costs incurred in pursuing collection of any amount due from Client.

### Reimbursable Expenses

In addition to payment of fees, Client must reimburse LandStudies for its out-of-pocket expenses incurred in performing the work, such as, but not limited to, prints, reproducible, photocopies, travel related expenses, mileage, deliveries, long distance communications, fax transmissions, photography, outside consultants, approval and permit fees, and any supplemental insurance requested. Reimbursable expenses will be billed at LandStudies' standard rates plus 10 percent. If LandStudies engages any subcontractor to perform work for Client, or a portion of LandStudies' work, then Client shall reimburse LandStudies the subcontract cost, plus 15%. Reimbursement will be provided at cost for any sales tax which may be assessed in the course of providing professional services.

### Change of Work, Delays

In fixed fee engagements, changes to the work are not covered and will be billed at LandStudies' hourly rates or in accordance with a change order. When practicable, additional work or changes to the work shall be made by written change orders submitted to and approved by Client. Notwithstanding the foregoing, Client will be bound by any changes to the work authorized by it. Among other circumstances, changes to the work should be anticipated in projects constructed by methods where design and coordination services may be out of typical sequence or scheduling. If LandStudies is delayed in commencing or completing its work due to causes beyond its control, including but not limited to Client's failure to perform any of its obligations in a timely fashion, LandStudies reserves the right to increase its fees for the work in an equitable amount as compensation for the delay.

### Additional Services

Services beyond those agreed to, including among others, revisions due to adjustments in the project scope, quality, or budget are considered Additional Services and will be billed at the hourly rates referenced above.

### Dispute Resolution

All claims and disputes relating to the services provided shall be resolved by arbitration under the rules of the American Arbitration Association in Lancaster County, Pennsylvania. In any litigation, arbitration, or other proceeding by which one party either seeks to enforce its rights under this Agreement or seeks a declaration of any rights or obligations under this Agreement, the prevailing party shall be awarded its reasonable attorney fees, and costs and expenses incurred. The decision of the arbitrators shall be final and binding and judgment may be entered upon any such decision in any court of competent jurisdiction. The agreement between LandStudies is considered to have been made in Lancaster County, Pennsylvania and any action or arbitration may be commenced and maintained in and only in Lancaster County, Pennsylvania. The agreement between LandStudies and Client shall be governed by and construed under Pennsylvania law.

### Limitation of Liability, Indemnification

Unless expressly agreed to the contrary, damages incurred by Client, or with respect to which Client is threatened as a result of any action or failure to act arising out of LandStudies' work (whether as a breach of contract or the negligent or claimed negligence of LandStudies) shall in no event exceed the greater of \$50,000 or the total amount of LandStudies' fees paid by Client in connection with the work. Client shall indemnify, defend, and hold LandStudies harmless from and against any and all cost, damage, losses, liability and actions to which it may be subject, or with which it may be threatened as a result of anything Client or its representatives, contractors, subcontractors, employees or agents do, or fail to do, in connection with the project of which the work is a part, or as a result of any failure by Client to perform any of its obligations under this agreement.

### Use of LandStudies Drawings and Photographs

The drawings and specifications provided by LandStudies belong to LandStudies. Client's rights are limited to a nontransferable license of use solely with respect to the project of which LandStudies' work is a part. LandStudies retains all rights, including but not limited to copyrights therein. Copies may be retained by the Client for reference, but may not be used on any other projects or to complete this project without consent of LandStudies. Owner grants to LandStudies and LandStudies reserves the right to utilize documents produced by LandStudies under this agreement along with photographs, prints, and/or digital images of the project before, during and after construction for their promotional use.

### Termination of Agreement

In addition to LandStudies' other rights of termination, either party may terminate this agreement upon 30 days prior written notice if the other fails to perform any of its obligations in a timely manner and such failure is not cured within such thirty-day period. If commencement or performance of LandStudies work is delayed or suspended (not a result of LandStudies failure to perform its obligations) for more than sixty days, LandStudies, Inc. may either terminate this agreement upon ten days prior written notice to Client or receive delay charges from Client sufficient in LandStudies' reasonable determination to compensate it for such delay. In the event of termination of this agreement for any reason, Client shall pay LandStudies all its fees and reimbursable expenses for work performed through the date of termination, however, if termination is for any reason other than LandStudies' failure to perform its work, then Client shall pay LandStudies the greater of (a) all such fees and reimbursable expenses, plus twenty percent, or (b) ninety percent of any fixed fee agreement plus all reimbursable expenses, or (c) ninety percent of the estimated fees to be charged by LandStudies for performance of the work. If this agreement is terminated by for any reason other than because of LandStudies' failure to perform its work, it shall have no obligation whatsoever with respect to the work performed or anticipated to be performed hereunder.

### Insurance

LandStudies, Inc. maintains Workman's Compensation Insurance, General Liability Insurance, Automobile Insurance, and Professional Liability Insurance. Copies of insurance certificates are available upon request.

### Estimates

Any estimate of costs and expenses relating to the project of which the work is a part or of LandStudies work itself, other than in fixed fee arrangements, are estimates only. LandStudies cannot assure that actual construction or other costs will not vary from any proposal or project budget. Client should anticipate that some changes and adjustments in the project will be required either during or after construction.



Rev. 10.02.12



# Jordan Creek at Covered Bridge Park

Project assessment Reach:  
~2,100 LF upstream of Wehr Mill Road Covered Bridge to park property line  
~ 5,200 LF downstream Wehr Mill Road Covered Bridge to Lapp Road Covered Bridge

**Legend**

-  Covered Bridge Park
-  Path Measure







# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Community Development

**ITEM TYPE:** Resolution

**AGENDA SECTION:** RESOLUTIONS

**SUBJECT:** A Resolution of the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, Authorizing the Township Manager to Execute a Settlement Agreement with Chabad Lubavitch of the Lehigh Valley, Inc.

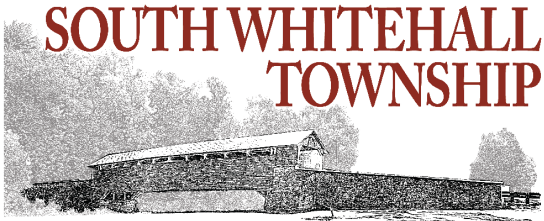
**SUGGESTED ACTION:**

- *Motion to adopt resolution authorizing the execution of said settlement agreement.*

**ATTACHMENTS:**

[2024.04.11 CD DIRECTOR - BOC Memo Chabad Agreement.pdf](#)

[Resolution- Chabad Settlement Agreement.pdf](#)



**MEMORANDUM FOR  
AGENDA ITEMS**

To:	Board of Commissioners
From:	David Manhardt, AICP, Director of Community Development
Date:	April 11, 2024
Subject:	Settlement Agreement, 4457 Crackersport Road Chabad Lubavitch of the Lehigh Valley
Copy To:	T. Petrucci, H. Bender; G. Adams; T. Fehnel

**Background Information:**

The project was approved by the Board of Commissioners at their February 3, 2016 meeting through Resolution 2016-23. The plan was recorded on October 27, 2017 and construction commenced shortly afterward. At the May 3, 2023 Board of Commissioners meeting, the BOC made a motion for a security reduction.

As of March 2024, the Developer owed the Township a past due amount of \$29,016.00. The attached resolution authorizes the entering into a Settlement Agreement to address the past due amount.

**Action Requested:**

Approval of attached resolution authorizing the entering into a settlement agreement.

**Budget Line Items:**

“Subdivision Reimbursable” for Legal and Engineering

**SOUTH WHITEHALL TOWNSHIP  
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2024-\_\_**

**(Duly Adopted April 17, 2024)**

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF SOUTH  
WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
AUTHORIZING THE TOWNSHIP MANAGER TO EXECUTE A  
SETTLEMENT AGREEMENT WITH CHABAD LUBAVITCH OF THE  
LEHIGH VALLEY, INC.**

**WHEREAS**, CHABAD LUBAVITCH OF THE LEHIGH VALLEY, INC. (“Developer”), a Pennsylvania non-profit corporation, having an address of 4457 Crackersport Road, Allentown, PA 18104 is the owner of that certain 0.95-acre parcel of land situate in the Township of South Whitehall, County of Lehigh, and Commonwealth of Pennsylvania located at 4457 Crackersport Road, South Whitehall Township, Pennsylvania 18104, which parcel of land is commonly identified as Lehigh County Tax Parcel ID No. 547760221361-1 (“Property”); and

**WHEREAS**, Developer proposed to develop the Property by constructing a 5,058 square foot building addition and certain other improvements as reflected on the Grading Permit Plans for Chabad Lubavitch of Lehigh Valley prepared by Liberty Engineering, Inc., dated June 24, 2016 and last revised December 19, 2017 (collectively hereinafter, “Plan”); and

**WHEREAS**, the Township Board of Commissioners adopted Resolution No. 2016-23 on February 3, 2016 titled “A Resolution Granting a Waiver of Subdivision and Land Development Review and Approval Requirements of the South Whitehall Township SALDR for Chabad Lubavitch of the Lehigh Valley, Inc., Relating to a Property Located at 4457 Crackersport Road”; and

**WHEREAS**, the Township Board of Commissioners adopted Resolution No. 2019-31 on June 19, 2019 extending the conditional approval to December 19, 2019; and

**WHEREAS**, the Township Board of Commissioners adopted Resolution 2019-70 on December 18, 2019 extending the conditional approval again to February 16, 2020; and

**WHEREAS**, a Security Agreement between the Township and the Developer dated February 12, 2020 was recorded on February 21, 2020 at Instrument Number 2020005543 in the Lehigh County Recorder of Deeds Division, which required inter alia Developer’s payment of legal and engineering fees incurred by the Township as a result of the Plan and further stated that all sums not paid within thirty (30) days after the original invoice date shall bear a compound interest charge of fifteen percent (15%) per annum on past due balances; and

**WHEREAS**, as of September 30, 2023, Developer owed to the Township a past due sum in the amount of Twenty-Seven Thousand Thirty-Eight and 00/100 Dollars (\$27,038.00) (hereinafter referred to as the “Settlement Sum”); and



**WHEREAS**, Developer has requested that the Township accept a payment plan with regard to the Settlement Sum.

**NOW, THEREFORE, BE IT RESOLVED**, by the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, does hereby approve the following:

1. All “Whereas” clauses are incorporated herein as though more fully set forth at length.
2. That the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania does hereby approve entering into a Settlement Agreement, which is incorporated herein as though more fully set forth at length as Exhibit “A” with the Developer.
3. The Township Manager of the Township of South Whitehall is hereby authorized to execute the Settlement Agreement (Exhibit on behalf of South Whitehall Township).

**DULY ADOPTED**, this 17<sup>th</sup> day of April, 2024 by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners at which a quorum was present. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice-President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH  
WHITEHALL BOARD OF  
COMMISSIONERS**

\_\_\_\_\_  
Diane Kelly, President

**ATTEST:**

\_\_\_\_\_  
Tricia Dickert, Township Secretary

# EXHIBIT “A”



# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Community Development

**ITEM TYPE:** Resolution

**AGENDA SECTION:** RESOLUTIONS

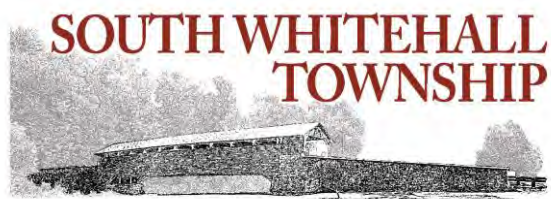
**SUBJECT:** A Resolution Extending the Conditional Preliminary/Final Approval to a Major Plan Entitled "1670 Church Road Padda Property LLC".

**SUGGESTED ACTION:**

- *Motion to adopt resolution granting a six month (180 day) extension of the P/F Plan regarding "1670 Church Road Pradda Property LLC".*

**ATTACHMENTS:**

[2024.04.10 CD PLANNING - BOC Packet Excerpt Extending Approval of 1670 Church Road Padda Property - 2022-104.pdf](#)



## MEMORANDUM FOR AGENDA ITEMS

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Gregg R. Adams, Planner
<b>DATE:</b>	October 12, 2022
<b>SUBJECT:</b>	A Resolution Extending The Conditional Preliminary/Final Approval Granted To A Major Plan Entitled "1670 Church Road Padda Property LLC"
<b>COPY TO:</b>	T. Petrucci, D. Manhardt, L. Harrier, H. Bender, M. Elias, J. Zator, Esq., J. Alderfer, Esq., A. Tallarida, S. Pidcock

- **Background Information:**

An application to further develop the property located at 1670 Church Road. The plan proposes to renovate the existing commercial building, construct a 23-space parking lot, and stormwater management facility on the 3.4912-acres parcel. The property is zoned Industrial Commercial-1 Special Height Limitation IC-1. Padda Property LLC is the owner and applicant.

The Board of Commissioners granted conditional preliminary/final approval to the project on October 19, 2022, with 23 conditions.

At their March 26, 2021 hearing, the Zoning Hearing Board granted three Special Exception approvals to permit a Motor Vehicle Repair Facility and a dimensional variance of 2.88 feet from the required 50-foot front yard parking setback, as part of Appeal 2020-04. At their February 23, 2022 hearing, the Zoning Hearing Board granted the applicant a one-year extension of the above-mentioned approvals to permit the applicant to work through land development issues.

The applicant is requesting additional time to obtain the necessary PA DEP approval for a site remediation plan that is a precondition of securing a Letter of Credit to secure the public improvements.

The applicant, to date, has satisfied eighteen of the twenty-three conditions of approval. Note that two of the conditions are legal protections and one is the requirement to record the plan within eighteen months of approval. Therefore, two conditions of approval are unaddressed, including the requirement to settle all open invoices, which is not confirmed until the plan is ready to be recorded. Please see the Conditions of Approval Status attachment.

- **Action Requested:**

The applicant requests an extension of the preliminary/final plan approval by one hundred eighty (180) days. Staff recommends an extension of six (6) months.

Staff has no objections to the request.

- **Attachments:**

1. Applicant's Extension Request Letter dated March 26, 2024
2. Aerial Image and Site Plan
3. Conditions of Approval Status
4. Resolution

## FOGELSVILLE OFFICE

JON A. SWARTZ  
jaswartz@swartzllc.com

RICHARD W. SHAFFER, JR.  
OF COUNSEL  
rshaffer@swartzllc.com

PAMELA N. ZETTERBERG  
OF COUNSEL  
pzetterberg@swartzllc.com

## THE LAW OFFICES OF

**PROKUP & SWARTZ**

7736 MAIN STREET  
FOGELSVILLE, PENNSYLVANIA 18051- 1616  
610.439.1000  
610.439.1577 (FAX)

## ALLENTOWN OFFICE

MICHAEL PROKUP  
mprokup@prokuplaw.com  
P.O. BOX 3662  
ALLENTOWN, PA 18106  
610.628.4800  
610 - 351 - 4991 (FAX)

March 26, 2024

VIA Email Only: adamsg@southwhitehall.com  
Gregg Adams, Planner  
South Whitehall Township  
4444 Walbert Avenue  
Allentown, PA 18104-1619

**RE: Padda Property LLC – 1670 Church Road**  
**Request for Extension of Time to file Development Plan**

Dear Mr. Adams,

Please accept this correspondence as the Applicant's request to be placed on the Agenda for the April 17, 2024, Board of Commissioners' Meeting.

The purpose of this request is to allow for an additional one hundred eighty (180) days (extension) in which to record the development plan for the subject property.

The reason for this request is so that the applicant can obtain necessary DEP approval for a site remediation plan which is required before the applicant can obtain and meet the requirement for a letter of credit pursuant to the conditions of the development plan approval.

Except for the completion of the above-items and the subdivision, improvement, security, maintenance and indemnification agreements (awaiting drafts), all other conditions of the approval have been accomplished. The development plan is signed by the applicant and is with the township.

Please contact me if you need further information and kindly confirm that we are, in fact, on the agenda for the April 17, 2024, meeting.

Very truly yours,

JON A. SWARTZ

JAS/as

Cc: Jennifer Alderfer, Esquire via email  
Kevin Markell, PE via email  
Padda Property LLC via email





**1670 Church Road Padda Property LLC**  
Location Map

**Major Plan 2022-104**





**1670 Church Road Padda Property LLC Major Plan 2022-104**



**SOUTH METEORICAL SECTION 31A-1280(7)**  
 THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERMISSIBLE LAND AND PLANNING ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SURVEYING CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, FIRST GEOLOGICAL ACTIVITY, AND HISTORIC AND MICROCLIMATIC ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS COMMISSIONED BY THE APPLICANT AND/OR LAND OWNERS AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE, DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OBTAINED WITH REFERENCE TO APPLICABLE SURVEYING STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEFINITION, CONSISTENCY, CLOSURE, AND AREA ONLY. THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY AND OTHER EASEMENTS, ETC. ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SQUAD.

**SOUTH METEORICAL SECTION 31A-300(1)**  
 MUNICIPAL REVIEW AND APPROVAL OF THE DRAINAGE PLAN, OR THE SUBSEQUENT OBSERVATION AND APPROVAL OF STORMWATER MANAGEMENT FACILITIES, SHALL NOT CONSTITUTE LAND DEVELOPMENT ON BEHALF OF OR BY THE MUNICIPALITY OR OTHERWISE OBLIGE THE MUNICIPALITY TO BE ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND, BY SUBMITTING AN APPLICATION UNDER THE TOWNSHIP STORMWATER MANAGEMENT PLAN, THE DEVELOPER HEREBY AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE MUNICIPALITY AND ALL ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES OF ACTION OR SUITS WHICH MAY ARISE OUT OF OR RELATE TO THE REVIEW, APPROVAL, CONSTRUCTION OR OPERATION OF THE DEVELOPER'S DRAINAGE PLAN AND STORMWATER MANAGEMENT FACILITIES.

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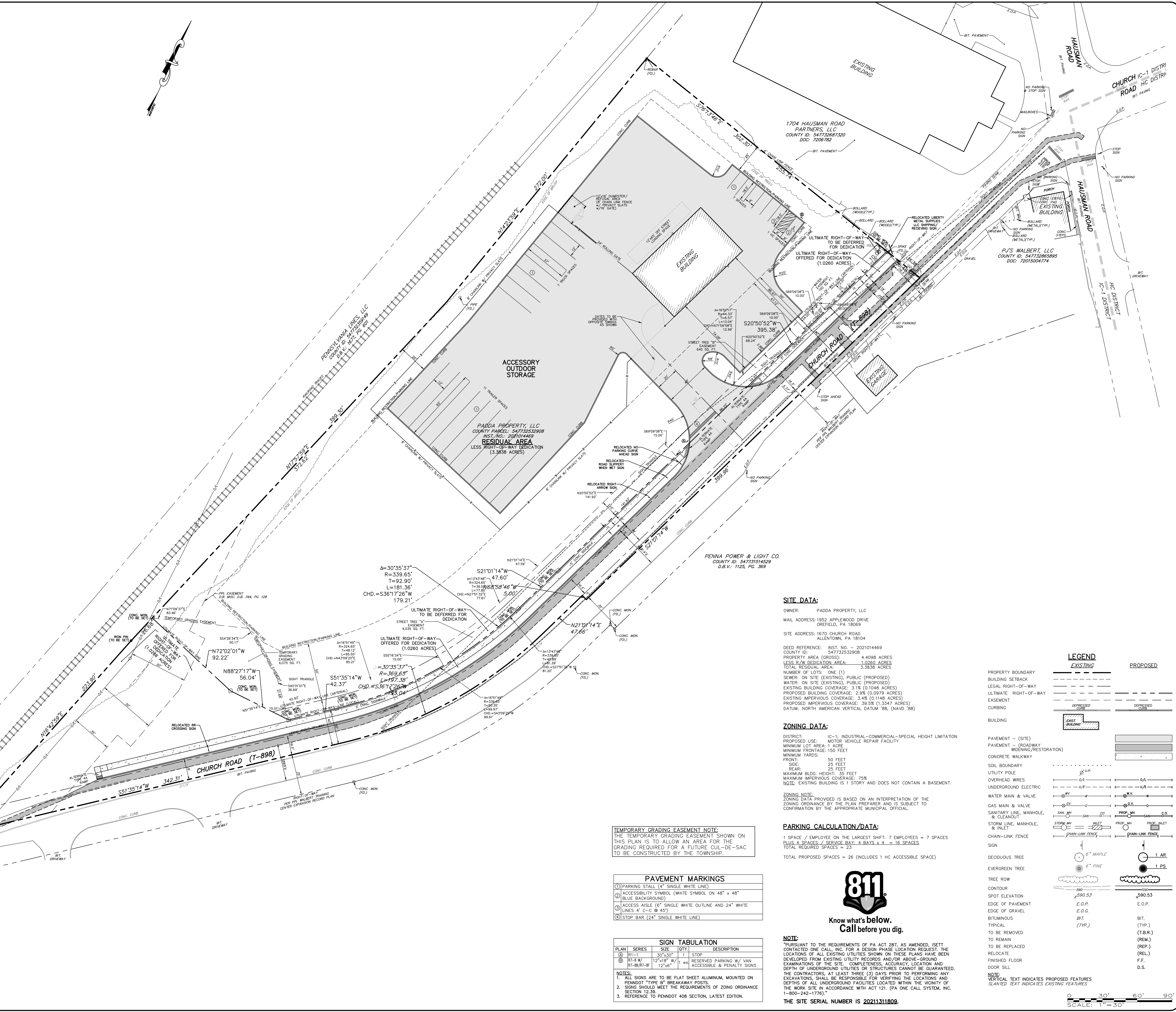
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**SITE DATA:**

OWNER: PADDA PROPERTY, LLC  
 MAIL ADDRESS: 1952 APPLEWOOD DRIVE  
 ORFIELD, PA 18069  
 SITE ADDRESS: 1670 CHURCH ROAD  
 ALLENTOWN, PA 18104

DEED REFERENCE: INST. NO. - 2021014469  
 COUNTY ID: 547732532908  
 PROPERTY AREA (GROSS): 4.4098 ACRES  
 LESS R.O.W. DEDICATION AREA: 1.0260 ACRES  
 TOTAL RESIDUAL AREA: 3.3838 ACRES  
 NUMBER OF LOTS: ONE (1)  
 SEWER: ON SITE (EXISTING), PUBLIC (PROPOSED)  
 WATER: ON SITE (EXISTING), PUBLIC (PROPOSED)  
 EXISTING BUILDING COVERAGE: 3.1% (0.1048 ACRES)  
 PROPOSED BUILDING COVERAGE: 2.9% (0.0979 ACRES)  
 EXISTING IMPERVIOUS COVERAGE: 3.4% (0.1148 ACRES)  
 PROPOSED IMPERVIOUS COVERAGE: 39.5% (1.3347 ACRES)  
 DATUM: NORTH AMERICAN VERTICAL DATUM '88 (NAVD '88)

**ZONING DATA:**

DISTRICT: IC-1, INDUSTRIAL-COMMERCIAL-SPECIAL HEIGHT LIMITATION  
 PROPOSED USE: MOTOR VEHICLE REPAIR FACILITY  
 MINIMUM LOT AREA: 1 ACRE  
 MINIMUM FRONTAGE: 150 FEET  
 MINIMUM YARDS:  
 FRONT: 50 FEET  
 SIDE: 25 FEET  
 REAR: 25 FEET  
 MAXIMUM BLDG. HEIGHT: 35 FEET  
 MAXIMUM IMPERVIOUS COVERAGE: 75%  
 (NOTE: EXISTING BUILDING IS 1 STORY AND DOES NOT CONTAIN A BASEMENT.)  
 ZONING NOTE:  
 ZONING DATA PROVIDED IS BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.

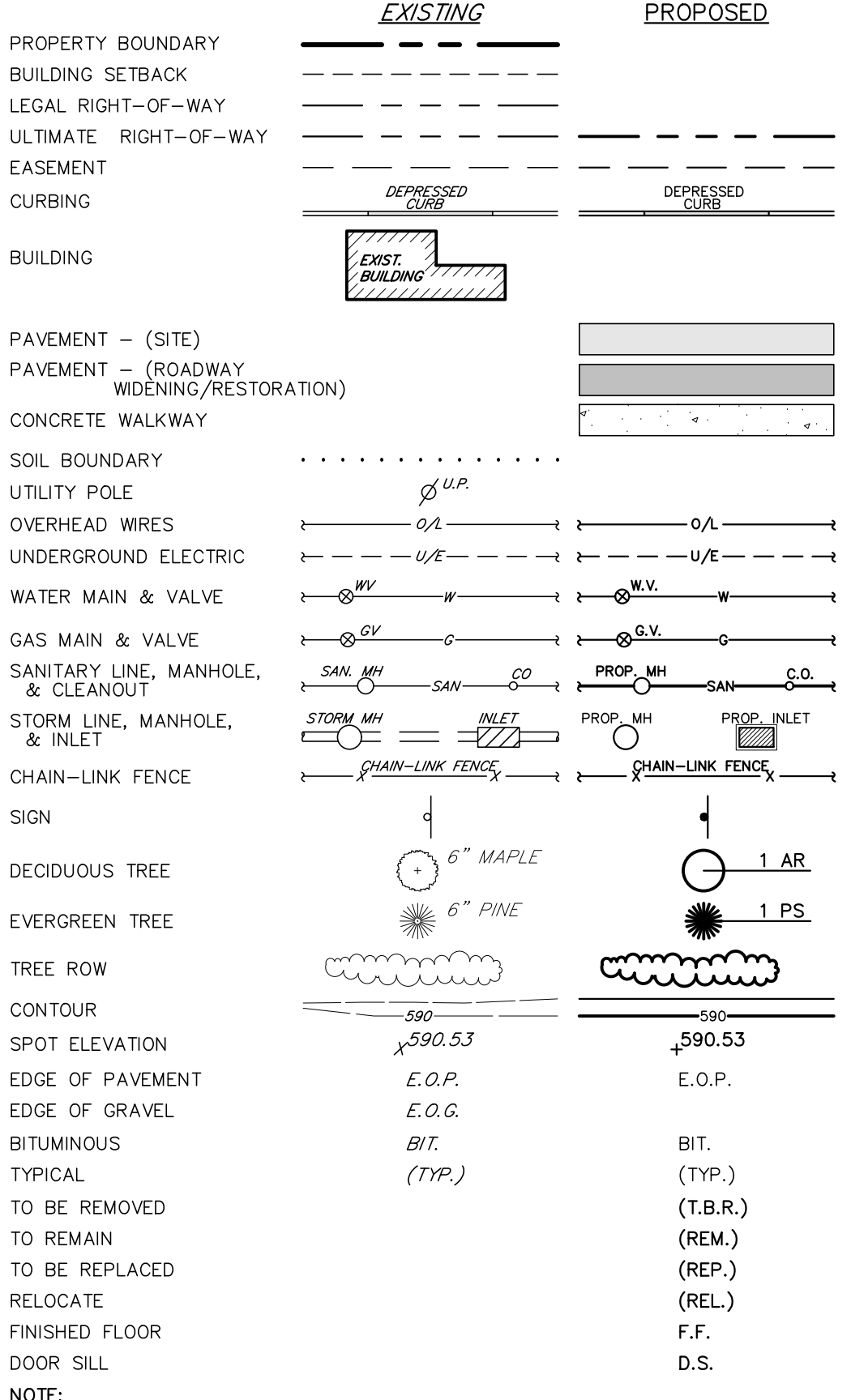
**PARKING CALCULATION DATA:**

1 SPACE / EMPLOYEE ON THE LARGEST SHIFT; 7 EMPLOYEES = 7 SPACES  
 PLUS 4 SPACES / SERVICE BAY; 4 BAYS x 4 = 16 SPACES  
 TOTAL REQUIRED SPACES = 23  
 TOTAL PROPOSED SPACES = 26 (INCLUDES 1 HC ACCESSIBLE SPACE)



**NOTE:**  
 PURSUANT TO THE REQUIREMENTS OF PA ACT 287, AS AMENDED, ISETT CONTACTED ONE CALL, INC. FOR A DESIGN PHASE LOCATION REQUEST. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE IN ACCORDANCE WITH ACT 121 (PA ONE CALL SYSTEM, INC. 1-800-242-1776).  
 THE SITE SERIAL NUMBER IS 20211311809.

**LEGEND**



**TEMPORARY GRADING EASEMENT NOTE:**  
 THE TEMPORARY GRADING EASEMENT SHOWN ON THIS PLAN IS TO ALLOW AN AREA FOR THE GRADING REQUIRED FOR A FUTURE CUL-DE-SAC TO BE CONSTRUCTED BY THE TOWNSHIP.

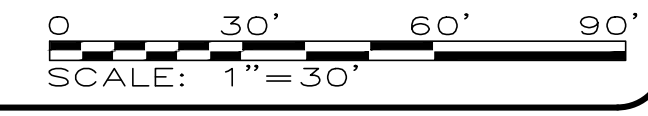
**PAVEMENT MARKINGS**

1	PARKING STALL (1" SINGLE WHITE LINE)
2	ACCESSIBILITY SYMBOL (WHITE SYMBOL ON 48" x 48" BLUE BACKGROUND)
3	ACCESS AISLE (6" SINGLE WHITE OUTLINE AND 24" WHITE LINES 4" C-C @ 45°)
4	STOP BAR (24" SINGLE WHITE LINE)

**SIGN TABULATION**

PLAN	SERIES	SIZE	QTY	DESCRIPTION
1	R1-1	30"x30"	1	STOP
2	R7-B W	12"x18" w/ 1"	1	RESERVED PARKING W/ VAN ACCESSIBLE & PENALTY SIGNS
3	R1-80/R7-B	12"x6"	1	ACCESSIBLE & PENALTY SIGNS

**NOTES:**  
 1. ALL SIGNS ARE TO BE FLAT SHEET ALUMINUM, MOUNTED ON PENNDOT TYPE B BREAKAWAY POSTS.  
 2. SIGNS SHOULD MEET THE REQUIREMENTS OF ZONING ORDINANCE SECTION 12.39.  
 3. REFERENCE TO PENNDOT 408 SECTION, LATEST EDITION.



DATE	
REVISIONS	

610.398.0904  
 baryisett.com  
 85 South Route 100  
 Allentown, PA 18106

**BARRY ISETT & ASSOCIATES**  
 ENGINEERS, ARCHITECTS & PLANNERS

**SITE DEVELOPMENT PLAN**  
 1670 CHURCH ROAD  
 PADDA PROPERTY, LLC  
 SOUTH WHITEHALL TOWNSHIP  
 LEHIGH COUNTY, PA

DATE: 7/18/22 DSGN: DFG  
 SCALE: 1"=30' CHK: KPM  
 DRAWN: DFG APPRD: KPM  
 JOB: 1031921.000 P MGR: KPM  
 SHEET: 2 of 19 COPYRIGHT 2022

**SP-1**



## ***SUBDIVISION STATUS SHEET***

	<b>Fee Amount</b>	<b>Due Date</b>	<b>Date Paid</b>
Sewer Allocation Fee	\$787.60	Prior to Plan Recording	1/30/2024
Water Allocation Fee	\$787.60	Prior to Plan Recording	1/30/2024
Sewer Tapping fee	\$4,125.00	Prior to Building Permit Issuance	
Water Tapping Fee	\$2,827.50	Prior to Building Permit Issuance	
Open Space Fee	\$13,284.75 per 9/7/23 Plan	Prior to Plan Recording	1/30/2024

- That the applicant shall execute subdivision improvement, security, maintenance and indemnification agreements acceptable to the Township and its Solicitor, that sufficient security in a form acceptable to the Township be posted, that such security shall be available for draws/presentation no further than 60 miles from the Township's office, and evidence of insurance coverage in an amount satisfactory to the Township in its sole discretion shall be provided prior to the plan being recorded.
- ✓ That the applicant shall address to the satisfaction of the Township Engineer, the comments of Mr. Anthony Tallarida, as contained in his review dated August 11, 2022.
- ✓ That the applicant shall address to the satisfaction of the Township Water & Sewer Engineer, the comments of Mr. Jason Newhard, as contained in his review dated August 12, 2022.
- ✓ That the applicant shall address to the satisfaction of the Township Geotechnical Consultant, the comments of Mr. Chris Taylor, as contained in his review dated August 10, 2022.
- ✓ That the applicant shall address to the satisfaction of the Community Development Department, the comments of Mr. Gregg Adams, as contained in his review dated August 12, 2022.
- ✓ That the applicant shall address to the satisfaction of the Public Works Department, the comments of Mr. Herb Bender, as contained in his review dated August 10, 2022.
- ✓ That the applicant addresses to the satisfaction of the Lehigh Valley Planning Commission, the comments of Ms. Bambi Griffin Rivera as contained in her August 19, 2022 review.
- ✓ That the applicant shall obtain a letter from the Pennsylvania Department of Environmental Protection approving the NPDES Permit application pursuant to Section 312-39(e) of the Subdivision and Land Development Ordinance.
- ✓ That the applicant shall obtain a letter from the Pennsylvania Department of Environmental Protection approving a sewage facilities planning module or an exemption thereto.
- ✓ That the applicant shall comply with the March 15, 2022 recommendation of the Parks and Recreation Board.

- ✓ That the applicant shall comply with the July 29, 2022 recommendation of the Landscape and Shade Tree Commission.
- ✓ That the applicant shall address all issues and obtains all approvals deemed necessary by the South Whitehall Township Board of Commissioners in so far as matters pertaining to the Township's water and sewer service are concerned.
- ✓ That the applicant shall dedicate to the Township additional right-of-way along the frontage of Church Road at a width acceptable to the Township for the construction of the proposed right-of-way improvements. The dedication shall occur prior to the plan being recorded. The dedication shall be by Deed of Dedication in a form acceptable to the Township Solicitor, and an Opinion of Record Title shall be prepared by applicant's counsel indicating that the dedication is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the dedication that has been approved by the Township Engineer, and a copy of the current deed for the property showing current ownership and recording information.
- ✓ That the applicant shall dedicate to the Township additional right-of-way along the frontage of Church Road at a width acceptable to the Township at such time as the Township Board of Commissioners shall require in the event of future right-of-way improvements projects that necessitate the dedication. The right-of-way area to be dedicated in the future shall be depicted on the plan with a note stating the terms of the future dedication with language acceptable to the Township Solicitor. The dedication shall be by Deed of Dedication in a form acceptable to the Township Solicitor, and an Opinion of Record Title shall be prepared by applicant's counsel indicating that the dedication is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the dedication that has been approved by the Township Engineer, and a copy of the current deed for the property showing current ownership and recording information.
- ✓ That the applicant shall dedicate to the Township a utility easement of sufficient size in an area acceptable to the Township for accessing the water meter pit. The dedication shall occur prior to the plan being recorded. The dedication shall be by Deed of Dedication in a form acceptable to the Township Solicitor, and an Opinion of Record Title shall be prepared by applicant's counsel indicating that the dedication is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the dedication that has been approved by the Township Engineer, and a copy of the current deed for the property showing current ownership and recording information.
- ✓ That the applicant shall secure from the Township a utility easement of sufficient size in an area acceptable to the Township within the right-of-way of Church Road for constructing and maintaining the water service line. The recording of the Deed of Easement shall occur prior to the plan being recorded. The Deed of Easement shall be in a form acceptable to the Township Solicitor, and the applicant shall furnish to the Township Solicitor a description for the Easement that has been approved by the Township Engineer.

- ✓ That the applicant shall secure from the Township a utility easement of sufficient size in an area acceptable to the Township within the right-of-way of Church Road for constructing and maintaining the force main sanitary sewer service line. The recording of the Deed of Easement shall occur prior to the plan being recorded. The Deed of Easement shall be in a form acceptable to the Township Solicitor, and the applicant shall furnish to the Township Solicitor a description for the Easement that has been approved by the Township Engineer.
- ✓ If deemed to be necessary, the applicant shall be responsible for making necessary arrangements with the municipality and the public service company involved for streetlights as approved by the Board of Commissioners and shall further be responsible for providing utility easements for lighting standards and fixtures, in accordance with Section 312-41(a)(1)(A) of the Subdivision and Land Development Ordinance.
- ✓ That a Declaration of Covenants and Easement for Maintenance of Stormwater Management Facilities prepared by the Township Solicitor shall be executed for the maintenance of the on-site stormwater management facilities.
- That the applicant shall reconcile all open invoices for Township engineering and legal services prior to the plan being recorded.
- The applicant shall meet all conditions of the Preliminary/Final Plan approval, and the Record Plan will be recorded within eighteen (18) months of Conditional Preliminary/Final Plan approval, and the applicant agrees that if such conditions are not met, the conditional Preliminary/Final Plan approval will be considered void, and the application for Preliminary/Final Plan approval will be considered void and withdrawn unless otherwise approved by the South Whitehall Township Board of Commissioners.
- If for any reason any condition or conditions of this Resolution (or any portion(s) thereof) shall be held by a forum of competent jurisdiction to be invalid, illegal, void, or unenforceable in any respect or to any extent: (i) this Resolution shall automatically be deemed to be null and void in its entirety and shall be deemed to have been immediately and automatically repealed as if it had never been passed; (ii) this Resolution shall automatically be deemed to be a resolution denying the application due to the fact that the application does not comply with those sections of the SALDO (or other applicable ordinance(s)) listed herein or in any review letters referred to herein, including any section relating to waivers or deferrals; and (iii), the Applicant is waiving any right to proceed with an action seeking a deemed approval of the plan based upon the automatic repeal of this Resolution identified in this condition. The Applicant acknowledges that each and every term and provision hereof is an essential, material component to the Township's approval of the Applicant's plan.
- In the event that the Township becomes involved in litigation of any kind relating to the major subdivision other than a direct appeal by the Applicant of the Township's approval of this Resolution, such as an appeal of this Resolution by an adjoining property owner or a third party, or an attempt to collaterally challenge any conditions of this approval by means other than a timely appeal of this Resolution, the Applicant, on behalf of itself and its agents, representatives, successors and assigns, hereby agrees to exonerate, indemnify, protect, defend (through legal counsel of Township's choice) and save harmless the



Township and its boards, committees and commissions (including the individual members thereof), their elected and appointed officers and officials and their employees, contractors, other professional consultants, engineers, solicitors, managers, representatives, advisors, predecessors, successors, agents, independent contractors, insurers and assigns (collectively, the “Township Representatives”), from any and all claims, lawsuits, proceedings, actions, disputes, causes and rights of action, expenses, losses, allegations, demands, charges, injuries, costs (including, without limitation, attorneys’ fees, engineers’ fees and other costs and expenses incurred, including expert witness fees), damages (including, without limitation, compensatory, consequential or punitive damages), sanctions, and liabilities of every kind, character and manner whatsoever, in law or in equity, civil or criminal, administrative or judicial, contract, tort (including, without limitation, negligence of any kind) or otherwise (“Claims”), pertaining to, relating to, resulting from, caused by or arising out of the Township’s approval of the application as evidenced by this Resolution and/or the Township taking any action contemplated by the conditions hereof.

**TOWNSHIP OF SOUTH WHITEHALL  
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2024-\_\_\_\_  
(Duly Adopted April 17, 2024)**

**A RESOLUTION EXTENDING THE CONDITIONAL PRELIMINARY/FINAL  
APPROVAL GRANTED TO A MAJOR PLAN ENTITLED  
“1670 CHURCH ROAD PADDA PROPERTY LLC”**

**WHEREAS**, Padda Property LLC, pursuant to Article 3 of the South Whitehall Township Subdivision and Land Development Ordinance, submitted an application for preliminary/final approval for a land development on a 4.4-acre portion of the property located at 1670 Church Road, in South Whitehall Township, Lehigh County, Pennsylvania; and,

**WHEREAS**, this proposal is reflected on plans prepared by Barry Isett and Associates, entitled “*1670 CHURCH ROAD PADDA PROPERTY LLC*”, dated July 18, 2022 and last revised September 15, 2022; and,

**WHEREAS**, the South Whitehall Township Zoning Hearing Board granted a Special Exception approval to permit a Motor Vehicle Repair Facility and a dimensional variance of 2.88 feet from the required 50-foot front yard parking setback, as part of Appeal 2020-04; and,

**WHEREAS**, all sections of the Subdivision and Land Development Regulations cited herein refer to sections of the Subdivision and Land Development Regulations that were adopted April 19, 2017, and last revised April 1, 2019, and are applicable to this plan based on the submission of the initial application in July 21, 2022; and

**WHEREAS**, the Board of Commissioners previously granted conditional preliminary/final approval to the plan entitled “*1670 CHURCH ROAD PADDA PROPERTY LLC*”, on October 19, 2022, pursuant to Resolution No. 2022-96; and

**WHEREAS**, Resolution No. 2022-96 contained Condition #21 which states “*The applicant shall meet all conditions of the Preliminary/Final Plan approval, and the Record Plan will be recorded within eighteen (18) months of Conditional Preliminary/Final Plan approval, and the applicant agrees that if such conditions are not met, the conditional Preliminary/Final Plan approval will be considered void, and the application for Preliminary/Final Plan approval will be considered void and withdrawn unless otherwise approved by the South Whitehall Township Board of Commissioners.*”; and

**WHEREAS**, the Applicant has requested that the Board of Commissioners shall extend the date by which it must satisfy all conditions of Resolution No. 2022-96 by one hundred and eighty (180) days, but with the approval still subject to all of the other conditions of Resolution No. 2022-96. Staff recommends an extension of six (6) months to provide adequate time to complete the remaining tasks.

**NOW, THEREFORE, BE IT ADOPTED AND RESOLVED** that the Board of Commissioners of the Township of South Whitehall hereby extends preliminary/final approval to the major plan entitled **“1670 CHURCH ROAD PADDA PROPERTY LLC”**, memorialized in Resolution 2022-96, subject to the applicant’s compliance with the following conditions:

1. The conditions of approval stated in Resolution No. 2022-96 (Exhibit “A”), which conditions have been affirmatively accepted by the applicant, and those waivers and deferrals granted by the Board of Commissioners that are reflected in said resolution and any subsequent amendments, remain valid and in effect.
2. That Condition #21 of Resolution 2022-96 shall be amended by providing for an additional period of six (6) months for the Applicant to satisfy all conditions of Resolution No. 2022-96, the deadline for which shall now be October 19, 2024, subject to the Applicant’s compliance with all other conditions of Resolution No. 2022-96 (a copy of which is attached hereto as Exhibit “A”), which terms and conditions have been affirmatively accepted by Applicant (a copy of which is attached hereto as Exhibit “B”). The Applicant’s failure to meet the extended deadlines provided by this Resolution shall render the conditional preliminary/final approval null and void.

The conditions of approval have been made known to the applicant, and final approval is to be deemed expressly contingent upon the applicant’s affirmative written acceptance of the conditions on a form prescribed by South Whitehall Township which shall be received at or before the meeting at which the Resolution containing such conditions of approval is considered by the Board of Commissioners for adoption.

**DULY ADOPTED** this 17<sup>th</sup> day of **APRIL, 2024**, by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH WHITEHALL  
BOARD OF COMMISSIONERS**

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**Diane Kelly, President**

**ATTEST:**

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**Tricia Dickert, Secretary**

**EXHIBIT “A”**



**TOWNSHIP OF SOUTH WHITEHALL  
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2022-96  
(Duly Adopted October 19, 2022)**

**A RESOLUTION GRANTING CONDITIONAL PRELIMINARY/FINAL APPROVAL  
TO A MAJOR PLAN ENTITLED  
"1670 CHURCH ROAD PADDA PROPERTY LLC"**

**WHEREAS**, Padda Property LLC, pursuant to Article 3 of the South Whitehall Township Subdivision and Land Development Ordinance, submitted an application for preliminary/final approval for a land development on a 4.4-acre portion of the property located at 1670 Church Road, in South Whitehall Township, Lehigh County, Pennsylvania; and,

**WHEREAS**, this proposal is reflected on plans prepared by Barry Isett and Associates, entitled "**1670 CHURCH ROAD PADDA PROPERTY LLC**", dated July 18, 2022 and last revised September 15, 2022; and,

**WHEREAS**, the South Whitehall Township Zoning Hearing Board granted a Special Exception approval to permit a Motor Vehicle Repair Facility and a dimensional variance of 2.88 feet from the required 50-foot front yard parking setback, as part of Appeal 2020-04; and,

**WHEREAS**, all sections of the Subdivision and Land Development Regulations cited herein refer to sections of the Subdivision and Land Development Regulations that were adopted April 19, 2017, and last revised April 1, 2019, and are applicable to this plan based on the submission of the initial application in July 21, 2022; and

**WHEREAS**, the South Whitehall Township Planning Commission has reviewed the aforesaid plan on August 18, 2022, and having found it to be in substantial compliance with the Subdivision and Land Development Regulations, has recommended that preliminary/final approval be granted,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract be waived, and the Planning Commission is persuaded

that the waiver is appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-35(b)(3)(A)(i)(1) of the Subdivision and Land Development Ordinance pertaining to the requirement for the installation of curbing on all public and private streets and for the ingress and egress of all parking lot access drives and non-residential driveways be waived, and the Planning Commission is persuaded that the waiver would be appropriate to the extent shown on the plan; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-35(b)(3)(A)(ii)(1)(A) of the Subdivision and Land Development Ordinance pertaining to the requirement for sidewalks within all subdivisions be deferred, and the Planning Commission is persuaded that the deferral would be appropriate to the extent shown on the plan; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-35(b)(3)(A)(iv) of the Subdivision and Land Development Ordinance pertaining to the requirement for concrete aprons be waived, and the Planning Commission is persuaded that the waiver would be appropriate so long as a painted crosswalk is provided; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-35(b)(3)(B)(i) of the Subdivision and Land Development Ordinance pertaining to the requirement for arterial streets to be constructed in accordance with the Arterial Street Cross Section within the Township Standard Construction Documents (latest revision) with regard to the right-of-way of Church Road be waived, and the Planning Commission is persuaded that a waiver would be appropriate to the extent shown on the plan; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-35(b)(3)(B)(i) of the Subdivision and Land Development Ordinance pertaining to the requirement for right-of-way dedication to arterial street standard with regard to the right-of-way of Church Road be deferred, and the Planning Commission is persuaded that a deferral would be appropriate to the extent shown on the plan; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-36(c)(5)(A) of the Subdivision and Land Development Ordinance requiring that the width of a driveway for a non-residential subdivision not exceed 40 feet be waived, and the Planning Commission is persuaded that the waiver would be appropriate given the existing conditions along the right-of-way of Church Road; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-41(a)(1)(A) of the Subdivision and Land Development Ordinance that the developer shall be responsible for making necessary arrangements with the municipality and the public service company involved for street lights as approved by the Board of Commissioners and shall further be responsible for providing utility easements for lighting standards and



fixtures be deferred, and the Planning Commission is persuaded that the deferral would be appropriate until such time as it is determined that more street lighting is required.

**WHEREAS**, the applicant has requested that the requirement of Section 296-12.K of the Stormwater Management Ordinance that in entirely carbonate areas, where the applicant intends to use infiltration BMPs, the preliminary site investigation described in Subsection H shall be conducted. For infiltration areas that appear feasible based on the preliminary site investigation, the applicant shall conduct the additional site investigation and testing as outlined in Appendix G be waived. Appendix G states the standards for testing, including auger testing. The Planning Commission did not review this request.

**NOW, THEREFORE, BE IT ADOPTED AND RESOLVED** that the Board of Commissioners of the Township of South Whitehall hereby grants preliminary/final approval to the major subdivision plan entitled ***“1670 CHURCH ROAD PADDA PROPERTY LLC”***, subject to the applicant’s compliance with the following conditions:

1. That the applicant shall execute subdivision improvement, security, maintenance and indemnification agreements acceptable to the Township and its Solicitor, that sufficient security in a form acceptable to the Township be posted, that such security shall be available for draws/presentation no further than 60 miles from the Township’s office, and evidence of insurance coverage in an amount satisfactory to the Township in its sole discretion shall be provided prior to the plan being recorded.
2. That the applicant shall address to the satisfaction of the Township Engineer, the comments of Mr. Anthony Tallarida, as contained in his review dated August 11, 2022.
3. That the applicant shall address to the satisfaction of the Township Water & Sewer Engineer, the comments of Mr. Jason Newhard, as contained in his review dated August 12, 2022.
4. That the applicant shall address to the satisfaction of the Township Geotechnical Consultant, the comments of Mr. Chris Taylor, as contained in his review dated August 10, 2022.
5. That the applicant shall address to the satisfaction of the Community Development Department, the comments of Mr. Gregg Adams, as contained in his review dated August 12, 2022.
6. That the applicant shall address to the satisfaction of the Public Works Department, the comments of Mr. Herb Bender, as contained in his review dated August 10, 2022.
7. That the applicant addresses to the satisfaction of the Lehigh Valley Planning Commission, the comments of Ms. Bambi Griffin Rivera as contained in her August 19, 2022 review.

8. That the applicant shall obtain a letter from the Pennsylvania Department of Environmental Protection approving the NPDES Permit application pursuant to Section 312-39(e) of the Subdivision and Land Development Ordinance.
9. That the applicant shall obtain a letter from the Pennsylvania Department of Environmental Protection approving a sewage facilities planning module or an exemption thereto.
10. That the applicant shall comply with the March 15, 2022 recommendation of the Parks and Recreation Board.
11. That the applicant shall comply with the July 29, 2022 recommendation of the Landscape and Shade Tree Commission.
12. That the applicant shall address all issues and obtains all approvals deemed necessary by the South Whitehall Township Board of Commissioners in so far as matters pertaining to the Township's water and sewer service are concerned.
13. That the applicant shall dedicate to the Township additional right-of-way along the frontage of Church Road at a width acceptable to the Township for the construction of the proposed right-of-way improvements. The dedication shall occur prior to the plan being recorded. The dedication shall be by Deed of Dedication in a form acceptable to the Township Solicitor, and an Opinion of Record Title shall be prepared by applicant's counsel indicating that the dedication is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the dedication that has been approved by the Township Engineer, and a copy of the current deed for the property showing current ownership and recording information.
14. That the applicant shall dedicate to the Township additional right-of-way along the frontage of Church Road at a width acceptable to the Township at such time as the Township Board of Commissioners shall require in the event of future right-of-way improvements projects that necessitate the dedication. The right-of-way area to be dedicated in the future shall be depicted on the plan with a note stating the terms of the future dedication with language acceptable to the Township Solicitor. The dedication shall be by Deed of Dedication in a form acceptable to the Township Solicitor, and an Opinion of Record Title shall be prepared by applicant's counsel indicating that the dedication is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the dedication that has been approved by the Township Engineer, and a copy of the current deed for the property showing current ownership and recording information.
15. That the applicant shall dedicate to the Township a utility easement of sufficient size in an area acceptable to the Township for accessing the water



meter pit. The dedication shall occur prior to the plan being recorded. The dedication shall be by Deed of Dedication in a form acceptable to the Township Solicitor, and an Opinion of Record Title shall be prepared by applicant's counsel indicating that the dedication is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the dedication that has been approved by the Township Engineer, and a copy of the current deed for the property showing current ownership and recording information.

16. That the applicant shall secure from the Township a utility easement of sufficient size in an area acceptable to the Township within the right-of-way of Church Road for constructing and maintaining the water service line. The recording of the Deed of Easement shall occur prior to the plan being recorded. The Deed of Easement shall be in a form acceptable to the Township Solicitor, and the applicant shall furnish to the Township Solicitor a description for the Easement that has been approved by the Township Engineer.
17. That the applicant shall secure from the Township a utility easement of sufficient size in an area acceptable to the Township within the right-of-way of Church Road for constructing and maintaining the force main sanitary sewer service line. The recording of the Deed of Easement shall occur prior to the plan being recorded. The Deed of Easement shall be in a form acceptable to the Township Solicitor, and the applicant shall furnish to the Township Solicitor a description for the Easement that has been approved by the Township Engineer.
18. If deemed to be necessary, the applicant shall be responsible for making necessary arrangements with the municipality and the public service company involved for streetlights as approved by the Board of Commissioners and shall further be responsible for providing utility easements for lighting standards and fixtures, in accordance with Section 312-41(a)(1)(A) of the Subdivision and Land Development Ordinance.
19. That a Declaration of Covenants and Easement for Maintenance of Stormwater Management Facilities prepared by the Township Solicitor shall be executed for the maintenance of the on-site stormwater management facilities.
20. That the applicant shall reconcile all open invoices for Township engineering and legal services prior to the plan being recorded.
21. The applicant shall meet all conditions of the Preliminary/Final Plan approval, and the Record Plan will be recorded within eighteen (18) months of Conditional Preliminary/Final Plan approval, and the applicant agrees that if such conditions are not met, the conditional Preliminary/Final Plan approval will be considered void, and the application for Preliminary/Final Plan approval

will be considered void and withdrawn unless otherwise approved by the South Whitehall Township Board of Commissioners.

22. If for any reason any condition or conditions of this Resolution (or any portion(s) thereof) shall be held by a forum of competent jurisdiction to be invalid, illegal, void, or unenforceable in any respect or to any extent: (i) this Resolution shall automatically be deemed to be null and void in its entirety and shall be deemed to have been immediately and automatically repealed as if it had never been passed; (ii) this Resolution shall automatically be deemed to be a resolution denying the application due to the fact that the application does not comply with those sections of the SALDO (or other applicable ordinance(s)) listed herein or in any review letters referred to herein, including any section relating to waivers or deferrals; and (iii), the Applicant is waiving any right to proceed with an action seeking a deemed approval of the plan based upon the automatic repeal of this Resolution identified in this condition. The Applicant acknowledges that each and every term and provision hereof is an essential, material component to the Township's approval of the Applicant's plan.
23. In the event that the Township becomes involved in litigation of any kind relating to the major subdivision other than a direct appeal by the Applicant of the Township's approval of this Resolution, such as an appeal of this Resolution by an adjoining property owner or a third party, or an attempt to collaterally challenge any conditions of this approval by means other than a timely appeal of this Resolution, the Applicant, on behalf of itself and its agents, representatives, successors and assigns, hereby agrees to exonerate, indemnify, protect, defend (through legal counsel of Township's choice) and save harmless the Township and its boards, committees and commissions (including the individual members thereof), their elected and appointed officers and officials and their employees, contractors, other professional consultants, engineers, solicitors, managers, representatives, advisors, predecessors, successors, agents, independent contractors, insurers and assigns (collectively, the "Township Representatives"), from any and all claims, lawsuits, proceedings, actions, disputes, causes and rights of action, expenses, losses, allegations, demands, charges, injuries, costs (including, without limitation, attorneys' fees, engineers' fees and other costs and expenses incurred, including expert witness fees), damages (including, without limitation, compensatory, consequential or punitive damages), sanctions, and liabilities of every kind, character and manner whatsoever, in law or in equity, civil or criminal, administrative or judicial, contract, tort (including, without limitation, negligence of any kind) or otherwise ("Claims"), pertaining to, relating to, resulting from, caused by or arising out of the Township's approval of the application as evidenced by this Resolution and/or the Township taking any action contemplated by the conditions hereof.



The requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract is hereby waived; and,

The requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract is hereby waived; and,

The applicant has requested that the requirement of Section 312-35(b)(3)(A)(i)(1) of the Subdivision and Land Development Ordinance pertaining to the requirement for the installation of curbing on all public and private streets and for the ingress and egress of all parking lot access drives and non-residential driveways is hereby waived; and,

The requirement of Section 312-35(b)(3)(A)(ii)(1)(A) of the Subdivision and Land Development Ordinance pertaining to the requirement for sidewalks within all subdivisions is hereby deferred; and,

The requirement of Section 312-35(b)(3)(A)(iv) of the Subdivision and Land Development Ordinance pertaining to the requirement for concrete aprons is hereby waived; and,

The requirement of Section 312-35(b)(3)(B)(i) of the Subdivision and Land Development Ordinance pertaining to the requirement for arterial streets to be constructed in accordance with the Arterial Street Cross Section within the Township Standard Construction Documents (latest revision) with regard to the right-of-way of Church Road is hereby waived; and,

The requirement of Section 312-35(b)(3)(B)(i) of the Subdivision and Land Development Ordinance pertaining to the requirement for right-of-way dedication to arterial street standard with regard to the right-of-way of Church Road is hereby deferred; and,

The requirement of Section 312-36(c)(5)(A) of the Subdivision and Land Development Ordinance requiring that the width of a driveway for a non-residential subdivision not exceed 40 feet is hereby waived; and,

The requirement of Section 312-41(a)(1)(A) of the Subdivision and Land Development Ordinance that the developer shall be responsible for making necessary arrangements with the municipality and the public service company involved for streetlights as approved by the Board of Commissioners and shall further be responsible for providing utility easements for lighting standards and fixtures is hereby deferred.

The requirement of Section 296-12.K of the Stormwater Management Ordinance requiring the applicant to conduct the additional site investigation and testing for stormwater infiltration as outlined in Appendix G be waived.

The conditions of approval have been made known to the applicant, and final approval is to be deemed expressly contingent upon the applicant’s affirmative written acceptance of the conditions on a form prescribed by South Whitehall Township which shall be received at or before the meeting at which the Resolution containing such conditions of approval is considered by the Board of Commissioners for adoption.

**DULY ADOPTED** this 19<sup>th</sup> day of **OCTOBER, 2022**, by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH WHITEHALL  
BOARD OF COMMISSIONERS**

  
\_\_\_\_\_  
Diane Kelly, President

**ATTEST:**

  
\_\_\_\_\_  
Tricia Dickert, Secretary



**APPLICANT ACCEPTANCE OF CONDITIONS**

**RESOLUTION NO. 2022- 96  
(Duly Adopted October 19, 2022)**

**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL  
TO A MAJOR PLAN ENTITLED  
"1670 CHURCH ROAD PADDA PROPERTY LLC"**

The undersigned, being the applicant of the land shown on plans prepared by Barry Isett and Associates entitled "1670 CHURCH ROAD PADDA PROPERTY LLC", dated June 18, 2022 and last revised September 15, 2022, Township Major Plan 2022-104, for the further development of a 4.4-acre property located at 1670 Church Road, in South Whitehall Township, Lehigh County, Pennsylvania, intending to be legally bound hereby, does affirmatively accept all of the conditions set forth in the Resolution granting conditional preliminary/final approval to the major plan entitled "1670 CHURCH ROAD PADDA PROPERTY LLC" and does waive any and all rights which the applicant would otherwise possess to contest the imposition of said conditions, both at law or in equity. Further, the applicant hereby certifies that as of the date of the Resolution, the applicant does not dispute (as outlined by the Pennsylvania Municipalities Planning Code, including but not limited to §§ 10503(1) and 10510(g)) any professional consultant fee for which it has received an invoice from the Township through the date hereof.

The undersigned Applicant/Owner for the Project described in the foregoing referenced Resolution, in consideration of the grant of the approval of the waiver from certain review and approval requirements of the Subdivision and Land Development Ordinance by the Commissioners of South Whitehall Township, and intending to be legally bound hereby, does affirmatively accept the conditions of the grant of the waiver set forth in the foregoing Resolution and does waive any and all rights which Applicant would otherwise possess to contest the imposition of said conditions, both at law or in equity.

WITNESS/ATTEST:

APPLICANT: Padda Property LLC



Witness

Kevin Markell

Printed Name



Applicant



Printed Name

Date: 10/17/2022

**EXHIBIT “B”**

**APPLICANT ACCEPTANCE OF CONDITIONS**

**RESOLUTION NO. 2024-  
(Duly Adopted April 17, 2024)**

**A RESOLUTION EXTENDING THE CONDITIONAL PRELIMINARY/FINAL  
APPROVAL GRANTED TO A MAJOR PLAN ENTITLED  
“1670 CHURCH ROAD PADDA PROPERTY LLC”**

The undersigned, being the applicant of the land shown on plans prepared by Barry Isett and Associates entitled “1670 CHURCH ROAD PADDA PROPERTY LLC”, dated June 18, 2022 and last revised September 15, 2022, Township Major Plan 2022-104, for the further development of a 4.4-acre property located at 1670 Church Road, in South Whitehall Township, Lehigh County, Pennsylvania, intending to be legally bound hereby, does affirmatively accept all of the conditions set forth in the Resolution granting a six-month extension to the conditional preliminary/final approval to the major plan entitled “1670 CHURCH ROAD PADDA PROPERTY LLC” and does waive any and all rights which the applicant would otherwise possess to contest the imposition of said conditions, both at law or in equity. Further, the applicant hereby certifies that as of the date of the Resolution, the applicant does not dispute (as outlined by the Pennsylvania Municipalities Planning Code, including but not limited to §§ 10503(1) and 10510(g)) any professional consultant fee for which it has received an invoice from the Township through the date hereof.

The undersigned Applicant/Owner for the Project described in the foregoing referenced Resolution, in consideration of the grant of the approval of the waiver from certain review and approval requirements of the Subdivision and Land Development Ordinance by the Commissioners of South Whitehall Township, and intending to be legally bound hereby, does affirmatively accept the conditions of the grant of the waiver set forth in the foregoing Resolution and does waive any and all rights which Applicant would otherwise possess to contest the imposition of said conditions, both at law or in equity.

WITNESS/ATTEST:

APPLICANT: Padda Property LLC

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Applicant

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Printed Name

Date: \_\_\_\_\_



# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Community Development

**ITEM TYPE:** Resolution

**AGENDA SECTION:** RESOLUTIONS

**SUBJECT:** A Resolution Granting Preliminary/Final Approval To A Major Plan Entitled “Nestle Purina Allentown PA Facility New Municipal Water Service”

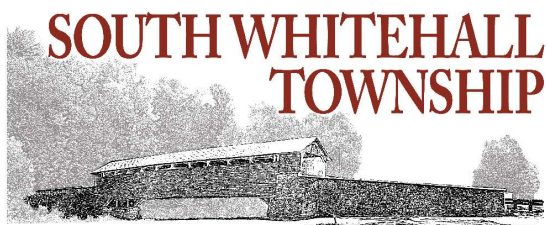
**SUGGESTED ACTION:**

- *Motion to adopt resolution granting P/F Plan approval to a major plan "Nestle Purina Allentown PA Facility New Municipal Water Service".*

### ATTACHMENTS:

- [2024.04.12 CD PLANNING - BOC Packet Excerpt Approving Nestle New Municipal Water Service - 2023-105.pdf](#)
- [2024.04.12 CD PLANNING - RESOLUTION 2024-\\_\\_\\_ Approving Nestle Purina Allentown PA Facility New Municipal Water Service - 2023-105.pdf](#)
- [2024-04-12 NPPC Waterline Resolution.signed.pdf](#)





**MEMORANDUM FOR  
AGENDA ITEMS**

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Gregg R. Adams, Planner
<b>DATE:</b>	April 12, 2024
<b>SUBJECT:</b>	A Resolution Granting Preliminary/Final Approval To A Major Plan Entitled “Nestle Purina Allentown PA Facility New Municipal Water Service”
<b>COPY TO:</b>	T. Petrucci, D. Manhardt, L. Harrier, H. Bender, M. Elias, J. Zator, Esq., J. Alderfer, Esq., J. Newhard, A. Tallarida, S. Pidcock

• **Background Information:**

An application to further develop the property located at 2050 Pope Road. The plan proposes the construction of an approximately 4,400 linear foot water line within the right-of-way of Huckleberry Road from Wehr Mill Road to and onto 2050 Pope Road, as well as an associated 40,000 gallon water tank and 832 square foot mechanical building on 2050 Pope Road. The property is to be served by public water and private septic and is zoned Industrial Commercial-1 (Special Height Limitation) IC-1. Nestle Purina PetCare is the owner and applicant.

At their October 19, 2023 meeting, the Planning Commission recommended approval of the plan with 22 condition and 8 favorably recommended waiver/deferral requests.

**REVIEWING AGENCIES’ COMMENTS**

Township Engineer - The comments of the Township Engineer are contained in Mr. Anthony Tallarida’s review dated February 1, 2024. Mr. Tallarida notes that his engineering review is limited to items other than the water line extension. His comments pertain to waiver/deferral commentary, plan detail, entrance signage, outside agency approvals, and plan recording requirements.

Township Water and Sewer Engineer - The comments of the Township Water and Sewer Engineer are contained in Mr. Jason Newhard’s review dated January 28, 2024. His comments pertain to plan detail.

Township Geotechnical Consultant - The comments of the Township Geotechnical Consultant are contained in Mr. Chris Taylor’s review dated October 13, 2023. His comments pertain to plan detail.

Public Works Department – The comments from the Public Works Department are contained in Manager Herb Bender’s review dated January 18, 2024. His comments pertain to pipe sizes, street excavation paving requirements, water meter specifications, public water connection, and fire protection.

Parks and Recreation Board – The Parks and Recreation Board reviewed the plan at its November 13, 2023 meeting and recommended that it contribute fees in lieu of open space dedication.

Community Development Department – The comments of the Department are contained in Mr. Gregg Adams’ review dated April 14, 2024. His comments pertain to open space, MS4 requirements, plan detail, waiver/deferral commentary, plan recording requirements, and Official Map and Comprehensive plan consistency.

- **Action Requested:**

The applicant requests preliminary/final plan approval.  
Staff has no objections to this request.

- **Attachments:**

Plan

Project Narrative

Township Engineer Review dated February 1, 2024

Township Water and Sewer Engineer Review dated January 28, 2024

Township Geotechnical Consultant Review dated October 13, 2023

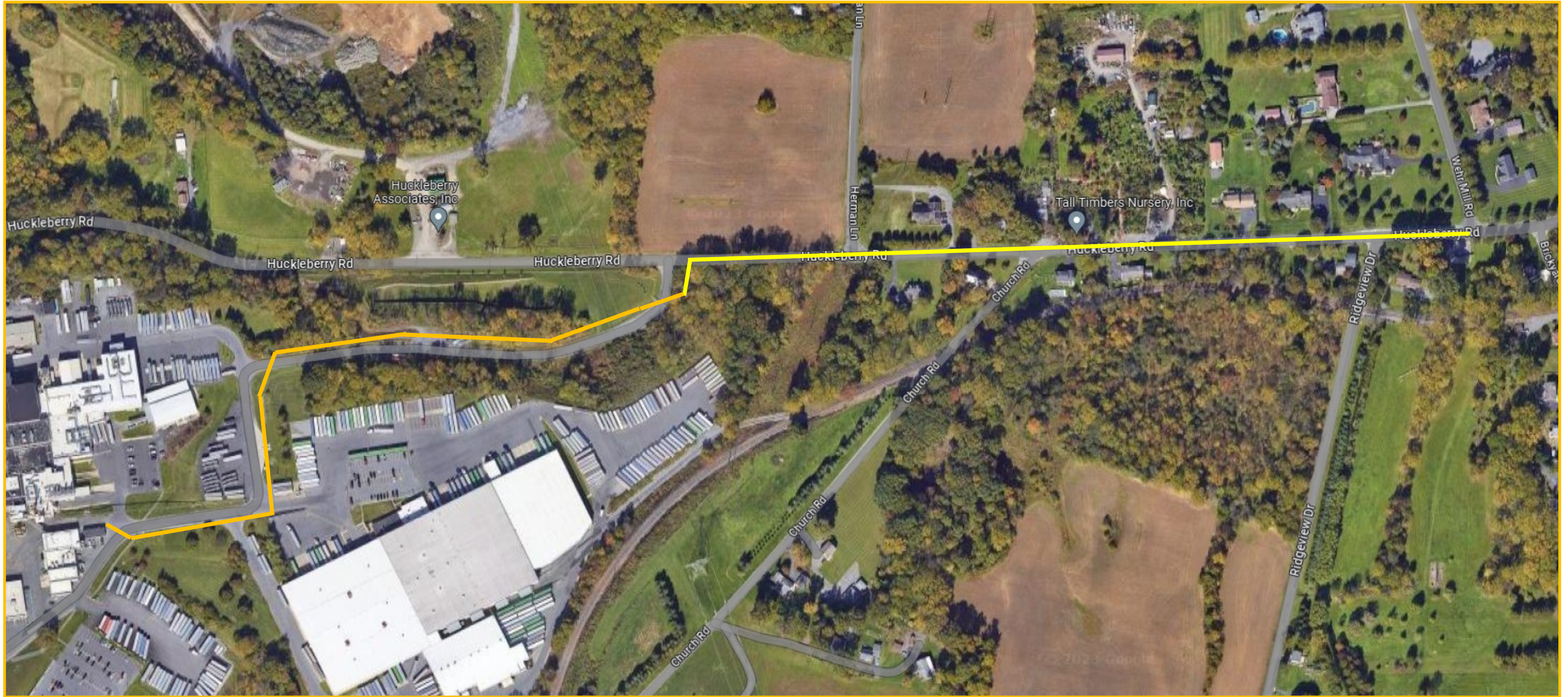
Public Works Manager’s Review dated January 18, 2024

Parks and Recreation Board Review dated November 16, 2023

Community Development Review dated April 12, 2024

Resolution





**NPPC Allentown PA Facility New Municipal Water Service Major Plan 2023-105**





THE APPLICANT IS RESPONSIBLE FOR JOINING THE PA ONE CALL SYSTEM AND IS RESPONSIBLE FOR THE MARKING OF ALL UNDERGROUND UTILITIES PRIOR TO THE UTILITIES BEING FORMALLY ACCEPTED BY AND DEDICATED TO THE TOWNSHIP

Know what's below.  
Call before you dig.  
SITE SERIAL # 20222412353

**SURVEYOR'S CERTIFICATION**

I, VASILE TRIFAN, A LICENSED PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE ACCOMPANYING PLANS AND SUPPORTING DOCUMENTATION ARE TRUE, CORRECT, ACCURATE AND ARE IN COMPLIANCE WITH ALL REQUIREMENTS, PROVISIONS AND CONDITIONS OF RESOLUTION BY WHICH THE TOWNSHIP BOARD OF COMMISSIONERS CONDITIONALLY WAIVED THE REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE FOR THE PROJECT REFLECTED ON THIS PLAN.

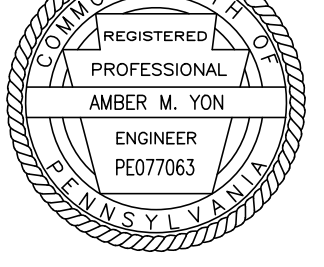
PROFESSIONAL LAND SURVEYOR:  
VASILE TRIFAN, P.L.S.  
DATE: 8/XX/2023  
SU075608



**DESIGN PROFESSIONAL'S CERTIFICATION**

I, AMBER YON, A LICENSED PROFESSIONAL ENGINEER OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE ACCOMPANYING PLANS AND SUPPORTING DOCUMENTATION ARE TRUE, CORRECT, ACCURATE AND ARE IN COMPLIANCE WITH ALL REQUIREMENTS, PROVISIONS AND CONDITIONS OF RESOLUTION BY WHICH THE TOWNSHIP BOARD OF COMMISSIONERS CONDITIONALLY WAIVED THE REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE FOR THE PROJECT REFLECTED ON THIS PLAN.

DESIGN PROFESSIONAL:  
AMBER M. YON, P.E.  
DATE: 9/20/2023  
PE077063



**OWNER'S CERTIFICATION**

[I/WE] BEING DULY SWORN ACCORDING TO LAW DOPOSE AND SAY THAT [I AM/WE ARE] THE SOLE OWNER(S) OF THIS PROPERTY, IN PEACEFUL POSSESSION OF THE SAME, AND THAT THERE ARE NO SUITS PENDING AGAINST THE TITLE THEREOF. [I/WE] DO NOT FURTHER DEPOSE AND SAY THAT [I/WE] HAVE COMPLIED WITH ALL REQUIREMENTS, PROVISIONS AND CONDITIONS OF RESOLUTION BY WHICH THE TOWNSHIP BOARD OF COMMISSIONERS CONDITIONALLY WAIVED THE REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE FOR THE PROJECT REFLECTED ON THIS PLAN. [I/WE] AGREE THAT [I/WE] SHALL EXONERATE, INDEMNIFY, PROTECT, DEFEND AND SAVE HARMLESS THE TOWNSHIP FROM ANY AND ALL CLAIMS, LAWSUITS, DAMAGES AND LIABILITIES OF EVERY KIND, CHARACTER AND MANNER WHATSOEVER PERTAINING TO, RELATING TO, RESULTING FROM, CAUSED BY OR ARISING OUT OF THE TOWNSHIP'S APPROVAL OF THE WAIVER REQUEST AS EVIDENCED BY RESOLUTION ALL AS MORE FULLY OUTLINED IN RESOLUTION \_\_\_\_\_

NESTLE PURINA PETCARE  
NAME: RYAN HAMMONDS  
TITLE: PLANT MANAGER

SWORN AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
NOTARY PUBLIC  
MY COMMISSION EXPIRES ON \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

**DEVELOPER'S CERTIFICATION**

THE APPLICANT IS THE OWNER, EQUITABLE OWNER OR HAS AN OPTION OR CONDITIONAL CONTRACT OF SALE ON THE LAND PROPOSED TO BE SUBDIVIDED OR DEVELOPED, THAT NO LITIGATION OR LENS EXIST ON OR ARE PENDING AGAINST THE SITE. THAT THE PLAN HAS BEEN PROCESSED WITH THE APPLICANT'S FREE CONSENT AND THAT THE APPLICANT DESIRES TO RECORD THE PLAN.

THE APPLICANT CERTIFIES THAT HE WILL PROPERLY GRADE ALL INDIVIDUAL LOTS TO PROVIDE ADEQUATE SURFACE DRAINAGE SO THAT NO LOW SPOTS OR WATER POCKETS CREATE A PUBLIC NUISANCE AND THAT HE WILL PLACE PERMANENT CONCRETE REFERENCE MONUMENTS TO GRADE AS NOTED ON THE PLAN UPON COMPLETION OF GRADING.

THE APPLICANT ACKNOWLEDGES THAT FOLLOWING APPROVAL OF THIS PLAN, PLAN CHANGES MAY BE REQUIRED TO ADDRESS THE COMMENTS AND REGULATIONS OF OUTSIDE AGENCIES RESPONSIBLE TO REVIEW ANY ASPECT OF THE PROJECT REFLECTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO POST-CONSTRUCTION STORMWATER MANAGEMENT AND NPDES PERMIT REGULATIONS, IN THE EVENT OF CHANGES TO THE PLAN FOLLOWING APPROVAL (WHETHER OR NOT THE PLAN HAS BEEN RECORDED), THE APPLICANT SHALL SUBMIT THE REVISED PLAN TO THE TOWNSHIP FOR REVIEW BEFORE THE APPLICANT MAY MOVE FORWARD WITH CONSTRUCTION ACTIVITIES PURSUANT TO THE REVISED PLAN (WHETHER OR NOT THE PLAN HAS BEEN RECORDED).

NESTLE PURINA PETCARE  
RYAN HAMMONDS, PLANT MANAGER

SWORN AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
NOTARY PUBLIC  
MY COMMISSION EXPIRES ON \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

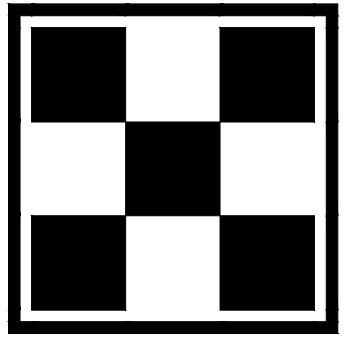
**TOWNSHIP ACKNOWLEDGMENT**

BASED UPON AND EXPRESSLY IN RELIANCE ON THE FOREGOING CERTIFICATIONS OF THE OWNER AND DESIGN PROFESSIONAL, THE WITHIN PLAN IS ACCEPTED BY SOUTH WHITEHALL TOWNSHIP AS THE PLAN SATISFYING ALL REQUIREMENTS, PROVISIONS AND CONDITIONS OF RESOLUTION \_\_\_\_\_

CHAIRMAN'S SIGNATURE \_\_\_\_\_ SECRETARY \_\_\_\_\_  
SOUTH WHITEHALL TOWNSHIP APPROVALS  
APPROVED \_\_\_\_\_ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION.

APPROVED \_\_\_\_\_ BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH WHITEHALL.  
PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_  
TOWNSHIP ENGINEER \_\_\_\_\_  
LEHIGH VALLEY PLANNING COMMISSION  
REVIEWED: \_\_\_\_\_ BY THE LEHIGH VALLEY PLANNING COMMISSION.

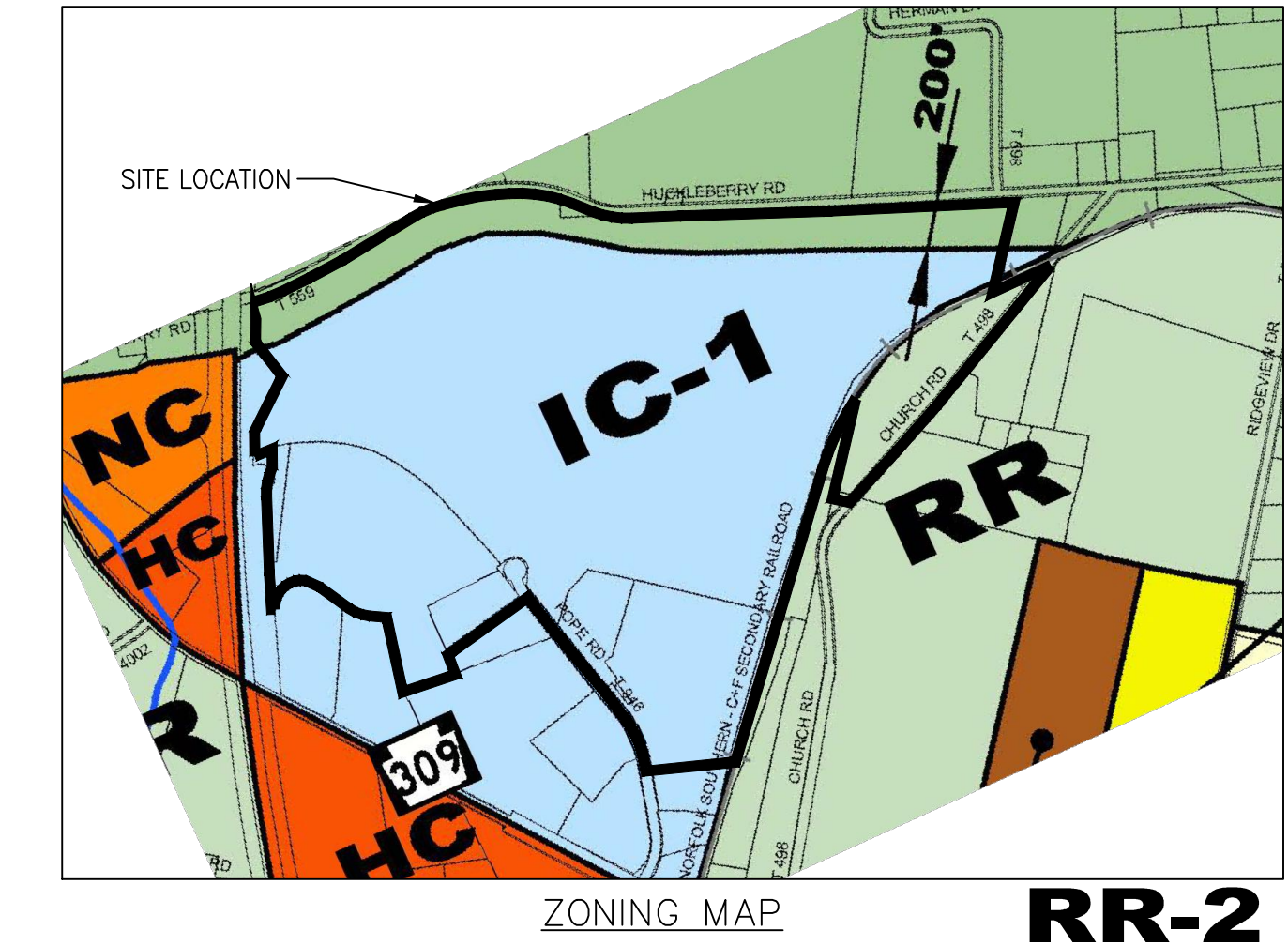
PLANNER \_\_\_\_\_ DATE \_\_\_\_\_  
PROOF OF RECORDING  
PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA, AS DOCUMENT ID: \_\_\_\_\_ ON \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_



# Nestlé PURINA

## Engineering

**NPPC ALLENTOWN, PA FACILITY NEW MUNICIPAL WATER SERVICE CIVIL-MUNICIPAL WATER LINE FINAL LAND DEVELOPMENT PLANS**  
**SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA**  
**AUGUST 31, 2023**

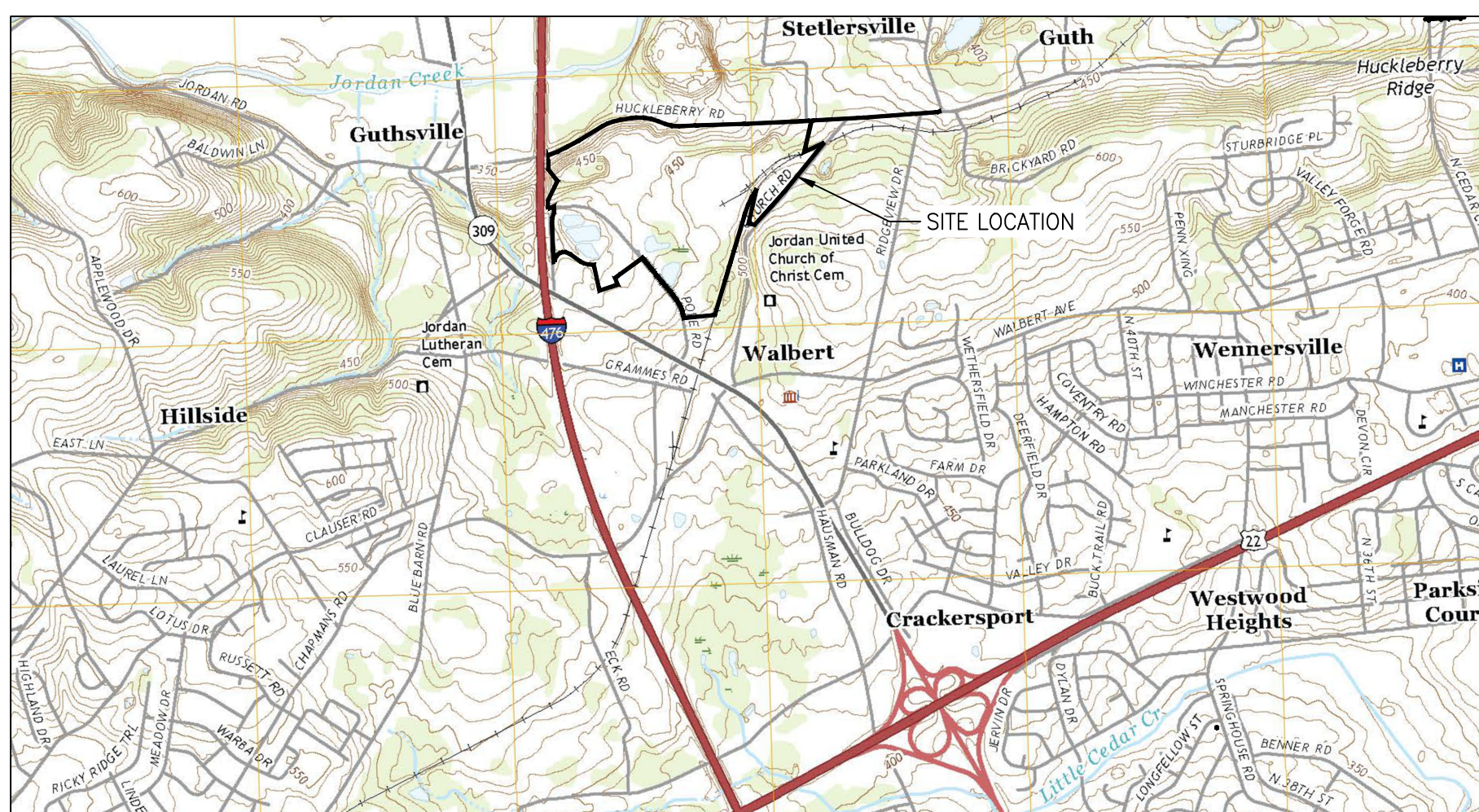


**ZONING DATA**

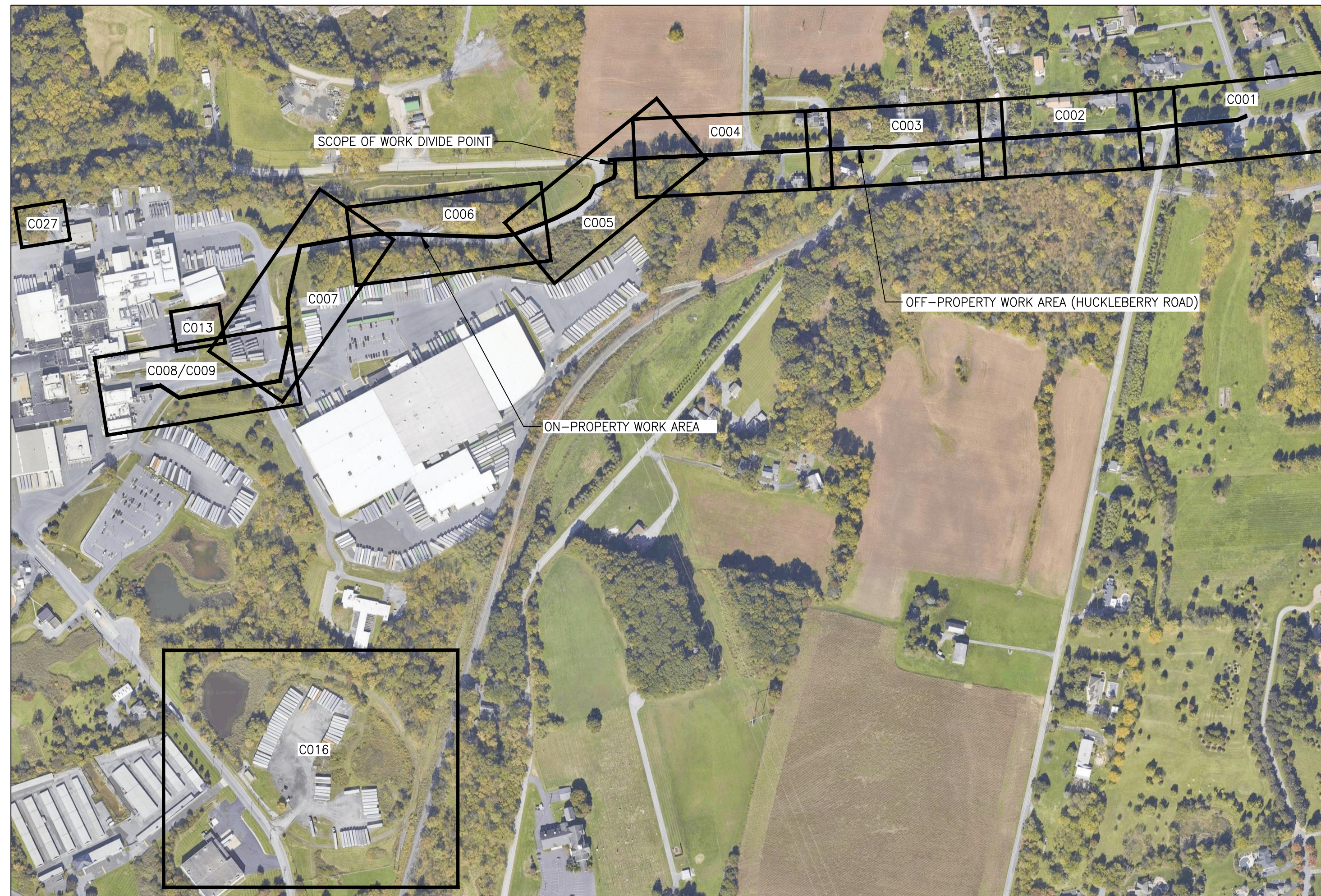
ZONING DATA PROVIDED IS BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.

AREA AND DIMENSIONAL REQUIREMENTS:	IC-1	RR-2	PROVIDED MAIN CAMPUS	PROVIDED NORTHERN TRACT
MINIMUM REQUIREMENTS	REQUIRED			
MIN. LOT AREA:	2.5 ACRES		114.5996 ACRES	18.765 ACRES
MIN. FRONTAGE:	300'	MANUFACTURING USE NOT PERMITTED IN THIS DISTRICT.	CONFORMS	CONFORMS
MAX. BUILDING HEIGHT:	70'		CONFORMS	N/A
MAX. IMPERVIOUS COVERAGE:	75%		40.7%-BASE-ENG	1.3%(10,966 S.F.)
MIN. YARD SETBACKS:				
FRONT YARD:	50'	150*	CONFORMS	CONFORMS
SIDE YARDS:	25'	50*	CONFORMS	CONFORMS
REAR YARDS:	25'	50*	CONFORMS	CONFORMS

\* PER DIRECTIVE OF SOUTH WHITEHALL TWP. ZONING OFFICER, CIRCA 2017



**LOCATION MAP**  
SCALE: 1"=2000'  
(SOURCE: USGS ALLENTOWN WEST, PA, DATED 2019)



**KEY MAP**  
SCALE: 1"=300'  
300 0 300 600

**WAIVERS AND DEFERRALS WERE RECOMMENDED AT THE 10/19/2023 PLANNING COMMISSION MEETING:**

- REQUEST TO WAIVE SALDO SECTION 312-12(B)15 REQUIRING THE SHOWING OF CONTOURS WITHIN 400 FEET OF THE TRACT.
- REQUEST TO WAIVE SALDO SECTION 312-12(B)21 REQUIRING THE SHOWING OF RIGHTS OF WAY WITHIN 400 FEET OF THE TRACT.
- REQUEST TO WAIVE SALDO SECTION 312-12(B)17 REQUIRING THE NAMES OF ADJOINING PROPERTY OWNERS AND SUBDIVISIONS ON THE PLAN.
- REQUEST TO WAIVE SALDO SECTION 312-12(B)14 REQUIRING THE SHOWING OF THE BOUNDARIES OF THE TRACT BY BEARINGS AND DISTANCES.
- REQUEST TO WAIVE SALDO SECTION 312-12(B)20 REQUIRING THE SHOWING OF BUILDINGS WITHIN 100 FEET OF THE TRACT.
- REQUEST TO DEFER SALDO SECTION 312-35(B)3 REQUIRING THE IMPROVEMENT OF ADJACENT PUBLIC ROADS TO TOWNSHIP ROW STANDARDS.
- REQUEST TO DEFER SALDO SECTION 312-41(A)1(A) REQUIRING THE INSTALLATION OF STREET LIGHTS.
- REQUEST TO WAIVE SALDO SECTION 312-12(B)19 REQUIRING THAT A PLAN SHOW NAMES OF OWNERS, PARCEL ID NUMBERS, EXISTING BUILDINGS, SEWER MAINS, WATER MAINS, CULVERTS, STORM SEWERS, PETROLEUM PRODUCTS LINES, GAS LINES, TRANSMISSION LINES, FIRE HYDRANTS, UNDERGROUND TANKS, WELLS, SEPTIC SYSTEMS WITHIN ONE-HUNDRED FEET OF THE TRACT.

**LIST OF DRAWINGS**

NO	DWG NO.	DESCRIPTION
1	671-T001-05	TITLE SHEET
2	671-C001-05	WATER LINE PLAN AND PROFILE VIEW - HUCKLEBERRY RD. (STA. -0+10 - 3+00)
3	671-C002-05	WATER LINE PLAN AND PROFILE VIEW - HUCKLEBERRY RD. (STA. 3+00 - 9+00)
4	671-C003-05	WATER LINE PLAN AND PROFILE VIEW - HUCKLEBERRY RD. (STA. 9+00 - 15+00)
5	671-C004-05	WATER LINE PLAN AND PROFILE VIEW - HUCKLEBERRY RD. (STA. 15+00 - 21+00)
6	671-C005-05	WATER LINE PLAN AND PROFILE VIEW - NESTLE PRIVATE RD. (STA. 21+00 - 22+50) & NESTLE PRIVATE RD. (STA. -0+25 - 4+00)
7	671-C006-05	WATER LINE PLAN AND PROFILE VIEW - NESTLE PRIVATE RD. (STA. 4+00 - 10+00)
8	671-C007-05	WATER LINE PLAN AND PROFILE VIEW - NESTLE PRIVATE RD. (STA. 10+00 - 16+00)
9	671-C008-05	WATER LINE PLAN AND PROFILE VIEW - NESTLE PRIVATE RD. (STA. 16+00 - 22+00)
10	671-C009-05	DEMOLITION PLAN
11	671-C010-05	DETAILED PROPOSED SITE PLAN
12	671-C011-05	CONSTRUCTION DETAILS (1 OF 2)
13	671-C012-05	CONSTRUCTION DETAILS (2 OF 2)
14	671-C013-05	WELL HOUSE #6 REPLACEMENT PLAN
15	671-C014-05	EROSION AND SEDIMENTATION CONTROL DETAILS
16	671-C015-05	EROSION & SEDIMENTATION CONTROL NOTES (1 OF 1)
17	671-C016-05	SPOILS AND STOCKPILE AREAS PLAN
18	671-C027-05	POLE BUILDING PLAN

DWG NO.	SUPPLEMENTAL LIST OF DRAWINGS / PCSM DRAWINGS
671-C019-05	TITLE SHEET - POST CONSTRUCTION STORMWATER MANAGEMENT PLANS
671-C020-05	WATER LINE - PCSM - HUCKLEBERRY RD. (STA. -0+10 - 9+00)
671-C021-05	WATER LINE - PCSM - HUCKLEBERRY RD. (STA. 9+00 - 21+00)
671-C022-05	WATER LINE - PCSM - HUCKLEBERRY RD. (STA. 21+00 - 22+50) & NESTLE PRIVATE RD. (STA. -0+25 - 4+00)
671-C023-05	WATER LINE - PCSM - NESTLE PRIVATE RD. (STA. 10+00 - 22+00)
671-C024-05	WELL HOUSE #6 REPLACEMENT PLAN
671-C025-05	SPOILS AND STOCKPILE AREAS PLAN
671-C026-05	SUPPLEMENTAL PLANTINGS - PCSM PLANS

**PLANS TO BE RECORDED:**

CIVIL PLANS 1-9 AND ALL PCSM PLANS

PREPARED BY:  
**Penn E&R**  
Environmental & Remediation, Inc.  
400 OLD DUBLIN PIKE, DOYLESTOWN, PA 18901  
215-897-9000

REVISION	BY	APPR BY	DATE	DESCRIPTION
3B				60% DESIGN REVIEW SUBMITTAL
3A				60% DESIGN REVIEW SUBMITTAL
2				NPPC REVIEW SUBMITTAL
5				REVISED PER TOWNSHIP COMMENTS
4				REVISED PER TOWNSHIP COMMENTS / 90% DESIGN REVIEW SUBMITTAL
1				DESIGN SUBMITTAL

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DATE: 12-12-2023  
MADE BY: S. HEINZE  
SCALE: AS SHOWN  
PROJ BY: S. DONOVAN  
PROJ ENGR: A. YON  
PRINTED: 01-16-2024

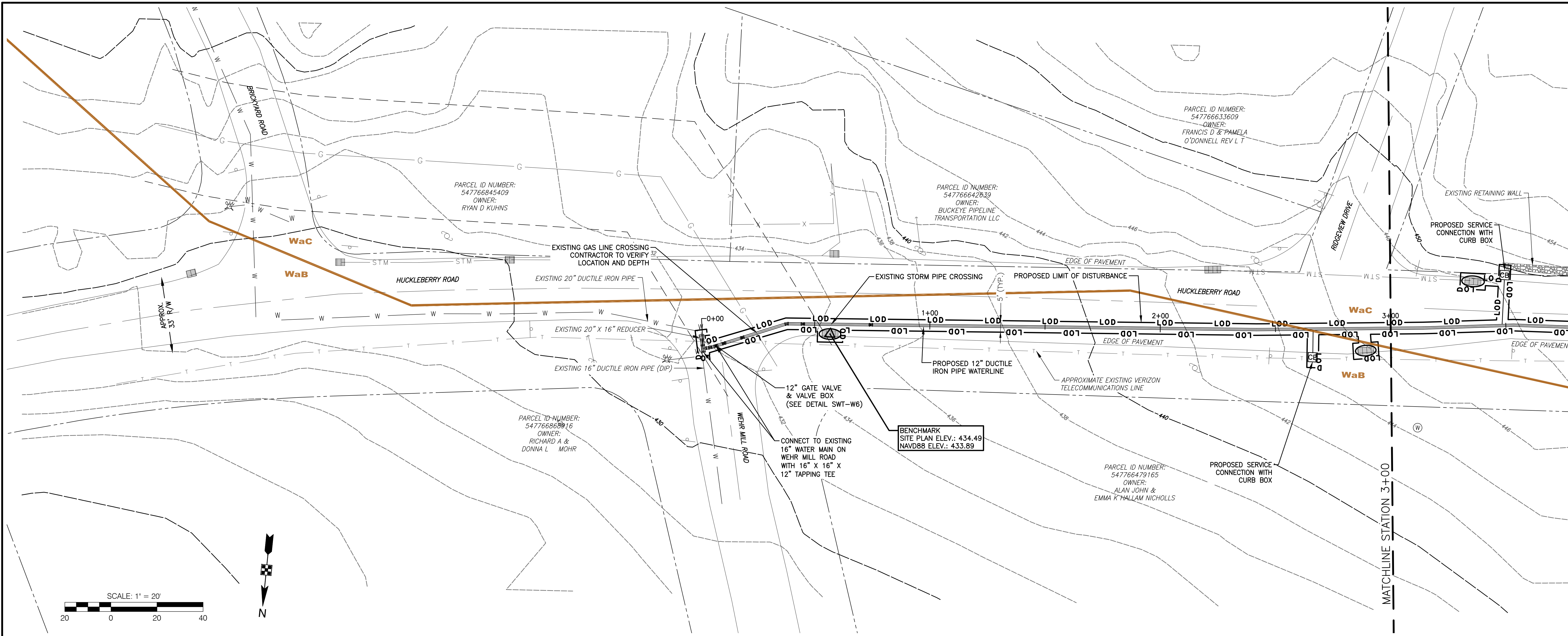
**Nestlé PURINA**  
Engineering  
2050 POPE ROAD ALLENTOWN, PA 18104  
SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA

**NEW MUNICIPAL WATER SERVICE NPPC ALLENTOWN, PA FACILITY EROSION & SEDIMENTATION CONTROL PLAN FINAL LAND DEVELOPMENT PLAN**

PLANT ALLENTOWN, PA  
BLDG. NO. 00 AREA NO. 671

DRAWING NUMBER: **1-671-T001-05**  
REVISION: **5**





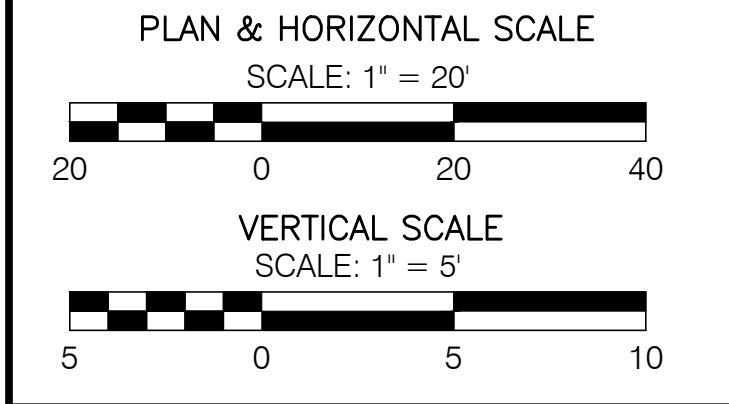
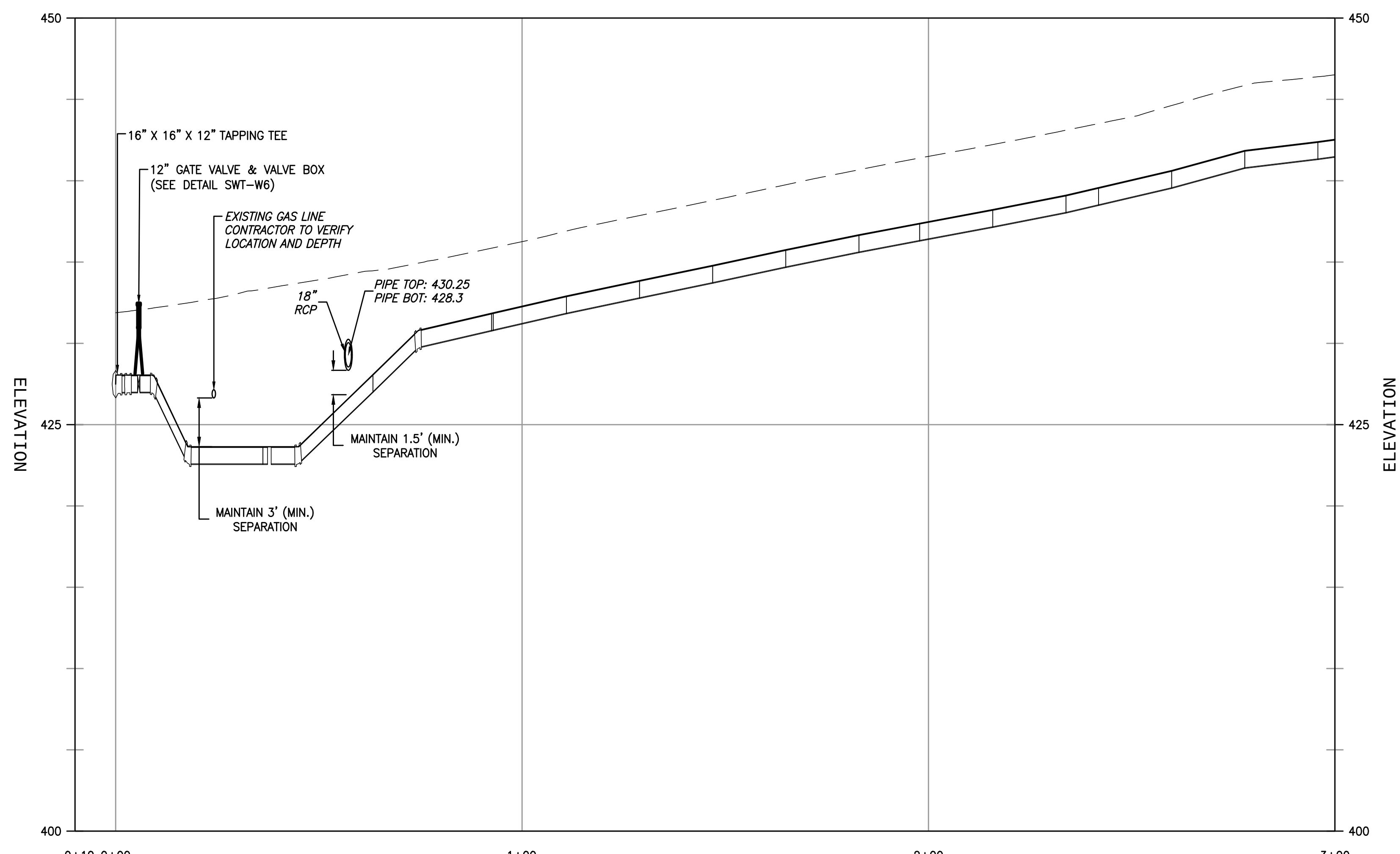
**LEGEND**

LOD	PROPOSED LIMIT OF DISTURBANCE AND NPDES BOUNDARY (4.33 ACRES)
LD	PROPOSED LAYDOWN AREA
SAN	PROPOSED SANITARY LINE
UE	PROPOSED RELOCATED UNDERGROUND ELECTRIC
W	PROPOSED RELOCATED WATER LINE
W	PROPOSED WATER SERVICE WITH CURB BOX
X	PROPOSED FENCE AT WATER METER STATION
X	PROPOSED TOWNSHIP EASEMENT
FS	PROPOSED COMPOST FILTER SOCK
○	PROPOSED STORM WATER INLET PROTECTION
---	PROPOSED SPOILS AREA LIMITS
---	PROPOSED STOCKPILE AREA LIMITS

**WaC**

---	SOIL TYPE
---	SOIL BOUNDARY
---	EXISTING EASEMENT LINE
---	APPROXIMATE PROPERTY LINE
---	EXISTING SIGN
X	EXISTING FENCE
---	EXISTING GUIDERAIL
G	EXISTING NATURAL GAS LINE
AG	ABANDONED NATURAL GAS PIPE
UFO	EXISTING UNDERGROUND FIBEROPTIC
T	EXISTING TELEPHONE/COMMUNICATIONS
UGE	EXISTING UNDERGROUND ELECTRIC
STM	EXISTING STORM WATER PIPE
SAN	EXISTING SANITARY PIPE
W	EXISTING WATERLINE
F.P.W	EXISTING FIRE PROTECTION WATERLINE
⊕	EXISTING WATER SUPPLY WELL
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATER VALVE
⊕	EXISTING POST INDICATOR VALVE
⊕	EXISTING ELECTRIC BOX
⊕	EXISTING UTILITY POLE
⊕	EXISTING LIGHT POST
⊕	EXISTING MECHANICAL PUMP
⊕	EXISTING STORM INLET
⊕	BENCHMARK

G:\PROJECT FILES\GRAPHICS\HA9218 - NESTLE - ALL WATERLINE DESIGN\CAD\DRAWINGS\LAYOUT SHEETS\TOWNSHIP PLANS\HA9218 WATER LINE - TWP Saved: 15-Jan-24 13:28 By: Sheinze



HUCKLEBERRY RD 12" DIP  
STATION: -0+10.00 TO 3+00.00  
SCALE: 1"=20' HORIZ.  
1"=5' VERT.

LAYDOWN AREA:	SQUARE FEET:	ACRES:
A	6,233	0.14309
B	5,078	0.11657
C	4,219	0.09685
D	2,501	0.05741
E	14,496	0.33278
<b>TOTAL:</b>	<b>32,527</b>	<b>0.7467</b>

PREPARED BY: Penn E&R Environmental & Remediation, Inc. 400 OLD DUBLIN PIKE, DOYLESTOWN, PA 18001, 215-897-9000

REVISION	BY	APP'D BY	DATE	REVISION	BY	APP'D BY	DATE
3B				60% DESIGN REVIEW SUBMITTAL	SMH	AMY	09-13-23
3A				60% DESIGN REVIEW SUBMITTAL	TPM	AMY	06-20-23
5				REVISED PER TOWNSHIP COMMENTS	SMH	AMY	01-09-24
4				REVISED PER TOWNSHIP COMMENTS / 90% DESIGN REVIEW SUBMITTAL	SMH	AMY	11-17-23

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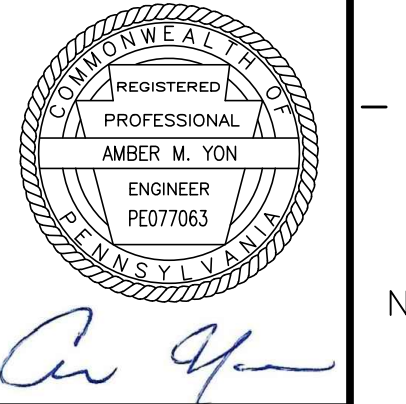
REFERENCE DRAWING
XXX-DXXXX

Nestlé PURINA Engineering  
2050 POPE ROAD ALLENTOWN, PA 18104  
SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA

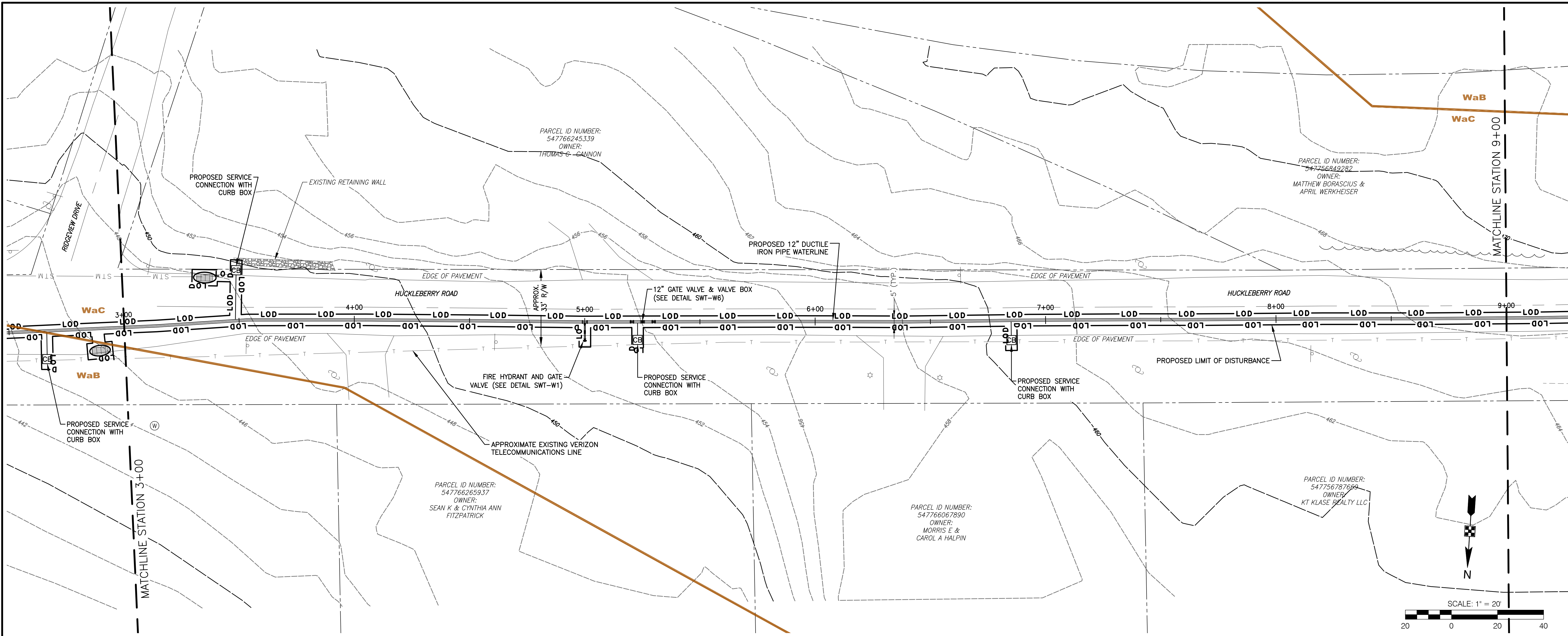
DATE: 12-12-2023
MADE BY: S. HEINZE
SCALE: 1" = 20'
APP'D BY: S. DONOVAN
PROJ ENGR: A. YON
PRINTED: 01-16-2024

**NEW MUNICIPAL WATER SERVICE  
NPPC ALLENTOWN, PA FACILITY  
EROSION & SEDIMENTATION CONTROL PLAN  
FINAL LAND DEVELOPMENT PLAN  
STATION -0+10 - 3+00**

PLANT: ALLENTOWN, PA	BLOG. NO. 00	AREA NO. 671
DRAWING NUMBER: 2-671-C001-05	REVISION: 5	

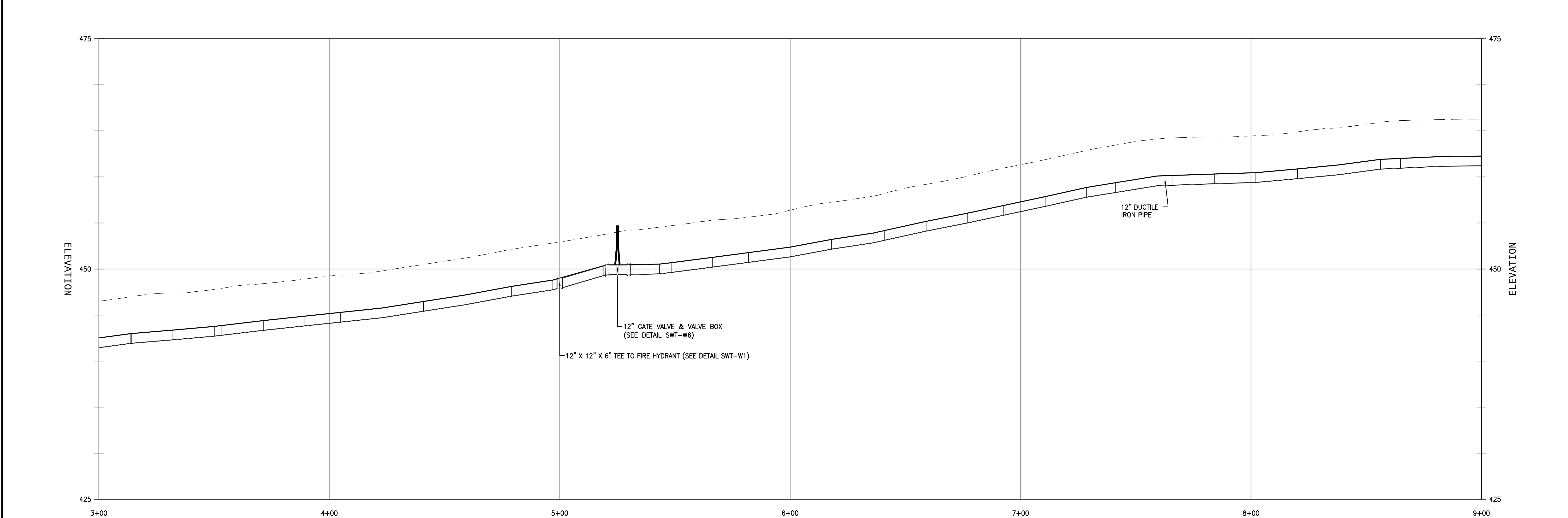
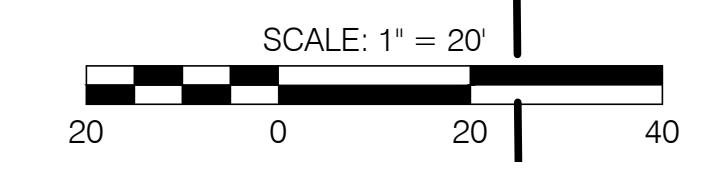




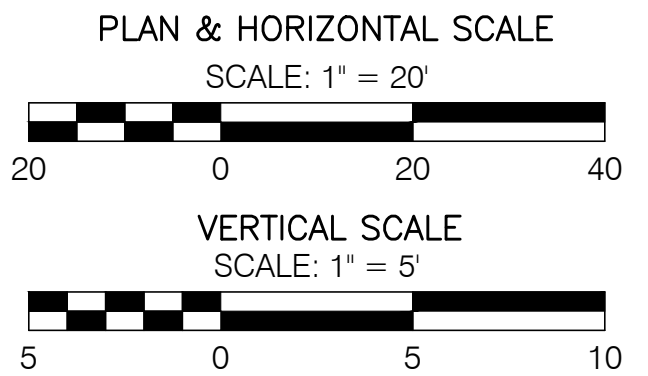


- LEGEND**
- LOD PROPOSED LIMIT OF DISTURBANCE AND NPDES BOUNDARY (4.33 ACRES)
  - LD PROPOSED LAYDOWN AREA
  - SAN PROPOSED SANITARY LINE
  - UE PROPOSED RELOCATED UNDERGROUND ELECTRIC
  - W PROPOSED RELOCATED WATER LINE
  - W-CB PROPOSED WATER SERVICE WITH CURB BOX
  - X-X-X-X PROPOSED FENCE AT WATER METER STATION
  - X-X-X-X PROPOSED TOWNSHIP EASEMENT
  - FS PROPOSED COMPOST FILTER SOCK
  - PROPOSED STORM WATER INLET PROTECTION
  - PROPOSED SPOILS AREA LIMITS
  - PROPOSED STOCKPILE AREA LIMITS

- Soil Type Legend**
- WaC SOIL TYPE
  - SOIL BOUNDARY
  - EXISTING EASEMENT LINE
  - APPROXIMATE PROPERTY LINE
  - EXISTING SIGN
  - X EXISTING FENCE
  - EXISTING GUIDERAIL
  - G EXISTING NATURAL GAS LINE
  - AG ABANDONED NATURAL GAS PIPE
  - UFO EXISTING UNDERGROUND FIBEROPTIC
  - T EXISTING TELEPHONE/COMMUNICATIONS
  - UGE EXISTING UNDERGROUND ELECTRIC
  - STM EXISTING STORM WATER PIPE
  - SAN EXISTING SANITARY PIPE
  - W EXISTING WATERLINE
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  - ⊕ EXISTING WATER VALVE
  - ⊕ EXISTING POST INDICATOR VALVE
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  - ⊕ EXISTING UTILITY POLE
  - ⊕ EXISTING LIGHT POST
  - ⊕ EXISTING MECHANICAL PUMP
  - ⊕ EXISTING STORM INLET
  - ⊕ BENCHMARK



LAYDOWN AREA:	SQUARE FEET:	ACRES:
A	6,233	0.14309
B	5,078	0.11657
C	4,219	0.09685
D	2,501	0.05741
E	14,496	0.33278
<b>TOTAL:</b>	<b>32,527</b>	<b>0.7467</b>



**HUCKLEBERRY RD 12" DIP**  
**STATION: 3+00.00 TO 9+00.00**  
 SCALE: 1"=20' HORIZ.  
 1"=5' VERT.

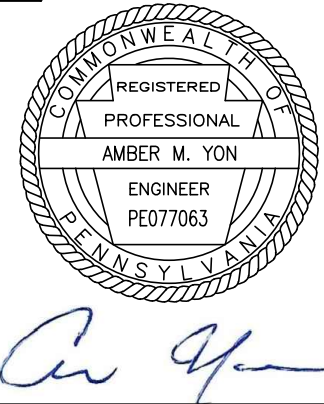
**Penn E&R**  
 Environmental & Remediation, Inc.  
 400 OLD DUBLIN PIKE, DOYLESTOWN, PA 18001  
 215-697-9000

REVISION	BY	APP'D BY	DATE	REVISION	BY	APP'D BY	DATE
3B				60% DESIGN REVIEW SUBMITTAL	SMH	AMY	09-13-23
3A				60% DESIGN REVIEW SUBMITTAL	TPM	AMY	06-20-23
5				REVISED PER TOWNSHIP COMMENTS	SMH	AMY	01-09-24
4				REVISED PER TOWNSHIP COMMENTS/90% DESIGN REVIEW SUBMITTAL	SMH	AMY	11-17-23
				30% DESIGN SUBMITTAL	TPM	AMY	03-22-23

**Nestlé PURINA**  
 Engineering  
 2050 POPE ROAD ALLENTOWN, PA 18104  
 SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA

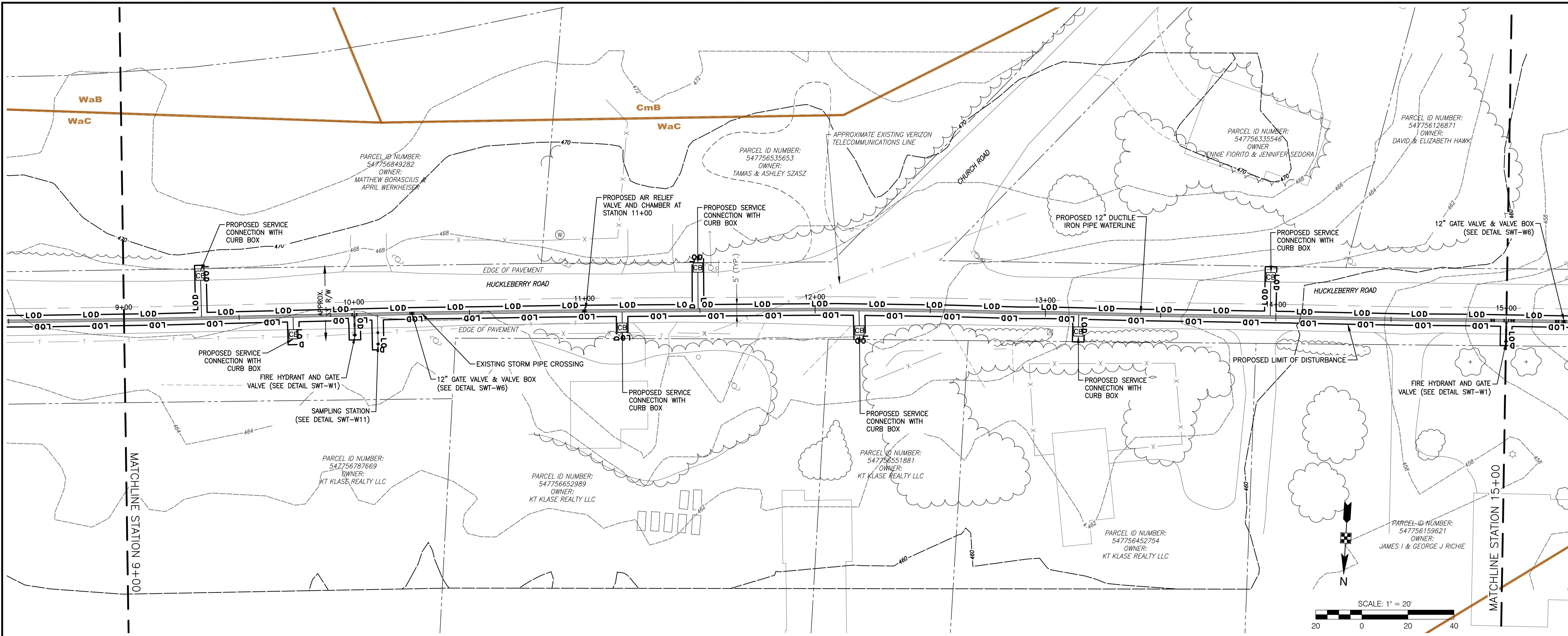
**NEW MUNICIPAL WATER SERVICE**  
**NPPC ALLENTOWN, PA FACILITY**  
**EROSION & SEDIMENTATION CONTROL PLAN**  
**FINAL LAND DEVELOPMENT PLAN**  
**STATION 3+00 - 9+00**

PLANT ALLENTOWN, PA	AREA NO. 671
BLOG. NO. 00	DRAWING NUMBER
	<b>3-671-C002-05</b>
	REVISION
	<b>5</b>

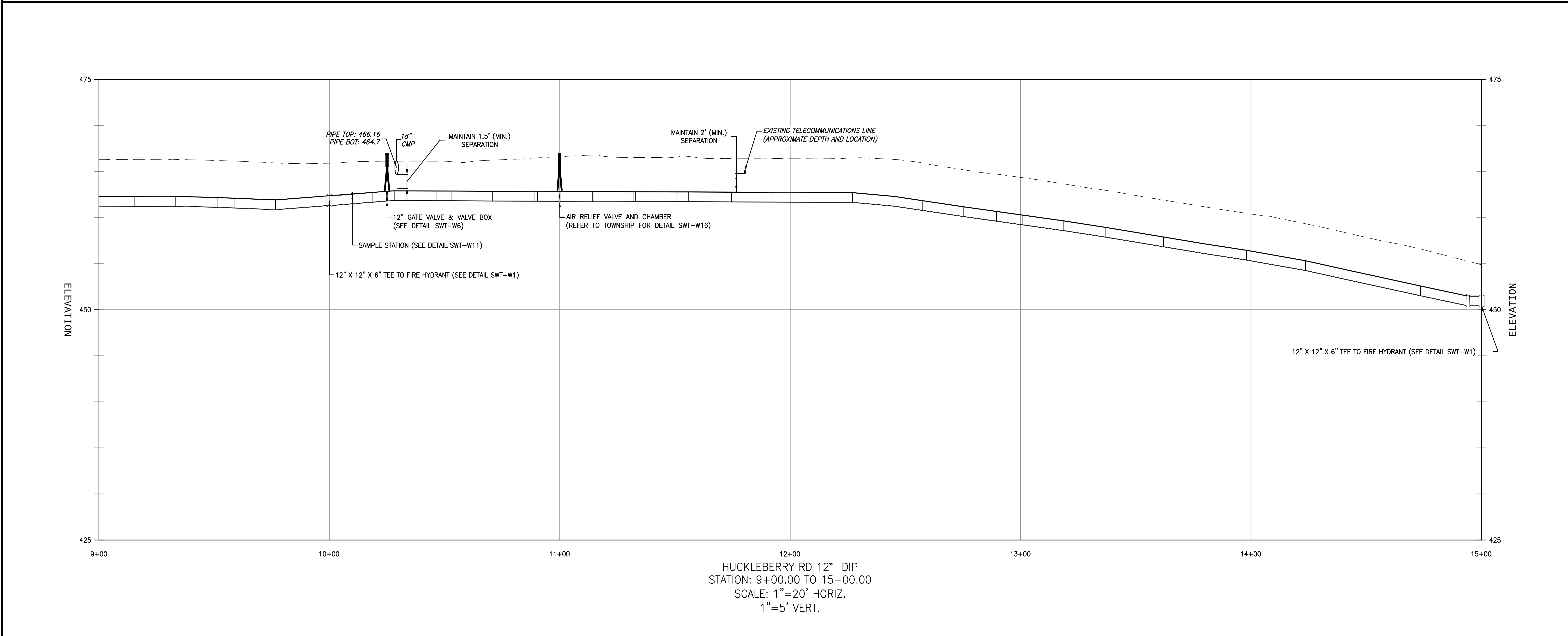


File: G:\PROJECT FILES\GRAPHICS\HA9218 - NESTLE - ALL WATERLINE DESIGN\CAD\DRAWINGS\LAYOUT SHEETS\TOWNSHIP PLANS\HA9218 WATER LINE - TWP Saved: 15-Jan-24 13:28 By: Sheinze





- LEGEND**
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  - FS — PROPOSED COMPOST FILTER SOCK
  - — PROPOSED STORM WATER INLET PROTECTION
  - — — — — PROPOSED SPOILS AREA LIMITS
  - — — — — PROPOSED STOCKPILE AREA LIMITS
- 
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PREPARED BY:  
**Penn E&R**  
 Environmental & Remediation, Inc.  
 400 OLD DUBLIN PIKE, DOYLESTOWN, PA 18001  
 215-897-9000

REVISION	BY	APP'D BY	DATE	REVISION	BY	APP'D BY	DATE
3B				60% DESIGN REVIEW SUBMITTAL	SMH	AMY	09-13-23
3A				60% DESIGN REVIEW SUBMITTAL	TPM	AMY	06-20-23
5				REVISED PER TOWNSHIP COMMENTS	SMH	AMY	01-09-24
4				REVISED PER TOWNSHIP COMMENTS / 90% DESIGN REVIEW SUBMITTAL	SMH	AMY	11-17-23

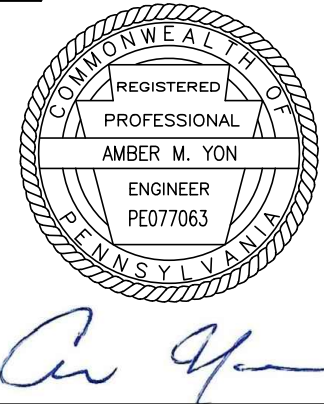
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DATE 12-12-2023  
 MADE BY S. HEINZE  
 SCALE 1" = 20'  
 APP'D BY S. DONOVAN  
 PROJ ENGR A. YON  
 PRINTED 01-16-2024

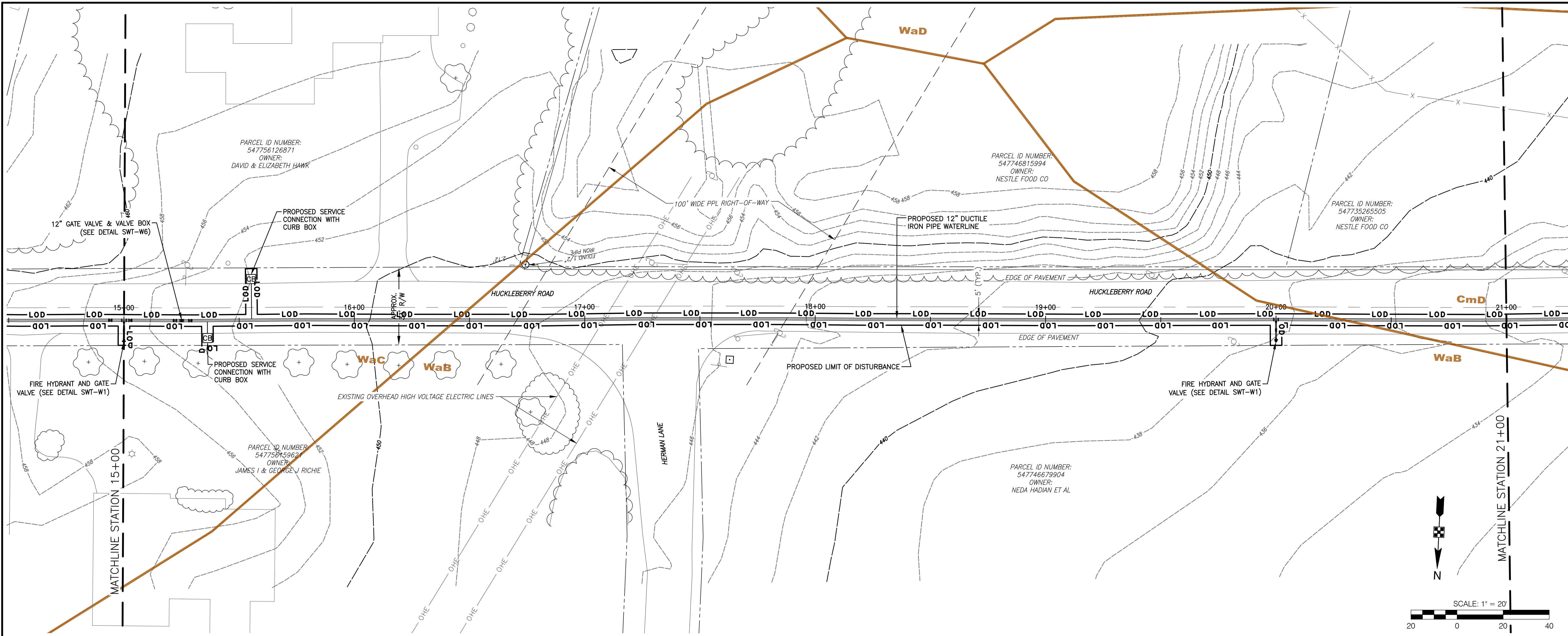
**Nestlé PURINA**  
 Engineering  
 2050 POPE ROAD ALLENTOWN, PA 18104  
 SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA

**NEW MUNICIPAL WATER SERVICE  
 NPPC ALLENTOWN, PA FACILITY  
 EROSION & SEDIMENTATION CONTROL PLAN  
 FINAL LAND DEVELOPMENT PLAN  
 STATION 9+00 - 15+00**

PLANT ALLENTOWN, PA	BLOC. NO. 00	AREA NO. 671
DRAWING NUMBER	4-671-C003-05	REVISION
		5





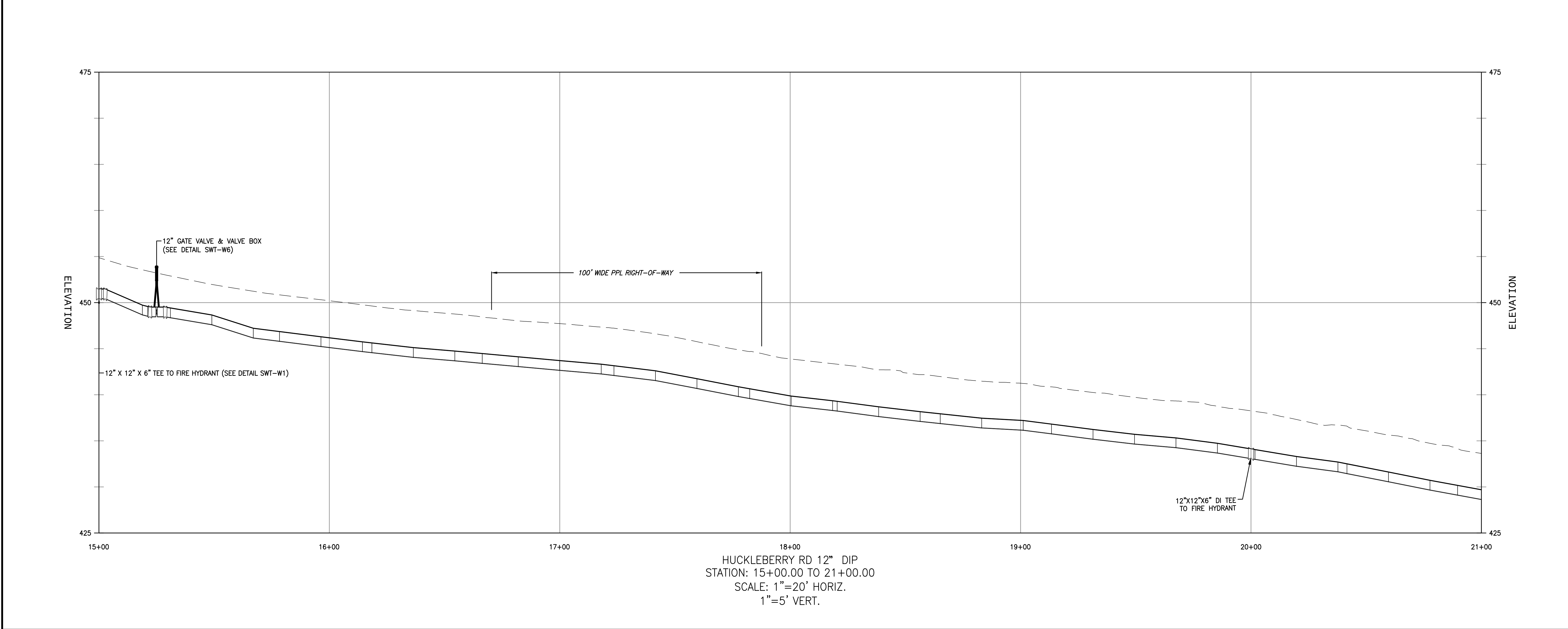


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- SAN — PROPOSED SANITARY LINE
- UE — PROPOSED RELOCATED UNDERGROUND ELECTRIC
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- FS — PROPOSED TOWNSHIP EASEMENT
- FS — PROPOSED COMPOST FILTER SOCK
- PSIP — PROPOSED STORM WATER INLET PROTECTION
- PSAL — PROPOSED SPOILS AREA LIMITS
- PSAL — PROPOSED STOCKPILE AREA LIMITS

**Soil Type Legend (WaC)**

- Soil Boundary
- Existing Easement Line
- Approximate Property Line
- Existing Sign
- Existing Fence
- Existing Guidrail
- Existing Natural Gas Line
- Abandoned Natural Gas Pipe
- Existing Underground Fiberoptic
- Existing Telephone/Communications
- Existing Underground Electric
- Existing Storm Water Pipe
- Existing Sanitary Pipe
- Existing Waterline
- Existing Fire Protection Waterline
- Existing Water Supply Well
- Existing Fire Hydrant
- Existing Water Valve
- Existing Post Indicator Valve
- Existing Electric Box
- Existing Utility Pole
- Existing Light Post
- Existing Mechanical Pump
- Existing Storm Inlet
- Benchmark



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HUCKLEBERRY RD 12" DIP  
STATION: 15+00.00 TO 21+00.00  
SCALE: 1"=20' HORIZ.  
1"=5' VERT.

PREPARED BY: Penn E&R Environmental & Remediation, Inc. 400 OLD DUBLIN PIKE, DOYLESTOWN, PA 18901. 215-897-9000

REVISION	BY	APP'D BY	DATE	DESCRIPTION
3B				60% DESIGN REVIEW SUBMITTAL
3A				60% DESIGN REVIEW SUBMITTAL
5	SMH	AMY	01-09-24	REVISED PER TOWNSHIP COMMENTS
4	SMH	AMY	11-17-23	REVISED PER TOWNSHIP COMMENTS/90% DESIGN REVIEW SUBMITTAL

REVISION	BY	APP'D BY	DATE	DESCRIPTION
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3A	TPM	AMY	06-20-23	60% DESIGN REVIEW SUBMITTAL
5	TPM	AMY	05-05-23	60% DESIGN REVIEW SUBMITTAL
4	TPM	AMY	03-22-23	30% DESIGN SUBMITTAL

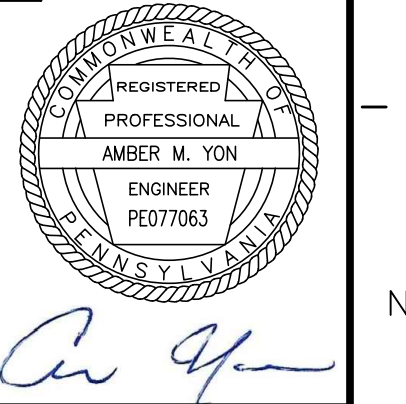
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**Nestlé PURINA Engineering**  
2050 POPE ROAD ALLENTOWN, PA 18104  
SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA

DATE: 12-12-2023  
MADE BY: S. HEINZE  
SCALE: 1"=20'  
APP'D BY: S. DONOVAN  
ENGR: A. YON  
PRINTED: 01-16-2024

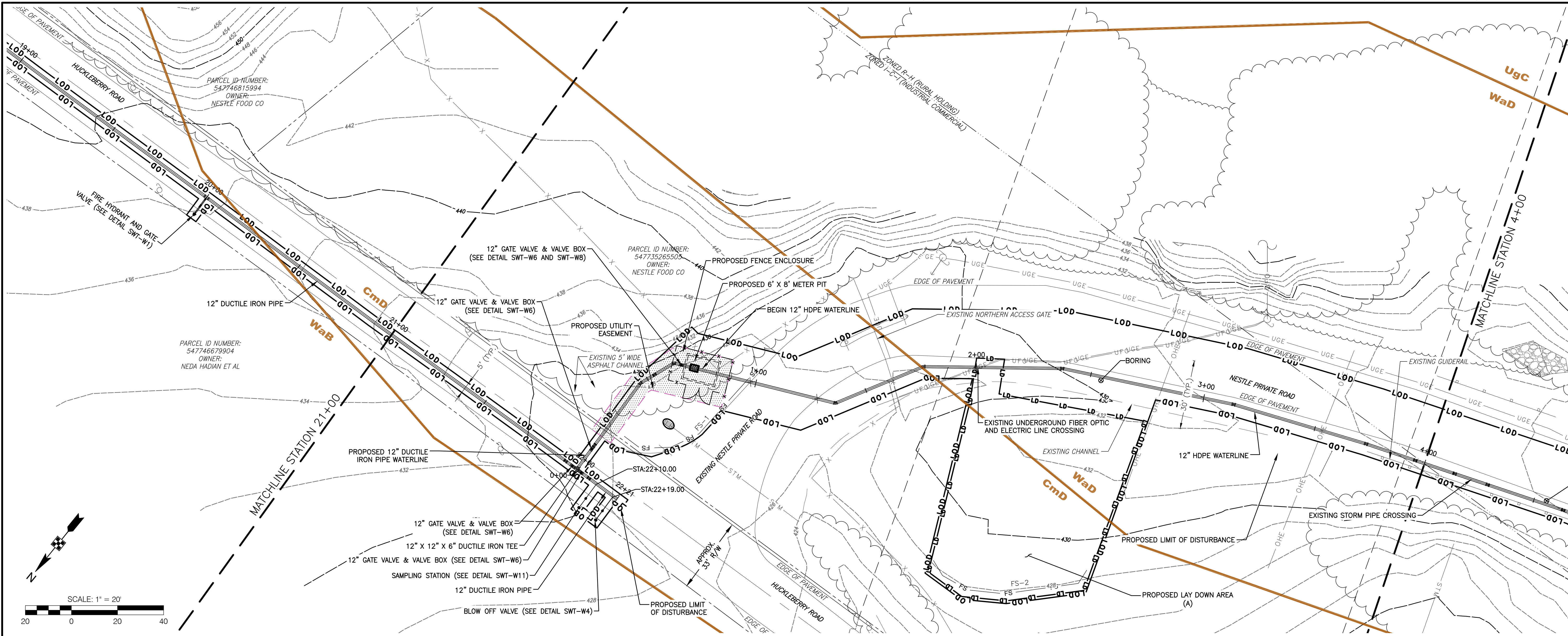
**NEW MUNICIPAL WATER SERVICE NPPC ALLENTOWN, PA FACILITY EROSION & SEDIMENTATION CONTROL PLAN FINAL LAND DEVELOPMENT PLAN STATION 15+00 - 21+00**

PLANT: ALLENTOWN, PA	BLOC. NO. 00	AREA NO. 671
DRAWING NUMBER: 5-671-C004-05	REVISION: 5	



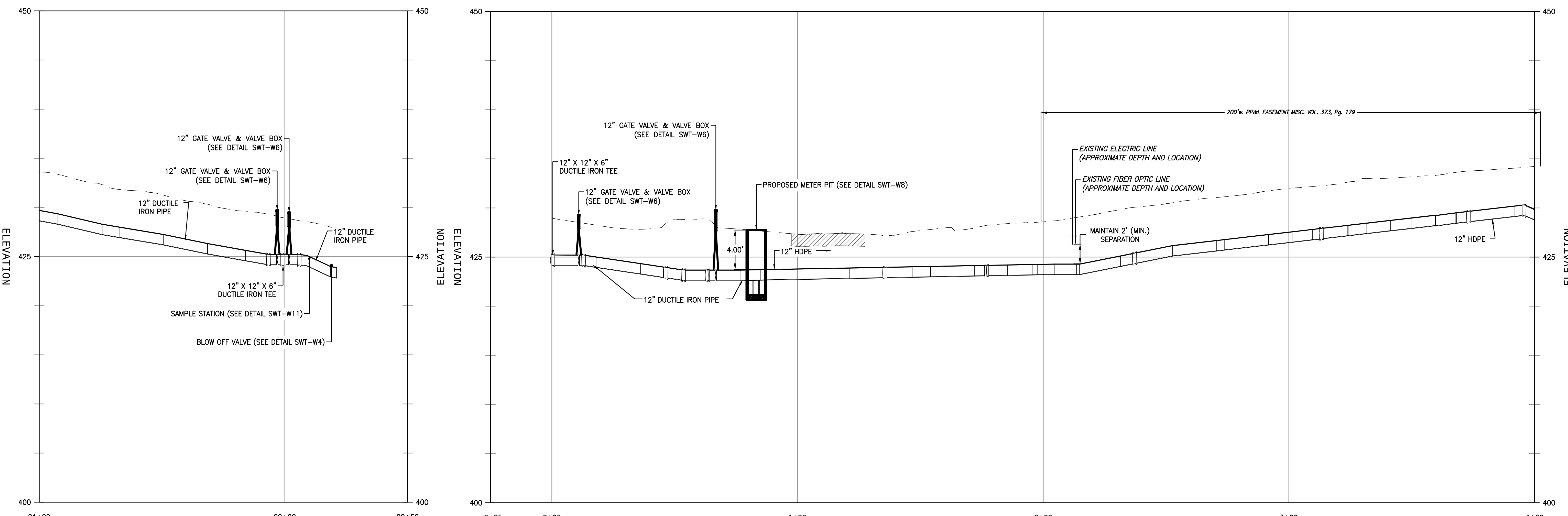
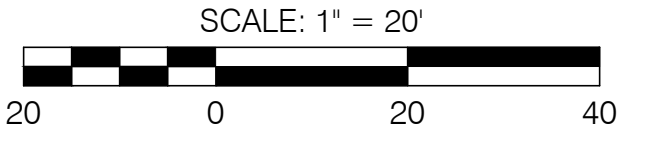
File: G:\PROJECT FILES\GRAPHICS\HA9218 - NESTLE - ALL WATERLINE DESIGN\CAD\DRAWINGS\LAYOUT SHEETS\TOWNSHIP PLANS\HA9218 WATER LINE - TWP Saved: 15-Jan-24 13:28 By: Sheinze





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- LOD — PROPOSED LIMIT OF DISTURBANCE AND NPDES BOUNDARY (4.33 ACRES)
  - LD — PROPOSED LAYDOWN AREA
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  - FS — PROPOSED COMPOST FILTER SOCK
  - SWIP — PROPOSED STORM WATER INLET PROTECTION
  - SL — PROPOSED SPOILS AREA LIMITS
  - SLA — PROPOSED STOCKPILE AREA LIMITS

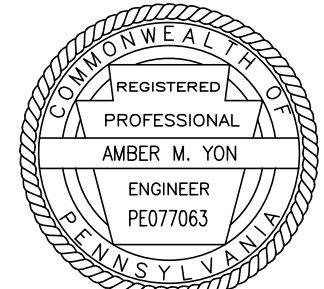
- WAC**
- SOIL TYPE
  - SOIL BOUNDARY
  - EXISTING EASEMENT LINE
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  - EXISTING SIGN
  - EXISTING FENCE
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  - EXISTING LIGHT POST
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  - EXISTING STORM INLET
  - BENCHMARK



HUCKLEBERRY RD 12" DIP  
STATION: 21+00.00 TO 22+50.00  
SCALE: 1"=20' HORIZ.  
1"=5' VERT.

Nestlé 12" HDPE  
STATION: -0+25.00 TO 4+00.00  
SCALE: 1"=20' HORIZ.  
1"=5' VERT.

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PREPARED BY:  
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 Environmental & Remediation, Inc.  
 400 OLD DUBLIN PIKE, DOYLESTOWN, PA 18041  
 215-897-9000

REVISION	BY	APP'D BY	DATE	DESCRIPTION
3B				60% DESIGN REVIEW SUBMITTAL
3A				60% DESIGN REVIEW SUBMITTAL
5	SMH	AMY	01-09-24	2 REVISED PER TOWNSHIP COMMENTS
4	SMH	AMY	11-17-23	1 REVISED PER TOWNSHIP COMMENTS/90% DESIGN REVIEW SUBMITTAL

REVISION	BY	APP'D BY	DATE	DESCRIPTION
SMH	AMY		09-13-23	30% DESIGN REVIEW SUBMITTAL
TPM	AMY		06-20-23	60% DESIGN REVIEW SUBMITTAL
TPM	AMY		05-05-23	90% DESIGN REVIEW SUBMITTAL
TPM	AMY		03-22-23	30% DESIGN SUBMITTAL

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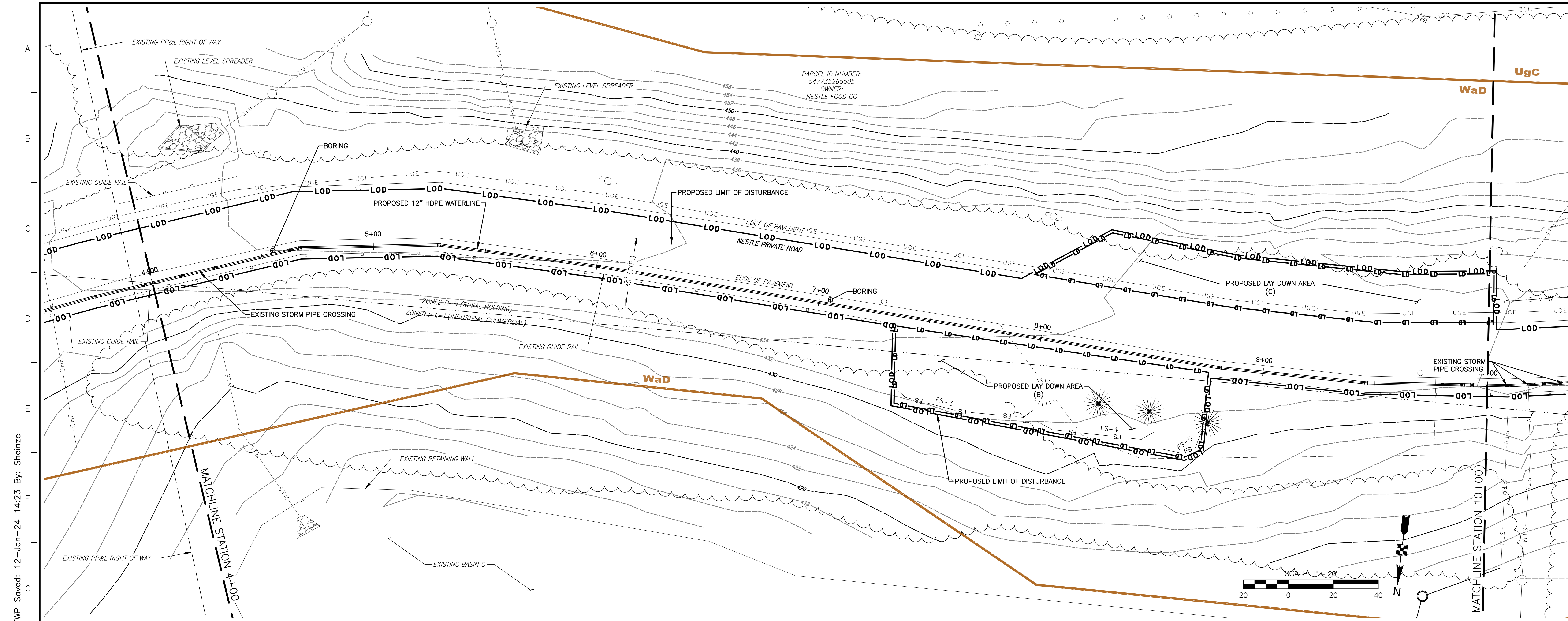
DATE 12-12-2023  
 MADE BY S. HEINZE  
 SCALE 1"=20'  
 BY S. DONOVAN  
 PROJ ENGR A. YON  
 PRINTED 01-16-2024

**NEW MUNICIPAL WATER SERVICE  
 NPPC ALLENTOWN, PA FACILITY  
 EROSION & SEDIMENTATION CONTROL PLAN  
 FINAL LAND DEVELOPMENT PLAN  
 STA 21+00 - 22+50 & -0+25 - 4+00**

PLANT ALLENTOWN, PA	BLOC. NO. 00	AREA NO. 671
DRAWING NUMBER	6-671-C005-05	REVISION
		5

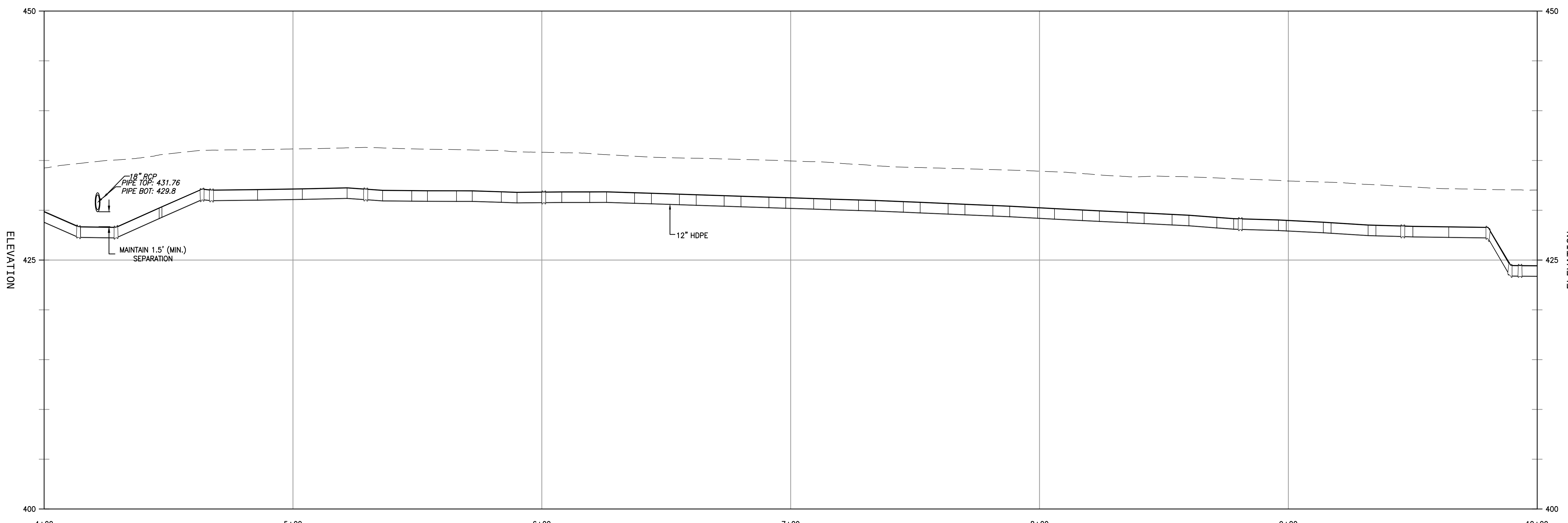
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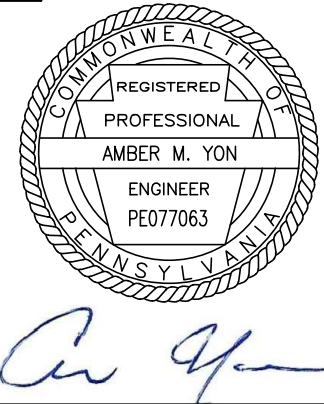
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PREPARED BY:

400 OLD DUBLIN PIKE, DOYLESTOWN, PA 18041  
215-897-9000

REVISION	BY	APP'D BY	DATE	REVISION	BY	APP'D BY	DATE
5	SMH	AMY	01-09-24	2	SMH	AMY	09-13-23
4	SMH	AMY	11-17-23	1	SMH	AMY	06-20-23

REVISION	BY	APP'D BY	DATE
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	TPM	AMY	03-22-23

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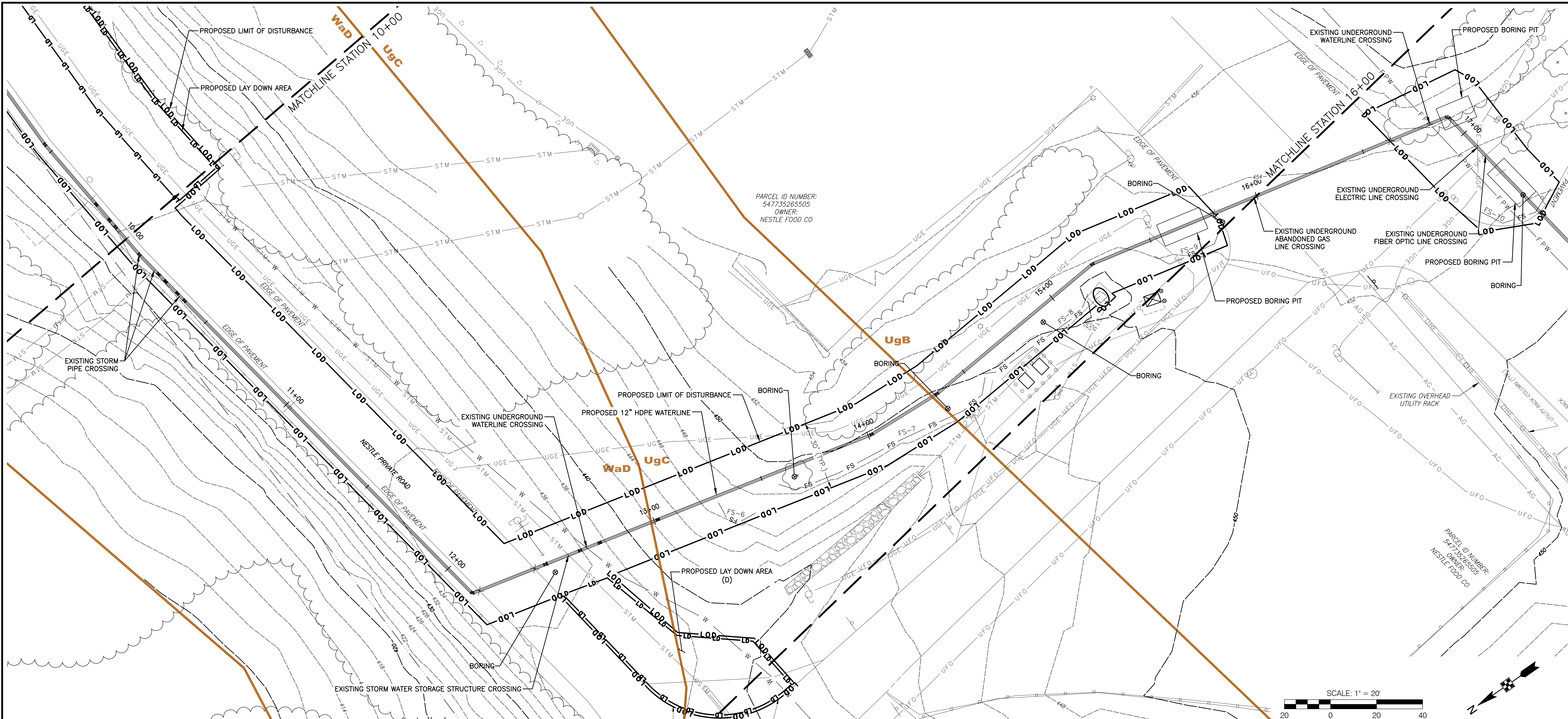
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FINAL LAND DEVELOPMENT PLAN  
STATION 4+00 - 10+00**

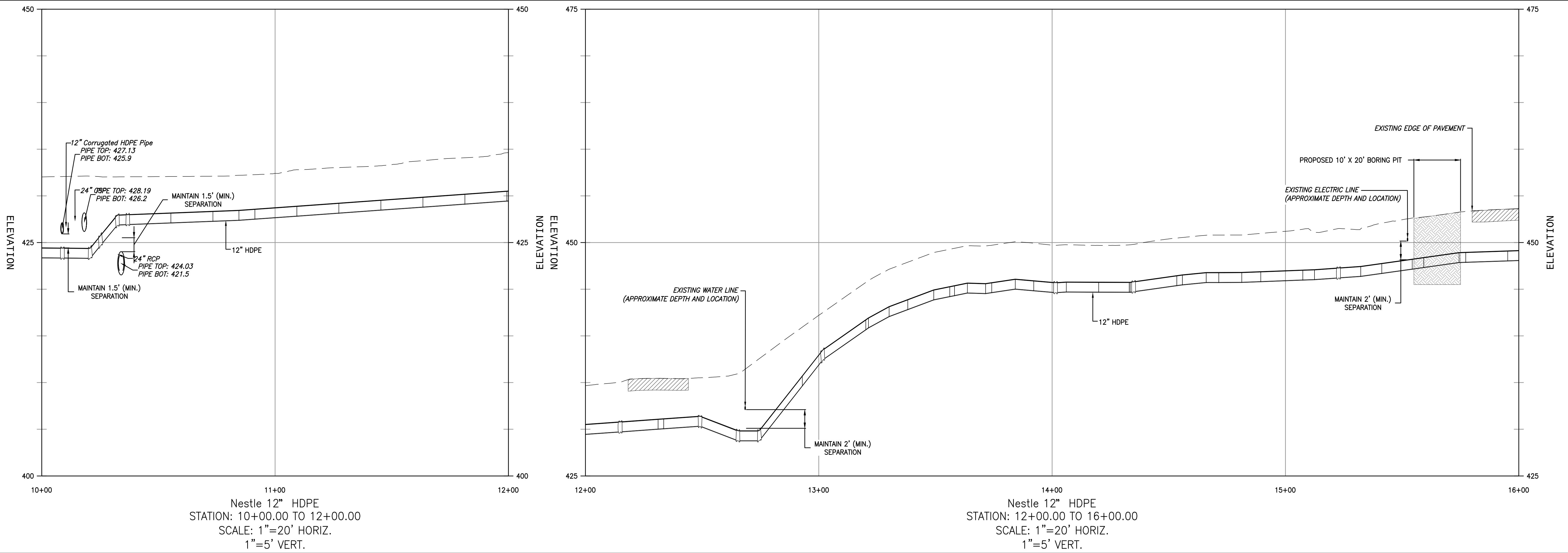
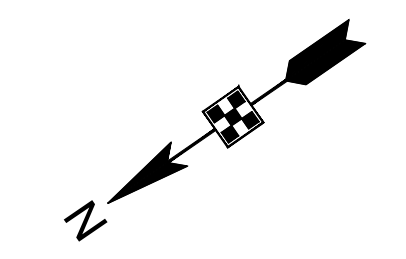
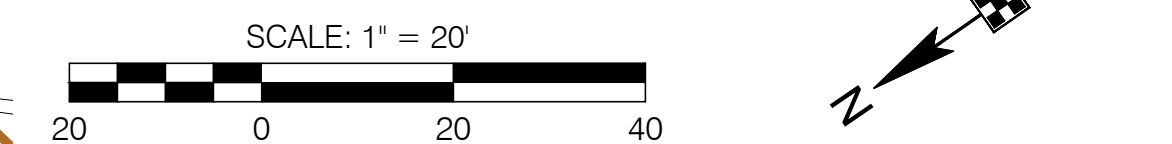
PLANT ALLENTOWN, PA BLOG. NO. 00	AREA NO. 671
DRAWING NUMBER <b>7-671-C006-05</b>	REVISION <b>5</b>





- LEGEND**
- LOD — PROPOSED LIMIT OF DISTURBANCE AND NPDES BOUNDARY (4.33 ACRES)
  - LD — PROPOSED LAYDOWN AREA
  - SAN — PROPOSED SANITARY LINE
  - UE — PROPOSED RELOCATED UNDERGROUND ELECTRIC
  - W — PROPOSED RELOCATED WATER LINE
  - FS — PROPOSED WATER SERVICE WITH CURB BOX
  - X — PROPOSED FENCE AT WATER METER STATION
  - FS — PROPOSED TOWNSHIP EASEMENT
  - FS — PROPOSED COMPOST FILTER SOCK
  - — PROPOSED STORM WATER INLET PROTECTION
  - — PROPOSED SPOILS AREA LIMITS
  - — PROPOSED STOCKPILE AREA LIMITS

- Wac**
- SOIL TYPE
  - SOIL BOUNDARY
  - EXISTING EASEMENT LINE
  - APPROXIMATE PROPERTY LINE
  - EXISTING SIGN
  - EXISTING FENCE
  - EXISTING GUIDERAIL
  - EXISTING NATURAL GAS LINE
  - ABANDONED NATURAL GAS PIPE
  - EXISTING UNDERGROUND FIBEROPTIC
  - EXISTING TELEPHONE/COMMUNICATIONS
  - EXISTING UNDERGROUND ELECTRIC
  - STM — EXISTING STORM WATER PIPE
  - SAN — EXISTING SANITARY PIPE
  - W — EXISTING WATERLINE
  - F.P.W. — EXISTING FIRE PROTECTION WATERLINE
  - EXISTING WATER SUPPLY WELL
  - EXISTING FIRE HYDRANT
  - EXISTING WATER VALVE
  - EXISTING POST INDICATOR VALVE
  - EXISTING ELECTRIC BOX
  - EXISTING UTILITY POLE
  - EXISTING LIGHT POST
  - EXISTING MECHANICAL PUMP
  - EXISTING STORM INLET
  - BENCHMARK



LAYDOWN AREA:	SQUARE FEET:	ACRES:
A	6,233	0.14309
B	5,078	0.11657
C	4,219	0.09685
D	2,501	0.05741
E	14,496	0.33278
<b>TOTAL:</b>	<b>32,527</b>	<b>0.7467</b>

Nestle 12" HDPE  
STATION: 10+00.00 TO 12+00.00  
SCALE: 1"=20' HORIZ.  
1"=5' VERT.

Nestle 12" HDPE  
STATION: 12+00.00 TO 16+00.00  
SCALE: 1"=20' HORIZ.  
1"=5' VERT.

PREPARED BY: **Penn E&R**  
Environmental & Remediation, Inc.  
400 OLD DUBLIN PIKE, DOYLESTOWN, PA 18041  
215-897-9000

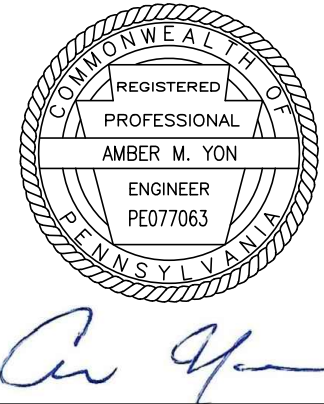
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3A				60% DESIGN REVIEW SUBMITTAL	TPM	AMY	06-20-23
5				REVISED PER TOWNSHIP COMMENTS	SMH	AMY	01-09-24
4				REVISED PER TOWNSHIP COMMENTS/90% DESIGN REVIEW SUBMITTAL	SMH	AMY	11-17-23
				30% DESIGN SUBMITTAL	TPM	AMY	03-22-23

**Nestlé PURINA**  
Engineering  
2050 POPE ROAD ALLENTOWN, PA 18104  
SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA

DATE: 12-12-2023  
MADE BY: S. HEINZE  
SCALE: 1" = 20'  
BY: S. DONOVAN  
PROJ ENGR: A. YON  
PRINTED: 01-15-2024

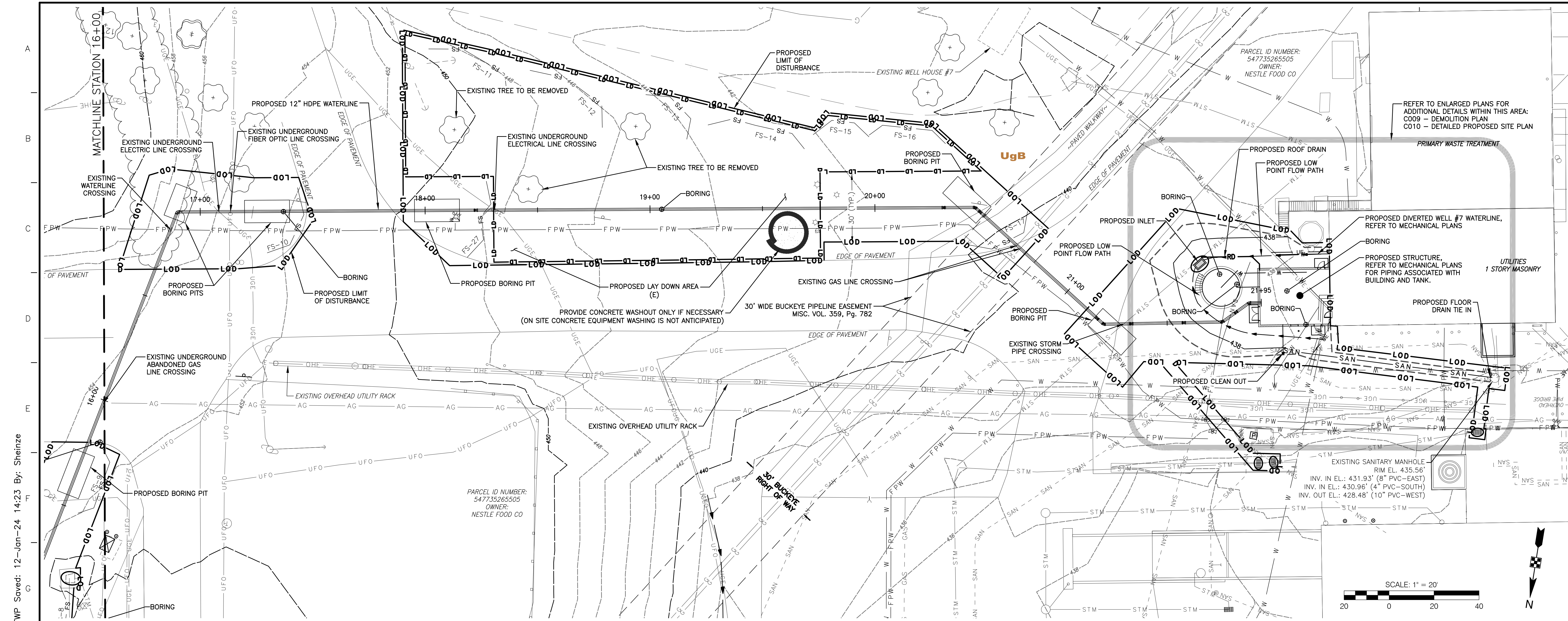
**NEW MUNICIPAL WATER SERVICE  
NPPC ALLENTOWN, PA FACILITY  
EROSION & SEDIMENTATION CONTROL PLAN  
FINAL LAND DEVELOPMENT PLAN  
STATION 10+00 - 16+00**

PLANT ALLENTOWN, PA  
BLOG. NO. 00 AREA NO. 671  
DRAWING NUMBER  
**8-671-C007-05**  
REVISION  
**5**



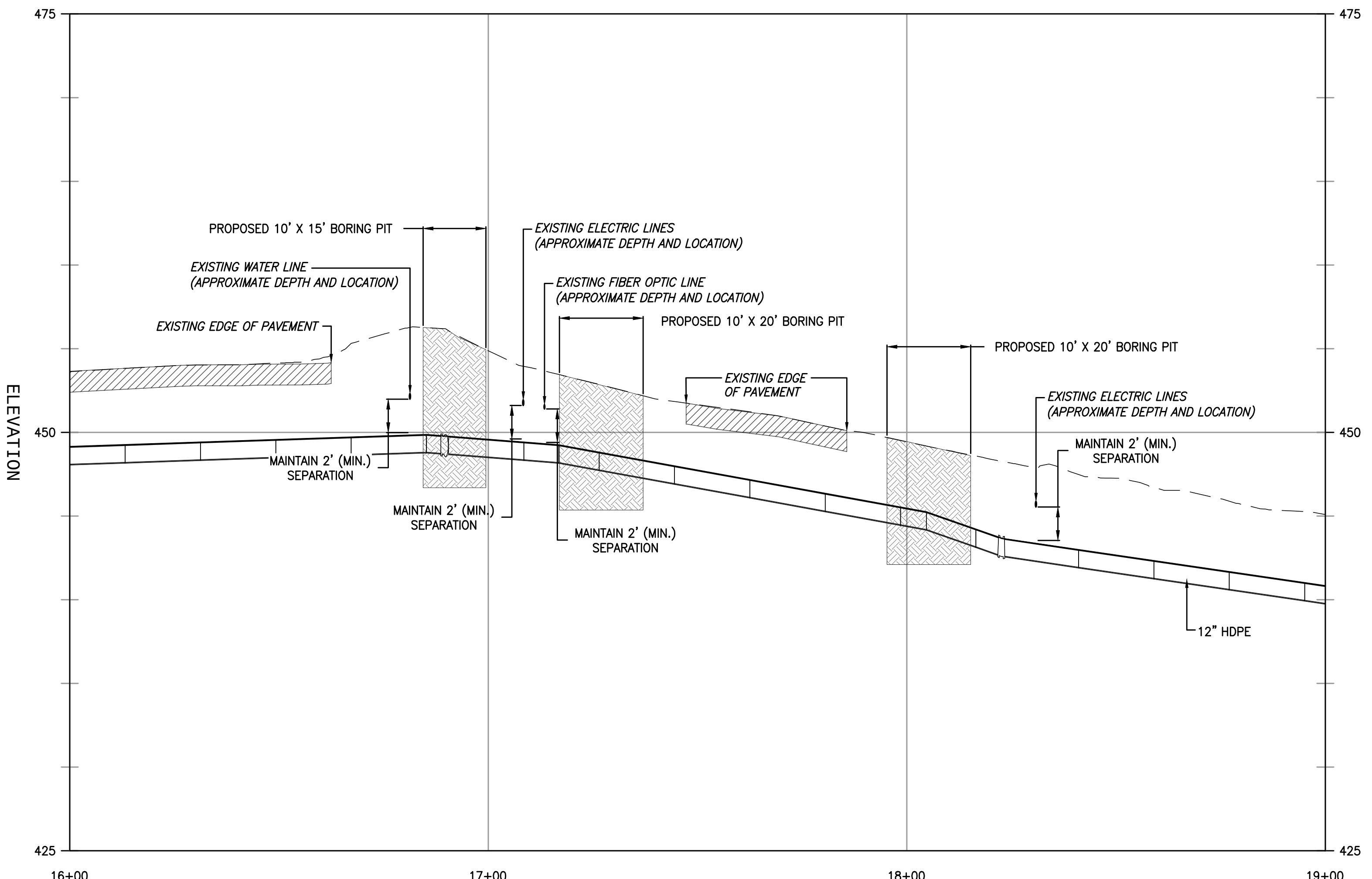
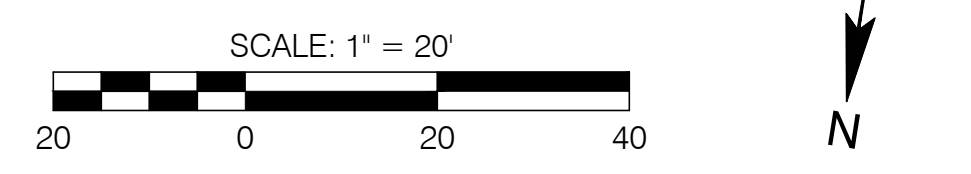
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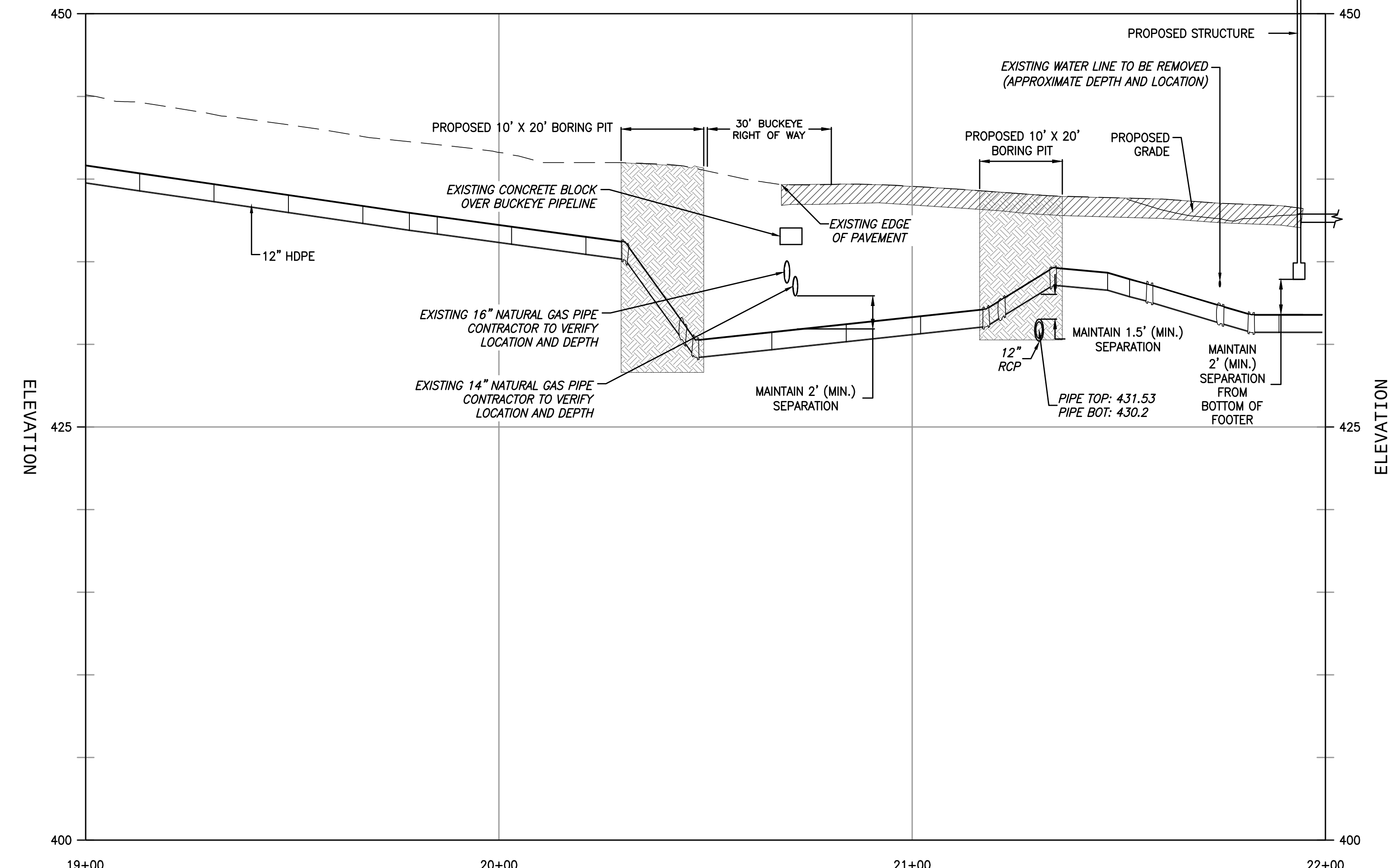


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PREPARED BY: **Penn E&R**  
Environmental & Remediation, Inc.  
400 OLD DUBLIN PIKE, DOYLESTOWN, PA 18901  
215-897-9000

REVISION	BY	APP'D BY	DATE	REVISION	BY	APP'D BY	DATE
3B				60% DESIGN REVIEW SUBMITTAL	SMH	AMY	09-13-23
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4				REVISED PER TOWNSHIP COMMENTS/90% DESIGN REVIEW SUBMITTAL	SMH	AMY	11-17-23

**Nestlé PURINA**  
Engineering  
2050 POPE ROAD ALLENTOWN, PA 18104  
SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA

DATE: 12-12-2023  
MADE BY: S. HEINZE  
BY: S. DONOVAN  
PROJ ENGR: A. YON  
PRINTED: 01-15-2024

**NEW MUNICIPAL WATER SERVICE  
NPPC ALLENTOWN, PA FACILITY  
EROSION & SEDIMENTATION CONTROL PLAN  
FINAL LAND DEVELOPMENT PLAN  
STATION 16+00 - 22+00**

PLANT ALLENTOWN, PA BLOC. NO. 00	AREA NO. 671
DRAWING NUMBER <b>9-671-C008-05</b>	REVISION <b>5</b>



**PROJECT NARRATIVE**  
**FOR**  
**NESTLE PURINA PETCARE, ALLENTOWN, PA**  
**FACILITY – NEW MUNICIPAL WATER SERVICE**

South Whitehall Township, Lehigh County, Pennsylvania

The proposed development consists of the construction of a +-4,400 LF water line and associated tank and mechanical building. Construction of the water line will reduce the demand on the site's existing wells. The water line connection point is in the intersection of Huckleberry Road and Wehr Mill Road and will extend west along the north side of Huckelberry Road for +-2,200 LF, then turning south into the Nestle Purina plant and extending an additional +-2,200 LF to the proposed mechanical building within the plant. The plant's needs can be served by an 8" line, however, Township staff has previously requested that the line be upsized to a 12" ductile iron pipe within the Huckleberry Road right-of-way.

The only above-ground structures proposed are the 832 SF (32' x 26') mechanical building and adjacent 40,000 gallon water surge tank (12' diameter, 47' high). These structures are located on an existing paved area, therefore, no impervious increase is proposed for these structures. An increase of approximately 400 SF of impervious cover is proposed to accommodate radius improvements at the site driveway near the water line's entry point into the property.

The project will not impact employee counts, traffic or parking demand. The site is served by an existing private wastewater treatment plant. The proposed disturbance associated with this project is approximately 4.5 acres, therefore, an NPDES permit is required for this work, and will be submitted to the Lehigh County Conservation District shortly.



MEMORANDUM

TO: Mr. Gregg R. Adams via e-mail  
Planner, Community Development Department  
South Whitehall Township

FROM: Mr. Anthony F. Tallarida, PE *AFT*  
Manager, Municipal Engineering Services

SUBJECT: South Whitehall Township  
NPPC Allentown PA Facility  
New Municipal Water Service  
Major Plan #2023-105  
Preliminary/Final Plan Review

DATE: February 1, 2024

COPIES: Mr. Thomas R. Petrucci, MPA  
Township Manager  
South Whitehall Township

Mr. David Manhardt, AICP  
Director of Community Development  
South Whitehall Township

Mr. Herb Bender  
Director of Township Operations  
South Whitehall Township

Mr. Mike Elias  
Public Works Utility and MS4 Program Coordinator  
South Whitehall Township

Ms. Tracy J.B. Fehnel  
Insurance Administrator & Executive Assistant  
South Whitehall Township

Ms. Laura M. Harrier, BCO  
Building Code Official/Zoning Officer  
South Whitehall Township

Mr. John G. Frantz, CFEI, BCO  
Fire Marshal, Building Code Official  
South Whitehall Township

Joseph A. Zator, II, Esq.  
South Whitehall Township Solicitor  
Zator Law

Jennifer R. Alderfer, Esq.  
Assistant South Whitehall Township Solicitor  
Zator Law

Mr. Christopher Williams, P.E.  
Senior Project Manager  
Barry Isett & Associates, Inc.

Mr. Brian Blanck  
Nestle Purina PetCare

(all via e-mail)

Mr. Ronald J. Gawlik, PE, Township Engineer

**REPORT:****South Whitehall Township Ordinances:**

Zoning Ordinance (ZO)

Subdivision and Land Development Ordinance (SALDO)

Stormwater Management Ordinance (SMO)

See attached list for documents reviewed.

**Proposal:**

Installation of 12” DIP Waterline from the Huckleberry Road and Wehr Mill Road intersection to Nestle Private Road entrance;

Installation of 12” DIP Waterline from Nestle Private Road entrance to Proposed Mechanical Building;

832 s.f. Mechanical Building and 40,000 gal. Water Surge Tank;

We note that the Plans identify a proposed 28’x32’ Maintenance Pole Building (Sheet 18). Based upon discussion with the Township, we understand that this Building and Sheet 18 were removed from the current project proposal. The following comments do not relate to the Maintenance Pole Building; and

**Waivers/Deferrals Granted:**

None to date.

**Recommendation:**

The following comments relate to our review of the Plans as it relates to the Township Ordinances. As this project is primarily a public waterline extension project, we defer any recommendation on Plan approval to the Township Utility Engineer. Further, we understand that any legal agreements relating to connection, allocation, fees, maintenance, etc. are to be discussed and agreed upon prior to the Plan being presented to the Board of Commissioners for consideration.

erb/laf

Enclosures



South Whitehall Township  
 NPPC Allentown PA Facility  
 New Municipal Water Service  
 Major Plan #2023-105  
 Preliminary/Final Plan Review

February 1, 2024

## **REVIEW COMMENTS**

### **A. Planning**

1. Waivers and Deferrals requested by the Design Engineer in a letter last revised January 16, 2024:
  - a. SALDO §312-12(b)(15) – Waiver of the requirement to show contours on the entire tract and on adjacent land within 400 feet of the tract;
  - b. SALDO §312-12(b)(21) – Waiver of the requirement to show all sidewalks, trails, driveways, streets, easements, and right-of-way platted or existing within 400 feet of the tract;
  - c. SALDO §312-12(b)(17) – Waiver of the requirement to show the names of owners of immediately adjacent land, and the names of the existing or proposed subdivisions;
  - d. SALDO §312-12(b)(14) – Waiver of the requirement to show bearings and distances of the boundaries of the tract;
  - e. SALDO §312-12(b)(20) – Waiver of the requirement to show the location, character, and elevation of any building within 100 feet of the tract;
  - f. SALDO §312-35(b)(3) – Deferral of the requirement for roadway improvements along all public streets adjacent to the tract;
  - g. SALDO §312-41(a)(1)(A) – Deferral of the requirement of the installation of street lights; and
  - h. SALDO §312-12(b)(19) – Waiver of the requirement to show the names of owners, parcel ID numbers, existing buildings, water mains, culverts, storm sewers, petroleum products lines, gas lines, transmission lines, fire hydrants, underground tanks, wells, septic systems within 100 feet of the tract.

We note that the Planning Commission recommended these waivers/deferrals at its October 19, 2023 public meeting.

In the event that waivers/deferrals are granted, a note should be added to the Plans to be recorded listing the ordinance sections and should indicate the dates of approval and the Board which took the action; and

2. As discussed with Township Staff, we understand the Applicant has requested to remove Sheet 18 from the Plan set. Revise the Key Map and Index to Drawings as necessary.

**B. General**

1. Show the number of parking spaces and employees on the Plans, SALDO §312-12(b)(8)(I);
2. Based on discussions with Township Staff, a Truck (M4-4) and No Right Turn (R3-1) sign assembly should be placed at the Nestle Private Road driveway near the access gate;
3. Obtain any necessary easements for the proposed waterline outside of the Huckleberry Road right-of-way and show these easements on the Plans, SALDO §312-12(b)(25) and §312-12(b)(26). Provide descriptions for and record deeds of easement or dedication to the satisfaction of the Township Solicitor. We note that the Limit of Disturbance and its contents extend beyond the right-of-way on several properties (e.g., Cannon, Neda Hadian et.al, etc.);
4. Revise the Zoning Map to include the extents of the project scope, SALDO §312-12(b)(9)(D);
5. Revise the Township Standard Construction Details to remove all references to “The Pidcock Company” shown on the Construction Details Sheets; and
6. Provide Landscaping Plans, SALDO §312-12(b)(36).

**C. Policy and Information**

1. Provide a note listing all required outside agency permits and dates of their approvals on a plan to be recorded. These Agencies/permits include, but may not necessarily be limited to:
  - a. LVPC, SALDO §312-12(a)(10) and §312-14(a)(6);
  - b. PADEP, SALDO §312-12(a)(12) and §312-14(a)(8);
  - c. LCCD, SALDO §312-12(a)(13) and §312-14(a)(9); and
  - d. LANTA, SALDO §312-12(a)(14) and §312-14(a)(10).
2. The Township should determine whether open space, or fees in lieu thereof, will be required, and an appropriate note added to a plan to be recorded, SALDO §312-34(d) and §312-36(d);

3. Prior to plan recording, the Plans should be consistent with the Township Recording Land Development Plans and Documents requirements. We note the following:
  - a. Identify the size of the plan sheet on the upper left-hand corner of each Plan, SALDO §312-12(b)(2); and
  - b. Identify the Parnum with the Parcel Identification Numbers shown on the Plans.
4. Address any concerns of the Township Public Safety Commission;
5. Discuss matters pertaining to the design of water distribution with the Township Department of Public Works, SALDO §312-12(a)(6)(C);
6. We have not reviewed and would defer to the Township Fire Marshal and emergency response personnel regarding the acceptability of emergency access and fire protection requirements;
7. We defer to the Township Geotechnical Consultant for the review of all geotechnical aspects of the design;
8. Obtain permission from Buckeye Pipeline for any work within its easement and provide all correspondence to the Township and our office;
9. Copies of any deed restrictions associated with the PPL and Buckeye Pipeline easements should be provided, SALDO §312-12(a)(4); and
10. Upon submission of plans for recording, all Statements and Certifications shall be signed and sealed/notarized as applicable, SALDO §312-14(b)(2).

The comments noted above are the result of our engineering review. We have not reviewed items associated with legal, zoning, geotechnical, lighting, water/sanitary sewerage systems, environmental, frontage streetscape improvements, building code, public safety, and other non-engineering issues, which should be reviewed by the appropriate Township Staff and Consultants.



South Whitehall Township  
 NPPC Allentown PA Facility  
 New Municipal Water Service  
 Major Plan #2023-105  
 Preliminary/Final Plan Review

List of Plans and Supplemental Information  
 Prepared by Barry Isett & Associates, Inc. and  
 dated or last revised January 9, 2024 (except as noted)

1. Title Sheet, Sheet 1 of 18;
2. Water Line Plan and Profile View – Huckleberry Rd. (Sta. -0+10 – 3+00), Sheet 2 of 18 (cursory review only);
3. Water Line Plan and Profile View – Huckleberry Rd. (Sta. 3+00 – 9+00), Sheet 3 of 18 (cursory review only);
4. Water Line Plan and Profile View – Huckleberry Rd. (Sta. 9+00 – 15+00), Sheet 4 of 18 (cursory review only);
5. Water Line Plan and Profile View – Huckleberry Rd. (Sta. 15+00 – 21+00), Sheet 5 of 18 (cursory review only);
6. Water Line Plan and Profile View – Huckleberry Rd. (Sta. 21+00 – 22+50) & Nestle Private Rd. (Sta. -0+25 – 4+00), Sheet 6 of 18 (cursory review only);
7. Water Line Plan and Profile View – Nestle Private Rd. (Sta. 4+00 – 10+00), Sheet 7 of 18 (cursory review only);
8. Water Line Plan and Profile View – Nestle Private Rd. (Sta. 10+00 – 16+00), Sheet 8 of 18 (cursory review only);
9. Water Line Plan and Profile View – Nestle Private Rd. (Sta. 16+00 – 22+00), Sheet 9 of 18 (cursory review only);
10. Demolition Plan, Sheet 10 of 18 (cursory review only);
11. Detailed Proposed Site Plan, Sheet 11 of 18;
12. Construction Details, Sheets 12 and 13 of 18 (cursory review only);
13. Well House #6 Replacement Plan, Sheet 14 of 18;
14. Erosion and Sedimentation Control Details, Sheet 15 of 18;
15. Erosion & Sedimentation Control Notes (1 of 1), Sheet 16 of 18;
16. Spoils and Stockpile Areas Plan, Sheet 17 of 18;
17. Pole Building Plan, Sheet 18 of 18 (Sheet removed from Plan set);
18. Title Sheet – Post Construction Stormwater Management Plans, Sheet 1 of 8, dated September 21, 2023;
19. Water Line – PCSM – Huckleberry Road (Sta. -0+10 – 9+00), Sheet 2 of 8, dated September 21, 2023;

20. Water Line – PCSM – Huckleberry Road (Sta. 9+00 – 21+00), Sheet 3 of 8, dated September 21, 2023;
21. Water Line – PCSM – Huckleberry Road (Sta. 21+00 – 22+50) Nestle Private Road (Sta. 4+00 – 10+00), Sheet 4 of 8, dated September 21, 2023;
22. Water Line – PCSM – Nestle Private Road (Sta. 10+00 – 22+00), Sheet 5 of 8, dated September 21, 2023;
23. Well House #6 Replacement – PCSM Plans, Sheet 6 of 8, dated September 21, 2023;
24. Spoils and Stockpile Area – PCSM Plans, Sheet 7 of 8, dated September 21, 2023;  
and
25. Supplemental Plantings – PCSM Plans, Sheet 8 of 8, dated September 21, 2023.

In addition, we have received the following information in support of the Application:

1. Letter of Transmittal to Township, dated January 16, 2024;
2. Copy of Check No. 0031979351 made payable to South Whitehall Township, dated November 30, 2023;
3. Subdivision & Land Development Review Application, dated January 15, 2024;
4. Waiver Request Letter to Township, last revised January 16, 2024;
5. Land Development Response Letter, dated January 16, 2024;
6. Lehigh Valley Planning Commission Review letter, dated September 29, 2023; and
7. Water Service Request letter, prepared by Spotts, Stevens and McCoy, dated July 25, 2022.

**Spotts, Stevens and McCoy**

Roma Corporate Center, Suite 106  
1605 N. Cedar Crest Blvd. > Allentown PA 18104  
610.849.9700 > F. 610.621.2001 > SSMGROUP.COM



January 26, 2024

Mr. Gregg Adams, Planner  
South Whitehall Township  
4444 Walbert Avenue  
Allentown PA 18104

Re: Nestles Purina New Municipal Water Service NNPC Allentown, PA Facility.  
Land Development # 2023-105  
Review of Preliminary Plan 01/09/2024 Revision 5  
SSM File 103400.0044

Dear Mr. Adams:

This correspondence is provided as a review of the Preliminary Land Development Plan submitted for the above referenced project revised on 1/9/2024. The project is new municipal water service to Nestle Facility. We have the following comments regarding the water utilities:

General Comments:

No comments

Water Comments:

Add SSM Std. Detail Air Release Detail W-16 to detail sheet.

Please contact us should you have any questions, or require any additional information regarding our comments.

Sincerely,  
Spotts, Stevens and McCoy

A handwritten signature in blue ink that reads 'Jason M. Newhard'.

Jason M. Newhard, CCM, LO  
Manager, Construction Mgt. Services  
Environmental Engineering  
[jason.newhard@ssmgroup.com](mailto:jason.newhard@ssmgroup.com)

cc: SWT, PW





# HanoverEngineering

252 Brodhead Road • Suite 100 • Bethlehem, PA 18017-8944  
Phone: 610.691.5644 • Fax: 610.691.6968 • HanoverEng.com

October 13, 2023

Mr. Gregg Adams, Planner  
South Whitehall Township  
4444 Walbert Avenue  
Allentown, PA 18104-1699

RE: Geotechnical Engineering Review of  
Provided Documents  
NPPC Allentown PA Facility New  
Municipal Water Service Major Plan 2023-105  
South Whitehall Township, Lehigh County,  
Pennsylvania  
Hanover Project SWT23-11(016)

Dear Mr. Adams:

Hanover Engineering (Hanover) has reviewed the information received on September 28, 2023 via electronic link. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following:

1. Project Narrative, prepared by Barry Isett & Associates, Inc (BIA), dated September 21, 2023.
2. Waiver request letter referenced as "NPPC Allentown, PA Facility -New Municipal Water Service", prepared by BIA, dated September 21, 2023.
3. Engineering plan set entitled "Nestle Purina Engineering NPPC Allentown, PA Facility New Municipal Water Service Civil-Municipal Water Line Preliminary/Final Land Development Plan", Sheets 671-T001-3B and 671-C001-3B through 671-C0015-3B (16 sheets total), prepared by BIA, dated June 20, 2023, last revised September 13, 2023.

Based on our review, it is our understanding that the proposed development consists of the construction of approximately 4,400 linear feet (lf) of water line and associated tank and mechanical building. The tank, mechanical building, and approximately 2,200 lf of water line are proposed to be constructed on the Nestle Purina property. The remaining 2,200 lf of water line is proposed to be constructed along Huckleberry Road to the connection point in the intersection of Huckleberry Road and Wehr Mill Road. We offer the following comments:

1. Section 312.12(b)(18) of the Subdivision and Land Development Ordinance: Provide and label the location of all significant features listed or provide a note stating which features do not exist on the site.

Mr. Gregg Adams  
Planner

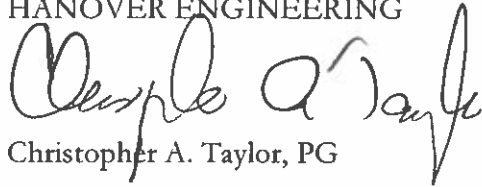
October 13, 2023

- 2. Section 312.12(b)(22) of the Subdivision and Land Development Ordinance: Soil types and mapped limits shall be depicted and labeled on the plans. A soil data table shall be provided.
- 3. Provide sinkhole mitigation details and specifications.
- 4. Provide a note stating the notification requirements and procedures upon the discovery of a sinkhole. At a minimum, notification to the Lehigh County Conservation District and South Whitehall Township shall be required.

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING

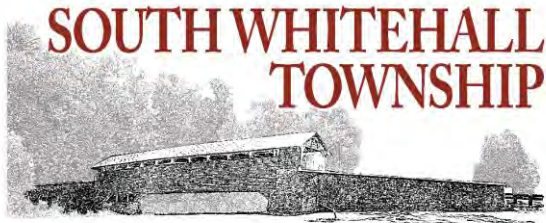


Christopher A. Taylor, PG

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S:\Projects\Municipal\WhitehallTownship\Sw123-11(016)-NPPCAllentownPAFacilityNewMunicipalWaterServiceMajorPlan2023-105\Docs\2023-10-13-SWT Geotech, Nestle Purina new muni water service geotech review cmt ltr 1.doc

- cc: Mr. Dave Manhardt, Director of Community Development (via email)
- Mr. Herb Bender, Public Works Director (via email)
- Mr. Anthony F. Tallarida, PE, The Pidcock Company (via email)
- Mr. Mark Gnall, PE, The Pidcock Company (via email)
- Mr. Brian Blanck, Plant Manager, Nestle Purina Petcare
- Ms. Amber M. Yon, PE, Barry Isett & Associates, Inc.



**INTEROFFICE MEMORANDUM**

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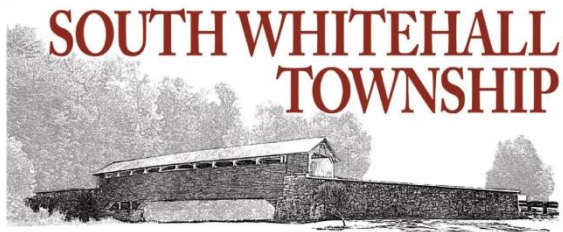
**TO: DAVE MANHARDT, DIRECTOR OF COMMUNITY DEVELOPMENT**  
**FROM: HERB BENDER, PUBLIC WORKS MANAGER**  
**DATE: JANUARY 18, 2024**  
**SUBJECT: NESTLE PURINA ALLENTOWN PA FACILITY NEW MUNICIPAL WATER SERVICE MAJOR PLAN 2023-105**

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The Public Works Dept. reviewed the above project and has the following comments:

1. Please verify all pipe sizes at Wehr Mill and Huckleberry intersection.
2. Must follow street excavation paving requirements.
3. Water meter must be Neptune Mach 10 with external antenna.
4. South Whitehall water can not be connected to internal onsite water at any point.
5. Please indicate if Township water will be used for fire protection.





## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Gregg Adams, Planner  
**DATE:** November 16, 2023  
**SUBJECT:** Subdivision Plan Review  
 NPPC Allentown PA Facility New Municipal Water Source  
 Major Plan 2023-105  
 Plan Dated September 13, 2023

**COPIES:** Parks and Recreation Board, T. Petrucci, L. Matula, D. Manhardt,  
 J. Alderfer, S. Pidcock, A. Tallarida, Applicant

At their November 13, 2023 meeting, the Parks and Recreation Board reviewed the plan and determined the following:

The Parks and Recreation Board recommended that the developer pay fees in lieu of common open space land dedication to meet the open space and recreation requirements of Section 312-36(d)(4) of the Subdivision and Land Development Ordinance. The amount of fees to be paid in lieu of common open space land dedication in non-residential subdivision or land development shall be Twenty-Five Cents (\$0.25) per square foot of additional proposed impervious coverage (post-development impervious surface minus pre-development impervious surface). The developer shall show the additional impervious surface calculation within the Zoning Data Block of the site plan. The Parks and Recreation Board requested that the Board be updated when the impervious surface calculations are complete.

Respectfully submitted,

Gregg Adams, Planner  
 Community Development Department

# SOUTH WHITEHALL TOWNSHIP

4444 Walbert Avenue, Allentown, PA 18104-1699  
www.southwhitehall.com • (610) 398-0401

April 12, 2024

Nestle Purina PetCare  
Attn: Ryan Hammonds  
2050 Pope Road  
Allentown, PA 18104

**Re: *NPPC Allentown PA Facility New Municipal Water Service  
Major Plan 2023-105  
Application Completeness Review***

Gentlemen:

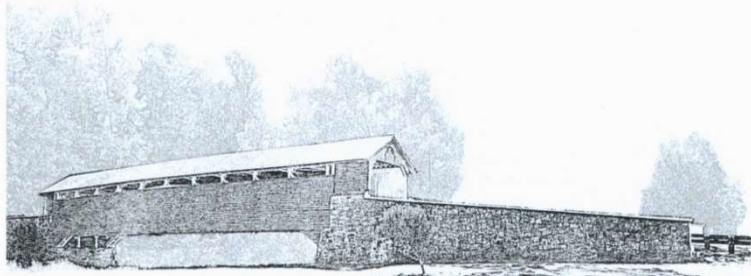
The purpose of this letter is to report zoning and non-engineering related comments that are to be addressed. My comments follow:

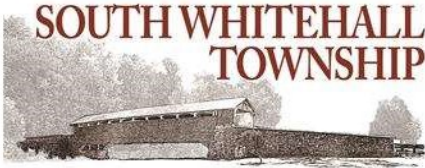
**A. Open Space and Recreation**

1. The plan will be forwarded to the Parks and Recreation Board for a recommendation on how the applicant might best meet the Open Space and Recreation Requirements of Section 312-36(d)(4) of the Subdivision and Land Development Ordinance. For nonresidential developments a fee shall be Twenty-Five Cents (\$0.25) per square foot of additional proposed impervious coverage (post-development impervious surface minus pre-development impervious surface) in lieu of the requirement for public dedication of land. Please provide the ***additional square footage of impervious surface*** with the next plan submission so that the fee can be calculated.

**B. Legal and Other**

1. The Township Solicitor and Township Engineer may want to comment upon the legal requirements of the MS4 program with regard to any private stormwater management facilities.
2. That a note be added to the site plan stating that the applicant is responsible for joining the PA One Call system and is responsible for the marking of all underground utilities prior to the utilities being formally accepted by and dedicated to the Township.
3. Signature Blocks and Certifications to appear on each plan sheet to be recorded.





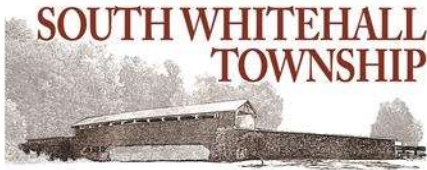
### **C. Plan Recording Requirements**

1. Prior to plan recording, the applicant shall submit a check set of plans in PDF format to the Township Engineer and Township to ensure that the standards and requirements of the Lehigh County Recorder of Deeds Office for a recorded plan are met.
2. Signature Blocks and Certifications to appear on each plan sheet to be recorded.
3. The size of the plan sheet shall be noted on the upper left-hand corner of every plan sheet to be recorded.
4. Wherever a Parcel ID is shown on a plan sheet to be recorded, it shall include the appropriate parnum suffix, such as 547677593477-1 or 547687003997-59.
5. Wherever an Owner's signature is required, the Signature shall be accompanied by a Printed Name and Title (Owner or Title within the owning organization), and an area for a Notary stamp. If there are multiple owners, there shall be signature blocks and areas for Notary stamps for each and every owner's name. The name of the owner (individual and/or organization) in the signature block shall match the name listed elsewhere on the plan.
6. On the cover sheet or (if no cover sheet is present) the site plan sheet, include a table listing all of the properties involved in the project, including PIN and Parnum. This information may be included within an existing table or a new table may be created.
7. If a lot consolidation is part of the plan and a lot consolidation plan is recorded before the site plan set, ensure that ALL references to lots that no longer exist are removed from the site plan set.
8. The review date of the Planning Commission and the review date and Resolution number of the Board of Commissioners shall be placed into the appropriate Board endorsement notes on the appropriate plan sheet to be recorded. Dates and Resolution number may be obtained from South Whitehall Township.

### **D. Waiver and Deferral Request Commentary**

1. Request to waive SALDO Section 312-12(b)(15) requiring the showing of contours within 400 feet of the tract. The Planning Commission recommended waiver of the Section at their October 19, 2023 meeting.
2. Request to waive SALDO Section 312-12(b)(19) requiring the showing of owner names, PINs, and physical features within 100 feet of the tract. The Planning Commission recommended waiver of the Section at their October 19, 2023 meeting.





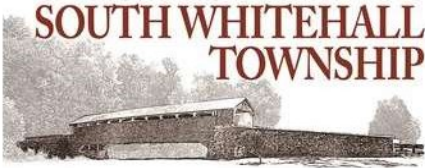
3. Request to waive SALDO Section 312-12(b)(21) requiring the showing of rights of way within 400 feet of the tract. The Planning Commission recommended waiver of the Section at their October 19, 2023 meeting.
4. Request to waive SALDO Section 312-12(b)(17) requiring the names of adjoining property owners and subdivisions on the plan. The Planning Commission recommended waiver of the Section at their October 19, 2023 meeting.
5. Request to waive SALDO Section 312-12(b)(14) requiring the showing of the boundaries of the tract by bearings and distances. The Planning Commission recommended waiver of the Section at their October 19, 2023 meeting.
6. Request to waive SALDO Section 312-12(b)(20) requiring the showing of buildings within 100 feet of the tract. The Planning Commission recommended waiver of the Section at their October 19, 2023 meeting.
7. Request to defer SALDO Section 312-35(b)(3) requiring the improvement of adjacent public roads to Township ROW standards. The Planning Commission recommended deferral of the Section at their October 19, 2023 meeting.
8. Request to waive SALDO Section 312-41(a)(1)(A) requiring the installation of street lights. The Planning Commission recommended waiver of the Section at their October 19, 2023 meeting.

#### **E. Official Map & Comprehensive Plan**

1. The Official Map depicts the subject parcel (2050 Pope Road) containing 15% slopes in the area of Huckleberry Road. The eastern portion of Huckleberry Road is underlain by a groundwater recharge basin. Huckleberry Road is classified as a Minor Arterial Road.
2. The Comprehensive Plan indicates natural areas within and adjoining the tract. Natural areas should be a priority for preservation when possible. In some cases, development can be supported in these areas but may require site-level analysis.

The Comprehensive Plan envisions the tract within an Industrial Land Use Type. The goal of Industrial is:

- To support the manufacturing and distribution of goods and materials. Intensity of development is dependent on the availability of utilities and connections to road infrastructure.
- Require buffers to be proportionate to the degree of impact and intensity of development.
- Consider transit and multimodal connection to support industrial employees.



- Coordinate development along transportation routes that can appropriately accommodate traffic impacts and require necessary transportation improvements.
- Industrial Land Use supports Open Space, Agriculture, Conservation Subdivision, Regional Employment Center, and Industrial place types.

Your plan is scheduled to be reviewed by the Board of Commissioners on Wednesday April 17, 2024 at 7:00 p.m. in the South Whitehall Township Municipal Building located at 4444 Walbert Avenue. The meeting will be also be livestreamed via GoToMeeting. To access the meeting though your computer, go to <https://global.gotomeeting.com/join/757430189>. To access the meeting through your phone, dial 1-224-501-3412 and, when prompted, enter 757 430 189 to join the meeting.

If you have any questions, please call.

Sincerely,

**Gregg R. Adams, Planner  
Community Development Department  
South Whitehall Township**

cc: T. Petrucci      D. Manhardt      L. Harrier      J. Frantz      H. Bender      M. Elias  
S. Pidcock      A. Tallarida      J. Zator, Esq      J. Alderfer, Esq      J. Lee, Nestle      S. Kobol, Esq.  
C. Williams, Barry Isett      Sub. File 2023-105

**TOWNSHIP OF SOUTH WHITEHALL  
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2024-\_\_\_\_  
(Duly Adopted April 17, 2024)**

**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL  
TO A MAJOR PLAN ENTITLED “NESTLE PURINA ALLENTOWN  
PA FACILITY NEW MUNICIPAL WATER SERVICE”**

**WHEREAS**, Nestle Purina PetCare, pursuant to Article 3 of the South Whitehall Township Subdivision and Land Development Ordinance, submitted an application for preliminary/final approval for a land development proposing the construction of an approximately 4,400 linear foot water line within the right-of-way of Huckleberry Road from Wehr Mill Road to and onto 2050 Pope Road, as well as an associated 40,000 gallon water tank and 832 square foot mechanical building on 2050 Pope Road, in South Whitehall Township, Lehigh County, Pennsylvania; and,

**WHEREAS**, this proposal is reflected on plans prepared by nestle Purina Engineering, entitled “*Nestle Purina Allentown PA Facility New Municipal Water Service*”, dated March 22, 2023 and last revised January 9, 2024; and,

**WHEREAS**, all sections of the Subdivision and Land Development Regulations cited herein refer to sections of the Subdivision and Land Development Regulations that were effective April 1, 2019, and are applicable to this plan based on the submission of the initial application in September 21, 2023; and

**WHEREAS**, the South Whitehall Township Planning Commission has reviewed the aforesaid plan on October 19, 2023, and having found it to be in substantial compliance with the Subdivision and Land Development Regulations, has recommended that preliminary/final approval be granted,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(14) of the Subdivision and Land Development Ordinance pertaining to the identification of the tract showing bearings and distances in accordance with the criteria of a third order survey of the United States Coast and Geodetic Survey and ties to the nearest street monuments, be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(17) of the Subdivision and Land Development Ordinance pertaining to the provision of the names and addresses of all property owners within 300 feet of any boundary of the subdivision be



waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(19) of the Subdivision and Land Development Ordinance pertaining to the requirement to show the location, size and owners of existing buildings, sewer mains, water mains, culverts, storm sewers, petroleum or petroleum products lines, gas lines, transmission lines including extent of right-of-way, fire hydrants, underground tanks, wells, septic systems within one-hundred feet of the tract and other significant man-made features be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(20) of the Subdivision and Land Development Ordinance pertaining to the showing of the location, character and elevation of any building within 100 feet of the tract be waived, and the Planning Commission is persuaded that the waiver is appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver is appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-35(b)(3) of the Subdivision and Land Development Ordinance pertaining to the Right-of-Way and cartway standards, specifically the dedication of right-of-way to Township standards for Huckleberry Road, Church Road, and Pope Road be deferred, and the Planning Commission is persuaded that the deferrals are appropriate until such time right-of-way improvements are required; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-41(a)(1)(A) of the Subdivision and Land Development Ordinance that the developer shall be responsible for making necessary arrangements with the municipality and the public service company involved for street lights as approved by the Board of Commissioners and shall further be responsible for providing utility easements for lighting standards and fixtures be deferred, and the Planning Commission is persuaded that the deferral would be appropriate until such time as it is determined that more street lighting is required.

**NOW, THEREFORE, BE IT ADOPTED AND RESOLVED** that the Board of Commissioners of the Township of South Whitehall hereby grants preliminary/final approval to the major subdivision plan entitled “*Nestle Purina Allentown PA Facility New Municipal Water Service*”, subject to the applicant’s compliance with the following conditions:

1. That the applicant shall execute subdivision improvement, security, maintenance and indemnification agreements acceptable to the Township and its Solicitor, that sufficient security in a form acceptable to the Township be posted, that such security shall be available for draws/presentation no further than 60 miles from the Township’s office, and evidence of insurance coverage in an amount satisfactory

to the Township in its sole discretion shall be provided prior to the plan being recorded.

2. That the applicant address to the satisfaction of the Township Engineer, the comments of Mr. Anthony Tallarida, as contained in his review dated February 1, 2024. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed.
3. That the applicant address to the satisfaction of the Township Water & Sewer Engineer, the comments of Mr. Jason Newhard, as contained in his review dated January 28, 2024. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed.
4. That the applicant address to the satisfaction of the Township Geotechnical Consultant, the comments of Mr. Chris Taylor, as contained in his review dated October 13, 2023. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed.
5. That the applicant address to the satisfaction of the Community Development Department, the comments of Mr. Gregg Adams, as contained in his review dated April 12, 2024.
6. That the applicant address to the satisfaction of the Public Works Department, the comments of Mr. Herb Bender, as contained in his review dated January 18, 2024. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed.
7. That the applicant complies with the November 16, 2023 recommendation of the Parks and Recreation Board. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed. Payment of any Open Space Fee shall be tendered prior to plan recording.
8. That the applicant addresses all issues and obtains all approvals deemed necessary by the South Whitehall Township Board of Commissioners in so far as matters pertaining to the Township's water service are concerned. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments pertaining to water service have been addressed. Water allocation and tapping fees have been determined by the Township reviewing agency to be required. Applicant shall be entitled to two separate deductions from the total calculated tapping fee in the amount of \$265,390.40 (representing costs associated with installation of a larger water line as requested by the Township) and \$84,800.00 (representing the escrow amount to be established pursuant to Condition No. 13 herein) to result in a total tapping fee of \$5,742,129.60. Unless otherwise agreed to by the Board of Commissioners, payment of allocation fees shall be tendered prior to plan

recording. Unless otherwise agreed to by the Board of Commissioners, payment of tapping fees shall be tendered prior to Building Permit issuance.

9. That the applicant obtains a letter from the Lehigh County Conservation District approving the Soil Erosion and Sedimentation Control Plan or the NPDES Permit application pursuant to Section 312-39(e) of the Subdivision and Land Development Ordinance.
10. That the applicant shall dedicate to the Township a utility easement of sufficient size in an area acceptable to the Township for accessing the water meter pit. The dedication shall occur prior to the plan being recorded. The dedication shall be by Deed of Dedication in a form acceptable to the Township Solicitor, and an Opinion of Record Title shall be prepared by applicant's counsel indicating that the dedication is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the dedication that has been approved by the Township Engineer, and a copy of the current deed for the property showing current ownership and recording information.
11. That the applicant shall dedicate a utility easement of sufficient size in an area acceptable to the Township for access and to perform maintenance on the 12" water line between the right-of-way of Huckleberry Road and the water meter pit. The dedication shall occur prior to the plan being recorded. The dedication shall be by Deed of Dedication in a form acceptable to the Township Solicitor, and an Opinion of Record Title shall be prepared by applicant's counsel indicating that the dedication is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the dedication that has been approved by the Township Engineer, and a copy of the current deed for the property showing current ownership and recording information.
12. That the applicant shall agree, upon satisfactory completion of all water facilities shown on the plan as intended for dedication to the Township, to execute formal Bills of Sale for said facilities, so as to convey said facilities to the Township for nominal consideration.
13. That the applicant shall pay for all costs to install and connect the curb boxes to the water main and up to \$84,800 to connect the water laterals to the dwellings/buildings located at 4108 Huckleberry Road (PIN 547766245339), 4113 Huckleberry Road (PIN 547766265937), 4137 Huckleberry Road (PIN 547766067890), 4174 Huckleberry Road (PIN 547756849282), 4188 Huckleberry Road (PIN 547756535653), 4193 Huckleberry Road (PIN 547756551881), 4205 Huckleberry Road (PIN 547756452754), 4210 Huckleberry Road (PIN 547756335546), 4221 Huckleberry Road (PIN 547756159621), and 4236 Huckleberry Road (PIN 547756126871). With respect to payment of the costs associated with connections to each of the dwellings/buildings located on the foregoing parcels, Applicant shall establish an escrow account with the Township and deposit the total amount of \$84,800, which amount represents \$5,980 for connections to each of the ten (10) parcels listed above as well as tapping fees in the amount of \$2,500 for each of the ten (10) parcels listed above. The escrow



amount shall be held for a period of eighteen (18) months and made available to the property owners pursuant to an escrow agreement in a form acceptable to the Township Solicitor. In the event any property owner does not wish to connect to the public water system, the property owner shall be solely responsible for paying the fees assessed by the Township for electing not to connect pursuant to Township regulations and any tapping fees remaining in escrow as a result shall be disbursed to the Township. If the cost to complete the connection to each individual parcel exceeds \$5,980, the property owner shall be individually liable for such cost and neither the Township nor the applicant shall have any further responsibility to the property owners for costs associated with connection to the water line. The maintenance period for the work to be performed by applicant to connect the curb boxes to the water main pursuant to this condition shall coincide with the maintenance periods for the overall project.

14. If deemed to be necessary, the applicant shall execute a Declaration of Covenants and Easement for Maintenance of Stormwater Management Facilities prepared by the Township Solicitor for the maintenance of the on-site stormwater management facilities.
15. That the applicant reconciles all open invoices for Township engineering and legal services prior to the plan being recorded.
16. The applicant shall meet all conditions of the Preliminary/Final Plan approval, and the Record Plan will be recorded within twelve (12) months of Conditional Preliminary/Final Plan approval, and the applicant agrees that if such conditions are not met, the conditional Preliminary/Final Plan approval will be considered void, and the application for Preliminary/Final Plan approval will be considered void and withdrawn unless otherwise approved by the South Whitehall Township Board of Commissioners.
17. If for any reason any condition or conditions of this Resolution (or any portion(s) thereof) shall be held by a forum of competent jurisdiction to be invalid, illegal, void, or unenforceable in any respect or to any extent: (i) this Resolution shall automatically be deemed to be null and void in its entirety and shall be deemed to have been immediately and automatically repealed as if it had never been passed; (ii) this Resolution shall automatically be deemed to be a resolution denying the application due to the fact that the application does not comply with those sections of the SALDO (or other applicable ordinance(s)) listed herein or in any review letters referred to herein, including any section relating to waivers or deferrals; and (iii), the applicant is waiving any right to proceed with an action seeking a deemed approval of the plan based upon the automatic repeal of this Resolution identified in this condition. The applicant acknowledges that each and every term and provision hereof is an essential, material component to the Township's approval of the applicant's plan.
18. In the event that the Township becomes involved in litigation of any kind relating to preliminary/final plan approval other than a direct appeal by the applicant of the Township's approval of this Resolution, such as an appeal of this Resolution by an adjoining property owner or a third party, or an attempt to collaterally challenge any conditions of this approval by means other than a timely appeal of this

Resolution, the applicant, on behalf of itself and its agents, representatives, successors and assigns, hereby agrees to exonerate, indemnify, protect, defend (through legal counsel of Township's choice) and save harmless the Township and its boards, committees and commissions (including the individual members thereof), their elected and appointed officers and officials and their employees, contractors, other professional consultants, engineers, solicitors, managers, representatives, advisors, predecessors, successors, agents, independent contractors, insurers and assigns (collectively, the "Township Representatives"), from any and all claims, lawsuits, proceedings, actions, disputes, causes and rights of action, expenses, losses, allegations, demands, charges, injuries, costs (including, without limitation, attorneys' fees, engineers' fees and other costs and expenses incurred, including expert witness fees), damages (including, without limitation, compensatory, consequential or punitive damages), sanctions, and liabilities of every kind, character and manner whatsoever, in law or in equity, civil or criminal, administrative or judicial, contract, tort (including, without limitation, negligence of any kind) or otherwise ("Claims"), pertaining to, relating to, resulting from, caused by or arising out of the Township's approval of the application as evidenced by this Resolution and/or the Township taking any action contemplated by the conditions hereof.

The applicant has requested that the requirement of Section 312-12(b)(14) of the Subdivision and Land Development Ordinance pertaining to the identification of the tract showing bearings and distances in accordance with the criteria of a third order survey of the United States Coast and Geodetic Survey and ties to the nearest street monuments is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-12(b)(17) of the Subdivision and Land Development Ordinance pertaining to the provision of the names and addresses of all property owners within 300 feet of any boundary of the subdivision is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-12(b)(19) of the Subdivision and Land Development Ordinance pertaining to the requirement to show the location, size and owners of existing buildings, sewer mains, water mains, culverts, storm sewers, petroleum or petroleum products lines, gas lines, transmission lines including extent of right-of-way, fire hydrants, underground tanks, wells, septic systems within one-hundred feet of the tract and other significant man-made features is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-12(b)(20) of the Subdivision and Land Development Ordinance pertaining to the showing of the location, character and elevation of any building within 100 feet of the tract is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-35(b)(3) of the Subdivision and Land Development Ordinance pertaining to the Right-of-Way and cartway standards, specifically the dedication of right-of-way to Township standards for Huckleberry Road, Church Road, and Pope Road is hereby deferred until such time right-of-way improvements are required.

The requirement of Section 312-41(a)(1)(A) of the Subdivision and Land Development Ordinance that the developer shall be responsible for making necessary arrangements with the municipality and the public service company involved for streetlights as approved by the Board of Commissioners and shall further be responsible for providing utility easements for lighting standards and fixtures is hereby deferred until such time as it is determined that more street lighting is required.

The conditions of approval have been made known to the applicant, and final approval is to be deemed expressly contingent upon the applicant's affirmative written acceptance of the conditions on a form prescribed by South Whitehall Township which shall be received at or before the meeting at which the Resolution containing such conditions of approval is considered by the Board of Commissioners for adoption.

**DULY ADOPTED** this 17<sup>th</sup> day of **APRIL, 2024**, by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH WHITEHALL  
BOARD OF COMMISSIONERS**

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**Diane Kelly, President**

**ATTEST:**

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**Jacob Roth, Assistant Secretary**



**APPLICANT ACCEPTANCE OF CONDITIONS**

**RESOLUTION NO. 2024-\_\_\_\_  
(Duly Adopted April 17, 2024)**

**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL  
TO A MAJOR SUBDIVISION ENTITLED “NESTLE PURINA  
ALLENTOWN PA FACILITY NEW MUNICIPAL WATER SERVICE”**

The undersigned, being the applicant of an application for preliminary/final approval for a land development proposing the construction of an approximately 4,400 linear foot water line within the right-of-way of Huckleberry Road from Wehr Mill Road to and onto 2050 Pope Road, as well as an associated 40,000 gallon water tank and 832 square foot mechanical building on 2050 Pope Road, in South Whitehall Township, Lehigh County, Pennsylvania, reflected on plans prepared by nestle Purina Engineering, entitled “*Nestle Purina Allentown PA Facility New Municipal Water Service*”, dated March 22, 2023 and last revised January 9, 2024, intending to be legally bound hereby, does affirmatively accept all of the conditions set forth in the Resolution granting conditional preliminary/final approval to the major plan entitled “*Nestle Purina Allentown PA Facility New Municipal Water Service*” and does waive any and all rights which the applicant would otherwise possess to contest the imposition of said conditions, both at law or in equity. Further, the applicant hereby certifies that as of the date of the Resolution, the applicant does not dispute (as outlined by the Pennsylvania Municipalities Planning Code, including but not limited to §§ 10503(1) and 10510(g)) any professional consultant fee for which it has received an invoice from the Township through the date hereof.

WITNESS/ATTEST:

APPLICANT: Nestle Purina PetCare

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Applicant

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Printed Name

Date: \_\_\_\_\_

**TOWNSHIP OF SOUTH WHITEHALL  
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2024-\_\_\_\_  
(Duly Adopted April 17, 2024)**

**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL  
TO A MAJOR PLAN ENTITLED “NESTLE PURINA ALLENTOWN  
PA FACILITY NEW MUNICIPAL WATER SERVICE”**

**WHEREAS**, Nestle Purina PetCare, pursuant to Article 3 of the South Whitehall Township Subdivision and Land Development Ordinance, submitted an application for preliminary/final approval for a land development proposing the construction of an approximately 4,400 linear foot water line within the right-of-way of Huckleberry Road from Wehr Mill Road to and onto 2050 Pope Road, as well as an associated 40,000 gallon water tank and 832 square foot mechanical building on 2050 Pope Road, in South Whitehall Township, Lehigh County, Pennsylvania; and,

**WHEREAS**, this proposal is reflected on plans prepared by nestle Purina Engineering, entitled “*Nestle Purina Allentown PA Facility New Municipal Water Service*”, dated March 22, 2023 and last revised January 9, 2024; and,

**WHEREAS**, all sections of the Subdivision and Land Development Regulations cited herein refer to sections of the Subdivision and Land Development Regulations that were effective April 1, 2019, and are applicable to this plan based on the submission of the initial application in September 21, 2023; and

**WHEREAS**, the South Whitehall Township Planning Commission has reviewed the aforesaid plan on October 19, 2023, and having found it to be in substantial compliance with the Subdivision and Land Development Regulations, has recommended that preliminary/final approval be granted,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(14) of the Subdivision and Land Development Ordinance pertaining to the identification of the tract showing bearings and distances in accordance with the criteria of a third order survey of the United States Coast and Geodetic Survey and ties to the nearest street monuments, be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(17) of the Subdivision and Land Development Ordinance pertaining to the provision of the names and addresses of all property owners within 300 feet of any boundary of the subdivision be

waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(19) of the Subdivision and Land Development Ordinance pertaining to the requirement to show the location, size and owners of existing buildings, sewer mains, water mains, culverts, storm sewers, petroleum or petroleum products lines, gas lines, transmission lines including extent of right-of-way, fire hydrants, underground tanks, wells, septic systems within one-hundred feet of the tract and other significant man-made features be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(20) of the Subdivision and Land Development Ordinance pertaining to the showing of the location, character and elevation of any building within 100 feet of the tract be waived, and the Planning Commission is persuaded that the waiver is appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver is appropriate, as the level of information shown on the plan is acceptable; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-35(b)(3) of the Subdivision and Land Development Ordinance pertaining to the Right-of-Way and cartway standards, specifically the dedication of right-of-way to Township standards for Huckleberry Road, Church Road, and Pope Road be deferred, and the Planning Commission is persuaded that the deferrals are appropriate until such time right-of-way improvements are required; and,

**WHEREAS**, the applicant has requested that the requirement of Section 312-41(a)(1)(A) of the Subdivision and Land Development Ordinance that the developer shall be responsible for making necessary arrangements with the municipality and the public service company involved for street lights as approved by the Board of Commissioners and shall further be responsible for providing utility easements for lighting standards and fixtures be deferred, and the Planning Commission is persuaded that the deferral would be appropriate until such time as it is determined that more street lighting is required.

**NOW, THEREFORE, BE IT ADOPTED AND RESOLVED** that the Board of Commissioners of the Township of South Whitehall hereby grants preliminary/final approval to the major subdivision plan entitled “*Nestle Purina Allentown PA Facility New Municipal Water Service*”, subject to the applicant’s compliance with the following conditions:

1. That the applicant shall execute subdivision improvement, security, maintenance and indemnification agreements acceptable to the Township and its Solicitor, that sufficient security in a form acceptable to the Township be posted, that such security shall be available for draws/presentation no further than 60 miles from the Township’s office, and evidence of insurance coverage in an amount satisfactory



to the Township in its sole discretion shall be provided prior to the plan being recorded.

2. That the applicant address to the satisfaction of the Township Engineer, the comments of Mr. Anthony Tallarida, as contained in his review dated February 1, 2024. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed.
3. That the applicant address to the satisfaction of the Township Water & Sewer Engineer, the comments of Mr. Jason Newhard, as contained in his review dated January 28, 2024. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed.
4. That the applicant address to the satisfaction of the Township Geotechnical Consultant, the comments of Mr. Chris Taylor, as contained in his review dated October 13, 2023. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed.
5. That the applicant address to the satisfaction of the Community Development Department, the comments of Mr. Gregg Adams, as contained in his review dated April 12, 2024.
6. That the applicant address to the satisfaction of the Public Works Department, the comments of Mr. Herb Bender, as contained in his review dated January 18, 2024. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed.
7. That the applicant complies with the November 16, 2023 recommendation of the Parks and Recreation Board. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments have been addressed. Payment of any Open Space Fee shall be tendered prior to plan recording.
8. That the applicant addresses all issues and obtains all approvals deemed necessary by the South Whitehall Township Board of Commissioners in so far as matters pertaining to the Township's water service are concerned. The applicant shall provide to the Community Development Department written confirmation from the appropriate reviewing agency that all applicable comments pertaining to water service have been addressed. Water allocation and tapping fees have been determined by the Township reviewing agency to be required. Applicant shall be entitled to two separate deductions from the total calculated tapping fee in the amount of \$265,390.40 (representing costs associated with installation of a larger water line as requested by the Township) and \$84,800.00 (representing the escrow amount to be established pursuant to Condition No. 13 herein) to result in a total tapping fee of \$5,742,129.60. Unless otherwise agreed to by the Board of Commissioners, payment of allocation fees shall be tendered prior to plan

recording. Unless otherwise agreed to by the Board of Commissioners, payment of tapping fees shall be tendered prior to Building Permit issuance.

9. That the applicant obtains a letter from the Lehigh County Conservation District approving the Soil Erosion and Sedimentation Control Plan or the NPDES Permit application pursuant to Section 312-39(e) of the Subdivision and Land Development Ordinance.
10. That the applicant shall dedicate to the Township a utility easement of sufficient size in an area acceptable to the Township for accessing the water meter pit. The dedication shall occur prior to the plan being recorded. The dedication shall be by Deed of Dedication in a form acceptable to the Township Solicitor, and an Opinion of Record Title shall be prepared by applicant's counsel indicating that the dedication is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the dedication that has been approved by the Township Engineer, and a copy of the current deed for the property showing current ownership and recording information.
11. That the applicant shall dedicate a utility easement of sufficient size in an area acceptable to the Township for access and to perform maintenance on the 12" water line between the right-of-way of Huckleberry Road and the water meter pit. The dedication shall occur prior to the plan being recorded. The dedication shall be by Deed of Dedication in a form acceptable to the Township Solicitor, and an Opinion of Record Title shall be prepared by applicant's counsel indicating that the dedication is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the dedication that has been approved by the Township Engineer, and a copy of the current deed for the property showing current ownership and recording information.
12. That the applicant shall agree, upon satisfactory completion of all water facilities shown on the plan as intended for dedication to the Township, to execute formal Bills of Sale for said facilities, so as to convey said facilities to the Township for nominal consideration.
13. That the applicant shall pay for all costs to install and connect the curb boxes to the water main and up to \$84,800 to connect the water laterals to the dwellings/buildings located at 4108 Huckleberry Road (PIN 547766245339), 4113 Huckleberry Road (PIN 547766265937), 4137 Huckleberry Road (PIN 547766067890), 4174 Huckleberry Road (PIN 547756849282), 4188 Huckleberry Road (PIN 547756535653), 4193 Huckleberry Road (PIN 547756551881), 4205 Huckleberry Road (PIN 547756452754), 4210 Huckleberry Road (PIN 547756335546), 4221 Huckleberry Road (PIN 547756159621), and 4236 Huckleberry Road (PIN 547756126871). With respect to payment of the costs associated with connections to each of the dwellings/buildings located on the foregoing parcels, Applicant shall establish an escrow account with the Township and deposit the total amount of \$84,800, which amount represents \$5,980 for connections to each of the ten (10) parcels listed above as well as tapping fees in the amount of \$2,500 for each of the ten (10) parcels listed above. The escrow

amount shall be held for a period of eighteen (18) months and made available to the property owners pursuant to an escrow agreement in a form acceptable to the Township Solicitor. In the event any property owner does not wish to connect to the public water system, the property owner shall be solely responsible for paying the fees assessed by the Township for electing not to connect pursuant to Township regulations and any tapping fees remaining in escrow as a result shall be disbursed to the Township. If the cost to complete the connection to each individual parcel exceeds \$5,980, the property owner shall be individually liable for such cost and neither the Township nor the applicant shall have any further responsibility to the property owners for costs associated with connection to the water line. The maintenance period for the work to be performed by applicant to connect the curb boxes to the water main pursuant to this condition shall coincide with the maintenance periods for the overall project.

14. If deemed to be necessary, the applicant shall execute a Declaration of Covenants and Easement for Maintenance of Stormwater Management Facilities prepared by the Township Solicitor for the maintenance of the on-site stormwater management facilities.
15. That the applicant reconciles all open invoices for Township engineering and legal services prior to the plan being recorded.
16. The applicant shall meet all conditions of the Preliminary/Final Plan approval, and the Record Plan will be recorded within twelve (12) months of Conditional Preliminary/Final Plan approval, and the applicant agrees that if such conditions are not met, the conditional Preliminary/Final Plan approval will be considered void, and the application for Preliminary/Final Plan approval will be considered void and withdrawn unless otherwise approved by the South Whitehall Township Board of Commissioners.
17. If for any reason any condition or conditions of this Resolution (or any portion(s) thereof) shall be held by a forum of competent jurisdiction to be invalid, illegal, void, or unenforceable in any respect or to any extent: (i) this Resolution shall automatically be deemed to be null and void in its entirety and shall be deemed to have been immediately and automatically repealed as if it had never been passed; (ii) this Resolution shall automatically be deemed to be a resolution denying the application due to the fact that the application does not comply with those sections of the SALDO (or other applicable ordinance(s)) listed herein or in any review letters referred to herein, including any section relating to waivers or deferrals; and (iii), the applicant is waiving any right to proceed with an action seeking a deemed approval of the plan based upon the automatic repeal of this Resolution identified in this condition. The applicant acknowledges that each and every term and provision hereof is an essential, material component to the Township's approval of the applicant's plan.
18. In the event that the Township becomes involved in litigation of any kind relating to preliminary/final plan approval other than a direct appeal by the applicant of the Township's approval of this Resolution, such as an appeal of this Resolution by an adjoining property owner or a third party, or an attempt to collaterally challenge any conditions of this approval by means other than a timely appeal of this



Resolution, the applicant, on behalf of itself and its agents, representatives, successors and assigns, hereby agrees to exonerate, indemnify, protect, defend (through legal counsel of Township's choice) and save harmless the Township and its boards, committees and commissions (including the individual members thereof), their elected and appointed officers and officials and their employees, contractors, other professional consultants, engineers, solicitors, managers, representatives, advisors, predecessors, successors, agents, independent contractors, insurers and assigns (collectively, the "Township Representatives"), from any and all claims, lawsuits, proceedings, actions, disputes, causes and rights of action, expenses, losses, allegations, demands, charges, injuries, costs (including, without limitation, attorneys' fees, engineers' fees and other costs and expenses incurred, including expert witness fees), damages (including, without limitation, compensatory, consequential or punitive damages), sanctions, and liabilities of every kind, character and manner whatsoever, in law or in equity, civil or criminal, administrative or judicial, contract, tort (including, without limitation, negligence of any kind) or otherwise ("Claims"), pertaining to, relating to, resulting from, caused by or arising out of the Township's approval of the application as evidenced by this Resolution and/or the Township taking any action contemplated by the conditions hereof.

The applicant has requested that the requirement of Section 312-12(b)(14) of the Subdivision and Land Development Ordinance pertaining to the identification of the tract showing bearings and distances in accordance with the criteria of a third order survey of the United States Coast and Geodetic Survey and ties to the nearest street monuments is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-12(b)(17) of the Subdivision and Land Development Ordinance pertaining to the provision of the names and addresses of all property owners within 300 feet of any boundary of the subdivision is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-12(b)(19) of the Subdivision and Land Development Ordinance pertaining to the requirement to show the location, size and owners of existing buildings, sewer mains, water mains, culverts, storm sewers, petroleum or petroleum products lines, gas lines, transmission lines including extent of right-of-way, fire hydrants, underground tanks, wells, septic systems within one-hundred feet of the tract and other significant man-made features is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-12(b)(20) of the Subdivision and Land Development Ordinance pertaining to the showing of the location, character and elevation of any building within 100 feet of the tract is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract is hereby waived as the level of information shown on the plan is acceptable.

The requirement of Section 312-35(b)(3) of the Subdivision and Land Development Ordinance pertaining to the Right-of-Way and cartway standards, specifically the dedication of right-of-way to Township standards for Huckleberry Road, Church Road, and Pope Road is hereby deferred until such time right-of-way improvements are required.

The requirement of Section 312-41(a)(1)(A) of the Subdivision and Land Development Ordinance that the developer shall be responsible for making necessary arrangements with the municipality and the public service company involved for streetlights as approved by the Board of Commissioners and shall further be responsible for providing utility easements for lighting standards and fixtures is hereby deferred until such time as it is determined that more street lighting is required.

The conditions of approval have been made known to the applicant, and final approval is to be deemed expressly contingent upon the applicant's affirmative written acceptance of the conditions on a form prescribed by South Whitehall Township which shall be received at or before the meeting at which the Resolution containing such conditions of approval is considered by the Board of Commissioners for adoption.

**DULY ADOPTED** this 17<sup>th</sup> day of **APRIL, 2024**, by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH WHITEHALL  
BOARD OF COMMISSIONERS**

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**Diane Kelly, President**

**ATTEST:**

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**Jacob Roth, Assistant Secretary**

**APPLICANT ACCEPTANCE OF CONDITIONS**

**RESOLUTION NO. 2024-\_\_\_\_  
(Duly Adopted April 17, 2024)**

**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL  
TO A MAJOR SUBDIVISION ENTITLED “NESTLE PURINA  
ALLENTOWN PA FACILITY NEW MUNICIPAL WATER SERVICE”**

The undersigned, being the applicant of an application for preliminary/final approval for a land development proposing the construction of an approximately 4,400 linear foot water line within the right-of-way of Huckleberry Road from Wehr Mill Road to and onto 2050 Pope Road, as well as an associated 40,000 gallon water tank and 832 square foot mechanical building on 2050 Pope Road, in South Whitehall Township, Lehigh County, Pennsylvania, reflected on plans prepared by nestle Purina Engineering, entitled “*Nestle Purina Allentown PA Facility New Municipal Water Service*”, dated March 22, 2023 and last revised January 9, 2024, intending to be legally bound hereby, does affirmatively accept all of the conditions set forth in the Resolution granting conditional preliminary/final approval to the major plan entitled “*Nestle Purina Allentown PA Facility New Municipal Water Service*” and does waive any and all rights which the applicant would otherwise possess to contest the imposition of said conditions, both at law or in equity. Further, the applicant hereby certifies that as of the date of the Resolution, the applicant does not dispute (as outlined by the Pennsylvania Municipalities Planning Code, including but not limited to §§ 10503(1) and 10510(g)) any professional consultant fee for which it has received an invoice from the Township through the date hereof.

WITNESS/ATTEST:

APPLICANT: Nestle Purina PetCare

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Applicant

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Printed Name

Date: \_\_\_\_\_



APPLICANT ACCEPTANCE OF CONDITIONS

RESOLUTION NO. 2024-\_\_\_\_  
(Duly Adopted April 17, 2024)

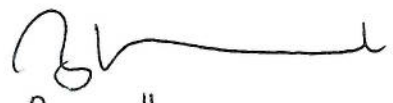
**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL  
TO A MAJOR SUBDIVISION ENTITLED "NESTLE PURINA  
ALLENTOWN PA FACILITY NEW MUNICIPAL WATER SERVICE"**

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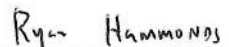
WITNESS/ATTEST:

APPLICANT: Nestle Purina PetCare

  
\_\_\_\_\_  
Witness

  
\_\_\_\_\_  
Ryan Hammonds  
Applicant

  
\_\_\_\_\_  
Printed Name

  
\_\_\_\_\_  
Printed Name

Date: 04/15/2024



# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Administration

**ITEM TYPE:** Resolution

**AGENDA SECTION:** RESOLUTIONS

**SUBJECT:** A Resolution of the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, Authorizing the Township Manager to Execute a Professional Services Contract with the Pennsylvania Chiefs of Police Association for an Executive Search for the Position of Chief of Police of the South Whitehall Township Police Department.

**SUGGESTED ACTION:**

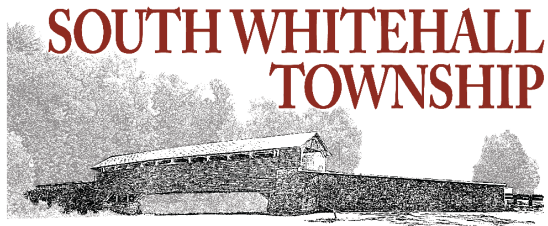
- *Motion to adopt said resolution authorizing the execution of a professional services contract with the PA Chiefs of Police Association for an executive search for position of Chief of Police for SWT-PD.*

### ATTACHMENTS:

[Memorandum for Executive Search for Chief of Police.pdf](#)

[Resolution- PA Chiefs Association Executive Search.pdf](#)

[PA Chiefs- 1 Program Options.Assessment.Chief Search. PCPA 2023.pdf](#)



**MEMORANDUM FOR  
AGENDA ITEMS**

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Tom Petrucci, Township Manager
<b>DATE:</b>	April 10, 2024
<b>SUBJECT:</b>	Approval of Resolution- Professional Services for Executive Search of Chief of Police- Pennsylvania Chiefs of Police Association
<b>COPY TO:</b>	H. Bender; T. Fehnel

- **Background Information:**

With the resignation/retirement of former Chief of Police, Glen Dorney, the Township is seeking to utilize a firm to help assist Township management and the governing body to select the next Chief of Police by way of a competitive search process and independent evaluation.

The Pennsylvania Chiefs of Police Association has significant level of depth of experience in assisting municipalities with a number of specialty areas concerning law enforcement, including but not limited to police testing, accreditation, and hiring.

South Whitehall Township has obtained a proposal from the Pennsylvania Chiefs of Police Association; said proposal is enclosed for reference.

It is the recommendation of Township management to utilize Program #2 (Assessment Center) at a cost of nine-thousand dollars (\$9,000.00) should the governing body elect to proceed with utilizing the services of the Pennsylvania Chiefs of Police Association. Program #2 includes the following:

- 1- Structured Interview- the candidate is interviewed by the assessors on six (6) questions that are designed to determine the abilities of the candidate as a police administrator.
- 2- Analysis Presentation- the candidates are provided information regarding a relevant topic and are then required to present this information to our assessors.

- **Action Requested:**

Approval of the following Resolution:

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA AUTHORIZING THE TOWNSHIP MANAGER TO EXECUTE A PROFESSIONAL SERVICES CONTRACT WITH THE PENNSYLVANIA CHIEFS OF POLICE ASSOCIATION FOR AN EXECUTIVE**



**SEARCH FOR THE POSITION OF CHIEF OF POLICE OF THE SOUTH WHITEHALL  
TOWNSHIP POLICE DEPARTMENT**

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

General Fund- 01410002-40796- \$33,900.00 (\$4,500.00)

General Fund- 01406002-40450- \$8,000.00 (\$4,500.00)

Enclosure(s) (as noted)

**SOUTH WHITEHALL TOWNSHIP  
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2024-\_\_**

**(Duly Adopted April 17, 2024)**

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF SOUTH  
WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA  
AUTHORIZING THE TOWNSHIP MANAGER TO EXECUTE A  
PROFESSIONAL SERVICES CONTRACT WITH THE PENNSYLVANIA  
CHIEFS OF POLICE ASSOCIATION FOR AN EXECUTIVE SEARCH  
FOR THE POSITION OF CHIEF OF POLICE OF THE SOUTH  
WHITEHALL TOWNSHIP POLICE DEPARTMENT**

**WHEREAS**, the Board of Commissioners has determined it is necessary to engage a firm for comprehensive police executive search services for the position of Chief of Police of the South Whitehall Township Police Department.

**NOW, THEREFORE, BE IT RESOLVED**, by the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, does hereby approve the following:

1. All “Whereas” clauses are incorporated herein as though more fully set forth at length.
2. That the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania does hereby approve entering into a professional services contract with the Pennsylvania Chiefs of Police Association for an executive search for the position of Chief of Police of the South Whitehall Township Police Department. at a cost not to exceed nine-thousand dollars (\$9,000.00).
3. South Whitehall Township has obtained from the Pennsylvania Chiefs of Police Association a professional services proposal, which is attached hereto as Exhibit “A” and incorporated herein as though more fully set forth at length.
4. The Board of Commissioners approve of authorizing the scope of services of Program #2, as delineated in the proposal (Exhibit “A”).
5. The Township Manager of the Township of South Whitehall is hereby authorized to execute any such agreements as determined to be necessary to effectuate the scope of services as delineated in the proposal (Exhibit “A”).

**DULY ADOPTED**, this 17<sup>th</sup> day of April, 2024 by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners at which a quorum was present. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice-President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH  
WHITEHALL BOARD OF  
COMMISSIONERS**

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Diane Kelly, President

**ATTEST:**

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Tricia Dickert, Township Secretary



# EXHIBIT “A”



Pennsylvania Chiefs of Police Association  
3905 North Front Street Harrisburg, PA 17110

## Chief of Police Selection Process

11.01.23

Thank you for your interest in the employment services provided by the Pennsylvania Chiefs of Police Association. Our organization has a vested interest in locating not only the best qualified candidates for your municipality, but a leader who is a good fit for your community. We believe that our processes will be successful in assisting you with your employment goals.

Prior to the actual testing, we would:

- Meet/Zoom with the municipality/board to determine what attributes are important for their police leader
- Advertise the position on our web site; currently viewed by over 14,000 persons per month. We have the “go to” location for those looking for employment in this field. In addition, we email the job posting to 5,000+ persons who have signed up for this service
- Receive and rank the resumes that are sent from the candidates. Provide the municipality with all resumes. We then meet with the municipality and compare our selections with the municipality’s selections to determine who will be interviewed.
- We provide all correspondence/interaction with the candidates through the entirety of the process

The Pennsylvania Chiefs of Police Association offers three (3) different levels of testing for the Executive or Chief of Police search.

Program #1 – Structured Interview- COST \$6,000. We provide the candidate with twelve (12) questions with multiple sub questions. Each question is based on traits or qualities that are required for the successful police chief in 2023. This is the most in-demand program that we offer to municipalities throughout the State as it matches effectiveness with cost containment.

Program #2 – Assessment Center- COST \$9,000. This option offers both types of testing that we offer and is our Assessment Center Process. This includes:

- 1- Structured Interview- the candidate is interviewed by the assessors on (6) questions that are designed to determine the abilities of the candidate as a police administrator.
- 2- Analysis Presentation- the candidates are provided information regarding a relevant topic and are then required to present this information to our assessors.

Program #3 – Non-Competitive Interview Process- COST \$2,600. This program is identical to Program #1 but is intended for agencies who only want one person to be interviewed; normally from within the department. This decreases the interview process time and reduces the cost of advertising and accepting/reviewing resumes from outside candidates. Circumstances where more than one internal candidate is involved can be priced on an individual basis.

After the exam is complete, we would then:

- Provide the municipality with a ranked listing of test scores for each candidate. In addition, there is a listing of seven benchmarks that would show key abilities and strengths of each candidate.
- Arrange for 2-4 of the best candidates to return independently and meet with the Municipality in a less formal setting; helping the Board to determine who is the best fit for their community. A member of the PCPA is present for these meetings to assist the municipality in making their final determination. A sampling of 20+ questions are provided to the municipality to assist with their interview process.

In addition to these listed services, once a candidate is chosen, we are available for any and all questions that may arise. These topics include the background review and negotiation process for the candidate. Additional costs exceeding what is listed for each program include, mileage, meals and lodging of the assessors if applicable. Upon request, I can provide an estimate for these costs.

I am available for a call, to meet or to ZOOM with officials to answer any additional questions. If at some point you decide on a particular program, a formal agreement is provided to you and includes all deliverables listed. We will provide an approximate but detailed time-line for this process upon request. Assume that most processes take an estimated 3-4 months to complete. An invoice is provided to the municipality only after a police chief selection is made.

As a point of reference, the following is a recent list of communities where we have conducted an Executive Search for the position of Chief of Police:

West Chester Borough  
West Reading Borough  
City of Greensburg – Westmoreland  
Ephrata Borough  
Jefferson Hills Borough - Allegheny



Manor Twp. - Lancaster  
Plumstead Twp. – Bucks  
West Earl Twp. – Lancaster  
West Hempfield Twp. – Lancaster  
Latrobe Borough  
Penbrook Borough  
Valley Twp. – Chester  
Camp Hill Borough  
Mifflinburg Borough  
West Goshen Twp. – Chester  
Selinsgrove Borough  
Salisbury Twp. – Lehigh  
East Fallowfield Twp. – Chester  
Wyoming Regional – Luzerne  
Bloomsburg Borough  
Susquehanna Regional – Lancaster  
Eastern Regional Mon Valley – Allegheny  
Solebury Township - Bucks

I would be happy to answer any additional questions that you may have regarding this very important employment decision.

Gregory M. Bean  
Consulting Services Coordinator  
717.236.1059 x 107  
gbean@pachiefs.org



# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Police

**ITEM TYPE:** Resolution

**AGENDA SECTION:** RESOLUTIONS

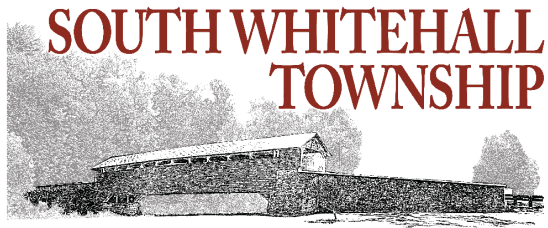
**SUBJECT:** Proceed to 9-A, followed by 8-I. A Resolution Extending a Conditional Offer of Employment for Entry-Level Position of Patrol Officer in the Township's Police Department to Applicant #76055, Conditioned Upon the Individual Satisfactorily Completing the Background Investigation, Polygraph Examination, Medical Examination, and Psychological Examination to Confirm their Fitness for Duty.

**SUGGESTED ACTION:**

- *Motion to adopt resolution extending a conditional offer of employment to Applicant #76055.*

### ATTACHMENTS:

- [2024.04.12 -IOM-ICSB, re-Conditional Offer of Employment for Entry Level Patrol Officer.pdf](#)
- [2024.04.17 BOC - Resolution 2024-\\_\\_ - Extending Conditional Offer of Employment to Entry Level of Patrol Officer \(76055\).pdf](#)



**MEMORANDUM FOR  
AGENDA ITEMS**

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Interim Chief Steve Brown
<b>DATE:</b>	12 April 2024
<b>SUBJECT:</b>	Conditional Offer of Employment for Entry Level Patrol Officer
<b>COPY TO:</b>	Tom Petrucci, Township Manager

- **Background Information and/or Justification of Expense:**  
 The Police Department is in the hiring process for vacant entry-level patrol officer positions via Civil Service guidelines and need the Board of Commissioners to extend conditional offer of employment to the next eligible candidates on the civil service list.
  
- **Action Requested:**  
 We are requesting the Board of Commissioners to extend a conditional offer of employment for entry-level patrol officer in the South Whitehall Township Police Department to applicant 76055, conditioned upon the individuals satisfactorily completing the background investigation, polygraph examination, medical examination, and psychological examination to confirm their fitness for duty.
  
- **Budget Line Item (if applicable):** *Please indicate approved budget amount for specified project(s).* 01-41-410-4102-000-000-0000-01-40112 Patrol Wages



**BOARD OF COMMISSIONERS OF  
SOUTH WHITEHALL TOWNSHIP  
LEHIGH COUNTY, PENNSYLVANIA**

**Resolution 2024-\_\_  
(Duly Adopted April 17, 2024)**

**A RESOLUTION EXTENDING A CONDITIONAL OFFER OF EMPLOYMENT FOR ENTRY-LEVEL POSITION OF PATROL OFFICER IN THE TOWNSHIP'S POLICE DEPARTMENT TO APPLICANT: #76055, CONDITIONED UPON THE INDIVIDUAL SATISFACTORILY COMPLETING THE BACKGROUND INVESTIGATION, POLYGRAPH EXAMINATION, MEDICAL EXAMINATION, AND PSYCHOLOGICAL EXAMINATION TO CONFIRM THEIR FITNESS FOR DUTY**

**WHEREAS**, South Whitehall Township (“**Township**”) is subject to the Civil Service provisions of the First Class Township Code 53 PA. STAT. ANN. § 56101 *et seq.* with respect to its Police Department since there are more than two full-time members in the department; and

**WHEREAS**, The Board of Commissioners (“**Board**”) of the Township has appointed a Civil Service Commission (“**Commission**”) in accordance with the Code, and the Commission and the Board have adopted rules and regulations (“**Rules**”) pursuant to Code § 630, 53 PA. STAT. ANN. § 55630; and

**WHEREAS**, pursuant to the Rules, the Commission has conducted examinations for the entry-level position of Patrol Officer in the Township’s Police Department, has established an Eligibility List for that position, and has certified individuals to the Board for appointment to that position, including Applicant: **#76055**.

**WHEREAS**, based solely on the merits and fitness of the applicants certified by the Commission to the Board, and considering the veterans’ preference to which these individuals are entitled, the Board desires to extend a conditional offer of employment to Applicant: **#76055** for the entry-level position of Patrol Officer in the Township’s Police Department.

**NOW, THEREFORE, BE IT RESOLVED** by the Board of Commissioners of South Whitehall Township that Applicant: **#76055** is hereby appointed to the entry-level position of Patrol Officer in the Township’s Police Department, conditioned upon candidate successfully completing a Background Investigation, Polygraph Examination, Medical Examination, and Psychological Examination, which will confirm that they can perform the essential duties of the Patrol Officer position, with or without reasonable accommodation, in accordance with the procedures set forth in Section 5.4 of the Rules. Once employment commences, candidate shall be subject to an initial one (1) year probationary period pursuant to Section 5.5 of the Commission’s Civil Service Rules.

**DULY RESOLVED** by the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, the **17<sup>th</sup>** day of **April 2024**, in lawful session duly assembled.

SOUTH WHITEHALL TOWNSHIP  
BOARD OF COMMISSIONERS

---

Diane Kelly, President

ATTEST:

---

Tricia Dickert, Twp. Secretary



# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Police

**ITEM TYPE:** Motion

**AGENDA SECTION:** MOTIONS

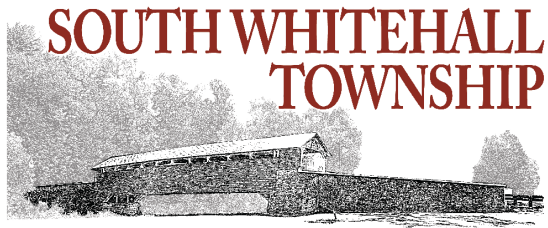
**SUBJECT:** Motion to Proceed with Adoption of the Civil Service Promotional List for Entry-Level Position of Patrol Officer in the South Whitehall Township Police Department.

**SUGGESTED ACTION:**

**ATTACHMENTS:**

[2024.04.10 - IOM-ICSB, re-Adoption of CS List for Entry-Level Patrol Officer - P1.pdf](#)





**MEMORANDUM FOR  
AGENDA ITEMS**

<b>To:</b>	Board of Commissioners
<b>FROM:</b>	Interim Chief Steve Brown
<b>DATE:</b>	10 April 2024
<b>SUBJECT:</b>	Adoption of Civil Service List for Entry-Level Patrol Officer
<b>COPY TO:</b>	Tom Petrucci, Township Manager

- **Background Information and/or Justification of Expense:**  
 The Police Department has conducted civil service testing for entry-level patrol officer through the Lehigh County Chief’s of Police Association Consortium Test. All aspects of the testing process have been completed, to include the physical agility assessment, written examination, and oral interview examination. The Civil Service Commission certified the eligibility list on Wednesday April 10, 2024. There were no expenses associated with this testing process.
  
- **Action Requested:**  
 We are requesting the Board of Commissioners make a motion to adopt the newly certified Civil Service List for Entry-Level Patrol Officer.
  
- **Budget Line Item (if applicable):** *Please indicate approved budget amount for specified project(s).* 01-41-410-4102-000-000-0000-01-40112 Patrol Wages



# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Police

**ITEM TYPE:** Motion

**AGENDA SECTION:** MOTIONS

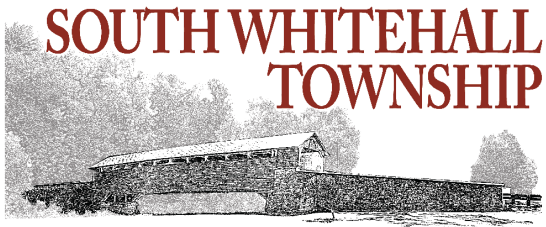
**SUBJECT:** Motion to Proceed with Capital Purchase (Vehicle Replacements) for South Whitehall Township Police Department.

**SUGGESTED ACTION:**

- *Motion to approve the purchase of the 3 Chevrolet Tahoe's from Whitmoyer Auto Group.*

**ATTACHMENTS:**

[2024.04.10 - IOM-ICSB, - Purchase of Vehicles Complete.pdf](#)



**MEMORANDUM FOR  
AGENDA ITEMS**

<b>To:</b>	Board of Commissioners
<b>FROM:</b>	Interim Chief Steve Brown
<b>DATE:</b>	10 April 2024
<b>SUBJECT:</b>	Purchase of Police Vehicles
<b>COPY TO:</b>	Tom Petrucci, Township Manager

• **Background Information and/or Justification of Expense:**

The Police Department is in the process of fleet upgrades and are requesting authorization to purchase three (3) new patrol vehicles in accordance with our current fleet plan. All three (3) will be used to replace current front line patrol vehicles. These current vehicles will still stay in the fleet and be re-assigned as to the Community Relations Section for a School Resource Officer, as well as two being later upfitted to replace canine officer vehicles. This is necessary due to aging fleet vehicles that need to be replaced and taken out of service due to excessive mileage and safety concerns. Three vehicles will be decommissioned.

Furthermore, a growing minority of our officers are significantly over six (6) feet tall. We found that the size of the cockpit in some vehicles not only inhabits a comfortable working environment, as officers are often on patrol for most of their 12-hours shift, but it also hinders their ability to maneuver while driving in both non-emergency and emergency conditions. Since 2020, we have installed half seat prisoner compartments to give the driver more leg room. Unfortunately, it has been discovered that vehicles are not high enough inside the cockpit. This brings up issues with not only operating the vehicles but being able to enter and exit effectively.

We also have increased the amount of equipment inside the vehicles, making even less room for storage. Officers carry patrol bags and other necessary equipment to be able to efficiently and effectively do their jobs. The smaller cockpits have been filled with computers, mounts, mobile radios, speed timing devices, as well as printers. This leaves even less room for average size officers as well. Officers can be tasked to reach for equipment, such as radio microphones and controls for the emergency visual and audio signals, on a frequent basis so having these items regularly available is important. Having more trunk space would allow for organization of the equipment inside, leaving less of it to be stored in the interior space of the vehicle.

The Michigan State Police conducts testing and evaluations on police package vehicles annually for the current year's models. These vehicle models are broken down by several factors below. The fully completed study is attached.



Make	Model	Front Interior Volume	Trunk Volume	EPA Miles Per Gallon		Quote 1	Quote 2	Quote 3
				City	Com			
Chevrolet	4WD Tahoe	64.1 cu.ft.	70.3 Cu.ft.	14	16	\$54,153.00 Chapman	\$53,779.00 Bonner	\$53,000 Witmoyer
		*Page 12						
Ford	Interceptor 3.3L AWD Eco-Boost	59.7 cu. Ft.	52 cu. Ft.	17	19	\$54,840.00 L.B. Smith	\$52,915.50 Chapman	\$52,196.39 Miracle
		*Page 24						
Dodge	Durango 3.6L AWD	54.4 cu. Ft.	43.3 cu. Ft.	TBD	TBD	N/A	N/A	N/A
		*Page 22						
*Data contained above is excerpted from the Michigan State Police Evaluation.								

There has also been a growing concern with the maintenance records for our current fleet as depicted below. These records show the regularity of issues with our vehicles. While the work is covered under warranty, the vehicles are scheduled by the garage so that only one or two are out of service at intervals because of the time that it takes for repairs. This affects the operational function of the patrol section and our established fleet plan. Officers assigned to the out of service vehicle will be assigned a different vehicle, adding to the mileage and possible maintenance costs.

South Whitehall Township (Lehigh County, Commonwealth of Pennsylvania)							
Current Mechanical Issues with Ford Police Interceptor® Utility from October 15, 2023 to March 26, 2024							
Unit #	Year	Odometer Miles	Description of Mechanical Issue(s)	Date Sent to Dealer for Service	In-Service Date	Cost (\$)	Notes
303	2020	51,013	Multiple Misfires in the Engine	10/24/2023	10/24/2023	\$47.40	
308*	2020	51,000	Traction/All-Wheel Drive Issue	10/24/2023	10/27/2023	Warranty	
304	2020	51,000	Water Pump; Traction/All-Wheel Drive Issue	10/30/2023	11/10/2023	Warranty	
305*	2021	30,000	Left Front CV Joint Bad/Left Front Axle Seal	11/3/2023	11/6/2023	Warranty	
332	2014	60,000	Catalytic Converter	10/25/2023	11/3/2023	Warranty	
310	2021	24,000	Axle Seals	11/14/2023	11/20/2023	Warranty	
353	2020	14,000	Warning Lights on Dashboard;Went into Limp Mode	12/5/2023	12/14/2023	Warranty	
306	2020	41,000	Check Engine Light Flashing	10/29/2023	11/14/2023	Warranty	
302	2021	17,000	Axle Seal Leak/Water Pump	3/26/2024		Warranty	At the dealer.
308*	2020	51,500	Engine Misfire	11/20/2023	1/17/2024	Warranty	
305*	2021	37,800	All-Wheel Drive Issue	12/5/2023	1/23/2024	\$58.98	
304	2020	52,400	Engine Misfire	12/5/2023	12/14/2023	Warranty	
306	2020	43,000	Engine Misfire	12/14/2023	12/15/2023	Warranty	
307	2022	19,722	Check Engine Light	1/23/2024	1/29/2024	Warranty	
332	2014	61,000	Catalytic Converter	1/30/2024	2/5/2024	Warranty	
321	2019	63,500	Engine issues	2/7/2024	2/29/2024	Warranty	
303	2020	55,000	AWD light	2/29/2024	3/4/2024	Warranty	
351	2020	25,000	AWD light	2/26/2024	2/29/2024	Warranty	
352	2020	17,000	Bad starter/Generator	3/4/2024	3/7/2024	Warranty	
305	2021	39,000	R/F CV boot leaking	3/4/2024	3/7/2024	Warranty	Going to dealer.
*NOTE- These identified vehicles (highlighted yellow, orange and green) have gone back to the dealer for multiple issues.							

We have done our due diligence with obtaining quotes for vehicles. We requested and received a quote from three (3) dealerships for a 2024 Chevrolet Tahoe PPV (CK10706) and a 2025 Ford Interceptor EcoBoost (K8A) that provided COSTARS pricing. Given the issues displayed above, we received quotes for the Ford Interceptor 3.0L EcoBoost AWD, as it is a different model than the ones we have in our current fleet. Also note, Ford does not have anymore 2024 models available. The quotes obtained would be for the 2025 model that will not be deliverable until that year. Quotes for the Dodge Durango were not obtained because the order banks have closed and their interior dimensions were the smallest. Another option for a larger interior was the Ford Expedition, however, no pursuit rated models were produced in 2024.

Pursuit models are specifically designed for the rigors of patrol work and last longer than non-pursuit models.

The lowest vehicle COSTARS price for a marked 2024 Chevrolet Tahoe AWD was \$53,000 with an upfitting cost of \$23,093.57 for a total cost of \$76,093.57 each. The overall total for the 3 vehicles is \$228,280.71. This price falls within the budgeted amount and still will allow for the canine vehicles to be uplifted later this year. Additionally, the three vehicles being decommissioned will tentatively be sold at auction.

- **Action Requested:**

We are requesting the Board of Commissioners approve the purchase of the 3 Chevrolet Tahoe's from Whitmoyer Auto Group. The vehicles were budgeted for in the 2024 budget.

- **Budget Line Item (if applicable):** *Please indicate approved budget amount for specified project(s).* 01-30-41-410-0000-000-000-0000-03-40720 Police Capital Expenses – Vehicles: \$275,000.00

- **Attachments:**

Attachment A: SWTPD Fleet Plan

Attachment B: MY2024 Police Vehicle Evaluation Test Book

Attachment C: SWT's Current Mechanical Issues with Ford Police Interceptor

Attachment D: Chapman Auto Group Fleet & Government Sales – 2024 Chevrolet Tahoe PPV (CK10706)  
COSTARS Quote

Attachment E: Bonner Chevrolet – 2024 Chevrolet Tahoe PPV (CK10706) COSTARS Quote

Attachment F: Whitmoyer Auto Group – 2024 Chevrolet Tahoe PPV (CK10706) COSTARS Quote

Attachment G: L.B. Smith Ford Lincoln – 2025 Ford Interceptor EcoBoost (K8A) COSTARS Quote

Attachment H: Miracle Ford – 2025 Ford Inceptor EcoBoost (K8A) COSTARS Quote

Attachment I: Chapman Ford of Horsham – 2025 Ford Inceptor EcoBoost (K8A) Quote

Attachment J: KML Transport, LLC – Quote for upfitting 2024 Chevrolet Tahoe

Attachment K: KML Transport, LLC – Quote for upfitting 2025 Ford Interceptor

## 2023 New Vehicles

- 308 2023 Chevy Tahoe Old to SRO as 343
- 311 2023 Ford Interceptor SUV Old to Municibid
- 313 2023 Ford Interceptor SUV (Unmarked) Old to CID as 334
- 323 2023 Chevy Tahoe (Supervisor)

## 2024 New Vehicles

- 305 2024 Chevy Tahoe Old to Canine Team 309
- 306 2024 Chevy Tahoe Old to Canine Team 319
- 322 2024 Chevy Tahoe Old to SRO

## 2025 New Vehicles

- 350 2025 Chevy Tahoe
- 351 2025 Chevy Tahoe
- 353 2025 Chevy Tahoe

## 2026 New Vehicles

- 303 2026 Chevy Tahoe
- 304 2026 Chevy Tahoe
- 354 2026 Chevy Tahoe

## 2027 New Vehicles

- 302 2027 Chevy Tahoe
- 310 2027 Chevy Tahoe
- 320 2027 Chevy Tahoe

## 2028 New Vehicles

- 307 2028 Chevy Tahoe
- 312 2028 Chevy Tahoe



# POLICE VEHICLE EVALUATION

## Model Year 2024





**STATE OF MICHIGAN**  
**Department of State Police**  
**and**  
**Department of Technology, Management and Budget**



**2024 Model Year**  
**Police Vehicle Evaluation Program**

**Published by:**  
Michigan State Police  
Precision Driving Unit  
October 2023

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# PREFACE

The Michigan State Police Vehicle Test Team is pleased to announce the results of the 2024 Model Year Police Vehicle Evaluation. This year we tested twelve patrol vehicles. We appreciate your continued support and encouragement. The vehicles evaluated this year included the following:

## POLICE VEHICLES

Chevrolet Tahoe 5.3L RWD  
Chevrolet Tahoe 5.3L 4WD  
Chevrolet Silverado Z7X 4WD  
Chevrolet Silverado Z71 4WD  
Chevrolet Blazer EV AWD  
Dodge Durango 5.7L AWD  
Dodge Durango 3.6L AWD  
Ford Police Interceptor Utility 3.0L EcoBoost AWD  
Ford Police Interceptor Utility Hybrid AWD  
Ford Police Interceptor Utility 3.3L AWD  
Ford F150 Police Responder 3.5L EcoBoost  
Ford Mustang Mach-E AWD



# GENERAL INFORMATION

All patrol vehicles were tested with a clean roof (no overhead light or light bar) and without "A" pillar mount spotlights. We believe this is the best way to ensure all the vehicles are tested on an equal basis. Remember that once overhead lights, spotlights, radio antennas, sirens, and other emergency equipment are installed, overall performance may be somewhat lower than we report.

Each vehicle was tested with the tires that are available as original equipment on the production model. Specific tire information for each vehicle is available in the Vehicle Description portion of this report. All vehicles listed in this report were equipped with electronic speed limiters unless otherwise noted.

The manufacturers could submit a one-half page highlight of their vehicle. These highlights will be included with the vehicle description and photograph. This information is direct from the manufacturer and is not an opinion or endorsement from the Michigan State Police. It is only an attempt to give the consumer the most information about the vehicle.

## **Chelsea Proving Grounds - Acceleration, Top Speed, & Braking Tests**

Acceleration and Top Speed tests were performed at the Chelsea Proving Grounds. This 4.7-mile 140 mph neutral steer banked oval provides ample space to obtain accurate test results in these areas.

The Brake test is also performed at the Chelsea Proving Grounds, utilizing lanes one and two of the straightaway on the eastside of the oval.

We would like to thank Mr. Tom Czapski for the assistance we received from the staff at the Chelsea Proving Grounds.

## **Grattan Raceway - Vehicle Dynamics Test**

Vehicle Dynamics testing was performed at the Grattan Raceway. This two-mile road course provides a realistic environment to test vehicles in dynamics and continues to produce comprehensive results regarding durability and performance.

We appreciate the support we received from General Motors, Stellantis and Ford Motor Company during testing.



# Vehicle Testing History, Pursuit Ratings, and Purchasing Specifications

The Michigan State Police (MSP) began testing patrol cars in the 1950s. At that time, quotations were requested from manufacturers and only the vehicle with the lowest quotation was tested to see if it met our purchasing requirements. Years later, the quotations received from manufacturers were only four dollars apart. At that point, the MSP decided to test all vehicles to select the best vehicle. The equipment used to measure speed and distance has evolved from tape measure to global positioning systems, providing more accurate measurements, making the MSP vehicle testing an internationally recognized resource for law enforcement agencies.

The term pursuit rated vehicle has recently been called into question as no one fully understands what this term represents. The term pursuit capable is more appropriate as there is no sanctioning body, or specific performance criteria, to determine if the vehicle meets a specialized designation. Each vehicle has been modified from a civilian vehicle to perform better under the rigors of police use. These vehicles are engineered to repetitively stop in a shorter distance, accelerate faster, and handle better than the base platform. Modifications to engines, cooling systems, transmissions and shifting parameters, brakes, tires, stability control programming, and other changes may all be included as part of the manufacturers police package.

The manufacturers provide upcoming model year vehicles to both the MSP and Los Angeles County Sheriff's Department to be tested for suitability in their respective operations. Historically, successful results at both test sites have validated the manufacturers' engineering efforts in building a car capable of handling the stress associated with police pursuits. Neither the MSP, nor the Los Angeles County Sheriff's Department, has the authority or credentials to award the term pursuit rated to any vehicle.

The MSP has performance criteria attached to its purchasing specifications. The criteria historically have been that a vehicle must accelerate from 0 – 60 mph in 9.0 seconds, 0 – 80 mph in 14.9 seconds, and 0 – 100 mph in 24.6 seconds. The vehicle must reach 110 mph in 0.92 mile and 120 mph in 1.70 miles. The vehicle must maintain an average deceleration rate of 25.79 ft./sec<sup>2</sup> while performing twenty 60 – 0 mph full anti-lock brake stops. The vehicle must also successfully complete all 32 laps of the Grattan Raceway dynamics testing without major component failure. Meeting the above criteria does not certify a vehicle as being pursuit rated, rather it justifies a vehicle can perform the job function the MSP requires in a police vehicle. When reading the testing results in this book, it is up to each agency to determine if the vehicle is suitable for the mission of their agency.

We recommend you review the information contained in this report and then apply it to the needs of your agency. This report is not an endorsement of products, but a means of learning what is available for your officers so they can do their job effectively and safely. If anything in this report requires further explanation or clarification, please call, or write.

**Lt. Nicholas Darlington, Phone: 517-643-5019, email: darlingtonn@michigan.gov**

**Sgt. Patrick Agema, Phone: 989-818-2214, email: agemap@michigan.gov**

**Sgt. John Looney, Phone: 989-818-2228, email: looneyj@michigan.gov**

**Sgt. Ryan Davis, 517-930-2579, email: davisr34@michigan.gov**

**Precision Driving Unit Main Line: 517-282-8710**

**Michigan State Police, Precision Driving Unit, 7426 North Canal Road, Lansing, Michigan 48913**

# ACKNOWLEDGEMENTS

We would like to thank the following contributors. We are grateful for their support and encouragement toward our goal: a safe, successful testing program that benefits the law enforcement community nationwide and beyond.

Col. Joe Gasper, Director, Michigan Department of State Police  
Lt. Col. Dale Hinz, Senior Deputy Director, Field Operations Bureau  
Lt. Col. Chris Kelenske, Senior Deputy Director, Field Support Bureau  
Lt. Col. Michael Krumm, Senior Deputy Director, Professional Development Bureau  
Maj. Joseph Brodeur, Senior Management Executive, Field Operations Bureau  
Maj. Ryan Pennell, Senior Management Executive, Field Operations Bureau  
Maj. Beth Clark, Senior Management Executive, Field Support Bureau  
Dr. Juli Liebler, Senior Management Executive, Professional Development Bureau  
Capt. James Grady, Commander, Training Division

Personnel from the Michigan Department of Technology, Management and Budget Vehicle and Travel Services.

Mr. Tom Czapski and personnel from Chelsea Proving Grounds  
Mr. Sam Faasen and personnel from Grattan Raceway Park

Photographs by Ms. Danielle Campbell and Ms. Kim Dowling, Michigan State Police, and  
Ret. Tpr. Daniel Obarski, Blue Diamond Photography.

Vehicle Evaluation book prepared by Ms. Jill McKerr, Michigan State Police, Precision Driving Unit.

The Michigan State Police Precision Driving Unit would like to extend a very special thank you to Chevrolet, Dodge, and Ford Motor Company for their hard work in building and preparing the test vehicles. We are grateful for your dedication to law enforcement. Law enforcement officers rely on these vehicles to perform a vast array of duties.

Finally, thank you to all in the United States and Canada who represent law enforcement and purchasing agencies for your constant encouragement and support. We are proud to contribute to the law enforcement community.



**Michigan State Police Vehicle Test Team**

**Back Row:** Tpr. Mike McCuaig, Tpr. Jeff Mercer, Ret. Lt. David "Doc" Holiday, Ret. Lt. Mike McCarthy, Sgt. Ryan Davis, Lt. Nick Darlington, Sgt. Kelly Linebaugh  
**Front Row:** Sgt. Pat Agema, Tpr. Mark Fisher, Ms. Jill McKerr, Ms. Kim Szczepaniak, Sgt. John Looney, Sgt. Casey Omiljan

# TEST EQUIPMENT

The following test equipment is utilized during the Vehicle Acceleration, Top Speed, Braking, and Dynamics portions of the evaluation program.

**Racelogic USA** 27240 Haggerty Rd. Suite E17, Farmington Hills, MI 48331

- VBox 3i Data Collection System

**AMB i.t. US-INC** 1631 Phoenix Blvd. Suite 11, College Park, GA 30349

- Orbits 5.2 Extended Loop Decoder
- AMB TranX260 Transponders

**Stilo Helmets USA** 9A Electronics Ave., Danvers, MA 01923


- Test Driver Helmet- ST5 GT Carbon Fiber

**Simpson Race Products** 328 FM 306, New Braunfels, TX 78130

- Hybrid S Head and Neck Restraint

**Motorola Solutions** 1303 East Algonquin Road, Schaumburg, IL 60196

- Mag One BPR 40 Two-Way Radio

The logo of the Michigan State Police is centered on the page. It features a blue shield with a yellow border and a yellow star on the left and right sides. The word "MICHIGAN" is written in yellow across the top of the shield, and "STATE POLICE" is written in yellow across the bottom. In the center of the shield is a circular seal containing the state coat of arms of Michigan.

**VEHICLE DESCRIPTIONS  
AND  
PHOTOGRAPHS**



# Chevrolet Tahoe 5.3L RWD



<b>MAKE &amp; MODEL</b>	2024 2WD Chevrolet Police Tahoe
<b>SALES CODE</b>	9C1
<b>POWERTRAIN INFORMATION</b>	
<b>CUBIC INCHES</b>	325
<b>LITERS</b>	5.3
<b>DRIVE SYSTEM</b>	Rear Wheel Drive
<b>HORSEPOWER</b>	355 HP
<b>TORQUE</b>	383 ft./lbs.
<b>ALTERNATOR</b>	250 AMP
<b>BATTERY</b>	900/760 CCA
<b>TRANSMISSION</b>	10 Speed
<b>AXLE RATIO</b>	3.23
<b>TURNING RADIUS</b>	19.5 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	275/55 R-20
<b>GROUND CLEARANCE, MINIMUM</b>	7.1 inches
<b>BRAKE SYSTEM</b>	eBoost ABS disc/disc
<b>FUEL CAPACITY</b>	24 Gallons/90.85 Liters
<b>MANUFACTURER LIMITED TOP SPEED</b>	130 mph
<b>GENERAL MEASUREMENTS</b>	
<b>WHEELBASE</b>	120.9 inches
<b>LENGTH</b>	210.7 inches
<b>CURB WEIGHT</b>	5717 lbs.
<b>HEIGHT</b>	75.8 inches
<b>INTERIOR VOLUME</b>	
<b>FRONT</b>	64.1 cu. ft.
<b>REAR</b>	59.2 cu. ft.
<b>COMBINED</b>	123.2 cu. ft.
<b>TRUNK</b>	70.3 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	1600 lbs.
<b>EPA MILEAGE EST. (MPG)</b>	
<b>CITY</b>	15
<b>HIGHWAY</b>	19
<b>COMBINED</b>	16

**MANUFACTURER VEHICLE HIGHLIGHTS**

The MY24 police Tahoe 2WD and 4WD is completely carry over content from the MY23 vehicle.

# Chevrolet Tahoe 5.3L 4WD



<b>MAKE &amp; MODEL</b>	2024 4WD Chevrolet Police Tahoe
<b>SALES CODE</b>	9C1
<b>POWERTRAIN INFORMATION</b>	
<b>CUBIC INCHES</b>	325
<b>LITERS</b>	5.3
<b>DRIVE SYSTEM</b>	Four Wheel Drive
<b>HORSEPOWER</b>	355 HP
<b>TORQUE</b>	383 ft./lbs.
<b>ALTERNATOR</b>	250 AMP
<b>BATTERY</b>	900/760 CCA
<b>TRANSMISSION</b>	10 Speed
<b>AXLE RATIO</b>	3.23
<b>TURNING RADIUS</b>	19.5 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	275/55 R-20
<b>GROUND CLEARANCE, MINIMUM</b>	7.1 inches
<b>BRAKE SYSTEM</b>	eBoost ABS disc/disc
<b>FUEL CAPACITY</b>	24 Gallons/90.85 Liters
<b>MANUFACTURER LIMITED TOP SPEED</b>	124 mph
<b>GENERAL MEASUREMENTS</b>	
<b>WHEELBASE</b>	120.9 inches
<b>LENGTH</b>	210.7 inches
<b>CURB WEIGHT</b>	5730 lbs.
<b>HEIGHT</b>	75.9 inches
<b>INTERIOR VOLUME</b>	
<b>FRONT</b>	64.1 cu. ft.
<b>REAR</b>	59.2 cu. ft.
<b>COMBINED</b>	123.2 cu. ft.
<b>TRUNK</b>	70.3 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	1600 lbs.
<b>EPA MILEAGE EST. (MPG)</b>	
<b>CITY</b>	14
<b>HIGHWAY</b>	18
<b>COMBINED</b>	16

### MANUFACTURER VEHICLE HIGHLIGHTS

The MY24 police Tahoe 2WD and 4WD is completely carry over content from the MY23 vehicle.



# Chevrolet Silverado Z7X 4WD



<b>MAKE &amp; MODEL</b>	2024 4WD Chevrolet Police Silverado Z7X (2" Lifted Chassis)
<b>SALES CODE</b>	9C1

<b>POWERTRAIN INFORMATION</b>	
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<b>CUBIC INCHES</b>	325
<b>LITERS</b>	5.3
<b>DRIVE SYSTEM</b>	Four Wheel Drive
<b>HORSEPOWER</b>	355 HP
<b>TORQUE</b>	383 ft./lbs.
<b>ALTERNATOR</b>	220 AMP
<b>BATTERY</b>	730 CCA AGM
<b>TRANSMISSION</b>	10 Speed column shift and 2 speed transfer case with Auto mode
<b>AXLE RATIO</b>	3.23 with standard Traction Lock
<b>TURNING RADIUS</b>	23.2 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	P275/60 R-20 AT, S Speed Rating
<b>GROUND CLEARANCE, MINIMUM</b>	11.4 inches
<b>BRAKE SYSTEM</b>	eBoost ABS disc/disc
<b>FUEL CAPACITY</b>	24 Gallons/90.85 Liters
<b>MANUFACTURER LIMITED TOP SPEED</b>	112 mph

<b>GENERAL MEASUREMENTS</b>	
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<b>WHEELBASE</b>	147.4 inches
<b>LENGTH</b>	231.7 inches
<b>CURB WEIGHT</b>	5010 lbs.
<b>HEIGHT</b>	77.6 inches

<b>INTERIOR VOLUME</b>	
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<b>FRONT</b>	64.2 cu. ft.
<b>REAR</b>	65.6 cu. ft.
<b>COMBINED</b>	129.8 cu. ft.
<b>TRUNK</b>	62.9 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	1850 lbs.

<b>EPA MILEAGE EST. (MPG)</b>	
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<b>CITY</b>	14
<b>HIGHWAY</b>	17
<b>COMBINED</b>	15

<b>MANUFACTURER VEHICLE HIGHLIGHTS</b>	
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The MY24 police Silverado 4WD has the following new enhancements.

- Standard Z71 suspension with optional Z7X 2-inch chassis lift

# Chevrolet Silverado Z71 4WD



<b>MAKE &amp; MODEL</b>	2024 4WD Chevrolet Police Silverado Z71
<b>SALES CODE</b>	9C1

<b>POWERTRAIN INFORMATION</b>	
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<b>CUBIC INCHES</b>	325
<b>LITERS</b>	5.3
<b>DRIVE SYSTEM</b>	Four Wheel Drive
<b>HORSEPOWER</b>	355 HP
<b>TORQUE</b>	383 ft./lbs.
<b>ALTERNATOR</b>	220 AMP
<b>BATTERY</b>	730 CCA AGM
<b>TRANSMISSION</b>	10 Speed column shift and 2 speed transfer case with Auto mode
<b>AXLE RATIO</b>	3.23 with standard Traction Lock
<b>TURNING RADIUS</b>	23.2 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	P275/60 R-20 AT, S Speed Rating
<b>GROUND CLEARANCE, MINIMUM</b>	9.2 inches
<b>BRAKE SYSTEM</b>	eBoost ABS disc/disc
<b>FUEL CAPACITY</b>	24 Gallons/90.85 Liters
<b>MANUFACTURER LIMITED TOP SPEED</b>	112 mph

<b>GENERAL MEASUREMENTS</b>	
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<b>WHEELBASE</b>	147.4 inches
<b>LENGTH</b>	231.7 inches
<b>CURB WEIGHT</b>	5010 lbs.
<b>HEIGHT</b>	75.5 inches

<b>INTERIOR VOLUME</b>	
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<b>FRONT</b>	64.2 cu. ft.
<b>REAR</b>	65.6 cu. ft.
<b>COMBINED</b>	129.8 cu. ft.
<b>TRUNK</b>	62.9 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	1850 lbs.

<b>EPA MILEAGE EST. (MPG)</b>	
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<b>CITY</b>	14
<b>HIGHWAY</b>	17
<b>COMBINED</b>	15

<b>MANUFACTURER VEHICLE HIGHLIGHTS</b>	
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The police Silverado 4WD has the following new enhancements.

- Standard trailer hitch



# Chevrolet Blazer EV AWD



<b>MAKE &amp; MODEL</b>	2024 AWD Chevrolet Police Blazer EV
<b>SALES CODE</b>	9C1
<b>POWERTRAIN INFORMATION</b>	
<b>CUBIC INCHES</b>	N/A
<b>LITERS</b>	N/A
<b>DRIVE SYSTEM</b>	All Wheel Drive
<b>HORSEPOWER</b>	498 HP
<b>TORQUE</b>	571 ft./lbs.
<b>ALTERNATOR</b>	N/A AMP
<b>BATTERY</b>	520 CCA
<b>TRANSMISSION</b>	N/A
<b>AXLE RATIO</b>	N/A
<b>TURNING RADIUS</b>	39.7 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	265/55 R-20
<b>GROUND CLEARANCE, MINIMUM</b>	7.49 inches
<b>BRAKE SYSTEM</b>	eBoost ABS disc/disc
<b>FUEL CAPACITY</b>	105kwh Battery
<b>MANUFACTURER LIMITED TOP SPEED</b>	130 MPH
<b>GENERAL MEASUREMENTS</b>	
<b>WHEELBASE</b>	121.8 inches
<b>LENGTH</b>	192.62 inches
<b>CURB WEIGHT</b>	5870 lbs.
<b>HEIGHT</b>	64.78 inches
<b>INTERIOR VOLUME</b>	
<b>FRONT</b>	58 cu. ft.
<b>REAR</b>	25.7 cu. ft.
<b>COMBINED</b>	83.7 cu. ft.
<b>TRUNK</b>	25.7 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	904 lbs.
<b>EPA MILEAGE EST. (MPG)</b>	
<b>CITY</b>	EPA FE Labels not yet available
<b>HIGHWAY</b>	
<b>COMBINED</b>	

<b>MANUFACTURER VEHICLE HIGHLIGHTS</b>	
<p>The MY24 police Blazer EV AWD has the following</p> <ul style="list-style-type: none"> <li>• Ultium Performance All Wheel Drive</li> <li>• 2-Motor Permanent Magnetic Drive with ETRS</li> <li>• Firestone Firehawk Pursuit 20" tires and steel wheels.</li> <li>• Specific suspension tuning with unique monotube dampers, coil springs and stabilizer bars.</li> <li>• Lower ride height compared to civilian model.</li> <li>• Heavy-duty braking system with large front Brembo six-piston aluminum mono-block calipers on 15-inch rotors with heavy duty semi metallic brake linings.</li> <li>• 6000 lb towing rating.</li> <li>• Certified Digital speedometer.</li> <li>• Exterior design with a high approach angle front fascia and front/rear skidplates.</li> <li>• Police front row seats with comfort enhancements.</li> <li>• Standard wire harness has 31 wire circuits to the cockpit, 56 wire circuits to the cargo area and 25 shared circuits to connect aftermarket equipment without removing major panels or components to reduce time and complexity of upfitting.</li> <li>• Repurpose the LH steering wheel-mounted buttons using the blunt-cut wires to perform initiating a Code 3 with lights and sirens or activating a department 2-way radio microphone.</li> <li>• Auxiliary power module operates upfit equipment.</li> <li>• Available Rear Camera Mirror</li> <li>• Keyless entry and push-to-start ignition</li> <li>• Optional OnStar</li> <li>• Available LED spot lamp</li> <li>• Available opened liftgate red/blue LED lighting</li> <li>• Available strobe lighting</li> <li>• The 2024 Blazer EV Police Pursuit Vehicle will be assembled at General Motors' Ramos Assembly in Mexico</li> </ul>	

# Dodge Durango 5.7L AWD



<b>MAKE &amp; MODEL</b>	2024 Dodge Durango 5.7L AWD
<b>SALES CODE</b>	22Z
<b>POWERTRAIN INFORMATION</b>	
<b>CUBIC INCHES</b>	345
<b>LITERS</b>	5.7L
<b>DRIVE SYSTEM</b>	All Wheel Drive
<b>HORSEPOWER</b>	360 HP
<b>TORQUE</b>	390 ft./lbs.
<b>ALTERNATOR</b>	220 AMP
<b>BATTERY</b>	800 CCA
<b>TRANSMISSION</b>	TorqueFlite Automatic, 8-Speed Overdrive 8HP70
<b>AXLE RATIO</b>	3.09
<b>TURNING RADIUS</b>	41.0 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	255/60R18 108V Firestone Firehawk Pursuit
<b>GROUND CLEARANCE, MINIMUM</b>	8.1 inches
<b>BRAKE SYSTEM</b>	Power, Dual Piston Front/Single Piston Rear, Anti-Lock
<b>FUEL CAPACITY</b>	24.6 Gallons/93.1 Liters
<b>MANUFACTURER LIMITED TOP SPEED</b>	130 MPH
<b>GENERAL MEASUREMENTS</b>	
<b>WHEELBASE</b>	119.8 inches
<b>LENGTH</b>	201.2 inches
<b>CURB WEIGHT</b>	5214 lbs.
<b>HEIGHT</b>	70.9 inches
<b>INTERIOR VOLUME</b>	
<b>FRONT</b>	54.4 cu. ft.
<b>REAR</b>	51.2 cu. ft.
<b>COMBINED</b>	105.6 cu. ft.
<b>TRUNK</b>	43.3 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	1700 lbs.
<b>EPA MILEAGE EST. (MPG)</b>	
<b>CITY</b>	TBD
<b>HIGHWAY</b>	TBD
<b>COMBINED</b>	TBD

### MANUFACTURER VEHICLE HIGHLIGHTS

The 2024 Dodge Durango Pursuit comes equipped with the legendary 5.7-liter HEMI® V8 engine paired to the fuel-friendly 8-speed transmission. It comes with a full list of standard features such as an IP mounted shifter, black steel wheels with chrome center cap, vinyl flooring, police specific front seats, and the invaluable automatic tri-zone temperature control to keep K9 units comfortable. An 8.4-inch touchscreen is standard which provides maximum rear camera visibility.

The demands of police work require a vehicle with exceptional maneuverability, power and fuel economy, and Dodge Durango Pursuit is ready for duty. This SUV was built to carry with 84 cu.-ft. of cargo volume and a towing capacity up to 7,200 lbs. It all adds up to complete capability for the toughest assignments — the foundation of Durango Pursuit.



# Dodge Durango 3.6L AWD



<b>MAKE &amp; MODEL</b>	2024 Dodge Durango 3.6L AWD
<b>SALES CODE</b>	2BZ
<b>POWERTRAIN INFORMATION</b>	
<b>CUBIC INCHES</b>	220
<b>LITERS</b>	3.6L
<b>DRIVE SYSTEM</b>	All Wheel Drive
<b>HORSEPOWER</b>	293 HP
<b>TORQUE</b>	260 ft./lbs.
<b>ALTERNATOR</b>	220 AMP
<b>BATTERY</b>	650 CCA
<b>TRANSMISSION</b>	TorqueFlite Automatic, 8-Speed Overdrive 850RE
<b>AXLE RATIO</b>	3.45
<b>TURNING RADIUS</b>	41.0 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	255/60R18 108V Firestone Firehawk Pursuit
<b>GROUND CLEARANCE, MINIMUM</b>	8.1 inches
<b>BRAKE SYSTEM</b>	Power, Dual Piston Front/Single Piston Rear, Anti-Lock
<b>FUEL CAPACITY</b>	24.6 Gallons/93.1 Liters
<b>MANUFACTURER LIMITED TOP SPEED</b>	130 MPH
<b>GENERAL MEASUREMENTS</b>	
<b>WHEELBASE</b>	119.8 inches
<b>LENGTH</b>	201.2 inches
<b>CURB WEIGHT</b>	4929 lbs.
<b>HEIGHT</b>	70.9 inches
<b>INTERIOR VOLUME</b>	
<b>FRONT</b>	54.4 cu. ft.
<b>REAR</b>	51.2 cu. ft.
<b>COMBINED</b>	105.6 cu. ft.
<b>TRUNK</b>	43.3 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	1550 lbs.
<b>EPA MILEAGE EST. (MPG)</b>	
<b>CITY</b>	TBD
<b>HIGHWAY</b>	TBD
<b>COMBINED</b>	TBD

### MANUFACTURER VEHICLE HIGHLIGHTS

The 2024 Dodge Durango Pursuit comes equipped with the award winning 3.6-liter Pentastar V6 engine paired to the fuel-friendly 8-speed transmission. It comes with a full list of standard features such as an IP mounted shifter, black steel wheels with chrome center cap, vinyl flooring, police specific front seats, and the invaluable automatic tri-zone temperature control to keep K9 units comfortable. An 8.4" touchscreen is standard which provides maximum rear camera visibility.

The demands of police work require a vehicle with exceptional maneuverability, power and fuel economy, and Dodge Durango Pursuit is ready for duty. This SUV was built to carry with 84 cu.-ft. of cargo volume and a towing capacity up to 6,200 lbs. It all adds up to complete capability for the toughest assignments — the foundation of Durango Pursuit.

# Ford Police Interceptor Utility 3.0L EcoBoost AWD



<b>MAKE &amp; MODEL</b>	2024 Police Interceptor Utility EcoBoost AWD
<b>SALES CODE</b>	K8A, 99

POWERTRAIN INFORMATION	
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<b>CUBIC INCHES</b>	183 CI
<b>LITERS</b>	3.0L
<b>DRIVE SYSTEM</b>	All Wheel Drive
<b>HORSEPOWER</b>	400 HP
<b>TORQUE</b>	415 ft./lbs.
<b>ALTERNATOR</b>	250 AMP
<b>BATTERY</b>	730 CCA
<b>TRANSMISSION</b>	10 Speed
<b>AXLE RATIO</b>	3.31:1
<b>TURNING RADIUS</b>	40.4 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	255/60R18 108V
<b>GROUND CLEARANCE, MINIMUM</b>	7.2 inches
<b>BRAKE SYSTEM</b>	Power- dual piston calipers front, single piston calipers rear, 4 circuit ABS
<b>FUEL CAPACITY</b>	21.4 Gallons/81.0 Liters

GENERAL MEASUREMENTS	
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<b>WHEELBASE</b>	119.1 inches
<b>LENGTH</b>	198.8 inches
<b>CURB WEIGHT</b>	4848 lbs.
<b>HEIGHT</b>	69.0 inches

INTERIOR VOLUME	
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<b>FRONT</b>	59.7 cu. ft.
<b>REAR</b>	58.4 cu. ft.
<b>COMBINED</b>	118.0 cu. ft.
<b>TRUNK</b>	52 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	1670 lbs.

EPA MILEAGE EST. (MPG)	
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<b>CITY</b>	17
<b>HIGHWAY</b>	22
<b>COMBINED</b>	19

MANUFACTURER VEHICLE HIGHLIGHTS	
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**#1 SELLING POLICE BRAND FOR 2013CY, 2014CY, 2015CY, 2016CY, 2017CY, 2018CY, 2019CY, 2020CY, 2021CY and 2022CY<sup>1</sup>**

**NEW FEATURES & CHANGES:**

- All-new for 2020 Model Year, the Ford Police Interceptor® Utility comes with standard Hybrid AWD and Ford Telematics
- Hybrid and AWD are ideal for law enforcement, due to optimal performance and significant potential fuel savings
- Optional 3.3L Flex Fuel AWD and 3.0L EcoBoost AWD also available

**SAFETY:**

- Heated Sanitization Solution. This innovative solution temporarily raises internal vehicle temperatures over 133 degrees Fahrenheit for at least 15 minutes – long enough to help disinfect touchpoints to reduce viral concentration (including COVID-19) inside by greater than 99% on interior surfaces – a way to protect officers working in frontline conditions.<sup>2</sup>
- Ford Police Interceptors are the only vehicles in the world designed and engineered for the 75-mph rear-impact crash test
- Optional factory-installed Police Perimeter Alert monitors approximately 270° and secures vehicle if threatening motion detected
- Optional Automatic Emergency Braking features unique temporary disable switch for Law Enforcement
- Optional Level III+ & IV+ NIJ Ballistic Panels – includes additional LAPD special threat rounds
- Optional factory-installed 12.1" Integrated Computer Screen allows laptops to be stored out of the way, reducing cabin clutter

**DURABILITY:**

- Enhanced police durability-cycle tested, proven real-world durability results

**PERFORMANCE:**

- New 3.0L EcoBoost AWD provides increased horsepower, torque, acceleration and top speed vs. 3.5L EcoBoost AWD, and had the fastest 0-60 and 0-100 acceleration times of all sedan and utility vehicles tested by MSP in 2020CY
- Standard AWD provides optimum handling in various road conditions – dry, ice/snow, wet/rain, gravel, etc.
  1. The 2020CY is based on IHS Markit Registration data as of May 2020
  2. Ambient temperature, installation of partitions or other upfit equipment may impede temperatures from reaching the recommended threshold.



# Ford Police Interceptor Utility 3.3L Hybrid AWD



<b>MAKE &amp; MODEL</b>	2024 Police Interceptor Utility Hybrid AWD
<b>SALES CODE</b>	K8A, 99W
<b>POWERTRAIN INFORMATION</b>	
<b>CUBIC INCHES</b>	201 CI
<b>LITERS</b>	3.3L Hybrid
<b>DRIVE SYSTEM</b>	All Wheel Drive
<b>HORSEPOWER</b>	318 combined HP
<b>TORQUE</b>	322 combined ft./lbs.
<b>ALTERNATOR</b>	DC/DC Converter: 220 AMP
<b>BATTERY</b>	800 CCA
<b>TRANSMISSION</b>	10 Speed
<b>AXLE RATIO</b>	3.73:1
<b>TURNING RADIUS</b>	40.4 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	255/60R18 108V
<b>GROUND CLEARANCE, MINIMUM</b>	7.4 inches
<b>BRAKE SYSTEM</b>	Power- dual piston calipers front, single piston calipers rear, 4 circuit ABS
<b>FUEL CAPACITY</b>	19.0 Gallons/ 72.0 Liters
<b>GENERAL MEASUREMENTS</b>	
<b>WHEELBASE</b>	119.1 inches
<b>LENGTH</b>	198.8 inches
<b>CURB WEIGHT</b>	5303 lbs.
<b>HEIGHT</b>	69.2 inches
<b>INTERIOR VOLUME</b>	
<b>FRONT</b>	59.7 cu. ft.
<b>REAR</b>	58.4 cu. ft.
<b>COMBINED</b>	118.0 cu. ft.
<b>TRUNK</b>	52 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	1670 lbs.
<b>EPA MILEAGE EST. (MPG)</b>	
<b>CITY</b>	23
<b>HIGHWAY</b>	24
<b>COMBINED</b>	24

### MANUFACTURER VEHICLE HIGHLIGHTS

**#1 SELLING POLICE BRAND FOR 2013CY, 2014CY, 2015CY, 2016CY, 2017CY, 2018CY, 2019CY, 2020CY, 2021CY and 2022CY<sup>1</sup>**

**NEW FEATURES & CHANGES:**

- All-new for 2020 Model Year, the Ford Police Interceptor® Utility comes with standard Hybrid AWD and Ford Telematics
- Hybrid and AWD are ideal for law enforcement, due to optimal performance and significant potential fuel savings
- Optional 3.3L Flex Fuel AWD and 3.0L EcoBoost AWD also available

**SAFETY:**

- Heated Sanitization Solution. This innovative solution temporarily raises internal vehicle temperatures over 133 degrees Fahrenheit for at least 15 minutes – long enough to help disinfect touchpoints to reduce viral concentration (including COVID-19) inside by greater than 99% on interior surfaces – a way to protect officers working in frontline conditions.<sup>2</sup>
- Ford Police Interceptors are the only vehicles in the world designed and engineered for the 75-mph rear-impact crash test
- Optional factory-installed Police Perimeter Alert monitors approximately 270° and secures vehicle if threatening motion detected
- Optional Automatic Emergency Braking features unique temporary disable switch for Law Enforcement
- Optional Level III+ & IV+ NIJ Ballistic Panels – includes additional LAPD special threat rounds
- Optional factory-installed 12.1" Integrated Computer Screen allows laptops to be stored out of the way, reducing cabin clutter

**DURABILITY:**

- Enhanced police durability-cycle tested, proven real-world durability results

**PERFORMANCE:**

- New standard Hybrid powertrain provides increased horsepower, torque, acceleration and top speed vs. 3.7L AWD
- Standard AWD provides optimum handling in various road conditions – dry, ice/snow, wet/rain, gravel, etc.

1. The 2020CY is based on IHS Markit Registration data as of May 2020

2. Ambient temperature, installation of partitions or other upfit equipment may impede temperatures from reaching the recommended threshold.

# Ford Police Interceptor Utility 3.3L AWD



<b>MAKE &amp; MODEL</b>	2024 Police Interceptor Utility 3.3L AWD
<b>SALES CODE</b>	K8A, 99B

<b>POWERTRAIN INFORMATION</b>	
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<b>CUBIC INCHES</b>	201 CI
<b>LITERS</b>	3.3L
<b>DRIVE SYSTEM</b>	All Wheel Drive
<b>HORSEPOWER</b>	285 HP
<b>TORQUE</b>	260 ft./lbs.
<b>ALTERNATOR</b>	250 AMP
<b>BATTERY</b>	730 CCA
<b>TRANSMISSION</b>	10 Speed
<b>AXLE RATIO</b>	3.73:1
<b>TURNING RADIUS</b>	40.4 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	255/60R18 108V
<b>GROUND CLEARANCE, MINIMUM</b>	7.6 inches
<b>BRAKE SYSTEM</b>	Power- dual piston calipers front, single piston calipers rear, 4 circuit ABS
<b>FUEL CAPACITY</b>	21.4 Gallons/81.0 Liters

<b>GENERAL MEASUREMENTS</b>	
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<b>WHEELBASE</b>	119.1 inches
<b>LENGTH</b>	198.8 inches
<b>CURB WEIGHT</b>	4755 lbs.
<b>HEIGHT</b>	69.3 inches

<b>INTERIOR VOLUME</b>	
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<b>FRONT</b>	59.7 cu. ft.
<b>REAR</b>	58.4 cu. ft.
<b>COMBINED</b>	118.0 cu. ft.
<b>TRUNK</b>	52.0 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	1670 lbs.

<b>EPA MILEAGE EST. (MPG)</b>	
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<b>CITY</b>	17
<b>HIGHWAY</b>	23
<b>COMBINED</b>	19

<b>MANUFACTURER VEHICLE HIGHLIGHTS</b>	
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**NEW FEATURES & CHANGES:**

- The Ford Police Interceptor® Utility comes with standard Hybrid AWD
- Hybrid and AWD are ideal for law enforcement, due to optimal performance and significant potential fuel savings
- Optional 3.3L Flex Fuel AWD and 3.0L EcoBoost AWD also available

**SAFETY:**

- Heated Sanitization Solution. This innovative solution temporarily raises internal vehicle temperatures over 133 degrees Fahrenheit for at least 15 minutes – long enough to help disinfect touchpoints to reduce viral concentration (including COVID-19) inside by greater than 99% on interior surfaces – a way to protect officers working in frontline conditions.<sup>2</sup>
- Ford Police Interceptors are the only vehicles in the world designed and engineered for the 75-mph rear-impact crash test
- Optional factory-installed Police Perimeter Alert monitors approximately 270° and secures vehicle if threatening motion detected
- Optional Automatic Emergency Braking features unique temporary disable switch for Law Enforcement
- Optional Level III+ & IV+ NIJ Ballistic Panels – includes additional LAPD special threat rounds
- Optional factory-installed 12.1" Integrated Computer Screen allows laptops to be stored out of the way, reducing cabin clutter

**DURABILITY:**

- Enhanced police durability-cycle tested, proven real-world durability results

**PERFORMANCE:**

- Standard Hybrid powertrain provides increased horsepower, torque, acceleration and top speed vs. 3.7L AWD
- Standard AWD provides optimum handling in various road conditions – dry, ice/snow, wet/rain, gravel, etc.

3. The 2020CY is based on IHS Markit Registration data as of May 2020

4. Ambient temperature, installation of partitions or other upfit equipment may impede temperatures from reaching the recommended threshold.



# Ford F150 Police Responder 3.5L EcoBoost 4WD



<b>MAKE &amp; MODEL</b>	2024 F-150 Police Responder 3.5L EcoBoost
<b>SALES CODE</b>	W1P
<b>POWERTRAIN INFORMATION</b>	
<b>CUBIC INCHES</b>	213
<b>LITERS</b>	3.5L
<b>DRIVE SYSTEM</b>	Front Wheel Drive
<b>HORSEPOWER</b>	400 HP
<b>TORQUE</b>	500 ft./lbs.
<b>ALTERNATOR</b>	240 AMP
<b>BATTERY</b>	800 CCA
<b>TRANSMISSION</b>	10-Speed SelectShift Automatic
<b>AXLE RATIO</b>	3.31
<b>TURNING RADIUS</b>	47.8 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	LT265/70R18 113H
<b>GROUND CLEARANCE, MINIMUM</b>	9.4 inches
<b>BRAKE SYSTEM</b>	4-wheel vented disc ABS with electronically controlled brake boost
<b>FUEL CAPACITY</b>	26 Gallons/98 Liters
<b>MANUFACTURER LIMITED TOP SPEED</b>	120 mph
<b>GENERAL MEASUREMENTS</b>	
<b>WHEELBASE</b>	145.4 inches
<b>LENGTH</b>	231.7 inches
<b>CURB WEIGHT</b>	5016 lbs.
<b>HEIGHT</b>	77.2 inches
<b>INTERIOR VOLUME</b>	
<b>FRONT</b>	79.9 cu. ft.
<b>REAR</b>	52.0 cu. ft.
<b>COMBINED</b>	131.9 cu. ft.
<b>TRUNK</b>	52.8 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	2030 lbs.
<b>EPA MILEAGE EST. (MPG)</b>	
<b>CITY</b>	16
<b>HIGHWAY</b>	20
<b>COMBINED</b>	18

<b>MANUFACTURER VEHICLE HIGHLIGHTS</b>	
<p><b>NEW FEATURES:</b>  The 2024 Ford F-150 Police Responder® now offers an all-new steel wheel while combining on-road pursuit performance with Built Ford Tough off-road capability. The F-150 Police Responder provides a 120mph top speed and offers a torque-on-demand 4x4 transfer case with a "4-Auto" mode that features "set it and forget it" capability. Optional Police Engine Idle feature permits officers to quickly remove the key from the ignition and exit the vehicle, while allowing the vehicle to remain securely idling to support lights, sirens and other on-board equipment.</p>	
<p><b>SAFETY:</b></p> <ul style="list-style-type: none"> <li>• Standard built-in steel intrusion plates in front seat backs</li> <li>• Rear View Camera with Dynamic Hitch Assist</li> <li>• Available Pre-Collision Assist with Automatic Emergency Braking (includes Law Enforcement temporary disable switch)</li> <li>• Available BLIS (Blind Spot Information System) with Cross-traffic Alert</li> </ul>	
<p><b>DURABILITY:</b></p> <ul style="list-style-type: none"> <li>• Standard Off-Road package featuring severe duty shocks, underbody skid plates and electronic locking rear axle</li> <li>• Severe duty brake pads and brake calipers</li> <li>• Police-grade heavy-duty cloth front seats</li> </ul>	
<p><b>PERFORMANCE:</b></p> <ul style="list-style-type: none"> <li>• Standard 3.5L EcoBoost® engine generating 400 horsepower and 500 lb-ft of torque</li> <li>• 120mph top speed</li> <li>• Most payload (2,030 lbs), standard towing (7,000 lbs) and optional towing (11,200 lbs) of any pursuit-rated police vehicle</li> </ul>	

# Ford Mustang Mach-E AWD



<b>MAKE &amp; MODEL</b>	2024 Ford Mustang Mach-E AWD
<b>SALES CODE</b>	K1S

<b>POWERTRAIN INFORMATION</b>	
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<b>CUBIC INCHES</b>	N/A
<b>LITERS</b>	N/A
<b>DRIVE SYSTEM</b>	All Wheel Drive
<b>HORSEPOWER</b>	346 HP
<b>TORQUE</b>	428 ft./lbs.
<b>ALTERNATOR</b>	160 AMP
<b>BATTERY</b>	380 CCA
<b>TRANSMISSION</b>	Single Speed Direct Drive
<b>AXLE RATIO</b>	9.05
<b>TURNING RADIUS</b>	38.1 ft.
<b>TIRE SIZE, LOAD &amp; SPEED RATING</b>	225/55R19 103H
<b>GROUND CLEARANCE, MINIMUM</b>	5.8 inches
<b>BRAKE SYSTEM</b>	Power, 4 piston monoblock front, 2 piston rear, 4 circuit ABS
<b>FUEL CAPACITY</b>	N/A Gallons/ N/A Liters
<b>MANUFACTURER LIMITED TOP SPEED</b>	112 mph

<b>GENERAL MEASUREMENTS</b>	
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<b>WHEELBASE</b>	117 inches
<b>LENGTH</b>	185 inches
<b>CURB WEIGHT</b>	4838 lbs.
<b>HEIGHT</b>	64 inches

<b>INTERIOR VOLUME</b>	
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<b>FRONT</b>	54.0 cu. ft.
<b>REAR</b>	47.0 cu. ft.
<b>COMBINED</b>	101.1 cu. ft.
<b>TRUNK</b>	29.7 cu. ft.
<b>MAXIMUM PAYLOAD CAPACITY (INCLUDING PASSENGERS)</b>	978 lbs.

<b>EPA MILEAGE EST. (MPG)</b>	
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<b>CITY</b>	96
<b>HIGHWAY</b>	84
<b>COMBINED</b>	90

<b>MANUFACTURER VEHICLE HIGHLIGHTS</b>	
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- 270 EPA-estimated Miles of Range
- eAWD (electric all-wheel drive)
- 91kWh Usable Capacity Extended Range High-Voltage Battery
- Sport-Style Front Seats with ActiveXTM Seating Material
- Ford Co-Pilot360 2.0
- Auto High-Beam Headlamps
- BLIS® (Blind Spot Information System) with Cross-Traffic Alert
- Lane-Keeping System
- Pre-Collision Assist with Automatic Emergency Braking (AEB)
- Post-Collision Braking
- Rear View Camera
- Reverse Brake Assist
- Reverse Sensing System
- Front Trunk Volume 4.7 cu. ft.



# VEHICLE DYNAMICS TESTING

## TESTING OBJECTIVE:

To determine each vehicle's high-speed pursuit or emergency response handling characteristics and performance in comparison to the other vehicles in the test group. The course used is a two-mile road racing type configuration, containing hills, curves, and corners. The course simulates actual conditions encountered in pursuit or emergency driving situations in the field, except for other traffic. The evaluation is a true test of the success or failure of the vehicle manufacturers to offer vehicles that provide the optimum balance between handling (suspension components), acceleration (usable horsepower), and braking characteristics.

## TESTING METHODOLOGY:

Each vehicle is driven a total of 32 timed laps, using four separate drivers, each driving an eight-lap series. The final score for the vehicle is the combined average (from the four drivers) of the five fastest laps for each driver during the eight-lap series.



Grattan Raceway, 7201 Lessiter Road, Belding, MI 48809

## GRATTAN RACEWAY 2024 MODEL YEAR VEHICLE DYNAMICS SCHEDULE SEPTEMBER 18, 2023

	<b>RUN</b>	<b>AGEMA</b>	<b>LOONEY</b>	<b>DAVIS</b>	<b>MERCER</b>
<b>9:00 a.m.</b>	<b>1</b>	Ford F150 Police Responder 3.5L EcoBoost 4WD	Chevrolet Tahoe 5.3L RWD	Chevrolet Tahoe 5.3L 4WD	Ford Police Interceptor Utility 3.3L Hybrid AWD
<b>9:30 a.m.</b>	<b>2</b>	Chevrolet Silverado Z71 4WD	Chevrolet Silverado Z7X 4WD	Dodge Durango 3.6L AWD	<b>PASS</b>
<b>10:00 a.m.</b>	<b>3</b>	Chevrolet Blazer EV AWD	Ford Mustang Mach-E AWD	<b>PASS</b>	<b>PASS</b>
<b>10:30 a.m.</b>	<b>4</b>	<b>PASS</b>	Dodge Durango 5.7L AWD	Ford Police Interceptor Utility 3.3L AWD	Ford Police Interceptor Utility 3.0L EcoBoost AWD
<b>11:00 a.m.</b>	<b>5</b>	Chevrolet Tahoe 5.3L RWD	Chevrolet Tahoe 5.3L 4WD	Ford Police Interceptor Utility 3.3L Hybrid AWD	Ford F150 Police Responder 3.5L EcoBoost 4WD
<b>11:30 a.m.</b>	<b>6</b>	Dodge Durango 3.6L AWD	<b>PASS</b>	Chevrolet Silverado Z7X 4WD	Chevrolet Silverado Z71 4WD
<b>12:00 p.m.</b>	<b>7</b>	Ford Mustang Mach-E AWD	<b>PASS</b>	<b>PASS</b>	Chevrolet Blazer EV AWD
<b>12:30</b>	<b>8</b>	Ford Police Interceptor Utility 3.0L EcoBoost AWD	Ford Police Interceptor Utility 3.3L AWD	<b>PASS</b>	Dodge Durango 5.7L AWD
<b>1:00 p.m.</b>	<b>9</b>	Chevrolet Tahoe 5.3L 4WD	Ford Police Interceptor Utility 3.3L Hybrid AWD	Ford F150 Police Responder 3.5L EcoBoost 4WD	Chevrolet Tahoe 5.3L RWD
<b>1:30 p.m.</b>	<b>10</b>	<b>PASS</b>	Dodge Durango 3.6L AWD	Chevrolet Silverado Z71 4WD	Chevrolet Silverado Z7X 4WD
<b>2:00 p.m.</b>	<b>11</b>	<b>PASS</b>	<b>PASS</b>	Chevrolet Blazer EV AWD	Ford Mustang Mach-E AWD
<b>2:30 p.m.</b>	<b>12</b>	Dodge Durango 5.7L AWD	<b>PASS</b>	Ford Police Interceptor Utility 3.0L EcoBoost AWD	Ford Police Interceptor Utility 3.3L AWD
<b>3:00 p.m.</b>	<b>13</b>	Ford Police Interceptor Utility 3.3L Hybrid AWD	Ford F150 Police Responder 3.5L EcoBoost 4WD	Chevrolet Tahoe 5.3L RWD	Chevrolet Tahoe 5.3L 4WD
<b>3:30 p.m.</b>	<b>14</b>	Chevrolet Silverado Z7X 4WD	Chevrolet Silverado Z71 4WD	<b>PASS</b>	Dodge Durango 3.6L AWD
<b>4:00 p.m.</b>	<b>15</b>	<b>PASS</b>	Chevrolet Blazer EV AWD	Ford Mustang Mach-E AWD	<b>PASS</b>
<b>4:30 p.m.</b>	<b>16</b>	Ford Police Interceptor Utility 3.3L AWD	Ford Police Interceptor Utility 3.0L EcoBoost AWD	Dodge Durango 5.7L AWD	<b>PASS</b>

## VEHICLE DYNAMICS TESTING- SEPTEMBER 18, 2023

Vehicles	Drivers	Lap 1	Lap 2	Lap 3	Lap 4	Lap 5	Average
Chevrolet Tahoe 5.3L RWD	LOONEY	01:39.24	01:38.88	01:38.87	01:39.08	01:38.27	01:38.87
	AGEMA	01:39.54	01:39.41	01:38.66	01:39.47	01:38.89	01:39.19
	MERCER	01:37.10	01:37.20	01:37.45	01:37.07	01:37.06	01:37.18
	DAVIS	01:38.59	01:39.08	01:38.84	01:38.92	01:38.88	01:38.86
<b>OVERALL AVERAGE</b>							<b>01:38.53</b>
Chevrolet Tahoe 5.3L 4WD	DAVIS	01:39.44	01:40.81	01:39.37	01:39.31	01:38.51	01:39.49
	LOONEY	01:38.74	01:38.50	01:38.78	01:38.72	01:38.60	01:38.67
	AGEMA	01:39.86	01:39.09	01:39.75	01:39.56	01:39.62	01:39.57
	MERCER	01:37.80	01:37.98	01:37.81	01:37.92	01:37.51	01:37.81
<b>OVERALL AVERAGE</b>							<b>01:38.88</b>
Chevrolet Silverado Z7X 4WD	LOONEY	01:42.91	01:42.69	01:42.83	01:42.77	01:43.09	01:42.86
	DAVIS	01:41.83	01:41.72	01:41.95	01:41.26	01:41.92	01:41.74
	MERCER	01:40.19	01:40.03	01:40.29	01:40.29	01:40.07	01:40.17
	AGEMA	01:41.01	01:41.37	01:41.37	01:41.10	01:41.32	01:41.24
<b>OVERALL AVERAGE</b>							<b>01:41.50</b>
Chevrolet Silverado Z71 4WD	AGEMA	01:40.42	01:40.25	01:40.10	01:40.15	01:40.18	01:40.22
	MERCER	01:39.26	01:39.17	01:39.30	01:39.25	01:39.26	01:39.25
	DAVIS	01:40.74	01:40.09	01:40.69	01:40.71	01:40.07	01:40.46
	LOONEY	01:40.96	01:40.64	01:40.92	01:40.27	01:40.29	01:40.62
<b>OVERALL AVERAGE</b>							<b>01:40.14</b>
Dodge Durango 5.7L AWD	LOONEY	01:38.38	01:38.34	01:38.04	01:38.32	01:38.00	01:38.22
	MERCER	01:37.47	01:37.21	01:37.42	01:37.68	01:37.59	01:37.48
	AGEMA	01:37.83	01:37.95	01:37.91	01:38.12	01:38.09	01:37.98
	DAVIS	01:38.94	01:38.67	01:38.83	01:38.36	01:38.46	01:38.65
<b>OVERALL AVERAGE</b>							<b>01:38.08</b>

## VEHICLE DYNAMICS TESTING- SEPTEMBER 18, 2023

<b>Dodge Durango 3.6L AWD</b>	DAVIS	01:41.29	01:40.90	01:41.11	01:40.81	01:41.07	01:41.04
	AGEMA	01:40.72	01:40.45	01:40.61	01:39.97	01:40.81	01:40.51
	LOONEY	01:41.33	01:41.13	01:41.18	01:41.44	01:41.45	01:41.30
	MERCER	01:40.27	01:40.07	01:39.82	01:40.25	01:40.26	01:40.13
<b>OVERALL AVERAGE</b>							<b>01:40.75</b>
<b>Ford Police Interceptor Utility 3.0L EcoBoost AWD</b>	MERCER	01:34.68	01:35.01	01:34.84	01:34.88	01:34.59	01:34.80
	AGEMA	01:35.56	01:35.44	01:35.95	01:35.38	01:35.46	01:35.56
	DAVIS	01:35.04	01:35.27	01:35.41	01:35.44	01:35.35	01:35.30
	LOONEY	01:34.88	01:35.17	01:35.18	01:34.96	01:34.96	01:35.03
<b>OVERALL AVERAGE</b>							<b>01:35.17</b>
<b>Ford Police Interceptor Utility 3.3L Hybrid AWD</b>	MERCER	01:38.32	01:38.57	01:38.64	01:38.49	01:38.48	01:38.50
	DAVIS	01:38.26	01:38.18	01:38.06	01:38.62	01:38.60	01:38.34
	LOONEY	01:38.26	01:39.09	01:39.22	01:38.96	01:38.67	01:38.84
	AGEMA	01:38.51	01:38.96	01:38.34	01:38.89	01:38.86	01:38.71
<b>OVERALL AVERAGE</b>							<b>01:38.60</b>
<b>Ford Police Interceptor Utility 3.3L AWD</b>	DAVIS	01:38.77	01:38.70	01:38.10	01:38.13	01:38.13	01:38.36
	LOONEY	01:38.68	01:38.16	01:38.50	01:38.56	01:38.49	01:38.48
	MERCER	01:37.18	01:37.18	01:37.07	01:37.24	01:36.97	01:37.13
	AGEMA	01:38.50	01:38.72	01:38.98	01:38.96	01:38.54	01:38.74
<b>OVERALL AVERAGE</b>							<b>01:38.18</b>
<b>Ford F-150 Police Responder 3.5L EcoBoost 4WD</b>	AGEMA	01:39.35	01:39.84	01:39.89	01:40.01	01:39.93	01:39.81
	MERCER	01:37.96	01:37.81	01:37.84	01:38.16	01:37.50	01:37.85
	DAVIS	01:39.47	01:38.82	01:38.57	01:38.82	01:37.99	01:38.73
	LOONEY	01:39.26	01:39.63	01:39.56	01:39.87	01:39.58	01:39.58
<b>OVERALL AVERAGE</b>							<b>01:38.99</b>

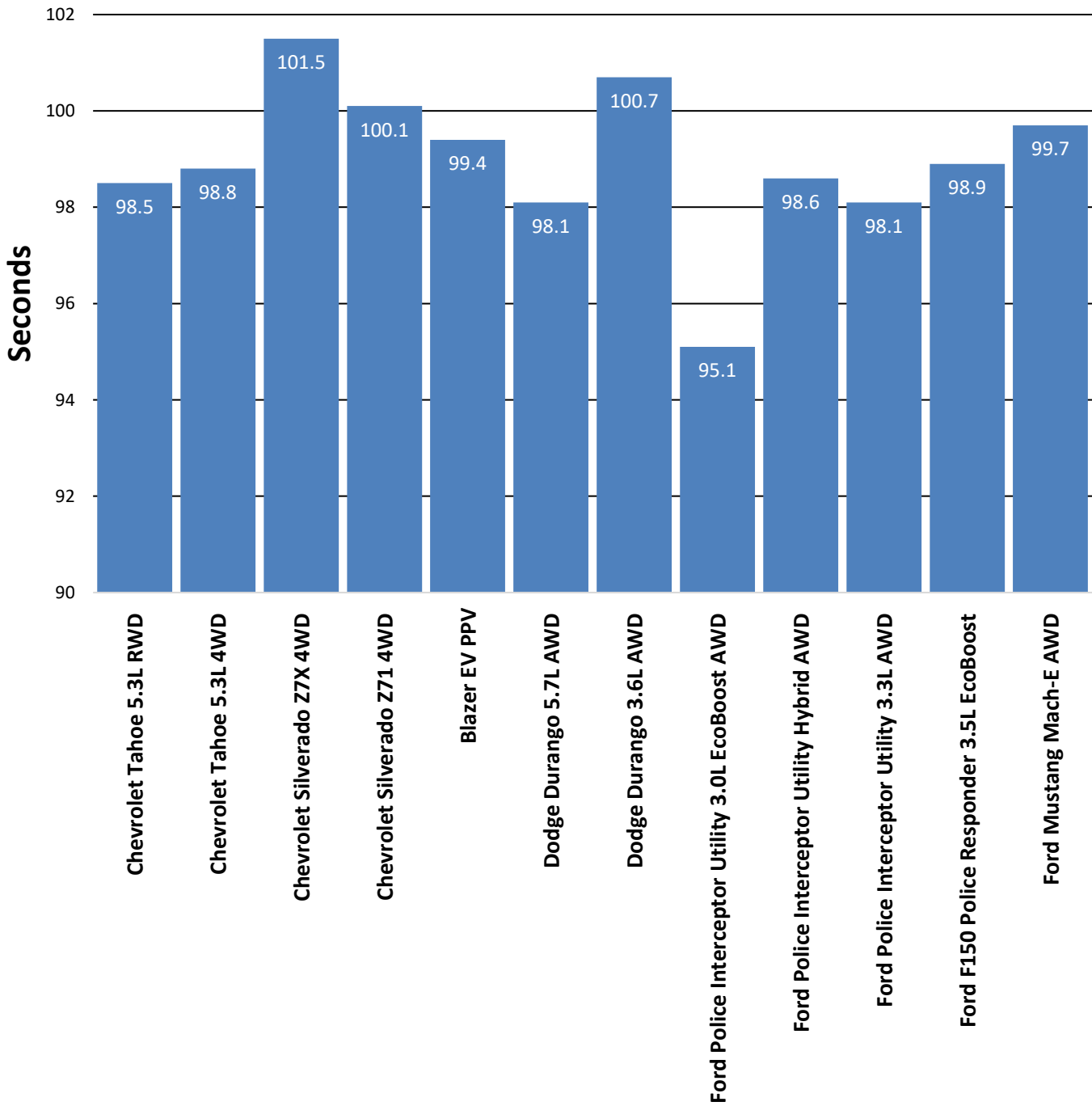


**VEHICLE DYNAMICS TESTING - SEPTEMBER 18, 2023**  
**BATTERY ELECTRIC VEHICLES**

Vehicle	Driver	Time of Run	Begin Battery State of Charge	Lap 1	Lap 2	Lap 3	Lap 4	Lap 5	End Battery State of Charge	Average
Ford Mustang Mach-E AWD	LOONEY	10:58	89%	01:35.79	01:36.56	01:41.17	01:41.59	01:41.74	49%	01:39.37
	AGEMA	11:50	95%	01:34.98	01:39.70	01:42.88	01:42.89	01:43.28	62%	01:40.75
	MERCER	13:50	91%	01:33.35	01:37.48	01:41.32	01:41.07	01:41.48	60%	01:38.94
	DAVIS	15:25	93%	01:34.71	01:37.80	01:42.51	01:42.56	01:42.79	58%	01:40.07
<b>OVERALL AVERAGE</b>										<b>01:39.78</b>
Chevrolet Blazer EV AWD	AGEMA	10:08	100%	01:40.12	01:40.49	01:40.07	01:40.65	01:40.61	67%	01:40.39
	MERCER	11:50	100%	01:37.97	01:38.21	01:38.27	01:38.41	01:38.24	71%	01:38.22
	DAVIS	13:50	100%	01:39.89	01:39.38	01:39.28	01:39.65	01:39.95	70%	01:39.63
	LOONEY	15:25	90%	01:39.00	01:39.56	01:39.61	01:39.61	01:39.50	61%	01:39.45
<b>OVERALL AVERAGE</b>										<b>01:39.42</b>

The MSP Precision Driving Unit and all three manufacturers agreed that a charge time of approximately 40 minutes between runs would showcase the vehicle's capabilities in a best-case scenario. The above chart shows the beginning battery state of charge, the fastest five lap times out of the eight timed laps, and the battery ending state of charge. A 47 Kw charger was used to refresh the vehicle's state of charge between runs.

# 2024 Model Year Vehicle Dynamics







# ACCELERATION AND TOP SPEED TESTING

## **ACCELERATION TESTING OBJECTIVE:**

To determine the ability of each test vehicle to accelerate from a standing start to 60 mph, 80 mph, 100 mph, and determine the distance to reach 100 mph and 120 mph.

## **ACCELERATION TESTING METHODOLOGY:**

Using a Racelogic VBox 3i GPS based data collection unit, each vehicle is driven through four acceleration sequences, two northbound and two southbound, to allow for wind direction. The four resulting times for each target speed are averaged and the average times are used to derive scores for acceleration.

## **TOP SPEED TESTING OBJECTIVE:**

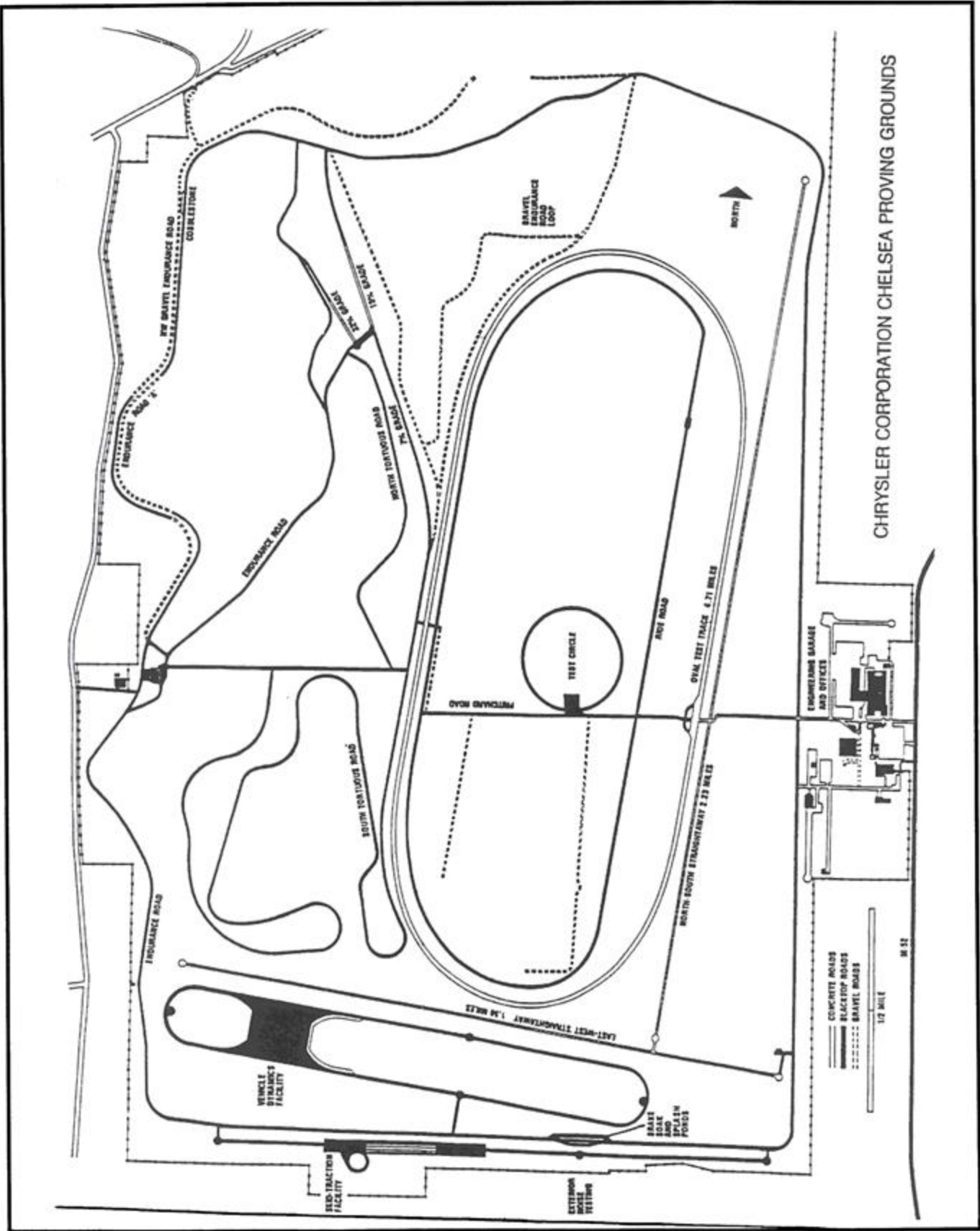
To verify the electronically limited top speed reported by the manufacturer attainable by each test vehicle within 14 miles from a standing start.

## **TOP SPEED TESTING METHODOLOGY:**

Following the fourth acceleration run, each test vehicle continues to accelerate until it reaches the manufacturer electronically limited top speed. The distance to reach the electronically limited top speed must be reached within 14 miles.







**TEST LOCATION:** Chelsea Proving Grounds

**DATE:** September 16, 2023

### Chevrolet Tahoe 5.3L RWD

**BEGINNING TIME:** 10:40 a.m.

**TEMPERATURE:** 63.8° F

**WIND VELOCITY:** 1.8 mph

**WIND DIRECTION:** 124°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
0-60	7.90	7.68	7.68	7.51	7.69
0-80	12.69	12.22	12.27	12.01	12.30
0-100	20.00	18.96	19.17	18.63	19.19

**DISTANCE TO REACH 100 MPH:** 0.34 mile

**DISTANCE TO REACH 120 MPH:** 0.70 mile

**TOP SPEED ATTAINED:** 130 mph

**DISTANCE TO REACH TOP SPEED:** 1.49 miles

**TIME TO REACH TOP SPEED:** 53.05 seconds

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### Chevrolet Tahoe 5.3L 4WD

**BEGINNING TIME:** 10:56 a.m.

**TEMPERATURE:** 64.9° F

**WIND VELOCITY:** 2.5 mph

**WIND DIRECTION:** 166°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
0-60	8.18	7.87	7.92	7.80	7.94
0-80	13.29	12.66	12.72	12.48	12.79
0-100	21.05	19.69	20.11	19.33	20.05

**DISTANCE TO REACH 100 MPH:** 0.35 mile

**DISTANCE TO REACH 120 MPH:** 0.74 mile

**TOP SPEED ATTAINED:** 124 mph

**DISTANCE TO REACH TOP SPEED:** 0.87 mile

**TIME TO REACH TOP SPEED:** 36.27 seconds

**TEST LOCATION:** Chelsea Proving Grounds

**DATE:** September 16, 2023

### Chevrolet Silverado Z7X 4WD

**BEGINNING TIME:** 11:48 a.m.

**TEMPERATURE:** 66.1° F

**WIND VELOCITY:** 1.7 mph

**WIND DIRECTION:** 143°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
0-60	7.49	7.23	7.04	7.21	7.24
0-80	11.95	11.56	11.44	11.51	11.62
0-100	18.9	17.96	18.4	17.87	18.28

**DISTANCE TO REACH 100 MPH:** 0.32 mile

**DISTANCE TO REACH 120 MPH:** N/A

**TOP SPEED ATTAINED:** 112 mph

**DISTANCE TO REACH TOP SPEED:** 0.48 mile

**TIME TO REACH TOP SPEED:** 23.55 seconds

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### Chevrolet Silverado Z71 4WD

**BEGINNING TIME:** 11:30 a.m.

**TEMPERATURE:** 65.1° F

**WIND VELOCITY:** 2.5 mph

**WIND DIRECTION:** 104.5°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
0-60	7.62	7.38	7.29	7.26	7.39
0-80	12.2	11.7	11.66	11.61	11.79
0-100	18.82	18.08	18.24	17.98	18.28

**DISTANCE TO REACH 100 MPH:** 0.32 mile

**DISTANCE TO REACH 120 MPH:** N/A

**TOP SPEED ATTAINED:** 112 mph

**DISTANCE TO REACH TOP SPEED:** 0.49 mile

**TIME TO REACH TOP SPEED:** 23.81 seconds

**TEST LOCATION:** Chelsea Proving Grounds

**DATE:** September 16, 2023

### Chevrolet Blazer EV AWD

**BEGINNING TIME:** 8:59 a.m.

**TEMPERATURE:** 53.8° F

**WIND VELOCITY:** 0 mph

**WIND DIRECTION:** 0°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
0-60	5.24	5.21	5.04	5.19	5.17
0-80	7.72	7.61	7.49	7.64	7.62
0-100	11.26	11.10	10.90	11.04	11.08

**DISTANCE TO REACH 100 MPH:** 0.18 mile

**DISTANCE TO REACH 120 MPH:** 0.32 mile

**TOP SPEED ATTAINED:** 130 mph

**DISTANCE TO REACH TOP SPEED:** 0.45 mile

**TIME TO REACH TOP SPEED:** 19.46 seconds

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### Dodge Durango 5.7L AWD

**BEGINNING TIME:** 9:52 a.m.

**TEMPERATURE:** 62.2° F

**WIND VELOCITY:** 1.9 mph

**WIND DIRECTION:** 213°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
0-60	6.77	6.70	6.59	6.60	6.67
0-80	11.23	11.01	10.99	10.87	11.03
0-100	18.11	17.61	17.68	17.41	17.70

**DISTANCE TO REACH 100 MPH:** 0.32 mile

**DISTANCE TO REACH 120 MPH:** 0.64 mile

**TOP SPEED ATTAINED:** 130 mph

**DISTANCE TO REACH TOP SPEED:** 1.07 miles

**TIME TO REACH TOP SPEED:** 40.38 seconds



**TEST LOCATION:** Chelsea Proving Grounds

**DATE:** September 16, 2023

### Dodge Durango 3.6L AWD

**BEGINNING TIME:** 12:04 p.m.  
**WIND VELOCITY:** 2 mph

**TEMPERATURE:** 66.2° F  
**WIND DIRECTION:** 142°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
<b>0-60</b>	8.57	8.12	8.18	8.13	8.25
<b>0-80</b>	14.35	13.82	14.08	13.69	13.99
<b>0-100</b>	24.17	22.55	23.19	22.34	23.06

**DISTANCE TO REACH 100 MPH:** 0.42 mile

**DISTANCE TO REACH 120 MPH:** 0.93 miles

**TOP SPEED ATTAINED:** 125 mph

**DISTANCE TO REACH TOP SPEED:** 1.27 miles

**TIME TO REACH TOP SPEED:** 49.17 seconds

---

### Ford Police Interceptor Utility 3.0L EcoBoost AWD

**BEGINNING TIME:** 10:25 a.m.  
**WIND VELOCITY:** 2.6 mph

**TEMPERATURE:** 62.8° F  
**WIND DIRECTION:** 212°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
<b>0-60</b>	5.70	5.87	5.78	5.89	5.81
<b>0-80</b>	9.74	9.97	9.50	10.10	9.83
<b>0-100</b>	15.08	15.22	14.60	15.60	15.13

**DISTANCE TO REACH 100 MPH:** 0.27 mile

**DISTANCE TO REACH 120 MPH:** 0.50 mile

**TOP SPEED ATTAINED:** 148 mph

**DISTANCE TO REACH TOP SPEED:** 1.55 miles

**TIME TO REACH TOP SPEED:** 50.22 seconds

**TEST LOCATION:** Chelsea Proving Grounds

**DATE:** September 16, 2023

### Ford Police Interceptor Utility 3.3L Hybrid AWD

**BEGINNING TIME:** 11:13 a.m.  
**WIND VELOCITY:** 2.5 mph

**TEMPERATURE:** 65.1° F  
**WIND DIRECTION:** 105°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
0-60	7.12	6.97	6.91	6.97	6.99
0-80	11.32	11.09	11.07	11.11	11.15
0-100	17.34	16.9	16.96	16.8	17.0

**DISTANCE TO REACH 100 MPH:** 0.30 mile

**DISTANCE TO REACH 120 MPH:** 0.57 mile

**TOP SPEED ATTAINED:** 136 mph

**DISTANCE TO REACH TOP SPEED:** 1.10 miles

**TIME TO REACH TOP SPEED:** 40.75 seconds

---

### Ford Police Interceptor Utility 3.3L AWD

**BEGINNING TIME:** 10:10 a.m.  
**WIND VELOCITY:** 1.9 mph

**TEMPERATURE:** 66.2° F  
**WIND DIRECTION:** 213°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
0-60	7.80	7.59	7.70	7.46	7.64
0-80	12.60	12.24	12.42	12.05	12.33
0-100	19.64	18.94	19.24	18.71	19.13

**DISTANCE TO REACH 100 MPH:** 0.34 mile

**DISTANCE TO REACH 120 MPH:** 0.68 mile

**TOP SPEED ATTAINED:** 136 mph

**DISTANCE TO REACH TOP SPEED:** 2.09 miles

**TIME TO REACH TOP SPEED:** 68.78 seconds

**Ford F150 Police Responder 3.5L EcoBoost 4WD**

**BEGINNING TIME:** 9:37 a.m.  
**WIND VELOCITY:** 2.2 mph

**TEMPERATURE:** 59.4° F  
**WIND DIRECTION:** 56°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
<b>0-60</b>	5.92	5.58	5.63	5.61	5.69
<b>0-80</b>	9.35	8.92	9.01	8.97	9.06
<b>0-100</b>	14.77	14.19	14.59	14.03	14.40

**DISTANCE TO REACH 100 MPH:** 0.25 mile

**DISTANCE TO REACH 120 MPH:** 0.52 mile

**TOP SPEED ATTAINED:** 120 mph

**DISTANCE TO REACH TOP SPEED:** 0.52 mile

**TIME TO REACH TOP SPEED:** 22.78 seconds

**Ford Mustang Mach-E AWD**

**BEGINNING TIME:** 9:16 a.m.  
**WIND VELOCITY:** 1.9 mph

**TEMPERATURE:** 56.4° F  
**WIND DIRECTION:** 77°

SPEEDS	RUN 1	RUN 2	RUN 3	RUN 4	AVERAGE (seconds)
<b>0-60</b>	4.08	4.06	4.08	4.07	4.07
<b>0-80</b>	6.51	6.48	6.52	6.48	6.50
<b>0-100</b>	10.91	10.85	10.92	10.80	10.87

**DISTANCE TO REACH 100 MPH:** 0.20 mile

**DISTANCE TO REACH 120 MPH:** 0.41 mile

**TOP SPEED ATTAINED:** 124 mph

**DISTANCE TO REACH TOP SPEED:** .55 miles

**TIME TO REACH TOP SPEED:** 21.87 seconds

## SUMMARY OF ACCELERATION AND TOP SPEED

**SEPTEMBER 16, 2023**

	Chevrolet Tahoe 5.3L RWD	Chevrolet Tahoe 5.3L 4WD	Chevrolet Silverado Z7X 4WD	Chevrolet Silverado Z71 4WD
<b>ACCELERATION (seconds)</b>				
0-20 mph	2.06	2.05	1.81	1.86
0-30 mph	3.07	3.11	2.82	2.86
0-40 mph	4.44	4.55	4.14	4.21
0-50 mph	5.88	6.06	5.54	5.63
0-60 mph	7.69	7.94	7.24	7.39
0-70 mph	9.71	10.09	9.22	9.38
0-80 mph	12.30	12.79	11.62	11.79
0-90 mph	15.35	16.11	14.49	14.62
0-100 mph	19.19	20.05	18.28	18.28
TOP SPEED (mph)	130	124	112	112
<b>DISTANCE TO REACH (miles)</b>				
100 mph	0.34	0.35	0.32	0.32
120 mph	0.70	0.74		
Top Speed	1.49	0.87	0.48	0.49





## SUMMARY OF ACCELERATION AND TOP SPEED

SEPTEMBER 16, 2023

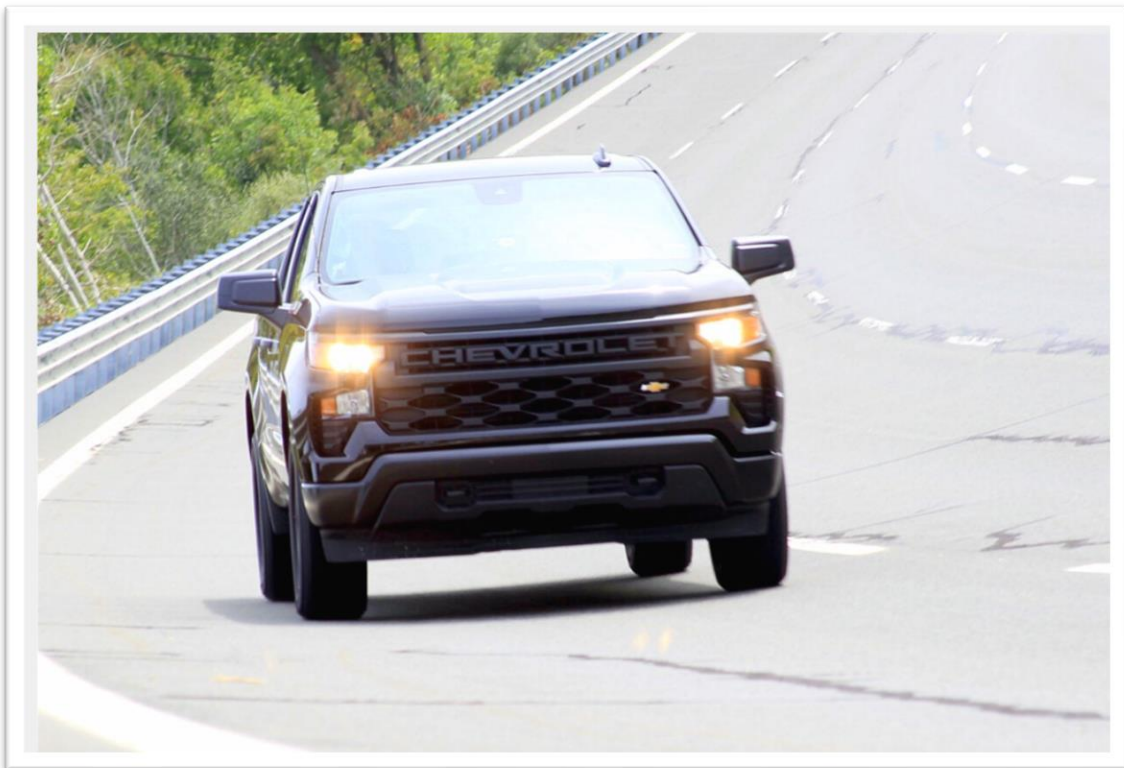
	Chevrolet Blazer EV AWD	Dodge Durango 5.7L AWD	Dodge Durango 3.6L AWD	Ford PI Utility 3.0L EcoBoost AWD
<b>ACCELERATION (seconds)</b>				
0-20 mph	1.77	1.49	1.86	1.54
0-30 mph	2.60	2.37	2.96	2.29
0-40 mph	3.41	3.53	4.37	3.31
0-50 mph	4.24	4.88	5.99	4.46
0-60 mph	5.17	6.67	8.25	5.81
0-70 mph	6.27	8.59	10.78	7.40
0-80 mph	7.62	11.03	13.99	9.83
0-90 mph	9.20	13.84	17.92	12.23
0-100 mph	11.08	17.70	23.06	15.13
TOP SPEED (mph)	130	130	125	148
<b>DISTANCE TO REACH (miles)</b>				
100 mph	0.18	0.32	0.42	0.27
120 mph	0.32	0.64	0.93	0.5
Top Speed	0.45	1.07	1.27	1.55



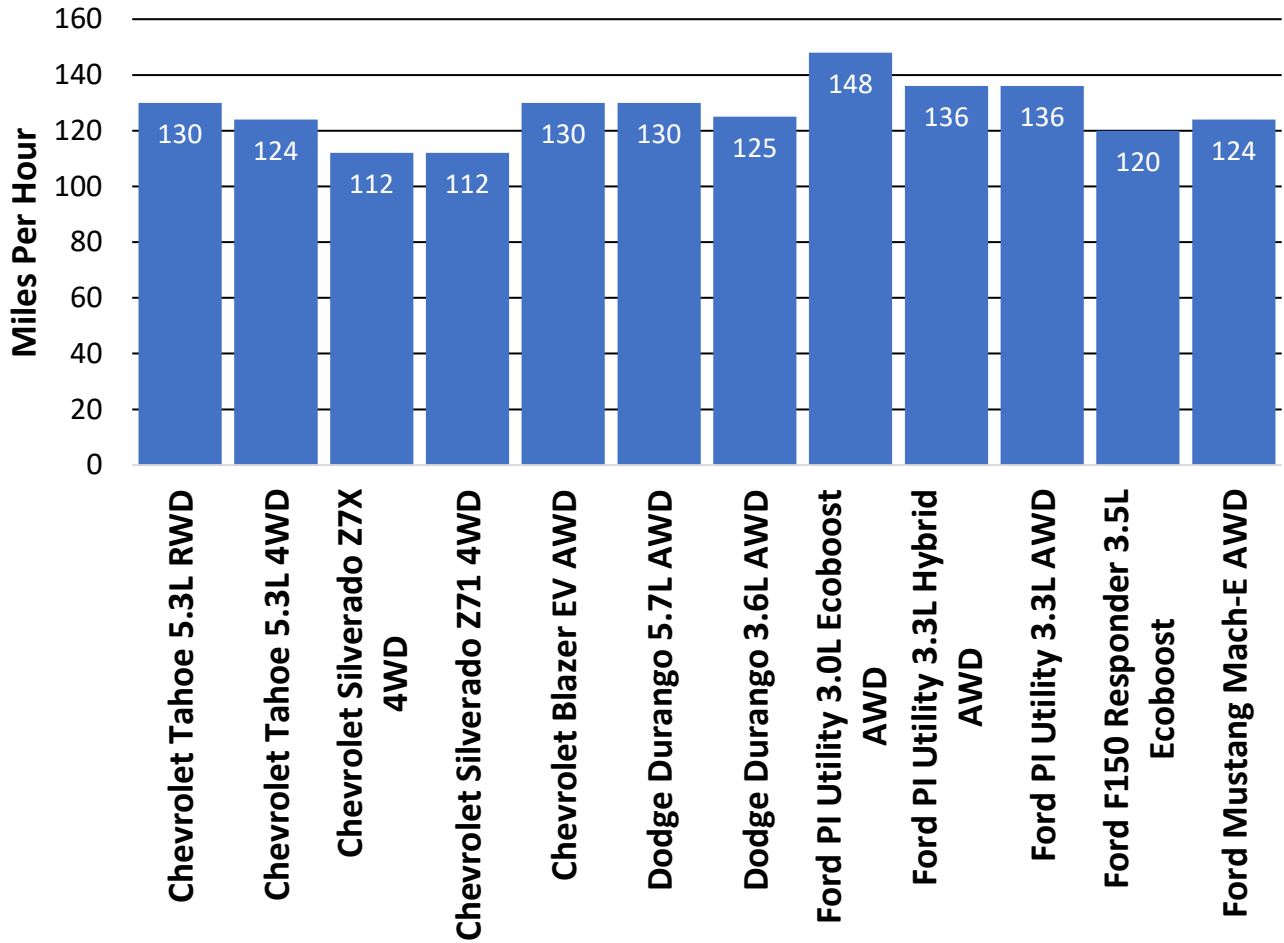
## SUMMARY OF ACCELERATION AND TOP SPEED

SEPTEMBER 16, 2023

	Ford PI Utility Hybrid AWD	Ford PI Utility 3.3L AWD	Ford F150 Police Responder 3.5L EcoBoost 4WD	Ford Mustang Mach-E AWD
<b>ACCELERATION (seconds)</b>				
0-20 mph	1.62	2.00	1.56	1.12
0-30 mph	2.75	3.08	2.25	1.71
0-40 mph	4.03	4.40	3.29	2.41
0-50 mph	5.43	5.93	4.34	3.19
0-60 mph	6.99	7.64	5.69	4.07
0-70 mph	8.89	9.70	7.17	5.13
0-80 mph	11.15	12.33	9.06	6.50
0-90 mph	13.79	15.38	11.22	8.34
0-100 mph	17.00	19.13	14.40	10.87
TOP SPEED (mph)	136	136	120	124
<b>DISTANCE TO REACH (miles)</b>				
100 mph	0.30	0.34	0.25	0.2
120 mph	0.57	0.68	0.52	0.41
Top Speed	1.10	2.09	0.52	0.55

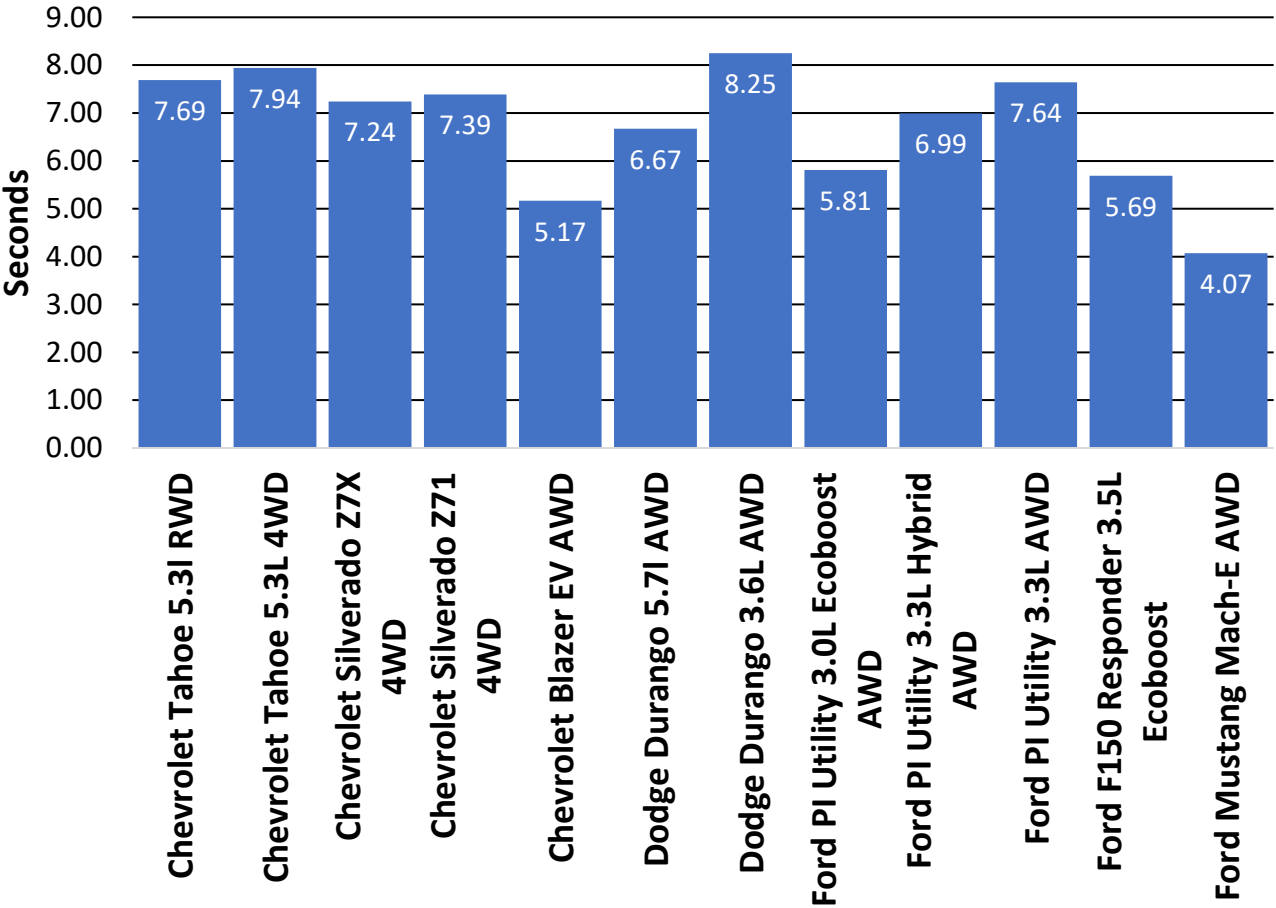


# 2024 Model Year Top Speed Comparison Top Speed Attained



# 2024 Model Year Acceleration Comparison

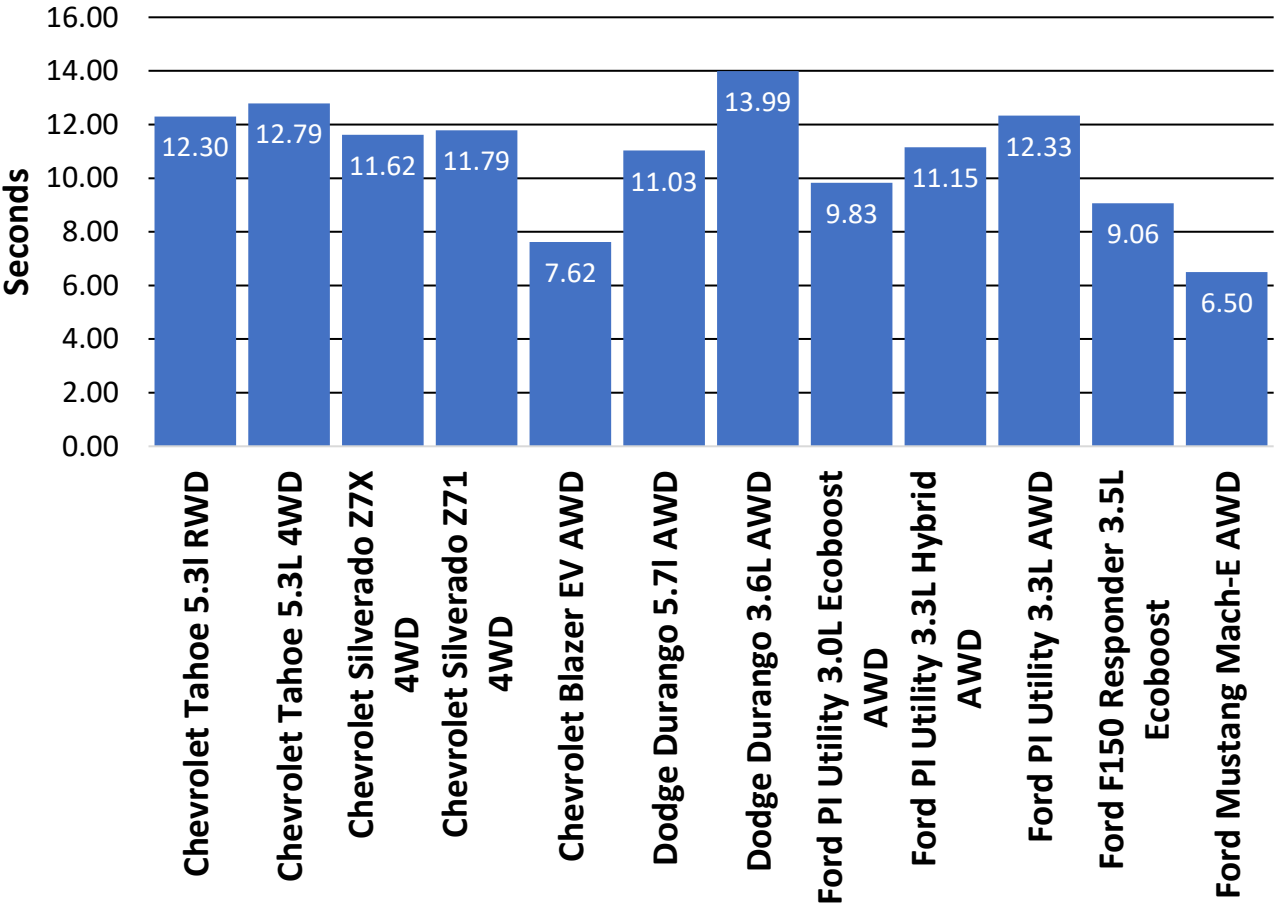
## Acceleration Times 0-60 mph



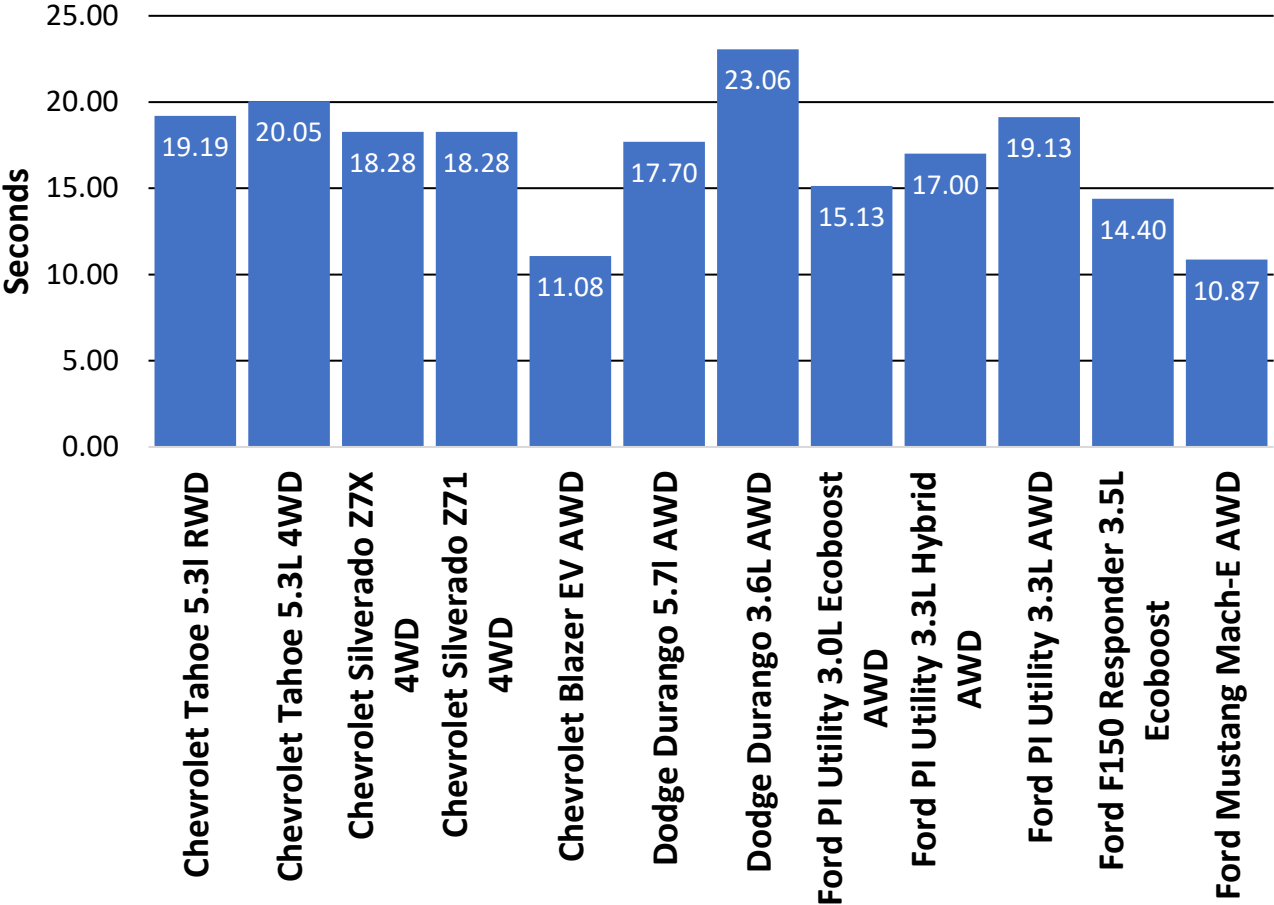


# 2024 Model Year Acceleration Comparison

## Acceleration Times 0-80 mph



# 2024 Model Year Acceleration Comparison Acceleration Times 0-100 mph





# BRAKE TESTING

## BRAKE TESTING OBJECTIVE:

To determine the deceleration rate attained by each test vehicle on twenty 60-0 mph full Anti-lock brake stops. Each vehicle is scored on the average deceleration rate it achieves.

## BRAKE TESTING METHODOLOGY:

Each vehicle is driven to the north end of the straightaway on the east side of the oval. The vehicle then begins its sequence of stops heading in a southerly direction. The vehicle is stopped five times at pre-determined points on the roadway. The vehicle is then turned around and stops an additional five times again at pre-determined points on the roadway in a northerly direction. After the ten stops, the vehicle drives one lap around the oval at 45 mph. This is done to cool the brakes before the second sequence. After the cool down lap, the ten stops are repeated.

The data resulting from the twenty stops is used to calculate the average deceleration rate which is the vehicle's score for the test.

## DECELERATION RATE FORMULA:

$$\text{Deceleration Rate (DR)} = \frac{\text{Initial Velocity* (IV) squared}}{\text{Two times Stopping Distance (SD)}} = \frac{(IV)^2}{2 (SD)}$$

### EXAMPLE:

$$\begin{aligned} \text{Initial Velocity} &= 89.175 \text{ ft/s (60.8 mph x 1.4667*)} \\ \text{Stopping Distance} &= 171.4 \text{ ft.} \end{aligned}$$

$$\text{DR} = \frac{(IV)^2}{2(SD)} = \frac{(89.175)^2}{2(171.4)} = \frac{7952.24}{342.8} = 23.198 \text{ ft/s}^2$$

Once a vehicle's average deceleration rate has been determined, it is possible to calculate the approximate stopping distance from any given speed by utilizing the following formula:

Select a speed; translate that speed into feet per second; square the feet per second figure by multiplying it by itself; divide the resultant figure by 2; divide the remaining figure by the average deceleration rate of the vehicle in question.

### EXAMPLE:

$$60 \text{ mph} = 88.002 \text{ ft/s} \times 88.002 = 7744.352 / 2 = 3872.176 / 23.198 \text{ ft/s}^2 = 166.9 \text{ ft.}$$

\* Initial velocity must be expressed in terms of feet per second, with 1 mile per hour being equal to 1.4667 feet per second.



# BRAKE TESTING

## Chevrolet Tahoe 5.3L RWD

TEST LOCATION: Chelsea Proving Grounds

DATE: September 16, 2023

BEGINNING TIME: 10:56 a.m.

TEMPERATURE: 65° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	60.80	133.16	29.86
2	60.30	131.65	29.71
3	59.80	128.73	29.88
4	60.00	133.21	29.07
5	60.10	131.47	29.55
6	60.20	131.52	29.64
7	60.10	134.66	28.85
8	60.00	130.18	29.74
9	59.70	130.39	29.40
10	60.40	132.43	29.63
<b>AVERAGE DECELERATION RATE:</b>			<b>29.53 ft/s<sup>2</sup></b>

*(One cool down lap at 45 mph)*

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	60.10	131.36	29.58
2	60.10	130.04	29.88
3	59.90	131.53	29.34
4	59.80	127.56	30.15
5	59.70	128.42	29.85
6	59.80	128.60	29.91
7	60.10	131.07	29.64
8	60.20	129.61	30.08
9	60.10	127.28	30.52
10	60.10	130.46	29.78
<b>AVERAGE DECELERATION RATE:</b>			<b>29.87 ft/s<sup>2</sup></b>

### Phase III

<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>29.70 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>130.4 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

*\*All vehicles tested are equipped with Anti-lock brakes (ABS)*

# BRAKE TESTING

## Chevrolet Tahoe 5.3L 4WD

TEST LOCATION: Chelsea Proving Grounds

DATE: September 16, 2023

BEGINNING TIME: 11:13 a.m.

TEMPERATURE: 65.1° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	60.80	148.74	26.73
2	60.00	131.15	29.52
3	59.40	127.99	29.65
4	59.90	132.35	29.16
5	60.30	133.46	29.30
6	60.40	134.95	29.08
7	60.70	137.10	28.91
8	60.00	131.20	29.51
9	60.00	133.75	28.95
10	60.10	135.92	28.58
<b>AVERAGE DECELERATION RATE:</b>			<b>28.94 ft/s<sup>2</sup></b>

(One cool down lap at 45 mph)

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.50	128.25	29.69
2	59.30	129.01	29.32
3	60.00	131.17	29.52
4	60.30	130.91	29.88
5	59.80	129.61	29.68
6	59.80	128.69	29.89
7	60.20	132.48	29.42
8	59.70	125.23	30.61
9	59.90	128.12	30.12
10	60.10	132.38	29.35
<b>AVERAGE DECELERATION RATE:</b>			<b>29.75 ft/s<sup>2</sup></b>

### Phase III

<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>29.34 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>132.0 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

\*All vehicles tested are equipped with Anti-lock brakes (ABS)

# BRAKE TESTING

## Chevrolet Silverado Z7X 4WD

TEST LOCATION: Chelsea Proving Grounds

DATE: September 16, 2023

BEGINNING TIME: 12:05 p.m.

TEMPERATURE: 66.2° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.60	146.73	26.04
2	59.90	146.75	26.30
3	60.00	145.38	26.63
4	59.30	140.76	26.87
5	59.40	144.98	26.18
6	60.70	149.24	26.55
7	60.20	146.29	26.65
8	59.60	144.57	26.43
9	60.30	148.10	26.41
10	60.50	148.98	26.43
<b>AVERAGE DECELERATION RATE:</b>			<b>26.45 ft/s<sup>2</sup></b>

*(One cool down lap at 45 mph)*

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	60.00	141.23	27.42
2	60.30	144.61	27.05
3	60.20	149.08	26.15
4	60.40	143.43	27.36
5	60.40	144.12	27.23
6	59.80	141.06	27.27
7	60.10	140.68	27.62
8	60.10	140.08	27.73
9	59.80	140.99	27.28
10	60.00	141.80	27.31
<b>AVERAGE DECELERATION RATE:</b>			<b>27.24 ft/s<sup>2</sup></b>

### Phase III

<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>26.84 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>144.2 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

*\*All vehicles tested are equipped with Anti-lock brakes (ABS)*

# BRAKE TESTING

## Chevrolet Silverado Z71 4WD

TEST LOCATION: Chelsea Proving Grounds

DATE: September 16, 2023

BEGINNING TIME: 11:48 a.m.

TEMPERATURE: 66° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	60.30	146.32	26.73
2	60.80	156.60	25.39
3	59.90	147.09	26.24
4	59.90	145.01	26.61
5	60.20	147.38	26.45
6	60.10	163.30	23.79
7	60.30	147.25	26.56
8	60.40	147.37	26.63
9	59.10	140.10	26.82
10	60.60	150.41	26.26
<b>AVERAGE DECELERATION RATE:</b>			<b>26.15 ft/s<sup>2</sup></b>

*(One cool down lap at 45 mph)*

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	60.10	141.41	27.47
2	60.10	148.25	26.21
3	59.90	144.61	26.69
4	59.90	140.91	27.39
5	60.30	145.02	26.97
6	59.90	140.42	27.48
7	60.20	140.76	27.69
8	59.90	140.75	27.42
9	59.80	138.37	27.80
10	60.10	139.96	27.76
<b>AVERAGE DECELERATION RATE:</b>			<b>27.29 ft/s<sup>2</sup></b>

### Phase III

<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>26.72 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>144.9 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

*\*All vehicles tested are equipped with Anti-lock brakes (ABS)*



# BRAKE TESTING

## Chevrolet Blazer EV AWD

**TEST LOCATION:** Chelsea Proving Grounds  
**BEGINNING TIME:** 9:14 a.m.

**DATE:** September 16, 2023  
**TEMPERATURE:** 56.4° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	58.50	127.04	28.98
2	58.70	126.39	29.32
3	59.10	127.84	29.39
4	59.00	129.00	29.02
5	59.60	134.73	28.36
6	59.10	134.43	27.95
7	60.50	140.86	27.95
8	61.30	140.67	28.73
9	61.60	137.54	29.67
10	61.80	139.03	29.55
<b>AVERAGE DECELERATION RATE:</b>			<b>28.89 ft/s<sup>2</sup></b>

*(One cool down lap at 45 mph)*

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.10	130.86	28.71
2	60.00	136.44	28.38
3	62.00	147.11	28.11
4	60.60	142.89	27.64
5	59.40	131.31	28.90
6	59.70	135.40	28.31
7	61.00	141.05	28.38
8	59.10	130.35	28.82
9	58.90	132.32	28.20
10	58.70	131.52	28.18
<b>AVERAGE DECELERATION RATE:</b>			<b>28.36 ft/s<sup>2</sup></b>

### Phase III

<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>28.64 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>135.2 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

\*All vehicles tested are equipped with Anti-lock brakes (ABS)

# BRAKE TESTING

## Dodge Durango 5.7L AWD

TEST LOCATION: Chelsea Proving Grounds  
 BEGINNING TIME: 10:10 a.m.

DATE: September 16, 2023  
 TEMPERATURE: 62.2° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.50	132.62	28.71
2	59.30	133.56	28.32
3	59.30	132.59	28.53
4	59.00	128.76	29.08
5	59.50	132.87	28.66
6	59.30	132.50	28.55
7	59.40	132.48	28.65
8	59.10	131.40	28.59
9	59.20	131.36	28.70
10	59.30	131.27	28.81
<b>AVERAGE DECELERATION RATE:</b>			<b>28.66 ft/s<sup>2</sup></b>

*(One cool down lap at 45 mph)*

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.40	131.89	28.77
2	59.40	131.57	28.84
3	59.20	128.86	29.25
4	60.40	177.29	22.13
5	59.30	132.58	28.53
6	59.30	129.73	29.16
7	59.70	131.59	29.13
8	59.70	131.33	29.19
9	60.10	135.97	28.57
10	59.90	133.24	28.96
<b>AVERAGE DECELERATION RATE:</b>			<b>28.26 ft/s<sup>2</sup></b>

### Phase III

<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>28.46 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>136.1 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

\*All vehicles tested are equipped with Anti-lock brakes (ABS)

# BRAKE TESTING

## Dodge Durango 3.6L AWD

TEST LOCATION: Chelsea Proving Grounds

DATE: September 16, 2023

BEGINNING TIME: 12:20 p.m.

TEMPERATURE: 66.7° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.80	136.61	28.16
2	59.90	137.00	28.17
3	59.10	129.02	29.12
4	58.90	130.82	28.52
5	59.00	128.63	29.11
6	58.90	130.16	28.67
7	59.40	135.20	28.07
8	59.60	137.09	27.87
9	59.30	136.38	27.73
10	60.10	141.09	27.54
<b>AVERAGE DECELERATION RATE:</b>			<b>28.30 ft/s<sup>2</sup></b>

*(One cool down lap at 45 mph)*

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	60.20	141.05	27.64
2	60.70	142.18	27.87
3	61.00	143.82	27.83
4	60.10	135.97	28.57
5	60.40	141.43	27.75
6	60.60	139.13	28.39
7	59.50	134.81	28.25
8	59.10	133.75	28.09
9	59.90	136.42	28.29
10	59.70	133.96	28.62
<b>AVERAGE DECELERATION RATE:</b>			<b>28.13 ft/s<sup>2</sup></b>

### Phase III

<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>28.21 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>137.3 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

\*All vehicles tested are equipped with Anti-lock brakes (ABS)

# BRAKE TESTING

## Ford Police Interceptor Utility 3.0L EcoBoost AWD

TEST LOCATION: Chelsea Proving Grounds

DATE: September 16, 2023

BEGINNING TIME: 10:40 a.m.

TEMPERATURE: 64° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.70	132.55	28.92
2	60.20	139.43	27.96
3	60.20	131.85	29.56
4	60.20	131.98	29.54
5	60.20	130.55	29.86
6	60.10	129.31	30.04
7	60.10	131.76	29.49
8	60.30	130.14	30.05
9	60.10	129.01	30.11
10	60.10	136.72	28.42
<b>AVERAGE DECELERATION RATE:</b>			<b>29.40 ft/s<sup>2</sup></b>

*(One cool down lap at 45 mph)*

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	60.70	127.37	31.11
2	59.50	125.22	30.41
3	60.30	129.49	30.20
4	60.10	130.01	29.88
5	60.10	132.38	29.35
6	60.30	126.34	30.96
7	60.00	127.45	30.38
8	59.90	126.60	30.48
9	60.00	124.65	31.06
10	60.00	125.73	30.80
<b>AVERAGE DECELERATION RATE:</b>			<b>30.46 ft/s<sup>2</sup></b>

### Phase III

<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>29.93 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>129.4 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

*\*All vehicles tested are equipped with Anti-lock brakes (ABS)*



# BRAKE TESTING

## Ford Police Interceptor Utility 3.3L Hybrid AWD

TEST LOCATION: Chelsea Proving Grounds

DATE: September 16, 2023

BEGINNING TIME: 11:30 a.m.

TEMPERATURE: 65° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.90	134.11	28.78
2	60.10	135.39	28.70
3	60.30	134.05	29.18
4	60.00	130.57	29.66
5	59.80	133.32	28.85
6	60.40	135.67	28.92
7	59.40	130.30	29.13
8	60.00	130.02	29.78
9	60.10	131.05	29.65
10	60.20	134.95	28.89
<b>AVERAGE DECELERATION RATE:</b>			<b>29.15 ft/s<sup>2</sup></b>

(One cool down lap at 45 mph)

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	60.1	134.37	28.91
2	59.6	127.71	29.92
3	60	128.40	30.16
4	59.8	129.69	29.66
5	60.2	134.11	29.07
6	59.4	126.56	29.99
7	60.4	133.90	29.31
8	59.9	129.63	29.77
9	60.2	130.52	29.87
10	60.8	133.15	29.86
<b>AVERAGE DECELERATION RATE:</b>			<b>29.65 ft/s<sup>2</sup></b>

### Phase III

<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>29.40 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>131.7 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

\*All vehicles tested are equipped with Anti-lock brakes (ABS)

# BRAKE TESTING

## Ford Police Interceptor Utility 3.3L AWD

TEST LOCATION: Chelsea Proving Grounds

DATE: September 16, 2023

BEGINNING TIME: 10:25 a.m.

TEMPERATURE: 62.8° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	60.10	133.85	29.03
2	60.20	135.63	28.74
3	59.90	128.36	30.07
4	60.20	128.79	30.27
5	60.10	131.01	29.65
6	60.10	132.40	29.34
7	60.10	129.61	29.98
8	60.20	130.42	29.89
9	60.10	131.49	29.55
10	60.40	139.97	28.03
<b>AVERAGE DECELERATION RATE:</b>			<b>29.45 ft/s<sup>2</sup></b>

(One cool down lap at 45 mph)

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.90	128.90	29.94
2	60.20	129.11	30.19
3	60.20	129.04	30.21
4	59.90	128.72	29.98
5	60.10	133.19	29.17
6	59.80	133.05	28.91
7	60.00	131.00	29.56
8	60.20	130.72	29.82
9	59.80	130.97	29.37
10	59.90	132.65	29.09
<b>AVERAGE DECELERATION RATE:</b>			<b>29.62 ft/s<sup>2</sup></b>

### Phase III

<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>29.54 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>131.1 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

\*All vehicles tested are equipped with Anti-lock brakes (ABS)

# BRAKE TESTING

## Ford F-150 Police Responder 3.5L EcoBoost 4WD

TEST LOCATION: Chelsea Proving Grounds

DATE: September 16, 2023

BEGINNING TIME: 9:52 a.m.

TEMPERATURE: 62.2° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	60.00	157.94	24.52
2	59.40	153.42	24.74
3	59.60	151.14	25.28
4	60.00	154.82	25.01
5	59.70	156.82	24.45
6	60.20	160.04	24.36
7	59.90	162.61	23.73
8	59.80	165.29	23.27
9	59.60	158.99	24.03
10	59.40	162.37	23.37
<b>AVERAGE DECELERATION RATE:</b>			<b>24.28 ft/s<sup>2</sup></b>

(One cool down lap at 45 mph)

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.80	153.19	25.11
2	59.50	158.46	24.03
3	59.80	161.83	23.77
4	59.50	161.42	23.59
5	59.70	162.62	23.57
6	59.70	159.76	24.00
7	59.80	158.00	24.34
8	59.70	157.98	24.27
9	59.70	154.59	24.80
10	59.60	153.68	24.86
<b>AVERAGE DECELERATION RATE:</b>			<b>24.23 ft/s<sup>2</sup></b>

### Phase III

<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>24.25 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>159.6 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

\*All vehicles tested are equipped with Anti-lock brakes (ABS)

# BRAKE TESTING

## Ford Mustang Mach-E AWD

TEST LOCATION: Chelsea Proving Grounds  
 BEGINNING TIME: 9:36 a.m.

DATE: September 16, 2023  
 TEMPERATURE: 59.4° F

### Phase I

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.10	121.92	30.81
2	59.10	123.70	30.37
3	59.80	122.66	31.36
4	58.80	123.12	30.20
5	59.30	126.40	29.92
6	59.50	125.41	30.36
7	59.40	133.07	28.52
8	60.00	123.31	31.40
9	59.60	126.07	30.31
10	59.40	125.08	30.34
<b>AVERAGE DECELERATION RATE:</b>			<b>30.36 ft/s<sup>2</sup></b>

*(One cool down lap at 45 mph)*

### Phase II

(Ten 60-0 mph full ABS maximum deceleration stops)

Stop #	Initial Velocity (mph)	Stopping Distance (feet)	Deceleration Rate (ft/s <sup>2</sup> )
1	59.80	126.16	30.49
2	60.50	131.57	29.92
3	59.30	130.13	29.07
4	59.20	129.28	29.16
5	59.80	132.78	28.97
6	59.30	125.67	30.10
7	59.50	134.03	28.41
8	59.40	130.95	28.98
9	59.50	126.12	30.19
10	59.70	133.77	28.66
<b>AVERAGE DECELERATION RATE:</b>			<b>29.39 ft/s<sup>2</sup></b>

### Phase III

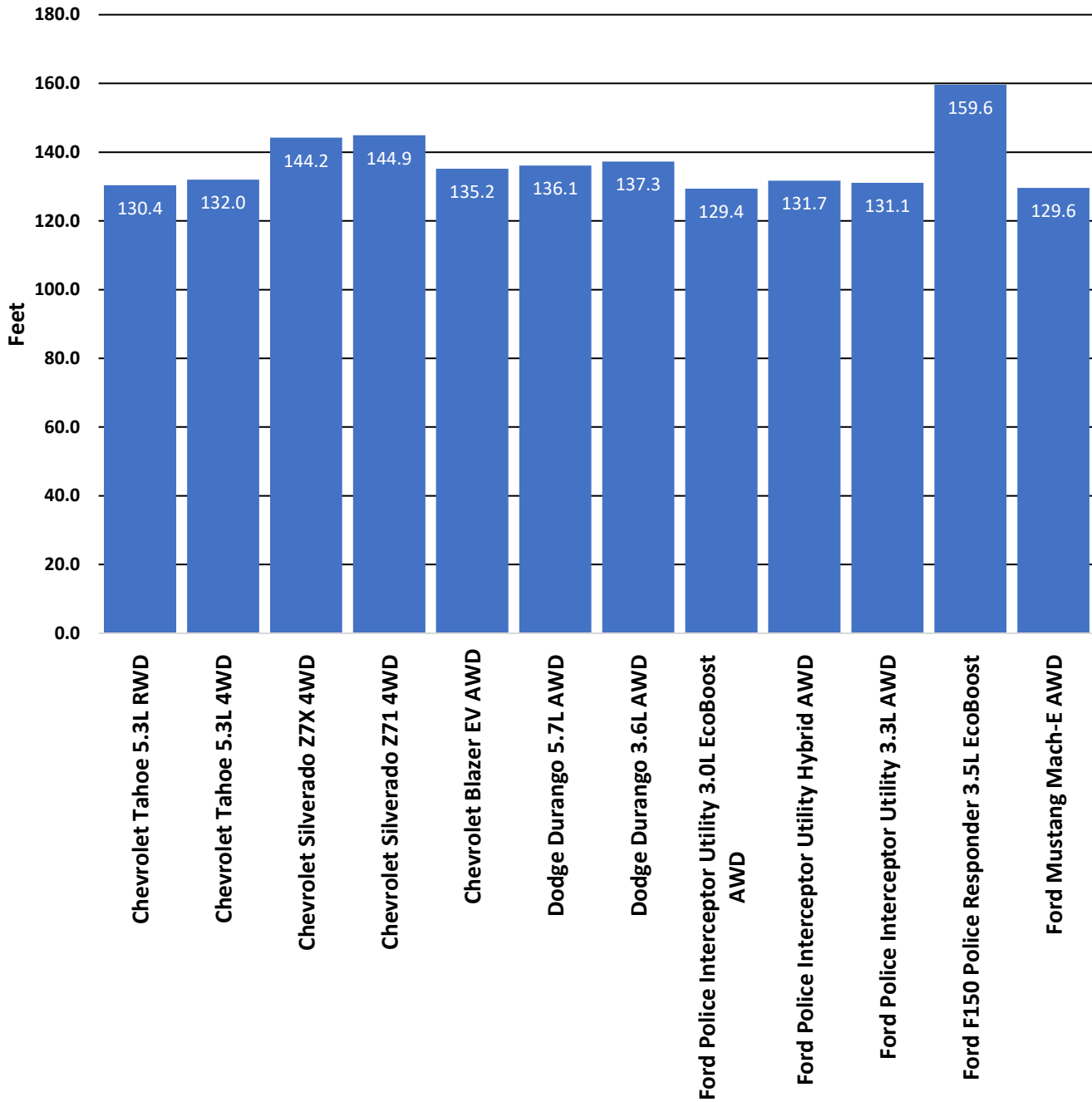
<b>OVERALL AVERAGE DECELERATION RATE:</b>	<b>29.88 ft/s<sup>2</sup></b>
<b>PROJECTED STOPPING DISTANCE FROM 60 mph:</b>	<b>129.6 feet</b>

Evidence of severe fading?	No
Vehicle stopped in straight line?	Yes
Vehicle stopped within correct lane?	Yes

\*All vehicles tested are equipped with Anti-lock brakes (ABS)



# 2024 Model Year Brake Testing Projected Stopping Distance



# ERGONOMICS AND COMMUNICATIONS

## TESTING OBJECTIVE:

Rate each test vehicle's ability to:

1. Provide a suitable environment for the patrol officer in the performance of his/her assigned tasks.
2. Accommodate the required communications and emergency warning equipment and assess the relative difficulty of such installations.

## TESTING METHODOLOGY:

Utilizing the Ergonomics and Communications Form (as seen on page 76 of this book), each category is graded on a scale from 1-10, with 1 representing "totally unacceptable", 5 representing "average", and 10 representing "superior". The scores given are averaged to minimize personal prejudice for or against any given vehicle.

For the ergonomics portion of the form, a minimum of four officers (in this case five), individually and independently compare and score each test vehicle in several areas. These include comfort, convenience, instrumentation, and visibility.

The installation and communications portion of the evaluation is conducted by personnel from the Michigan Public Safety Communications System. The scores are given based on the relative difficulty of the necessary installations.

## COMMUNICATIONS

	<b>Chevrolet Tahoe</b>	<b>Chevrolet Silverado</b>	<b>Chevrolet Blazer EV</b>	<b>Dodge Durango</b>	<b>Ford Police Interceptor Utility</b>	<b>Ford F150 Police Responder</b>	<b>Mustang Mach-E AWD</b>
<b>COMMUNICATIONS</b>							
Dashboard Accessibility	9.33	9.84	10.00	10.00	10.00	9.56	3.67
Trunk Accessibility	8.86	9.68	6.00	9.33	8.33	7.57	7.33
Engine Compartment	8.33	9.67	10.00	10.00	10.00	9.00	5.00
<b>TOTAL SCORES</b>	<b>8.84</b>	<b>9.73</b>	<b>8.71</b>	<b>9.78</b>	<b>9.44</b>	<b>8.71</b>	<b>5.33</b>

# ERGONOMICS

	Chevrolet Tahoe	Chevrolet Silverado	Chevrolet Blazer	Dodge Durango	Ford Police Interceptor Utility	Ford F150 Police Responder	Ford Mach-E
<b>FRONT SEAT</b>							
Padding	8.00	7.25	7.25	8.00	7.25	7.50	8.00
Depth of Bucket Seat	8.00	6.75	7.25	7.75	7.25	7.25	7.75
Adjustability – Front to Rear	8.50	6.25	8.00	8.25	7.50	7.50	8.25
Upholstery	8.00	7.75	8.00	8.25	7.00	7.50	8.75
Bucket Seat Design	8.25	7.00	8.00	8.25	7.50	7.50	7.75
Headroom	9.00	9.25	8.00	9.00	8.25	8.75	8.00
Seatbelts	8.25	7.50	8.00	8.00	7.75	8.00	8.25
Ease of Entry and Exit	8.50	6.50	8.25	9.00	7.75	7.00	7.25
Overall Comfort Rating	8.50	7.25	8.00	8.25	7.50	7.75	7.50
<b>REAR SEAT</b>							
Leg room – Front seat back	8.75	9.00	7.75	8.25	7.50	9.00	6.00
Ease of Entry and Exit	9.00	7.25	8.00	8.75	7.75	7.25	6.00
<b>INSTRUMENTATION</b>							
Clarity	8.25	8.50	8.00	8.50	7.25	8.50	7.75
Placement	8.25	8.25	8.25	8.50	7.50	8.25	7.50
<b>VEHICLE CONTROLS</b>							
Pedals, Size, and Position	8.25	8.25	7.75	8.25	7.50	8.00	7.50
Power Window Switch	8.25	8.25	8.00	8.00	7.75	8.00	7.75
Stability/Traction Control Switch	8.25	8.25	7.75	8.25	7.25	8.00	7.50
Door Lock Switch	8.25	8.00	7.75	8.00	7.75	7.75	7.75
Outside Mirror Controls	8.25	8.25	8.00	8.00	8.00	8.25	7.50
Steering Wheel, Size, Tilt Release, and Surface	8.50	8.25	8.25	8.75	7.75	8.50	7.50
Heat/AC Vent Placement and Adjustability	8.25	8.50	7.75	8.00	7.25	8.00	7.50
Trunk Release Switch	8.00	7.67	8.00	7.67	N/A	7.67	7.33
<b>VISIBILITY</b>							
Front (Windshield)	8.25	8.25	8.25	8.50	7.75	8.50	8.00
Rear (Back Window)	7.75	8.00	7.25	8.00	7.50	8.25	7.25
Left Rear Quarter	7.50	8.00	7.50	7.75	7.25	8.00	7.25
Right Rear Quarter	7.75	8.25	7.50	7.75	7.25	7.75	7.25
Outside Rear View Mirrors	8.50	7.75	8.00	8.00	7.75	8.00	7.25
<b>TOTAL SCORES</b>	<b>8.27</b>	<b>7.85</b>	<b>7.87</b>	<b>8.22</b>	<b>7.54</b>	<b>7.94</b>	<b>7.54</b>

# FUEL ECONOMY

The respective auto manufacturers provided estimates for fuel economy as show below. This information has been certified by the Environment Protection Agency.

<b>Vehicles Make/Model/Engine</b>	<b>E.P.A. Miles Per Gallon</b>		
	<b>City Label</b>	<b>Highway Label</b>	<b>Combined Label</b>
Chevrolet Tahoe 5.3L RWD	15	19	16
Chevrolet Tahoe 5.3L 4WD	14	18	16
Chevrolet Silverado Z7X 4WD	14	17	15
Chevrolet Silverado Z71 4WD	14	17	15
Chevrolet Blazer EV AWD			Not available
Dodge Durango 5.7L AWD			TBD
Dodge Durango 3.6L AWD			TBD
Ford Police Interceptor Utility 3.0L EcoBoost AWD	17	22	19
Ford Police Interceptor Utility Hybrid 3.3L AWD	23	24	24
Ford Police Interceptor Utility 3.3L AWD	17	23	19
Ford F-150 Police Responder 3.5L EcoBoost 4WD	16	20	18
Ford Mustang Mach-E AWD- total range 270 miles (40 kWh/100 mi)	96	84	90



South Whitehall Township (Lehigh County, Commonwealth of Pennsylvania)							
Current Mechanical Issues with Ford Police Interceptor® Utility from October 15, 2023 to March 26, 2024							
Unit #	Year	Odometer Miles	Description of Mechanical Issue(s)	Date Sent to Dealer for Service	In-Service Date	Cost (\$)	Notes
303	2020	51,013	Multiple Misfires in the Engine	10/24/2023	10/24/2023	\$47.40	
308*	2020	51,000	Traction/All-Wheel Drive Issue	10/24/2023	10/27/2023	Warranty	
304	2020	51,000	Water Pump, Traction/All-Wheel Drive Issue	10/30/2023	11/10/2023	Warranty	
305*	2021	30,000	Left Front CV Joint Bad/Left Front Axle Seal	11/3/2023	11/6/2023	Warranty	
332	2014	60,000	Catalytic Converter	10/25/2023	11/3/2023	Warranty	
310	2021	24,000	Axle Seals	11/14/2023	11/20/2023	Warranty	
353	2020	14,000	Warning Lights on Dashboard, Went into Limp Mode	12/5/2023	12/14/2023	Warranty	
306	2020	41,000	Check Engine Light Flashing	10/29/2023	11/14/2023	Warranty	
302	2021	17,000	Axle Seal Leak/Water Pump	3/26/2024		Warranty	At the dealer.
308*	2020	51,500	Engine Misfire	11/20/2023	1/17/2024	Warranty	
305*	2021	37,800	All-Wheel Drive Issue	12/5/2023	1/23/2024	\$58.98	
304	2020	52,400	Engine Misfire	12/5/2023	12/14/2023	Warranty	
306	2020	43,000	Engine Misfire	12/14/2023	12/15/2023	Warranty	
307	2022	19,722	Check Engine Light	1/23/2024	1/29/2024	Warranty	
332	2014	61,000	Catalytic Converter	1/30/2024	2/5/2024	Warranty	
321	2019	63,500	Engine issues	2/7/2024	2/29/2024	Warranty	
303	2020	55,000	AWD light	2/29/2024	3/4/2024	Warranty	
351	2020	25,000	AWD light	2/26/2024	2/29/2024	Warranty	
352	2020	17,000	Bad starter/Generator	3/4/2024	3/7/2024	Warranty	
305	2021	39,000	R/F CV boot leaking	3/4/2024	3/7/2024	Warranty	Going to dealer.
*NOTE- These identified vehicles (highlighted yellow, orange and green) have gone back to the dealer for multiple issues.							

# SOUTH WHITEHALL TOWNSHIP POLICE DEPT

Prepared For: LT. ERIC DOTTER

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial



**PURSUIT RATED PPV  
ORDER BANKS ARE CLOSED.  
7 BLACK INCOMING AVAILABLE.**

*Build in June 17<sup>th</sup>  
Delivered in August*



*VB 54,153*



Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Complete )

Quote: BUCKS COUNTY SHERIFF

## Standard Equipment

### Mechanical

Engine, 5.3L EcoTec3 V8 with Dynamic Fuel Management, Direct Injection and Variable Valve Timing, includes aluminum block construction (355 hp [265 kW] @ 5600 rpm, 383 lb-ft of torque [518 Nm] @ 4100 rpm) (STD)

Transmission, 10-speed automatic electronically controlled with overdrive, includes Traction Select System including tow/haul (STD)

Rear axle, 3.23 ratio

Suspension Package, Premium Smooth Ride (STD)

GVWR, 7500 lbs. (3402 kg) (4WD models only.) (STD)

Keyless start, push button

Automatic Stop/Start

Engine control, stop/start system disable button, non-latching

Engine air filtration monitor

Fuel, gasoline, E15

Transfer case, active, single-speed, electronic Autotrac does not include neutral. Cannot be dinghy towed (4WD models only. Deleted when (NHT) Max Trailering Package is ordered.)

Differential, mechanical limited-slip

4-wheel drive

Air filter, heavy-duty

Cooling, external engine oil cooler, heavy-duty air-to-oil integral to driver side of radiator

Cooling, auxiliary transmission oil cooler, heavy-duty air-to-oil

Battery, 730 cold-cranking amps with 80 amp hour rating

Alternator, 220 amps

Trailering equipment includes trailering hitch platform, 7-wire harness with independent fused trailering circuits mated to a 7-way connector and 2" trailering receiver

Trailer sway control

Hitch Guidance

Suspension, front coil-over-shock with stabilizer bar

Suspension, rear multi-link with coil springs

Steering, power

Brakes, 4-wheel antilock, 4-wheel disc with DURALIFE rotors

Exhaust, single system, single-outlet

Mechanical Jack with tools

Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided. Data Version: 22093, Data updated Mar 31, 2024 6:41:00 PM PDT

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

Quote: BUCKS COUNTY SHERIFF

**Exterior**

- Wheels, 18" x 8.5" (45.7 cm x 21.6 cm) Bright Silver painted aluminum (STD)
- Tires, 265/65R18SL all-season, blackwall (Standard with (PZX) 18" Bright Silver painted aluminum wheels only.) (STD)
- Wheel, full-size spare, 17" (43.2 cm)
- Tire, spare P265/70R17 all-season, blackwall
- Tire carrier, lockable outside spare, winch-type mounted under frame at rear
- Active aero shutters, upper
- Fascia, front
- Luggage rack side rails, roof-mounted, Black, standard (Available with (5W4) Special Services Vehicle.)
- Assist steps, Black with chrome accent strip
- Headlamps, LED
- Lamps, stop and tail, LED
- Mirrors, outside heated power-adjustable, manual-folding, body-color
- Mirror caps, body-color
- Glass, deep-tinted (all windows, except light-tinted glass on windshield and driver- and front passenger-side glass)
- Glass, acoustic, laminated
- Glass, windshield shade band
- Windshield, solar absorbing
- Wipers, front intermittent, Rainsense
- Wiper, rear intermittent with washer
- Door handles, body-color
- Liftgate, rear manual

**Entertainment**

- Audio system, Chevrolet Infotainment 3 system, 8" diagonal HD color touchscreen AM/FM stereo, Bluetooth audio streaming for 2 active devices, voice command pass-through to phone, Wireless Apple CarPlay and Wireless Android Auto compatibility (STD)
- Audio system feature, 6-speaker system
- SiriusXM, delete
- Infotainment display, 8" diagonal touchscreen
- Bluetooth for phone personal cell phone connectivity to vehicle audio system
- Wireless Apple CarPlay/Wireless Android Auto

Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided. Data Version: 22093, Data updated Mar 31, 2024 6:41:00 PM PDT



Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

Quote: BUCKS COUNTY SHERIFF

**Entertainment**

Wi-Fi Hotspot capable (Standard with (UE1) OnStar only. Terms and limitations apply. See onstar.com or dealer for details.)

**Interior**

Seats, front 40/20/40 split-bench (Not available with (D07) center floor console and (USR) USB data ports.) (STD)

Seat trim, cloth

Seat adjusters, 8-way power includes 6-way power front passenger seat with 2-way power lumbar

Seat adjusters, 10-way power includes 8-way power driver seat with 2-way power lumbar

Seats, second row 60/40 split-folding bench, manual

Seats, third row 60/40 split-folding bench, manual (Not available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)

Floor covering, Black rubberized vinyl (Deleted when (B30) floor covering is ordered.)

Electronic Precision Shift

Steering column lock, electrical

Steering column, manual tilt and telescopic

Steering wheel, urethane

Steering wheel controls, mounted audio, Driver Information Center, cruise control and Forward Collision Alert following gap button (if equipped) (left backside Seek/Scan steering wheel radio buttons are inoperable; these 2 buttons can be repurposed for aftermarket emergency equipment)

Driver Information Center, 4.2" diagonal color display includes driver personalization

Rear Seat Reminder

Door locks, power programmable with lockout protection and delayed locking (When ordered with (9C1) Police Vehicle or (5W4) Special Service Vehicle, Auto Lockout is disabled on driver door.)

Keyless Open includes extended range Remote Keyless Entry

Cruise control, electronic with set and resume speed

Theft-deterrent system, content, electrical, unauthorized entry

USB data ports, 4 total; 2, one type-A and one type-C located within center console and 2, one type-A and one type-C located on instrument panel

USB charging-only ports, 4 type-C, (2) located on rear of center console and (2) in 3rd row (1 left and 1 right side below quarter glass side window) (When ordered with (9C1) Police Vehicle or (5W4) Special Service Vehicle, (2) type-C ports are moved to the rear of center seat base and (2) type-C are moved to the cargo area. Deleted when (A50) front bucket seats are ordered.)

Window, power with driver Express-Up/Down

Window, power with front passenger Express-Up/Down

Windows, power with rear Express-Down

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

Quote: BUCKS COUNTY SHERIFF

**Interior**

Air conditioning, tri-zone automatic climate control with individual climate settings for driver, right front passenger and rear seat occupants

Air conditioning, rear

Defogger, rear-window electric

Power outlets, 2, 120-volt, located on the rear of the center seat and rear cargo area

Power outlet, front auxiliary, 12-volt, located in the center stack of instrument panel

Mirror, inside rearview manual day/night

Visors, driver and front passenger illuminated vanity mirrors, sliding

Assist handles, overhead, driver and front passenger, located in headliner

Assist handles, front passenger A-pillar and second row outboard B-pillar (Deleted when SEO (7X2) left- and right-hand spotlamps or SEO (7X3) left-hand spotlight are ordered.)

Lighting, interior with dome light, driver- and passenger-side door switch with delayed entry feature, cargo lights, door handle or Remote Keyless Entry-activated illuminated entry and map lights in front and second seat positions. On Police/Special Service vehicles, the control switch is located in the roof console in lieu of the driver - and passenger-side door switch with delayed entry feature.

Cargo management system

Chevrolet Connected Access capable (Subject to terms. See onstar.com or dealer for details.)

**Safety-Mechanical**

Automatic Emergency Braking

Hill Start Assist

StabiliTrak, stability control system with brake assist, includes traction control

**Safety-Exterior**

Daytime Running Lamps, reduced intensity low beam

**Safety-Interior**

Airbags, Frontal airbags for driver and front outboard passenger; Seat-mounted side-impact airbags for driver and front outboard passenger; Head-curtain airbags for all rows in outboard seating positions (Deleted when (A50) front bucket seats are ordered. Always use seat belts and child restraints. Children are safer when properly secured in a rear seat in the appropriate child restraint. See the Owner's Manual for more information.)

Front outboard Passenger Sensing System for frontal outboard passenger airbag (Always use seat belts and child restraints. Children are safer when properly secured in a rear seat in the appropriate child restraint. See the Owner's Manual for more information.)

OnStar and Chevrolet connected services capable (Terms and limitations apply. See onstar.com or dealer for details.)

Front and Rear Park Assist

Following Distance Indicator (Deleted when (9C1) Police Vehicle or (5W4) Special Service Vehicle is ordered.)

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

Quote: BUCKS COUNTY SHERIFF

**Safety-Interior**

HD Rear Vision Camera

Front Pedestrian Braking (Deleted when (9C1) Police Vehicle or (5W4) Special Service Vehicle is ordered.)

Lane Keep Assist with Lane Departure Warning (Deleted when (9C1) Police Vehicle or (5W4) Special Service Vehicle is ordered.)

Forward Collision Alert (Deleted when (9C1) Police Vehicle or (5W4) Special Service Vehicle is ordered.)

Buckle to Drive prevents vehicle from being shifted out of Park until driver seat belt is fastened; times out after 20 seconds and encourages seat belt use, can be turned on and off in Settings or Teen Driver menu (When ordered with (9C1) Police Vehicle or (5W4) Special Service Vehicle, defaulted off. Feature can be turned on in the Infotainment menu.)

Door locks, rear child security, manual

LATCH system (Lower Anchors and Tethers for CHildren), for child restraint seats lower anchors and top tethers located in all second-row seating positions (Deleted when (ATZ) second row seat delete is ordered.)

Teen Driver a configurable feature that lets you activate customizable vehicle settings associated with a key fob, to help encourage safe driving behavior. It can limit certain available vehicle features, and it prevents certain safety systems from being turned off. An in-vehicle report card gives you information on driving habits and helps you to continue to coach your new driver

Tire Pressure Monitoring System auto learn, includes Tire Fill Alert (does not apply to spare tire)

Warning tones headlamp on, driver and right-front passenger seat belt unfasten and turn signal on

3 Years of OnStar Remote Access. The OnStar Remote Access Plan gives you simplified remote control of your properly equipped vehicle and unlocks a variety of great features in your myChevrolet mobile app. See dealer for details. (Deleted when (UDA) vehicle deactivated communication system is ordered. OnStar Remote Access Plan does not include emergency or security services. Fleet customers will get Fleet Remote Access through OnStar Vehicle Insights. See onstar.com for details and limitations. Available on select Apple and Android devices. Service availability, features and functionality vary by vehicle, device, and the plan you are enrolled in. Terms apply. Device data connection required.)

**WARRANTY**

Basic Years: 3

Basic Miles/km: 36,000

Drivetrain Years: 5

Drivetrain Miles/km: 60,000

Drivetrain Note: 3.0L & 6.0L Duramax® Turbo-Diesel engines, and certain commercial, government, and qualified fleet vehicles: 5 years/100,000 miles

Corrosion Years (Rust-Through): 6

Corrosion Years: 3

Corrosion Miles/km (Rust-Through): 100,000

Corrosion Miles/km: 36,000


Roadside Assistance Years: 5

Roadside Assistance Miles/km: 60,000

Roadside Assistance Note: 3.0L & 6.0L Duramax® Turbo-Diesel engines, and certain commercial, government, and qualified fleet vehicles: 5 years/100,000 miles

Maintenance Note: First Visit: 12 Months/12,000 Miles

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Complete )

Quote: BUCKS COUNTY SHERIFF

**Selected Model and Options**

**MODEL**

CODE	MODEL	MSRP
CK10706	2024 Chevrolet Tahoe 4WD 4dr Commercial	\$53,450.00

**COLORS**

CODE	DESCRIPTION
GBA	Black

**SUSPENSION PKG**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
Z56	Suspension Package, heavy-duty, police-rated. Full independent suspension with monotube dampers, linear coil springs, 35mm solid front stabilizer bar and 32mm hollow rear stabilizer bar (Included and only available with (9C1) Police Vehicle.)	0.00 lbs	0.00 lbs	Inc.

**EMISSIONS**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
NE1	Emissions, Connecticut, Delaware, Maine, Maryland, Massachusetts, New Jersey, New York, Oregon, Pennsylvania, Rhode Island, Vermont and Washington state requirements	0.00 lbs	0.00 lbs	\$0.00

**ENGINE**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
L84	Engine, 5.3L EcoTec3 V8 with Dynamic Fuel Management, Direct Injection and Variable Valve Timing, includes aluminum block construction (355 hp [265 kW] @ 5600 rpm, 383 lb-ft of torque [518 Nm] @ 4100 rpm) (STD)	0.00 lbs	0.00 lbs	\$0.00

**TRANSMISSION**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
MHU	Transmission, 10-speed automatic electronically controlled with overdrive, includes Traction Select System including tow/haul (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

Quote: BUCKS COUNTY SHERIFF

**GVWR**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
C6G	GVWR, 7600 lbs. (3447 kg) (Included and only available with (9C1) Police Package. 4WD model only.)	0.00 lbs	0.00 lbs	Inc.

**AXLE**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
GU5	Rear axle, 3.23 ratio	0.00 lbs	0.00 lbs	\$0.00

**PREFERRED EQUIPMENT GROUP**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
1FL	Commercial Preferred Equipment Group includes standard equipment	0.00 lbs	0.00 lbs	\$0.00

**WHEEL TYPE**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
PXT	Wheels, 20" x 9" (50.8 cm x 22.9 cm) steel (Included and only available with (9C1) Police Vehicle.)	37.00 lbs	37.00 lbs	Inc.

**TIRES**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
XCS	Tires, 275/55R20SL all-season, blackwall, Firestone Firehawk Pursuit (Included and only available with (9C1) Police Vehicle.)	0.00 lbs	0.00 lbs	Inc.


**PAINT**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
GBA	Black	0.00 lbs	0.00 lbs	\$0.00

**SEAT TYPE**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
AZ3	Seats, front 40/20/40 split-bench (STD)	4.00 lbs	3.00 lbs	\$0.00

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Quote: BUCKS COUNTY SHERIFF

**SEAT TRIM**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
H1T	Jet Black, Cloth seat trim (Requires (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	\$0.00

**RADIO**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
IOR	Audio system, Chevrolet Infotainment 3 system, 8" diagonal HD color touchscreen AM/FM stereo, Bluetooth audio streaming for 2 active devices, voice command pass-through to phone, Wireless Apple CarPlay and Wireless Android Auto compatibility (STD)	0.00 lbs	0.00 lbs	\$0.00

**ADDITIONAL EQUIPMENT - PACKAGE**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
9C1	Identifier for Police Package Vehicle includes, (K47) heavy-duty air filter, (KX4) 250 amp high output alternator, (K6K) 760 cold-cranking amps auxiliary battery, electrical power & vehicle signals for customer connection located at the center front floor. Auxiliary battery circuit for customer connection located in the rear cargo area, (Z56) heavy-duty, police-rated suspension, (XCS) 275/55R20SL all-season tires, (RAV) 275/55R20 all-season spare tire, Police brakes, (RC1) front skid plate, (PXT) 20" steel wheels, Certified speedometer, SEO (5J3) Surveillance Mode interior lighting calibration, SEO (UT7) blunt cut cargo area and blunt cut console area ground wires, (V53) delete luggage rack side rails, (ATD) third row seat delete, (NP0) active single-speed transfer case (4WD only) *Upon selection of this option the base price will change*	0.00 lbs	0.00 lbs	\$0.00
AMF	Remote Keyless Entry Package includes 4 additional transmitters, NOTE: programming of remotes is at customer's expense. Programming remotes is not a warranty expense (Requires (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	\$75.00

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

Quote: BUCKS COUNTY SHERIFF

**ADDITIONAL EQUIPMENT - MECHANICAL**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
5J9	Calibration, taillamp flasher, Red/White (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
5LO	Calibration, taillamp flasher, Red/Red (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
6J4	Wiring, horn and siren circuit (Requires (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	\$55.00
6J7	Flasher system, headlamp and taillamp, DRL compatible with control wire (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
—	Capless Fuel Fill (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
J55	Brake system, heavy duty with front Brembo calipers and 16" front rotors (Included and only available with (9C1) Police Vehicle.)	3.00 lbs	0.00 lbs	Inc.
K3W	Battery, 850 cold-cranking amps with 95 amp hour rating (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
K6K	Battery, auxiliary, 760 cold-cranking amps with 70 amp hour rating (packaged behind left rear cargo area panel) (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
KX4	Alternator, 250 amps (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
RC1	Skid plate, front (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
T66	Wiring provision, for outside mirrors and cargo side mirrors (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
UT7	Ground wires, blunt cut cargo area and blunt cut console area (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
V03	Cooling system, extra capacity (Included and only available with (9C1) Police Vehicle or (NHT) Max Trailering Package. Not included when (LM2) Duramax 3.0L Turbo-Diesel I6 engine is ordered.)	0.00 lbs	0.00 lbs	Inc.
V76	Recovery hooks, 2 front, frame-mounted, Black (Requires (9C1) Police Vehicle or (5W4) Special Service Vehicle. Required on all models going to Alaska, Guam, Hawaii, Puerto Rico and Virgin Islands. All Tahoe (9C1) and (5W4) vehicles include front fascia with recovery hook openings.)	6.00 lbs	-1.00 lbs	\$50.00

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

Quote: BUCKS COUNTY SHERIFF

**ADDITIONAL EQUIPMENT - EXTERIOR**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
6C7	Lighting, red and white front auxiliary dome Red and white LED auxiliary dome lamp is located on headliner between front row seats. The auxiliary lamp is wired independently from standard dome lamp (Requires (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	\$170.00
7X3	Spotlamp, left-hand Not available with SEO (7X2) left and right-hand spotlamps. Requires (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	5.00 lbs	1.00 lbs	\$800.00
—	Exterior ornamentation delete (front & rear Chevrolet bowties will remain) (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
RAV	Tire, spare 275/55R20 all-season, blackwall, Firestone Firehawk Pursuit (Included and only available with (9C1) Police Vehicle.)	0.00 lbs	0.00 lbs	Inc.
RNQ	Wheel, full-size spare, matching 20" (50.8 cm) steel wheel without center cap (Included and only available with (9C1) Police Vehicle.)	-3.00 lbs	18.00 lbs	Inc.
V53	Luggage rack side rails, delete (Included with (9C1) Police Vehicle or (5W4) Special Service Vehicle.) *CREDIT*	0.00 lbs	0.00 lbs	Inc.
WUA	Fascia, front high-approach angle (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.

**ADDITIONAL EQUIPMENT - ENTERTAINMENT**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
UDA	OnStar deactivated (does not delete Bluetooth) *CREDIT*	0.00 lbs	0.00 lbs	(\$85.00)

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

Quote: BUCKS COUNTY SHERIFF

**ADDITIONAL EQUIPMENT - INTERIOR**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
5J3	Calibration, Surveillance Mode interior lighting (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
6E2	Fleet Calibration provides a single key with a specific code that is common to the door locks of all the vehicles in the vehicle fleet. Key code is an alternate to SEO (6E8) complete vehicle fleet common key. NOTE: NOT COMPATIBLE with previous model years (Requires (AMF) Remote Keyless Entry Package. Includes (AU7) fleet common key with (9C1) Police Vehicle or (5W4) Special Service Vehicle. Not available with SEO (6E8) Fleet Calibration.)	0.00 lbs	0.00 lbs	\$25.00
6N5	Switches, rear window inoperative (rear windows can only operate from driver's position.) (Requires (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	\$57.00
6N6	Door locks and handles, inside rear doors inoperative (door can only be opened from outside) (Requires (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	\$62.00
—	Instrumentation, analog with certified 140 mph speedometer, odometer with trip odometer, engine hour meter, fuel level, voltmeter, engine temperature, oil pressure and tachometer (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
—	Power supply, 100-amp, auxiliary battery, rear electrical center (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
—	Power supply, 120-amp, (4) 30-amp circuit, Primary battery relay controlled, passenger compartment harness wiring (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
—	Power supply, 50-amp, power supply, auxiliary battery passenger compartment wiring harness (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
—	Theft-deterrent system, vehicle, PASS-Key III (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
ATD	Seat delete, third row passenger *CREDIT*	0.00 lbs	0.00 lbs	Inc.
AX2	Key, unique Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
BCV	Lock control, driver side auto door lock disable (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

Quote: BUCKS COUNTY SHERIFF

BTV	Remote start	0.00 lbs	0.00 lbs	\$300.00
VZ2	Speedometer calibration (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.

**ADDITIONAL EQUIPMENT - SAFETY-INTERIOR**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
—	Seat belts, 3-point, all seating positions (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.

**ADDITIONAL EQUIPMENT - SAFETY-EXTERIOR**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
9G8	Headlamps, Daytime Running Lamps and automatic headlamp control delete deletes standard Daytime Running Lamps and automatic headlamp control features (Requires (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	\$50.00

**ADDITIONAL EQUIPMENT - OTHER**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
—	Protected idle allows vehicle engine to remain idling and vehicle immobilized while FOB is outside vehicle (Included and only available (9C1) Police Vehicle or (5W4) Special Service Vehicle.)	0.00 lbs	0.00 lbs	Inc.
VXT	Incomplete vehicle (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle. Included and only available with (ATZ) rear seat delete.)	0.00 lbs	0.00 lbs	Inc.

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Complete )

Quote: BUCKS COUNTY SHERIFF

**SHIP THRU CODES**

CODE	DESCRIPTION	FRONT WEIGHT	REAR WEIGHT	MSRP
VPV	Ship Thru, Produced in Arlington Assembly and shipped to Kerr Industries and onto Arlington Assembly (Included with SEO (6J8) White Left/White Right Whelen LED Lamp Package, SEO (6J9) Red Left/Red Right Whelen LED Lamp Package, SEO (6JE) Blue Left/Blue Right Whelen LED Lamp Package, SEO (6JG) Red Left/Blue Right Whelen LED Lamp Package, SEO (6C7) red and white front auxiliary dome lighting, SEO (6N6) door locks and handles, SEO (7X2) left- and right-hand spotlamps, SEO (7X3) left-hand spotlamp, SEO (T53) alternate flashing Red & Blue rear compartment lid warning lamps, SEO (UN9) Radio Suppression Package, SEO (6J3) grille lamps and siren speakers wiring, SEO (6J4) horn and siren circuit wiring and SEO (WX7) auxiliary speaker wiring.)	0.00 lbs	0.00 lbs	\$0.00
<b>Options Total</b>		<b>52.00 lbs</b>	<b>58.00 lbs</b>	<b>\$1,559.00</b>

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Complete )

Quote: BUCKS COUNTY SHERIFF

**Quote Worksheet**

	<b>MSRP</b>
Base Price	\$53,450.00
Dest Charge	\$1,995.00
Total Options	\$1,559.00
<b>Subtotal</b>	<b>\$57,004.00</b>
CHAPMAN COSTARS 013-E22-232 DISCOUNT	(\$2,851.00)
<b>Subtotal Pre-Tax Adjustments</b>	<b>(\$2,851.00)</b>
Less Customer Discount	\$0.00
<b>Subtotal Discount</b>	<b>\$0.00</b>
Trade-In	\$0.00
<b>Subtotal Trade-In</b>	<b>\$0.00</b>
<b>Taxable Price</b>	<b>\$54,153.00</b>
Sales Tax	\$0.00
<b>Subtotal Taxes</b>	<b>\$0.00</b>
<b>Subtotal Post-Tax Adjustments</b>	<b>\$0.00</b>
<b>Total Sales Price</b>	<b>\$54,153.00</b>

\_\_\_\_\_  
Dealer Signature / Date

\_\_\_\_\_  
Customer Signature / Date

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

Quote: BUCKS COUNTY SHERIFF

## Window Sticker

### SUMMARY

[Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial

MSRP:\$53,450.00

Interior:Jet Black, Cloth seat trim

Exterior 1:Black

Exterior 2:No color has been selected.

Engine, 5.3L EcoTec3 V8

Transmission, 10-speed automatic

### OPTIONS

CODE	MODEL	MSRP
CK10706	[Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial	\$53,450.00
<b>OPTIONS</b>		
1FL	Commercial Preferred Equipment Group	\$0.00
5J3	Calibration, Surveillance Mode interior lighting	Inc.
5J9	Calibration, taillamp flasher, Red/White	Inc.
5LO	Calibration, taillamp flasher, Red/Red	Inc.
6C7	Lighting, red and white front auxiliary dome	\$170.00
6E2	Fleet Calibration	\$25.00
6J4	Wiring, horn and siren circuit	\$55.00
6J7	Flasher system, headlamp and taillamp, DRL compatible with control wire	Inc.
6N5	Switches, rear window inoperative	\$57.00
6N6	Door locks and handles, inside rear doors inoperative	\$62.00
7X3	Spotlamp, left-hand	\$800.00
9C1	Identifier for Police Package Vehicle	\$0.00
9G8	Headlamps, Daytime Running Lamps and automatic headlamp control delete	\$50.00
AMF	Remote Keyless Entry Package	\$75.00
ATD	Seat delete, third row passenger	Inc.
AX2	Key, unique	Inc.
AZ3	Seats, front 40/20/40 split-bench	\$0.00
BCV	Lock control, driver side auto door lock disable	Inc.

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

Quote: BUCKS COUNTY SHERIFF

BTV	Remote start		\$300.00
C6G	GVWR, 7600 lbs. (3447 kg)	Inc.	
GBA	Black		\$0.00
GU5	Rear axle, 3.23 ratio		\$0.00
H1T	Jet Black, Cloth seat trim		\$0.00
IOR	Audio system, Chevrolet Infotainment 3 system, 8" diagonal HD color touchscreen		\$0.00
J55	Brake system, heavy duty	Inc.	
K3W	Battery, 850 cold-cranking amps with 95 amp hour rating	Inc.	
K6K	Battery, auxiliary, 760 cold-cranking amps with 70 amp hour rating	Inc.	
KX4	Alternator, 250 amps	Inc.	
L84	Engine, 5.3L EcoTec3 V8		\$0.00
MHU	Transmission, 10-speed automatic	Inc.	
NE1	Emissions, Connecticut, Delaware, Maine, Maryland, Massachusetts, New Jersey, New York, Oregon, Pennsylvania, Rhode Island, Vermont and Washington state requirements		\$0.00
PXT	Wheels, 20" x 9" (50.8 cm x 22.9 cm) steel	Inc.	
RAV	Tire, spare 275/55R20 all-season, blackwall, Firestone Firehawk Pursuit	Inc.	
RC1	Skid plate, front	Inc.	
RNQ	Wheel, full-size spare, matching 20" (50.8 cm) steel wheel without center cap	Inc.	
T66	Wiring provision, for outside mirrors and cargo side mirrors	Inc.	
UDA	OnStar deactivated (does not delete Bluetooth)		(\$85.00)
UT7	Ground wires, blunt cut cargo area and blunt cut console area	Inc.	
V03	Cooling system, extra capacity	Inc.	
V53	Luggage rack side rails, delete	Inc.	
V76	Recovery hooks, 2 front, frame-mounted, Black		\$50.00
VPV	Ship Thru, Produced in Arlington Assembly and shipped to Kerr Industries and onto Arlington Assembly		\$0.00
VXT	Incomplete vehicle	Inc.	
VZ2	Speedometer calibration	Inc.	
WUA	Fascia, front high-approach angle	Inc.	
XCS	Tires, 275/55R20SL all-season, blackwall, Firestone Firehawk Pursuit	Inc.	

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Complete )

Quote: BUCKS COUNTY SHERIFF

Z56	Suspension Package, heavy-duty, police-rated.	Inc.	
—	Capless Fuel Fill	Inc.	
—	Exterior ornamentation delete	Inc.	
—	Instrumentation, analog	Inc.	
—	Theft-deterrent system, vehicle, PASS-Key III	Inc.	
—	Power supply, 50-amp, power supply, auxiliary battery	Inc.	
—	Power supply, 100-amp, auxiliary battery, rear electrical center	Inc.	
—	Power supply, 120-amp, (4) 30-amp circuit, Primary battery	Inc.	
—	Seat belts, 3-point, all seating positions	Inc.	
—	Protected idle	Inc.	
<b>SUBTOTAL</b>			<b>\$55,009.00</b>
Adjustments Total			\$0.00
Destination Charge			\$1,995.00
<b>TOTAL PRICE</b>			<b>\$57,004.00</b>

**FUEL ECONOMY**

Est City:14 (2023) MPG  
 Est Highway:20 (2023) MPG  
 Est Highway Cruising Range:480.00 mi

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# BONNER

Chevrolet

## COSTARS™



Pennsylvania Department of General Services

October 6, 2023

Costars Member Price quote to all interested Police Dept's

2024 Chevrolet Tahoe PPV

Bonner Chevrolet has received updated pricing information for the upcoming 2024MY Chevrolet Tahoe Police Pursuit vehicles. Please review and once again let me know how many & color of Tahoe('s) you are requesting. I do not have build dates as of yet or allocation numbers. I will apprise everyone as I receive the updates. Please respond to me individually. Bonner Chevrolet looks forward to the acceptance of our quote by all interested parties. The pricing includes the following options: LED spotlight, remote start, rear camera mirror and 5 key fobs.

Costars Member Price: \$53,779.00\*\*

Please be advised that in this ever-changing economic climate and considerably rising costs and delays Bonner Chevrolet regrettably will have to request a 10% deposit on all vehicle orders and the total amount is due at pickup/delivery of said vehicle.

Thank you for your time and consideration in this manner.

Victor J Daylida

Costars, Fleet, Commercial & Medium Duty Mgr.

570-287-2117 ext. 238

Costars Member # 141414

Costars Municipal Work vehicles contract # 025-E22-527 Costars Passenger Vehicles contract # 026-E22-202

Costars Emergency vehicle contract# 013-E22-215

\*\*price is plus any/all applicable taxes/tags/reg/lien/doc/transport/shipping fees or any third party upfits. vehicle will be a factory order and governed solely by General Motors production/delivery schedules and/or any third party upfitters. prices valid for 3 days on current and in stock from date of quote and/or unavailability of vehicle or equipment. All prices and specifications are subject to change by the respective manufacturer(s). ALL vehicle factory order Final pricing will be dictated at time of delivery. Any addition/deletions to specifications requires a revised quote and supersedes all previous quotes. **Acceptance of this quote in no way constitutes that your order will be granted by General Motors.**





# Vehicle Locator

## Detail Report for Customer

BONNER CHEVROLET CO., INC.  
 694 WYOMING AVE, KINGSTON, PA, 18704  
 570-287-2118

Customer/Company: undefined  
 Address: undefined

Sales Consultant:

Vehicle #1: 2024 Chevrolet Tahoe	VIN/Order #	MSRP	Stock #
	DGJWG5	N/A	N/A
<b>Additional Vehicle Information</b>			
<b>GM Marketing Information</b>			

Body Style: CK10706-4WD

PEG: 1FL-Commercial / Fleet Preferred Equipment Group

Primary Color: GBA-Black

Trim: H1T-1WT/1FL-Cloth, Jet Black, Interior Trim

Engine: L84-Engine: 5.3L, EcoTec3 V-8, DI, Dynamic Fuel Mgt, V V T

Transmission: MHU-Transmission, 10sp, 10L80 Gen 2

- |  |  |
|--|--|
| <p>Options: 1FL-Commercial / Fleet Preferred Equipment Group<br/>         5J0-Calibration, Front Park Assist Disable<br/>         5J1-Calibration, remote ext. lights/horn disable (SEO)<br/>         5J3-Calibration, Surveillance Mode Int. Lighting (SEO)<br/>         5J9-Calibration, Taillamp Flasher, Red/White (SEO)<br/>         5LO-(SEO) Calibration, taillamp flasher, Red/Red<br/>         5T5-Seat Trim Override, Front Cloth/Rear Vinyl (SEO)<br/>         5Y1-Seats, Driver/Pass Front Individual, No Console (SEO)<br/>         6C7-(SEO) Lighting, Red/White front, aux dome<br/>         6J3-(SEO) Wiring - Grille Lamp and Speakers<br/>         6J4-(SEO) Wiring - Horn/Siren Circuit<br/>         6J7-(SEO) Flasher System, Headlamp and taillamp<br/>         6N5-(SEO) Rear Window Switches, Inoperative<br/>         6N6-(SEO) Rear Door Locks, Inoperative<br/>         7X3-(SEO) Spotlamp, Left-hand LED<br/>         9C1-Police Package<br/>         A2X-Power Seat Adjuster (Driver's Side)<br/>         AMF-Remote Keyless Entry Package<br/>         AT6-Seat, 2nd row 60/40 Bench, manual<br/>         ATD-Seat Delete: Third Row<br/>         ATH-Keyless Open &amp; Keyless Start<br/>         AY0-Airbags-frontal, front seat side-impact and roof-rail<br/>         AZ3-Seats: Front 40/20/40 Split-Bench, Full Feature<br/>         BCV-(SEO) Calibration, Rear Door Auto Lock Disable<br/>         BG9-Floor Covering: Rubberized Vinyl, Black<br/>         BTV-Remote Engine Starting Pkg<br/>         BVE-Assist Steps, Black<br/>         C6G-GVW Rating 7600 Lbs<br/>         CJ2-Climate Control, Electronic - Multi-zone<br/>         CWA-Rear Camera, Mirror Washer<br/>         DLF-Mirrors, O/S: Power, Heated<br/>         DRZ-Rear Camera Mirror, Inside Rear View, Auto Dimming<br/>         GBA-Black<br/>         GU5-Rear Axle: 3.23 Ratio<br/>         H1T-1WT/1FL-Cloth, Jet Black, Interior Trim</p> | <p>IOR-Chevrolet Infotainment, 7" Color Screen<br/>         K34-Cruise Control<br/>         KC4-Cooler, Engine Oil<br/>         KI4-120 Volt Electrical Receptacle, In Cab<br/>         KNP-Transmission Cooling System<br/>         KX4-Alternator, 250 AMP<br/>         L84-Engine: 5.3L, EcoTec3 V-8, DI, Dynamic Fuel Mgt, V V T<br/>         MHU-Transmission, 10sp, 10L80 Gen 2<br/>         N37-Steering Column, Manual Tilt &amp; Telescoping<br/>         NE1-CT/MA/MD/ME/NJ/NY/OR/PA/RI/VT/WA Emissions<br/>         PXT-Wheels: 20" Steel<br/>         R6J-Ship Thru Code Acknowledgement<br/>         RC1-Skid Plate<br/>         RNQ-Wheel, 20" Full size spare, steel<br/>         T8Z-Buckle-To-Drive<br/>         TB4-Liftgate, Rear, manual<br/>         U2J-SiriusXM Satellite Radio, Delete<br/>         UD5-Parking Assist, Front &amp; Rear Sensors<br/>         UDA-Communication system, deactivated<br/>         UK3-Radio Controls -Steering Wheel<br/>         UT7-(SEO) Ground studs, aux, cargo area inside liftgate<br/>         UTJ-Theft Protection System, Unauthorized Entry<br/>         UVB-Rear Vision Camera, HD<br/>         V03-Cooling system, extra capacity<br/>         V53-Luggage rack side rails - none<br/>         V76-Recovery Hooks<br/>         VPV-Ship thru charge: Kerr Industr., Arlington, TX<br/>         VQ1-Holdback, Fleet Dealer Assistance<br/>         WUA-Fascia, Front, custom<br/>         WX7-(SEO) Wiring provisions, Auxiliary speaker<br/>         XCS-TIRE ALL 275/55R20 SL 113V BW AL3 VAR1<br/>         YK6-SEO Processing Option<br/>         Z56-CHASSIS PACKAGE POLICE CONVERSION<br/>         Z82-Trailer Package</p> |
|--|--|

### Disclaimer:

GM has tried to make the pricing information provided in this summary accurate. Please refer to actual vehicle invoice, however, for complete pricing information. GM will not make any sales or policy adjustments in the case of inaccurate pricing information in this summary.



**Whitmoyer Auto Group**

Cody Stewart | 717-653-8183 | whitmoyerautogroup@live.com

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial



*white color - assist PPU protection July - September  
\$ 53,000 k  
expansion cameras*



**FLEET DEPARTMENT**







# Whitmoyer Auto Group

Cody Stewart | 717-653-8183 | whitmoyerautogroup@live.com

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial ( Complete )

## Standard Equipment

### Mechanical

Engine, 5.3L EcoTec3 V8 with Dynamic Fuel Management, Direct Injection and Variable Valve Timing, includes aluminum block construction (355 hp [265 kW] @ 5600 rpm, 383 lb-ft of torque [518 Nm] @ 4100 rpm) (STD)

Transmission, 10-speed automatic electronically controlled with overdrive, includes Traction Select System including tow/haul (STD)

Rear axle, 3.23 ratio

Suspension Package, Premium Smooth Ride (STD)

GVWR, 7500 lbs. (3402 kg) (4WD models only.) (STD)

Keyless start, push button

Automatic Stop/Start

Engine control, stop/start system disable button, non-latching

Engine air filtration monitor

Fuel, gasoline, E15

Transfer case, active, single-speed, electronic Autotrac does not include neutral. Cannot be dinghy towed (4WD models only. Deleted when (NHT) Max Trailering Package is ordered.)

Differential, mechanical limited-slip

4-wheel drive

Air filter, heavy-duty

Cooling, external engine oil cooler, heavy-duty air-to-oil integral to driver side of radiator

Cooling, auxiliary transmission oil cooler, heavy-duty air-to-oil

Battery, 730 cold-cranking amps with 80 amp hour rating

Alternator, 220 amps

Trailering equipment includes trailering hitch platform, 7-wire harness with independent fused trailering circuits mated to a 7-way connector and 2" trailering receiver

Trailer sway control

Hitch Guidance

Suspension, front coil-over-shock with stabilizer bar

Suspension, rear multi-link with coil springs

Steering, power

Brakes, 4-wheel antilock, 4-wheel disc with DURALIFE rotors

Exhaust, single system, single-outlet

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Data Version: 20893. Data Updated: Feb 22, 2024 6:40:00 PM PST.



# Whitmoyer Auto Group

Cody Stewart | 717-653-8183 | whitmoyerautogroup@live.com

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

## Mechanical

Mechanical Jack with tools

## Exterior

Wheels, 18" x 8.5" (45.7 cm x 21.6 cm) Bright Silver painted aluminum (STD)

Tires, 265/65R18SL all-season, blackwall (Standard with (PZX) 18" Bright Silver painted aluminum wheels only.) (STD)

Wheel, full-size spare, 17" (43.2 cm)

Tire, spare P265/70R17 all-season, blackwall

Tire carrier, lockable outside spare, winch-type mounted under frame at rear

Active aero shutters, upper

Fascia, front

Luggage rack side rails, roof-mounted, Black, standard (Available with (5W4) Special Services Vehicle.)

Assist steps, Black with chrome accent strip

Headlamps, LED

Lamps, stop and tail, LED

Mirrors, outside heated power-adjustable, manual-folding, body-color

Mirror caps, body-color

Glass, deep-tinted (all windows, except light-tinted glass on windshield and driver- and front passenger-side glass)

Glass, acoustic, laminated

Glass, windshield shade band

Windshield, solar absorbing

Wipers, front intermittent, Rainsense

Wiper, rear intermittent with washer

Door handles, body-color

Liftgate, rear manual

## Entertainment

Audio system, Chevrolet Infotainment 3 system, 8" diagonal HD color touchscreen AM/FM stereo, Bluetooth audio streaming for 2 active devices, voice command pass-through to phone, Wireless Apple CarPlay and Wireless Android Auto compatibility (STD)

Audio system feature, 6-speaker system

SiriusXM, delete

Infotainment display, 8" diagonal touchscreen

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial ( Complete )

## Entertainment

Bluetooth for phone personal cell phone connectivity to vehicle audio system

Wireless Apple CarPlay/Wireless Android Auto

Wi-Fi Hotspot capable (Standard with (UE1) OnStar only. Terms and limitations apply. See onstar.com or dealer for details.)

## Interior

Seats, front 40/20/40 split-bench (Not available with (D07) center floor console and (USR) USB data ports.) (STD)

Seat trim, cloth

Seat adjusters, 8-way power includes 6-way power front passenger seat with 2-way power lumbar

Seat adjusters, 10-way power includes 8-way power driver seat with 2-way power lumbar

Seats, second row 60/40 split-folding bench, manual

Seats, third row 60/40 split-folding bench, manual (Not available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)

Floor covering, Black rubberized vinyl (Deleted when (B30) floor covering is ordered.)

Electronic Precision Shift

Steering column lock, electrical

Steering column, manual tilt and telescopic

Steering wheel, urethane

Steering wheel controls, mounted audio, Driver Information Center, cruise control and Forward Collision Alert following gap button (if equipped) (left backside Seek/Scan steering wheel radio buttons are inoperable; these 2 buttons can be repurposed for aftermarket emergency equipment)

Driver Information Center, 4.2" diagonal color display includes driver personalization

Rear Seat Reminder

Door locks, power programmable with lockout protection and delayed locking (When ordered with (9C1) Police Vehicle or (5W4) Special Service Vehicle, Auto Lockout is disabled on driver door.)

Keyless Open includes extended range Remote Keyless Entry

Cruise control, electronic with set and resume speed

Theft-deterrent system, content, electrical, unauthorized entry

USB data ports, 4 total; 2, one type-A and one type-C located within center console and 2, one type-A and one type-C located on instrument panel

USB charging-only ports, 4 type-C, (2) located on rear of center console and (2) in 3rd row (1 left and 1 right side below quarter glass side window) (When ordered with (9C1) Police Vehicle or (5W4) Special Service Vehicle, (2) type-C ports are moved to the rear of center seat base and (2) type-C are moved to the cargo area. Deleted when (A50) front bucket seats are ordered.)

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

## Interior

Window, power with driver Express-Up/Down

Window, power with front passenger Express-Up/Down

Windows, power with rear Express-Down

Air conditioning, tri-zone automatic climate control with individual climate settings for driver, right front passenger and rear seat occupants

Air conditioning, rear

Defogger, rear-window electric

Power outlets, 2, 120-volt, located on the rear of the center seat and rear cargo area

Power outlet, front auxiliary, 12-volt, located in the center stack of instrument panel

Mirror, inside rearview manual day/night

Visors, driver and front passenger illuminated vanity mirrors, sliding

Assist handles, overhead, driver and front passenger, located in headliner

Assist handles, front passenger A-pillar and second row outboard B-pillar (Deleted when SEO (7X2) left- and right-hand spotlamps or SEO (7X3) left-hand spotlamp are ordered.)

Lighting, interior with dome light, driver- and passenger-side door switch with delayed entry feature, cargo lights, door handle or Remote Keyless Entry-activated illuminated entry and map lights in front and second seat positions. On Police/Special Service vehicles, the control switch is located in the roof console in lieu of the driver - and passenger-side door switch with delayed entry feature.

Cargo management system

Chevrolet Connected Access capable (Subject to terms. See onstar.com or dealer for details.)

## Safety-Mechanical

Automatic Emergency Braking

Hill Start Assist

StabiliTrak, stability control system with brake assist, includes traction control

## Safety-Exterior

Daytime Running Lamps, reduced intensity low beam

## Safety-Interior

Airbags, Frontal airbags for driver and front outboard passenger; Seat-mounted side-impact airbags for driver and front outboard passenger; Head-curtain airbags for all rows in outboard seating positions (Deleted when (A50) front bucket seats are ordered. Always use seat belts and child restraints. Children are safer when properly secured in a rear seat in the appropriate child restraint. See the Owner's Manual for more information.)

Front outboard Passenger Sensing System for frontal outboard passenger airbag (Always use seat belts and child restraints. Children are safer when properly secured in a rear seat in the appropriate child restraint. See the Owner's Manual for more information.)

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial ( Complete )

## Safety-Interior

OnStar and Chevrolet connected services capable (Terms and limitations apply. See onstar.com or dealer for details.)

Front and Rear Park Assist

Following Distance Indicator (Deleted when (9C1) Police Vehicle or (5W4) Special Service Vehicle is ordered.)

HD Rear Vision Camera

Front Pedestrian Braking (Deleted when (9C1) Police Vehicle or (5W4) Special Service Vehicle is ordered.)

Lane Keep Assist with Lane Departure Warning (Deleted when (9C1) Police Vehicle or (5W4) Special Service Vehicle is ordered.)

Forward Collision Alert (Deleted when (9C1) Police Vehicle or (5W4) Special Service Vehicle is ordered.)

Buckle to Drive prevents vehicle from being shifted out of Park until driver seat belt is fastened; times out after 20 seconds and encourages seat belt use, can be turned on and off in Settings or Teen Driver menu (When ordered with (9C1) Police Vehicle or (5W4) Special Service Vehicle, defaulted off. Feature can be turned on in the Infotainment menu.)

Door locks, rear child security, manual

LATCH system (Lower Anchors and Tethers for CHildren), for child restraint seats lower anchors and top tethers located in all second-row seating positions (Deleted when (ATZ) second row seat delete is ordered.)

Teen Driver a configurable feature that lets you activate customizable vehicle settings associated with a key fob, to help encourage safe driving behavior. It can limit certain available vehicle features, and it prevents certain safety systems from being turned off. An in-vehicle report card gives you information on driving habits and helps you to continue to coach your new driver

Tire Pressure Monitoring System auto learn, includes Tire Fill Alert (does not apply to spare tire)

Warning tones headlamp on, driver and right-front passenger seat belt unfasten and turn signal on

3 Years of OnStar Remote Access. The OnStar Remote Access Plan gives you simplified remote control of your properly equipped vehicle and unlocks a variety of great features in your myChevrolet mobile app. See dealer for details. (Deleted when (UDA) vehicle deactivated communication system is ordered. OnStar Remote Access Plan does not include emergency or security services. Fleet customers will get Fleet Remote Access through OnStar Vehicle Insights. See onstar.com for details and limitations. Available on select Apple and Android devices. Service availability, features and functionality vary by vehicle, device, and the plan you are enrolled in. Terms apply. Device data connection required.)


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# Whitmoyer Auto Group

Cody Stewart | 717-653-8183 | whitmoyerautogroup@live.com

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Complete )

## WARRANTY

Basic Years: 3  
Basic Miles/km: 36,000  
Drivetrain Years: 5  
Drivetrain Miles/km: 60,000  
Drivetrain Note: 3.0L & 6.0L Duramax® Turbo-Diesel engines, and certain commercial, government, and qualified fleet vehicles: 5 years/100,000 miles  
Corrosion Years (Rust-Through): 6  
Corrosion Years: 3  
Corrosion Miles/km (Rust-Through): 100,000  
Corrosion Miles/km: 36,000  
Roadside Assistance Years: 5  
Roadside Assistance Miles/km: 60,000  
Roadside Assistance Note: 3.0L & 6.0L Duramax® Turbo-Diesel engines, and certain commercial, government, and qualified fleet vehicles: 5 years/100,000 miles  
Maintenance Note: First Visit: 12 Months/12,000 Miles

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# Whitmoyer Auto Group

Cody Stewart | 717-653-8183 | whitmoyerautogroup@live.com

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial ( Complete )

## Selected Model and Options

### MODEL

CODE	MODEL	MSRP
CK10706	2024 Chevrolet Tahoe 4WD 4dr Commercial	\$53,450.00

### COLORS

CODE	DESCRIPTION
GAZ	Summit White

### SUSPENSION PKG

CODE	DESCRIPTION	MSRP
Z56	Suspension Package, heavy-duty, police-rated.	Inc.

### EMISSIONS

CODE	DESCRIPTION	MSRP
NE1	Emissions, Connecticut, Delaware, Maine, Maryland, Massachusetts, New Jersey, New York, Oregon, Pennsylvania, Rhode Island, Vermont and Washington state requirements	\$0.00

### ENGINE

CODE	DESCRIPTION	MSRP
L84	Engine, 5.3L EcoTec3 V8	\$0.00

### TRANSMISSION

CODE	DESCRIPTION	MSRP
MHU	Transmission, 10-speed automatic	Inc.

### GVWR

CODE	DESCRIPTION	MSRP
C6G	GVWR, 7600 lbs. (3447 kg)	Inc.

### AXLE

CODE	DESCRIPTION	MSRP
GU5	Rear axle, 3.23 ratio	\$0.00

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Data Version: 20893. Data Updated: Feb 22, 2024 6:40:00 PM PST.



# Whitmoyer Auto Group

Cody Stewart | 717-653-8183 | whitmoyerautogroup@live.com

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial ( Complete )

## PREFERRED EQUIPMENT GROUP

CODE	DESCRIPTION	MSRP
1FL	Commercial Preferred Equipment Group	\$0.00

## WHEEL TYPE

CODE	DESCRIPTION	MSRP
PXT	Wheels, 20" x 9" (50.8 cm x 22.9 cm) steel	Inc.

## TIRES

CODE	DESCRIPTION	MSRP
XCS	Tires, 275/55R20SL all-season, blackwall, Firestone Firehawk Pursuit	Inc.

## PAINT

CODE	DESCRIPTION	MSRP
GAZ	Summit White	\$0.00

## SEAT TYPE

CODE	DESCRIPTION	MSRP
AZ3	Seats, front 40/20/40 split-bench	\$0.00

## SEAT TRIM

CODE	DESCRIPTION	MSRP
H1T	Jet Black, Cloth seat trim	\$0.00

## RADIO

CODE	DESCRIPTION	MSRP
IOR	Audio system, Chevrolet Infotainment 3 system, 8" diagonal HD color touchscreen	\$0.00

## ADDITIONAL EQUIPMENT - PACKAGE

CODE	DESCRIPTION	MSRP
9C1	Identifier for Police Package Vehicle	\$0.00
AMF	Remote Keyless Entry Package	\$75.00

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# Whitmoyer Auto Group

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Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial ( Complete )

## ADDITIONAL EQUIPMENT - MECHANICAL

CODE	DESCRIPTION	MSRP
5J9	Calibration, taillamp flasher, Red/White	Inc.
5LO	Calibration, taillamp flasher, Red/Red	Inc.
6J7	Flasher system, headlamp and taillamp, DRL compatible with control wire	Inc.
—	Capless Fuel Fill	Inc.
J55	Brake system, heavy duty	Inc.
K3W	Battery, 850 cold-cranking amps with 95 amp hour rating	Inc.
K6K	Battery, auxiliary, 760 cold-cranking amps with 70 amp hour rating	Inc.
KX4	Alternator, 250 amps	Inc.
RC1	Skid plate, front	Inc.
T66	Wiring provision, for outside mirrors and cargo side mirrors	Inc.
UT7	Ground wires, blunt cut cargo area and blunt cut console area	Inc.
V03	Cooling system, extra capacity	Inc.
V76	Recovery hooks, 2 front, frame-mounted, Black	\$50.00

## ADDITIONAL EQUIPMENT - EXTERIOR

CODE	DESCRIPTION	MSRP
6C7	Lighting, red and white front auxiliary dome	\$170.00
7X3	Spotlamp, left-hand	\$800.00
—	Exterior ornamentation delete	Inc.
RAV	Tire, spare 275/55R20 all-season, blackwall, Firestone Firehawk Pursuit	Inc.
RNQ	Wheel, full-size spare, matching 20" (50.8 cm) steel wheel without center cap	Inc.
V53	Luggage rack side rails, delete	Inc.
VK3	License plate front mounting package	\$0.00
WUA	Fascia, front high-approach angle	Inc.

## ADDITIONAL EQUIPMENT - ENTERTAINMENT

CODE	DESCRIPTION	MSRP
UDA	OnStar deactivated (does not delete Bluetooth)	(\$85.00)

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# Whitmoyer Auto Group

Cody Stewart | 717-653-8183 | whitmoyerautogroup@live.com

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (✔ Complete)

## ADDITIONAL EQUIPMENT - INTERIOR

CODE	DESCRIPTION	MSRP
5J3	Calibration, Surveillance Mode interior lighting	Inc.
5T5	Seats, front cloth and second row vinyl	\$0.00
6E2	Fleet Calibration	\$25.00
6N5	Switches, rear window inoperative	\$57.00
6N6	Door locks and handles, inside rear doors inoperative	\$62.00
—	Instrumentation, analog	Inc.
—	Power supply, 100-amp, auxiliary battery, rear electrical center	Inc.
—	Power supply, 120-amp, (4) 30-amp circuit, Primary battery	Inc.
—	Power supply, 50-amp, power supply, auxiliary battery	Inc.
—	Theft-deterrent system, vehicle, PASS-Key III	Inc.
ATD	Seat delete, third row passenger	Inc.
AX2	Key, unique	Inc.
BCV	Lock control, driver side auto door lock disable	Inc.
BTV	Remote start	\$300.00
DRZ	Rear Camera Mirror, inside rearview auto-dimming	\$475.00
UN9	Radio Suppression Package, with ground straps	\$95.00
VZ2	Speedometer calibration	Inc.

## ADDITIONAL EQUIPMENT - SAFETY-INTERIOR

CODE	DESCRIPTION	MSRP
—	Seat belts, 3-point, all seating positions	Inc.
CWA	Rear Camera Mirror Washer	Inc.

## ADDITIONAL EQUIPMENT - OTHER

CODE	DESCRIPTION	MSRP
—	Protected idle	Inc.
VXT	Incomplete vehicle	Inc.

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# Whitmoyer Auto Group

Cody Stewart | 717-653-8183 | whitmoyerautogroup@live.com

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial ( Complete )

## SHIP THRU CODES

CODE	DESCRIPTION	MSRP
VPV	Ship Thru, Produced in Arlington Assembly and shipped to Kerr Industries and onto Arlington Assembly	\$0.00
<b>Options Total</b>		<b>\$2,024.00</b>

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Data Version: 20893. Data Updated: Feb 22, 2024 6:40:00 PM PST.



# Whitmoyer Auto Group

Cody Stewart | 717-653-8183 | whitmoyerautogroup@live.com

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial ( Complete )

## Price Summary

### PRICE SUMMARY

	<b>MSRP</b>
Base Price	\$53,450.00
Total Options	\$2,024.00
Vehicle Subtotal	\$55,474.00
Destination Charge	\$1,995.00
<b>Grand Total</b>	<b>\$57,469.00</b>

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Data Version: 20893. Data Updated: Jan 29, 2024 6:40:00 PM PST.



# Whitmoyer Auto Group

Cody Stewart | 717-653-8183 | whitmoyerautogroup@live.com

Vehicle: [Fleet] 2024 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Complete )

## Quote Worksheet

	MSRP
Base Price	\$53,450.00
Dest Charge	\$1,995.00
Total Options	\$2,024.00
<b>Subtotal</b>	<b>\$57,469.00</b>
Discount as per COSTARS 013-E22-264	(\$4,469.00)
<b>Subtotal Pre-Tax Adjustments</b>	<b>(\$4,469.00)</b>
KML Transport Patrol Upfit	\$23,093.57
<b>Subtotal Upfit</b>	<b>\$23,093.57</b>
Trade-In	\$0.00
<b>Subtotal Trade-In</b>	<b>\$0.00</b>
<b>Taxable Price</b>	<b>\$76,093.57</b>
Sales Tax	\$0.00
<b>Subtotal Taxes</b>	<b>\$0.00</b>
<b>Subtotal Post-Tax Adjustments</b>	<b>\$0.00</b>
<b>Total Sales Price</b>	<b>\$76,093.57</b>

53,000

### Comments:


Following is our proposal to furnish and deliver one (1) "new and unused" 2024 Chevrolet Tahoe PPV. Please review and contact our office if you have any questions.

Your cost to purchase as per COSTARS 013-E22-264 is \$76,093.57. Vehicle will be filled with fuel, washed and delivered to your location.

\*\*\*WE ARE CURRENTLY ESTIMATING THAT 24 TAHOES WILL ARRIVE SOMETIME MAY/JUNE\*\*\*

Thank you for your time, and the opportunity to earn your business.

Best Regards,

  
 Dealer Signature / Date 02/22/2024

Customer Signature / Date



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Data Version: 20893. Data Updated: Feb 22, 2024 6:40:00 PM PST.



**Company:** SOUTH WHITEHALL TWSHP PD  
**Contact:** LT ERIC A DOTTER  
**Address:** 4444 WALBERT AVE  
**City, State, Zip:** ALLENTOWN, PA. 18104  
**Phone #:** 610.398.0337  
**Cell #:** 610.295.2340  
**Fax #:**  
**Email Address:** EAD@SWTPD.ORG

Dealership Information

**AL SCHOCK**  
 L.B. SMITH FORD LINCOLN  
 1100 MARKET STREET  
 LEMOYNE, PA. 17043  
 Office #: (717) 761-6700 X 3213  
 CELL 717.816.5161

<b>CO STARS APPROVED</b>
<b>026-E22-178</b>

<b>Prepared by:</b>	<b>ALS 4.2.24 REVISED</b>
<b>STOCK</b>	<b>NO</b>
<b>FACTORY ORDER</b>	<b>YES</b>
<b>LOCATE</b>	<b>NO</b>

**# Units:** 1  
**Year:** 2025

<b>Factory Codes</b>	<b>Standard Features - Description</b>	<b>Price</b>
Body: K8A	4 DR AWD EXPLORER POLICE INTERCEPTOR	\$51,555.00
Engine: 3.0L	ECOBOOST	
Tranis:	10 SPEED AUTO TRANS	
Pep Pack: 500A		
Whibase:	119	
Ext. Color:	OXFORD WHITE	
Int. Color:	CLOTH BUCKET SEATS VINYL REAR	

<b>Additional Factory Options Included In Pricing</b>	<b>Price</b>
ROAD READY PKG	
NOISE SUPPRESSON CABLES	
DRV LED SPOTLIGHT	
RR DR / LK INOP	
72/100,000 PREMIUM CARE WARRANTY \$ 0.00 DEDUCTABLE	\$3,285.00
DELIVERED TO YOUR LOCATION WITH MUNICIPAL TAG NO CHARGE	
<b><u>SUGGESTED OPTIONS NOT INCLUDED IN PRICING</u></b>	



<i>Total Cost of Vehicle</i>	\$54,840.00
<i>Selling Price of vehicle</i>	
<i>Total Selling Price per Vehicle</i>	\$0.00

**Customer Approval** \_\_\_\_\_  
**Dealership Acceptance** \_\_\_\_\_

**Date:** \_\_\_\_\_  
**Date:** \_\_\_\_\_



# MIRACLE FORD

117 South Greenwood Street

Tamaqua, PA 18252

PH: 272-276-2458

**Quote 4124**



<b>To:</b> South Whitehall Township  LT Eric Dotte  <a href="mailto:ead@swtpd.org">ead@swtpd.org</a>	<b>Date:</b> 4/1/204  Stock # _____ Ro # _____
--	---

**Salesperson: Barry Messerschmidt**

QTY	Description	Unit Price	Line Total
1	2025 Police Interceptor Utility AWD Base (K8A) Turbo Spec attached	\$48,996.39	\$48,996.39
			\$0.00
			\$0.00
1	Premium Care 72 month 100,000 Miles \$100 deduct	\$3,200.00	\$3,200.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
<b>Additions Total</b>			\$52,196.39

- CoStars #**
- 013-E23-304 EMERGENCY RESPONDER VEHICLES
  - 025-E23-611 MUNICIPAL WORK VEHICLES
  - 026-E23-243 PASSENGER VEHICLES
  - 012 -E24-360 EMERGENCY RESPONDER EQUIPMENT & SUPPLIES

<b>Subtotal</b>	
<b>Total</b>	\$52,196.39
<b>Deposit</b>	\$0.00
<b>Final Total</b>	<b>\$52,196.39</b>

Invoice Accepted: \_\_\_\_\_ Date: \_\_\_\_\_  
Please sign and date.

Up fitter Signature: Barry Messerschmidt  
Please sign and date.

Rottet Representative: Barry Messerschmidt  
Please sign and date.

Please make all checks payable to:  
**MIRACLE FORD**  
 117 south Greenwood St.  
 Tamaqua, PA 18252      Mail  
 to Attn: Fleet Sales

NOTE: Signing of this invoice is an agreement by the purchaser that they are accepting the vehicle along with the upfit items as they agreed to and have reviewed the vehicle for proper operation of all equipment. Purchaser understands that any changes made after signing of the invoice is the customers responsibility. All parts are subject to their manufacturers warranty and no labor is covered by any warranty. Initial: \_\_\_\_\_

**Costars Contract # 13 Vendor # 013-196**

P72-1-F4    Original Issue Date: 1/12/12    Revision: 1    Revision Date: 01/03/2020



Prepared by: JOAN ROTTET  
02/27/2024

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## 2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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## Selected Equip & Specs

### Dimensions

• Conventional Capacity: 5,000 lbs. • Vehicle body length: 198.8" • Vehicle body width: 82.6" • Vehicle body height: 69.3" • Wheelbase: 119.1" • Front track: 66.9" • Rear track: 66.9" • Interior rear cargo volume: 52.0 cu.ft. • Interior rear cargo volume with seats folded: 90.3 cu.ft. • Max interior rear cargo volume: 90.3 cu.ft. • Total passenger volume: 118.0 cu.ft. • Headroom first-row: 40.7" • Headroom second-row: 40.4" • Leg room first-row: 43.0" • Leg room second-row: 40.7" • Shoulder room first-row: 61.8" • Shoulder room second-row: 61.3" • Hip room first-row: 59.3" • Hip room second-row: 59.1"

### Powertrain

\* **EcoBoost 3L V-6 gasoline direct injection, DOHC, variable valve control, twin turbo, engine with 400HP** • Engine cylinders: V-6 • Spark ignition system \* **Horsepower: 400 HP@5500 RPM** \* **Torque: 415 lb.-ft.@3500 RPM** • Engine oil cooler • Heavy-duty radiator • 10-speed automatic • Automatic full-time AWD • All-wheel drive \* **Recommended fuel: premium unleaded** • Easy Fuel capless fuel filler • All-speed ABS and driveline traction control • Permanent locking hub control

### Fuel Economy and Emissions

• Gasoline secondary fuel type • ULEV II emissions

### Suspension and Handling

• Standard ride suspension • Gas-pressurized front shock absorbers • Gas-pressurized rear shock absorbers

### Driveability

• 4-wheel disc brakes • Front and rear ventilated disc brakes • 4-wheel antilock (ABS) brakes • Four channel ABS brakes • Brake assist system • Hill start assist • Independent front suspension • Strut front suspension • Front anti-roll bar • Front coil springs • Independent rear suspension • Multi-link rear suspension • Rear anti-roll bar • Electric power-assist steering system • Rack-pinion steering • 2-wheel steering system

### Body Exterior

• Trailer wiring harness • 4 doors • Clearcoat paint • Monotone paint • Body-coloured bodyside cladding • Black wheel well trim • Black side window trim • Black windshield trim • Black door handles • Body-coloured front bumper • Black front bumper rub strip • Front tow hook • Body-coloured rear bumper • Black rear bumper rub strip • Black grille • Black door mirrors \* **Exterior mirror LED spot lights** • Standard style side mirrors • Convex spotter in driver and passenger side door mirrors • Conventional left rear passenger door • Conventional right rear passenger door • Liftgate rear cargo door • P255/60RW18 AS BSW front and rear tires • 18 x 8-inch front and rear black steel wheels

### Convenience

• Power door locks • Keyfob activated front door locks • Power tailgate/rear door lock • Cruise control with steering wheel mounted controls • Day/Night rearview mirror • Power first-row windows • Cargo area tray/organizer • Driver foot rest • Power cargo area access release • Fixed interval rear windshield wipers • Heated rear wiper park • Rear window defroster • Fixed rear windshield • Locking glove box • 2 beverage holders • Driver and passenger door bins • Dashboard storage • Retained accessory power • PRND in IP • Trip computer

### Comfort

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Prepared by: JOAN ROTTET  
02/27/2024

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## 2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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### Selected Equip & Specs (cont'd)

• Automatic climate control • Dual-zone front climate control • Rear climate control system • Cabin air filter • Rear under seat climate control ducts • Cloth headliner material • Full headliner coverage • Full vinyl floor covering • Full floor coverage • Vinyl rear seat upholstery • Carpet rear seatback upholstery • Manual tilting steering wheel • Manual telescopic steering wheel • Urethane steering wheel

### Seats and Trim

• Seating capacity: 5 • Bucket front seats • Driver seat with 8-way directional controls • Front passenger seat with 4-way directional controls • Height adjustable front seat head restraints • Manual front seat head restraint control • Manual reclining driver seat • Power height adjustable driver seat • Power driver seat fore/aft control • Power driver seat cushion tilt • Power reclining passenger seat • Power passenger seat fore/aft control • Fixed rear seats • Split-bench rear seat • Height adjustable rear seat head restraints • Driver seat with 2-way power lumbar • Front passenger seat with 2-way power lumbar • Cloth front seat upholstery

### Entertainment Features

• 1 total number of 1st row displays • 8 inch primary LCD display • Primary touchscreen display • AM/FM stereo radio • In-vehicle audio • AM radio • FM radio • Seek scan • External memory control • Speakers number: 4 • Standard grade speakers • Steering wheel mounted audio controls • Voice activated audio controls • Speed sensitive volume • Wireless audio streaming • Integrated roof audio antenna

### Lighting, Visibility and Instrumentation

• Metal-look instrument panel insert • Digital/analog instrumentation display • Trip odometer • In-radio display clock • Driver information center • Redundant digital speedometer • Gauge cluster display size (inches): 12.30 • Tachometer • Engine/electric motor temperature gauge • Engine hour meter • Traction battery level gauge • Deep tinted windows • Projector beam headlights • LED low and high beam headlights • Auto on/off headlight control • Multiple enclosed headlights • Variable intermittent front windshield wipers • Speed sensitive wipers • Front reading lights • Rear reading lights • Variable instrument panel light • High mounted center stop light • LED brake lights • Fade interior courtesy lights

### Technology and Telematics

• Bluetooth handsfree wireless device connectivity • Smart device mirroring • Fleet Telematics Modem selective service internet access • 2 USB ports

### Safety and Security

• Driver front impact airbag • Seat mounted side impact driver airbag • Curtain first and second-row overhead airbags • Passenger front impact airbag • Seat mounted side impact front passenger airbag • Airbag occupancy sensor • Passenger side knee airbag • 7 airbags • Rear seat center 3-point seatbelt • Front height adjustable seatbelts • Front seatbelt pretensioners • 2 seatbelt pre-tensioners • Vehicle tracker • Security system • BLIS (Blind Spot Information System) • Pre-Collision Assist with Pedestrian Detection • Rear Cross-Traffic Braking collision mitigation • Pre-Collision Assist with Pedestrian Detection • External acoustic pedestrian alert • Rear camera with washer • Electronic stability control system with anti-roll • Reverse Sensing System rear parking sensors • Manual rear child safety door locks

### Dimensions

#### *General Weights*

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Prepared by: JOAN ROTTET  
02/27/2024

2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

**Selected Equip & Specs (cont'd)**

**\* Curb weight** 4,755 lbs. **\* GVWR** 6,500 lbs.  
Payload 1,670 lbs.

*Trailer Weights*

Conventional capacity 5,000 lbs.

*Off Road*

**\* Min ground clearance** 7.2" Loading floor height 30.9 "  
Approach angle 19.3 Departure angle 21.4

*Exterior Measurements*

Vehicle body length 198.8" Vehicle body width 82.6"  
Vehicle body height 69.3" Wheelbase 119.1"  
Front track 66.9" Rear track 66.9"

*Interior Measurements*

Interior rear cargo volume 52.0 cu.ft. Max interior rear cargo volume 90.3 cu.ft.  
Interior cargo area max width 47.9 " Interior rear cargo volume with seats folded 90.3 cu.ft.  
Length to rear seat 46.2 "

*Interior Volume*

Total passenger volume 118.0 cu.ft.

*Headroom*

Headroom first-row 40.7" Headroom second-row 40.4"

*Legroom*

Leg room first-row 43.0" Leg room second-row 40.7"

*Shoulder Room*

Shoulder room first-row 61.8" Shoulder room second-row 61.3"

*Hip Room*

Hip room first-row 59.3" Hip room second-row 59.1"

**Powertrain**

*Engine*

**\* Engine EcoBoost 3L V-6 gasoline direct injection, DOHC, variable valve control, twin turbo, engine with 400HP** Valves per cylinder 4  
Engine cylinders V-6 Engine location Front mounted engine  
Ignition Spark ignition system Engine mounting direction Longitudinal mounted engine  
Engine block material Iron engine block Cylinder head material Aluminum cylinder head

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Prepared by: JOAN ROTTET  
02/27/2024

2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

**Selected Equip & Specs (cont'd)**

*Engine Specs*

* Displacement	<b>3.0L</b>	* cc	<b>183.1 cu.in.</b>
* Bore	<b>3.36"</b>	* Stroke	<b>3.39"</b>
* Compression ratio	<b>9.5</b>	* SAEJ1349	<b>AUG2004 compliant</b>

*Engine Power*

* Horsepower	<b>400 HP@5500 RPM</b>	* Torque	<b>415 lb.-ft.@3500 RPM</b>
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*Alternator*

* Alternator amps	<b>250A</b>	* Alternator type	<b>Regular duty alternator</b>
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*Battery*

Battery amps	<b>92Ah</b>	* Battery type	<b>Lead acid battery</b>
* Battery rating	<b>730CCA</b>		

*Engine Extras*

Engine cooler	Engine oil cooler	Radiator	Heavy-duty radiator
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*Transmission*

Transmission	10-speed automatic	Transmission electronic control	Transmission electronic control
Overdrive transmission	Overdrive transmission	Lock-up transmission	Lock-up transmission
First gear ratio	4.696	Second gear ratio	2.985
Third gear ratio	2.146	Fourth gear ratio	1.769
Fifth gear ratio	1.52	Sixth gear ratio	1.275
Reverse gear ratio	4.866	Seventh gear ratio	1
Eighth gear ratio	0.854	Ninth gear ratio	0.689
Tenth gear ratio	0.636	Selectable mode transmission	Selectable mode transmission
Transmission oil cooler	Transmission oil cooler		

*Drive Type*

4WD type	Automatic full-time AWD	Drive type	All-wheel drive
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*Drivetrain*

* Axle ratio	<b>3.31</b>
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*Exhaust*

Tailpipe	Stainless steel dual exhaust
----------	------------------------------

*Fuel*

* Fuel type	<b>premium unleaded</b>
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*Fuel Tank*

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Prepared by: JOAN ROTTET  
02/27/2024

2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

**Selected Equip & Specs (cont'd)**

Capless fuel filler    Easy Fuel capless fuel filler    \* Fuel tank capacity    21.40 gal.

*Drive Feature*

Traction control    All-speed ABS and driveline traction control    Locking hub control    Permanent locking hub control

*Provisions*

Provisions    Police/fire provisions

**Fuel Economy and Emissions**

*Fuel Economy*

Secondary fuel type    Gasoline secondary fuel type

*Emissions*

Emissions    ULEV II emissions    Emissions tiers    Tier 2 Bin 5 emissions

**Suspension and Handling**

*Suspension*

Suspension    Standard ride suspension    Front shock absorbers    Gas-pressurized front shock absorbers

Rear shock absorbers    Gas-pressurized rear shock absorbers

**Driveability**

*Brakes*

Brake type    4-wheel disc brakes    Ventilated brakes    Front and rear ventilated disc brakes

ABS brakes    Four channel ABS brakes    ABS brakes    4-wheel antilock (ABS) brakes

*Brake Assistance*

Hill start assist    Hill start assist    Brake assist system    Brake assist system

*Front Suspension*

Anti-roll bar front    Front anti-roll bar    Suspension ride type front    Independent front suspension

Suspension type front    Strut front suspension

*Front Spring*

Regular front springs    Regular front springs    Springs front    Front coil springs

*Rear Spring*

Springs rear    Rear coil springs    Rear springs    Regular grade rear springs

*Rear Suspension*

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Prepared by: JOAN ROTTET  
02/27/2024

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## 2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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### Selected Equip & Specs (cont'd)

Anti-roll bar rear                      Rear anti-roll bar                      Suspension type rear    Multi-link rear suspension  
Suspension ride type rear            Independent rear suspension

#### Steering

Steering    Electric power-assist steering system                      Steering type                      Rack-pinion steering  
Steering type number of wheels    2-wheel steering system

### Exterior

#### Front Wheels

Front wheels diameter                      18"                      Front wheels width                      8"

#### Rear Wheels

Rear wheels diameter                      18"                      Rear wheels width                      8"

#### Front And Rear Wheels

Appearance                      black                      Material                      steel

#### Front Tires

Aspect                      60                      Diameter                      18"  
Sidewalls                      BSW                      Speed                      W  
Tread                      AS                      Type                      P  
Width                      255mm

#### Rear Tires

Aspect                      60                      Diameter                      18"  
Sidewalls                      BSW                      Speed                      W  
Tread                      AS                      Type                      P  
Width                      255mm

### Body Exterior

#### Trailer

Towing capability                      Trailer towing capability                      Towing class                      Class III tow rating  
Towing hitch                      Trailer hitch                      Towing wiring harness                      Trailer wiring harness

#### Exterior Features

Number of doors                      4 doors                      \* License plate front bracket    Front license plate bracket

#### Body

Body panels    Galvanized steel and aluminum body panels with side impact beams

#### Mirrors

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Prepared by: JOAN ROTTET  
02/27/2024

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## 2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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### Selected Equip & Specs (cont'd)

Convex spotter Convex spotter in driver and passenger side door mirrors

#### Spare Tire

Spare tire Full-size spare tire with steel wheel

Spare tire location Spare tire mounted under the cargo floor

#### Aerodynamics

Spoiler Rear lip spoiler

#### Wheels

Wheel covers Wheel hub covers

### Convenience

#### Door Locks

Door locks Power door locks

Keyfob door locks Keyfob activated front door locks

Tailgate control Power tailgate/rear door lock

#### Cruise Control

Cruise control Cruise control with steering wheel mounted controls

#### Rear View Mirror

Day/Night rearview mirror Day/Night rearview mirror

#### Exterior Mirrors

Door mirrors Power door mirrors

Folding door mirrors Manual folding door mirrors

#### Front Side Windows

First-row windows Power first-row windows

#### Overhead Console

Overhead console Mini overhead console

Overhead console storage Overhead console storage

#### Driver Visor

Visor driver mirror Driver visor mirror

#### Passenger Visor

Visor passenger mirror Passenger visor mirror

#### Power Outlets

12V power outlets 2 12V power outlets

#### Cargo Features

Cargo tie downs Cargo area tie downs

Cargo light Cargo area light

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02/27/2024

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## 2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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### Selected Equip & Specs (cont'd)

#### *Cargo Trim*

Cargo floor type	Carpet cargo area floor	Trunk lid trim	Plastic trunk lid trim
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#### *Pedals*

Driver foot rest	Driver foot rest
------------------	------------------

#### *Remote Releases*

Cargo access release	Power cargo area access
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#### *Rear Windshield*

Rear window defroster	Rear window defroster	Rear windshield	Fixed rear windshield
Rear windshield wipers	Fixed interval rear windshield wipers	Heated wiper area	Heated rear wiper park

#### *Storage*

Door bins front	Driver and passenger door bins	Number of beverage holders	2 beverage holders
Glove box	Locking glove box	Dashboard storage	Dashboard storage

#### *Windows Feature*

One-touch up window	Driver and passenger one-touch up windows	One-touch down window	Driver and passenger one-touch down windows
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#### *Windows Rear Side*

Second-row windows	Power second-row windows	Third-row windows	Fixed third-row windows
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#### *Miscellaneous*

Trip computer	Trip computer	PRND in IP	PRND in IP
Accessory power	Retained accessory power		

### Comfort

#### *Climate Control*

Climate control	Automatic climate control	Dual-zone front climate control	Dual-zone front climate control
Cabin air filter	Cabin air filter	Rear climate control	Rear climate control system
Rear under seat ducts	Rear under seat climate control ducts		

#### *Headliner*

Headliner material	Cloth headliner material	Headliner coverage	Full headliner coverage
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#### *Door Trim*

Door panel insert	Metal-look door panel insert
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#### *Floor Trim*

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## 2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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### Selected Equip & Specs (cont'd)

Floor covering Full vinyl floor covering Floor coverage Full floor coverage

#### Second-Row Seat Trim

Rear seat upholstery Vinyl rear seat upholstery Rear seatback upholstery Carpet rear seatback upholstery

#### Steering Wheel

Steering wheel telescopic steering wheel Manual telescopic steering wheel Steering wheel material Urethane steering wheel  
Steering wheel tilt Manual tilting steering wheel

### Seats and Trim

#### Seat Capacity

Seating capacity 5

#### Front Seats

Driver seat direction Driver seat with 8-way directional controls Height adjustable driver seat Power height adjustable driver seat  
Driver seat fore/aft control Power driver seat fore/aft control Driver seat cushion tilt Power driver seat cushion tilt  
Passenger seat direction Front passenger seat with 4-way directional controls Split front seats Bucket front seats  
Reclining passenger seat Power reclining passenger seat Passenger seat fore/aft control Power passenger seat fore/aft control  
Front head restraints Height adjustable front seat head restraints Front head restraint control Manual front seat head restraint control  
Reclining driver seat Manual reclining driver seat

#### Rear Seats

Bench seats Split-bench rear seat Rear seats fixed or removable Fixed rear seats  
Folding second-row seats 35-30-35 folding rear seats Rear seat direction Front facing rear seat  
Rear seat folding position Fold forward rear seatback Rear head restraints Height adjustable rear seat head restraints  
Rear head restraint control Manual rear seat head restraint control Number of rear head restraints 3 rear seat head restraints

#### Lumbar Seats

Driver lumbar Driver seat with 2-way power lumbar Front passenger lumbar Front passenger seat with 2-way power lumbar

#### Front Seat Trim

Front seat upholstery Cloth front seat upholstery Front seatback upholstery Vinyl front seatback upholstery

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## 2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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### Selected Equip & Specs (cont'd)

#### *Interior Accents*

Interior accents      Metal-look interior accents

#### *Gearshifter Material*

Gearshifter material      Urethane gear shifter material

### Entertainment Features

#### *LCD Displays*

Primary touchscreen display      Primary touchscreen display      Number of first-row LCD displays 1 total number of 1st row displays  
LCD primary display size      8 inch primary LCD display

#### *Radio Features*

External memory      External memory control      Seek scan      Seek scan

#### *Speakers*

Speakers      Standard grade speakers      Speakers number      4

#### *Audio Features*

Steering mounted audio control      Steering wheel mounted audio controls      Speed sensitive volume      Speed sensitive volume  
Voice activated audio      Voice activated audio      Wireless streaming      Wireless audio streaming

### Lighting, Visibility and Instrumentation

#### *Instrument Panel Trim*

Panel insert      Metal-look instrument panel insert

#### *Instrumentation*

Trip odometer      Trip odometer      Instrumentation display      Digital/analog instrumentation display

#### *Instrumentation Displays*

Speedometer      Redundant digital speedometer      Driver information center      Driver information center

Clock      In-radio display clock

#### *Instrumentation Gauges*

Tachometer      Tachometer      Traction battery level gauge      Traction battery level gauge

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## 2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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### Selected Equip & Specs (cont'd)

Engine/electric motor temperature gauge  
Engine/electric motor temperature gauge  
Engine hour meter                      Engine hour meter

Gauge cluster display size (inches)                      12.30

#### Instrumentation Warnings

Engine temperature warning      Engine temperature warning  
Low fuel warning                      Low fuel warning  
  
Low brake fluid warning      Low brake fluid warning  
Headlights on reminder      Headlights on reminder  
Door ajar warning                      Door ajar warning  
Service interval warning      Service interval indicator

Oil pressure warning                      Oil pressure warning  
  
Low washer fluid warning              Low washer fluid warning  
Battery charge warning      Battery charge warning  
Key in vehicle warning      Key in vehicle warning  
Trunk warning                      Rear cargo ajar warning  
Low tire pressure warning      Tire specific low air pressure warning

#### Glass

Tinted windows                      Deep tinted windows

#### Headlights

Headlights LED low and high beam headlights  
Auto headlights      Auto on/off headlight control

Headlight type                      Projector beam headlights  
Multiple headlights      Multiple enclosed headlights

#### Front Windshield

Wipers      Variable intermittent front windshield wipers

Speed sensitive wipers      Speed sensitive wipers

#### Interior Lighting

Variable panel light      Variable instrument panel light  
Rear reading lights                      Rear reading lights

Front reading lights                      Front reading lights

#### Lights

Interior courtesy lights      Fade interior courtesy lights  
High mount stop light      High mounted center stop light

LED brake lights                      LED brake lights

### Technology and Telematics

#### Connectivity

Handsfree                      Bluetooth handsfree wireless device connectivity

Smart device integration      Smart device mirroring

#### Internet Access

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02/27/2024

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## 2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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### Selected Equip & Specs (cont'd)

Internet access      Fleet Telematics Modem  
selective service internet access

#### USB Ports

USB ports      2 USB ports

### Safety and Security

#### Airbags

Front impact airbag driver	Driver front impact airbag	Number of airbags	7 airbags
Front impact airbag passenger	Passenger front impact airbag	Knee airbag	Passenger side knee airbag
Front side impact airbag driver	Seat mounted side impact driver airbag	Front side impact airbag passenger	Seat mounted side impact front passenger airbag
Occupancy sensor	Airbag occupancy sensor	Overhead airbags	Curtain first and second-row overhead airbags

#### Seatbelts

3-point seatbelt	Rear seat center 3-point seatbelt	Height adjustable seatbelts	Front height adjustable seatbelts
Seatbelt pretensioners	Front seatbelt pretensioners	Seatbelt pretensioners number	2 seatbelt pretensioners

#### Security System

Vehicle tracker	Vehicle tracker	Security system	Security system
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#### Active Driving Assistance

Blind spot	BLIS (Blind Spot Information System)	Forward collision warning	Pre-Collision Assist with Pedestrian Detection
Rear collision warning	Rear Cross-Traffic Braking collision mitigation	Pedestrian detection	Pre-Collision Assist with Pedestrian Detection
External acoustic pedestrian alert	External acoustic pedestrian alert		

#### Cameras

Rear camera	Rear camera with washer
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#### Traction Control

Electronic stability control	Electronic stability control system with anti-roll
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#### Parking Sensors

Parking sensors	Reverse Sensing System rear parking sensors
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#### Occupant Safety

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02/27/2024

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2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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## Selected Equip & Specs (cont'd)

Child door locks    Manual rear child safety door  
locks

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Prepared by: JOAN ROTTET  
02/27/2024

2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

As Configured Vehicle

Code	Description	MSRP
K8A	Base Vehicle Price (K8A)	\$49,515.00
500A	Order Code 500A	N/C
99C	Engine: 3.0L V6 EcoBoost	\$950.00
44U	Transmission: 10-Speed Automatic (44U)	N/C
NONAX	3.31 Axle Ratio	Included
STDGV	GVWR: 6,840 lbs (3,103 kgs)	Included
STDTR	Tires: 255/60R18 AS BSW	Included
STDWL	Wheels: 18" x 8" 5-Spoke Painted Black Steel	Included
9	Unique HD Cloth Front Bucket Seats w/Vinyl Rear	Included
PAINT	Monotone Paint Application	STD
119WB	119" Wheelbase	STD
STDRD	Radio: AM/FM/MP3 Capable	Included
153	Front License Plate Bracket	N/C
51R	Driver Only LED Bulb Spot Lamp (Unity)	\$400.00
68G	Rear-Door Controls Inoperable	\$80.00
59B	Keyed Alike - 1284x	\$50.00
425	50-State Emissions System	STD
UM_01	Agate Black	N/C
9W_01	Charcoal Black w/Unique HD Cloth Front Bucket Seats w/Vinyl Rear	N/C
<b>SUBTOTAL</b>		<b>\$50,995.00</b>
Destination Charge		\$1,595.00

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Prepared by: JOAN ROTTET  
02/27/2024

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2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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## Warranty

### Standard Warranty

#### *Basic Warranty*

Basic warranty ..... 36 months/36,000 miles

#### *Powertrain Warranty*

Powertrain warranty ..... 60 months/100,000 miles

#### *Corrosion Perforation*

Corrosion perforation warranty ..... 60 months/unlimited

#### *Roadside Assistance Warranty*

Roadside warranty ..... 60 months/60,000 miles

#### *Hybrid/Electric Components Warranty*

Hybrid/electric components warranty ..... 96 months/100,000 miles

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Prepared by: JOAN ROTTET  
02/27/2024

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2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515 | Quote ID: 25spec

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### As Configured Vehicle (cont'd)

<b>Code</b>	<b>Description</b>	<b>MSRP</b>
TOTAL		\$52,590.00

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Prepared for: LT. ERIC DOTTER, SOUTH WHITEHALL TOWNSHIP POLICE DEPT

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2025 Police Interceptor Utility AWD Base (K8A)

Price Level: 515

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## Client Proposal

Prepared by:  
Dorian Jurczak  
Office: 215-674-3600  
Quote ID: 04012024A  
Date: 04/10/2024



Chapman Ford of Horsham | 1100 Easton Road, Horsham, Pennsylvania, 190441405  
Office: 215-674-3600

**Prepared for: LT. ERIC DOTTER**  
 SOUTH WHITEHALL TOWNSHIP POLICE DEPT  
 Prepared by: Dorian Jurczak  
 04/10/2024



Chapman Ford of Horsham | 1100 Easton Road Horsham Pennsylvania | 190441405

**2025 Police Interceptor Utility AWD Base (K8A)**

Price Level: 515 | Quote ID: 04012024A

**As Configured Vehicle**

Code	Description	MSRP
<b>Base Vehicle</b>		
K8A	Base Vehicle Price (K8A)	\$49,515.00
<b>Packages</b>		
500A	Order Code 500A <i>Includes:</i> - GVWR: 6,840 lbs (3,103 kgs) - Tires: 255/60R18 AS BSW - Wheels: 18" x 8" 5-Spoke Painted Black Steel Includes polished stainless steel hub cover and center caps. - Unique HD Cloth Front Bucket Seats w/Vinyl Rear Includes reduced bolsters, 6-way power track driver seat (fore/aft. up/down, tilt with manual recline, 2-way power lumbar), 8-way power track passenger seat with 2-way power recline and 2-way power lumbar and built-in steel intrusion plates in both driver/passenger seatbacks. - Radio: AM/FM/MP3 Capable Includes 100 watt siren/speaker prep kit, clock, 4 speakers, 1 USB port and 8" color LCD screen center-stack smart display, supports Android Auto and Apple CarPlay and fleet telematics modem. - SYNC Phoenix Communication & Entertainment System Includes hands-free voice command support compatible with most Bluetooth connected mobile devices, 911 Assist, VHR, SYNC Services, AppLink, Bluetooth, steering wheel controls, USB port and auxiliary input jack.	N/C
<b>Powertrain</b>		
99C	Engine: 3.0L V6 EcoBoost <i>(148-MPH top speed). Deletes regenerative braking and lithium-ion battery pack; adds 250-amp alternator and replaces 19-gallon tank with 21.4-gallon tank.</i>  <i>Includes:</i> - 3.31 Axle Ratio	\$950.00
44U	Transmission: 10-Speed Automatic (44U)	N/C
NONAX	3.31 Axle Ratio	Included
STDGV	GVWR: 6,840 lbs (3,103 kgs)	Included
<b>Wheels &amp; Tires</b>		
STDTR	Tires: 255/60R18 AS BSW	Included
STDWL	Wheels: 18" x 8" 5-Spoke Painted Black Steel <i>Includes polished stainless steel hub cover and center caps.</i>	Included
<b>Seats &amp; Seat Trim</b>		

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Prepared for: **LT. ERIC DOTTER**  
 SOUTH WHITEHALL TOWNSHIP POLICE DEPT  
 Prepared by: Dorian Jurczak  
 04/10/2024



Chapman Ford of Horsham | 1100 Easton Road Horsham Pennsylvania | 190441405

**2025 Police Interceptor Utility AWD Base (K8A)**

Price Level: 515 | Quote ID: 04012024A

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
9	Unique HD Cloth Front Bucket Seats w/Vinyl Rear  <i>Includes reduced bolsters, 6-way power track driver seat (fore/aft. up/down, tilt with manual recline, 2-way power lumbar), 8-way power track passenger seat with 2-way power recline and 2-way power lumbar and built-in steel intrusion plates in both driver/passenger seatbacks.</i>	Included

**Other Options**

PAINT	Monotone Paint Application	STD
119WB	119" Wheelbase	STD
STDRD	Radio: AM/FM/MP3 Capable  Allows data to be provided to support Ford Pro telematics and data services via optional subscription, including but not limited to vehicle location, speed, idle time, fuel, vehicle diagnostics and maintenance alerts. Device enables optional telematics services through Ford or authorized providers via paid subscription. Subscribe at <a href="https://fordpro.com/en-us/telematics/">https://fordpro.com/en-us/telematics/</a> or call 1-833-811-FORD (3673).  <i>Includes 100 watt siren/speaker prep kit, clock, 4 speakers, 1 USB port and 8" color LCD screen center-stack smart display, supports Android Auto and Apple CarPlay and fleet telematics modem.</i>  <i>Includes:</i> - SYNC Phoenix Communication & Entertainment System <i>Includes hands-free voice command support compatible with most Bluetooth connected mobile devices, 911 Assist, VHR, SYNC Services, AppLink, Bluetooth, steering wheel controls, USB port and auxiliary input jack.</i>	Included
153	Front License Plate Bracket	N/C
51R	Driver Only LED Bulb Spot Lamp (Unity)	\$400.00
87M	8" Rear Camera Image  <i>In upper lefthand quadrant of display. 1/4 size picture in picture.</i>	N/C
68G	Rear-Door Controls Inoperable  <i>Locks, handles and windows. Can manually remove window or door disable plate with special tool. Locks/windows operable from driver's door switches.</i>	\$80.00
18D	Global Lock/Unlock Feature  <i>Door-panel switches will lock/unlock all doors and rear liftgate. Eliminates the 45-second liftgate lock release + paitro timer. Overhead liftgate button and blue liftgate release button on key fob will not have any function when pressed with this option.</i>	N/C
59B	Keyed Alike - 1284x	\$50.00

**Emissions**

425	50-State Emissions System	STD
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**Prepared for: LT. ERIC DOTTER**  
 SOUTH WHITEHALL TOWNSHIP POLICE DEPT  
 Prepared by: Dorian Jurczak  
 04/10/2024



Chapman Ford of Horsham | 1100 Easton Road Horsham Pennsylvania | 190441405

**2025 Police Interceptor Utility AWD Base (K8A)**

Price Level: 515 | Quote ID: 04012024A

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
	Flexible Fuel Vehicle (FFV) system is standard equipment for vehicles equipped with the 3.3L V6 Direct-Injection engine.	
<b>Exterior Color</b>		
YZ_01	Oxford White	N/C
<b>Interior Color</b>		
9W_01	Charcoal Black w/Unique HD Cloth Front Bucket Seats w/Vinyl Rear	N/C
<b>SUBTOTAL</b>		<b>\$50,995.00</b>
Destination Charge		<b>\$1,595.00</b>
<b>TOTAL</b>		<b>\$52,590.00</b>

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Prepared for: **LT. ERIC DOTTER**  
 SOUTH WHITEHALL TOWNSHIP POLICE DEPT  
 Prepared by: Dorian Jurczak  
 04/10/2024



Chapman Ford of Horsham | 1100 Easton Road Horsham Pennsylvania | 190441405

**2025 Police Interceptor Utility AWD Base (K8A)**

Price Level: 515 | Quote ID: 04012024A

**Pricing Summary - Single Vehicle**

	<b>MSRP</b>
<i>Vehicle Pricing</i>	
Base Vehicle Price	\$49,515.00
Options	\$1,480.00
Colors	\$0.00
Upfitting	\$0.00
Fleet Discount	\$0.00
Fuel Charge	\$0.00
Destination Charge	\$1,595.00
<b>Subtotal</b>	<b>\$52,590.00</b>

*Pre-Tax Adjustments*

<b>Code</b>	<b>Description</b>	<b>MSRP</b>
13	CHAPMAN COSTARS 013-E23-279 DISCOUNT	-\$2,629.50
<b>Subtotal</b>		<b>\$49,960.50</b>

*Post-Tax Adjustments*

<b>Code</b>	<b>Description</b>	<b>MSRP</b>
0311A	FORD PREMIUM CARE EXTENDED WARRANTY	\$2,955.00
<small>6YEAR / 100,000 MILES FORD WARRANTY \$0 DED.</small>		
<b>Subtotal</b>		<b>\$52,915.50</b>
<b>Total</b>		<b>\$52,915.50</b>

\_\_\_\_\_  
 Customer Signature

\_\_\_\_\_  
 Acceptance Date

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**KML Transport, LLC**

**Emergency Vehicle  
Service Solutions**

**Confidential Customer  
Quote**

6 Mt. Pleasant Rd Unit D  
Aston, PA 19014  
Phone: 484-840-8241

Name / Address
South Whitehall Twp Police 4444 Walbert Ave Allentown, PA 18104

Note	Rep	Vehicle Type	Date	Quote #
	SP	Tahoe patrol	1/16/2024	2990

Qty	Description	Cost Ea	Total
1	53" Federal Signal Allegiant dual color lightbar	1,733.20	1,733.20T
1	PF200R Siren/light controller with speaker and bracket	1,187.55	1,187.55T
1	OBDCABLE - Vehicle interface module	133.40	133.40T
1	SYNC- on scene vehicle synchronization unit	217.50	217.50T
1	Expansion module for lighting	258.10	258.10T
1	RUMBLER	469.80	469.80T
1	Activate headlight		0.00
1	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Red/White	154.47	154.47T
1	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Blue/White	154.47	154.47T
2	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Red/Blue	154.47	308.94T
2	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Red/Blue	154.47	308.94T
1	MicroPulse Ultra 6, Single-Color, Clear lens, Surface mount, 12/24 VDC, Blue	146.78	146.78T
1	MicroPulse Ultra 6, Single-Color, Clear lens, Surface mount, 12/24 VDC, Red	146.78	146.78T
4	MPSM6U-WIN, shroud mounting kit or cargo and rear lights	51.94	207.76T
1	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Blue/White	154.47	154.47T
1	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Red/White	154.47	154.47T
1	MicroPulse Ultra 3, Single-Color, Clear lens, surface mount, 12/24, Blue	91.45	91.45T
1	MicroPulse Ultra 3, Single-Color, Clear lens, surface mount, 12/24, Red	91.45	91.45T
1	PREEMPTION DEVICE	450.00	450.00T
1	Pushbumper 36-4045	714.75	714.75T
1	Top channel for pushbumper	51.32	51.32T
1	CC-21TH-10122021-22 Tahoe   2021-22 Suburban 22" Standard console 10" slope, 12" level	570.02	570.02T
1	Console cup holders	51.97	51.97T
1	PRINTER ARMREST AC-PENPRTR-CC	401.94	401.94T
1	Customer supplied Patco Tracker unit		0.00
2	Customer supplied radios. Customer to supply antennas and cables.		0.00

**Total**

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

# KML Transport, LLC

## Emergency Vehicle

## Service Solutions

# Confidential Customer Quote

6 Mt. Pleasant Rd Unit D  
Aston, PA 19014  
Phone: 484-840-8241

Name / Address
South Whitehall Twp Police 4444 Walbert Ave Allentown, PA 18104

Note	Rep	Vehicle Type	Date	Quote #
	SP	Tahoe patrol	1/16/2024	2990
Qty	Description	Cost Ea	Total	
2	MAGNETIC MIC RADIO MIC CLIP	42.05	84.10T	
2	ANTENNA CABLE	20.95	41.90T	
1	806-960 MIRAGE ANTENNA - BLACK	71.36	71.36T	
1	150mhz Quarterwave antenna	15.00	15.00T	
1	Customer supplied Patrol PC tablet and keyboard		0.00	
1	CM-SD2M-SL-PTPC	894.82	894.82T	
1	Customer supplied Watchguard Camera System. Customer to supply overhead mount for Tahoe		0.00	
1	WS-21TH-PS2021-22 Tahoe passenger side window screen, diamond-punched design (ordered separately with TAHOE single cell kit)	148.60	148.60T	
1	PS-21TH-SC-OS-FX2021-22 Tahoe Single Cell with Poly window half cage, kick panel w/ foot pocket, metal/poly divider with removable panel (Patent Pending), replacement plastic seat with OS seatbelt system, TROY rear partition square-hole pattern with driver side fire extinguisher compartment and passenger side replacement metal door panel(DP-21TH-PS).	2,777.04	2,777.04T	
1	Cargoraxx electronics box with tray	600.60	600.60T	
1	BLAC-RAC SINGLE WEAPON, AR15 MOUNT WITH COLD WIRE	577.99	577.99T	
2	27001 90 DEGREE BRACKET	37.975	75.95T	
1	4110-18103 SHOTGUN MOUNT	379.69	379.69T	
53	Shop labor	106.88679	5,665.00T	
1	Harness 27 circuit with timer	690.00	690.00T	
1	INTERMOTIVE IDLE LOCK	558.29	558.29T	
1	INTERMOTIVE BLACK OUT	660.35	660.35T	
1	TINT FRONT 2 WINDOWS	125.00	125.00T	
1	Misc electrical supplies	129.95	129.95T	
1	Incoming freight	600.00	600.00T	
1	GRAPHICS PACKAGE	838.40	838.40T	

**Total**

Signature: \_\_\_\_\_

Date: \_\_\_\_\_



# KML Transport, LLC

## Emergency Vehicle Service Solutions

# Confidential Customer Quote

6 Mt. Pleasant Rd Unit D  
Aston, PA 19014  
Phone: 484-840-8241

Name / Address
South Whitehall Twp Police 4444 Walbert Ave Allentown, PA 18104

Note	Rep	Vehicle Type	Date	Quote #
	SP	Tahoe patrol	1/16/2024	2990
Qty	Description		Cost Ea	Total
1	KML Signature Seat Cover: Total Value \$250.00  Heavy duty reinforced driver's side seat cover customized for your vehicle. Includes American Flag logo on seat upright.		0.00	0.00T
	Municipal Exemption		0.00%	0.00

**Emergency Vehicle Service Solutions Warranty Policy**  
 All EVSS supplied parts are backed by a manufacturers warranty.  
 Note: Typical manufacturers warranty is parts only,  
 not to include labor.  
 EVSS provides a one year warranty on workmanship and installation.  
 Outside of the one year warranty, labor to replace parts is at the  
 expense of the customer.  
**\*\*\*THIS QUOTE IS VALID FOR SIXTY DAYS\*\*\***

<b>Total</b>	\$23,093.57
--------------	-------------

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

## KML Transport, LLC

### Emergency Vehicle

### Service Solutions

## Confidential Customer Quote

6 Mt. Pleasant Rd Unit D  
Aston, PA 19014  
Phone: 484-840-8241

Name / Address
South Whitehall Twp Police 4444 Walbert Ave Allentown, PA 18104

Note	Rep	Vehicle Type	Date	Quote #
	SP	PIU PATROL	1/16/2024	2989

Qty	Description	Cost Ea	Total
1	53" Federal Signal Allegiant dual color lightbar	1,733.20	1,733.20T
1	PF200R Siren/light controller with speaker and bracket	1,187.55	1,187.55T
1	OBDCABLE - Vehicle interface module	133.40	133.40T
1	SYNC- on scene vehicle synchronization unit	217.50	217.50T
1	Expansion module for lighting	258.10	258.10T
1	RUMBLER	469.80	469.80T
1	Activate headlight		0.00
1	PLUG N PLAY TAIL FLASHER 2020+ PIU AND EXPLORER	115.35	115.35T
2	12 LED CORNER LIGHT RED/BLUE	99.905	199.81T
1	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Red/White	154.47	154.47T
1	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Blue/White	154.47	154.47T
2	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Red/Blue	154.47	308.94T
2	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Red/Blue	154.47	308.94T
1	MicroPulse Ultra 6, Single-Color, Clear lens, Surface mount, 12/24 VDC, Red	146.78	146.78T
1	MicroPulse Ultra 6, Single-Color, Clear lens, Surface mount, 12/24 VDC, Blue	146.78	146.78T
4	MPSM6U-WIN, shroud mounting kit or cargo and rear lights	53.795	215.18T
1	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Blue/White	154.47	154.47T
1	MicroPulse Ultra 6, Dual-Color, Clear lens, Surface mount, 12/24 VDC, Red/White	154.47	154.47T
1	MicroPulse Ultra 3, Single-Color, Clear lens, surface mount, 12/24, Blue	91.45	91.45T
1	MicroPulse Ultra 3, Single-Color, Clear lens, surface mount, 12/24, Red	91.45	91.45T
1	PREEMPTION DEVICE	450.00	450.00T
1	Pushbumper	512.50	512.50T
1	Top channel for pushbumper	51.32	51.32T
1	2020+ PI Utility 18" L-Shape Console, 7" Slope, 11" Level (no floor plate needed, mounts directly to floor).	489.00	489.00T
1	Console cup holders	51.97	51.97T
1	PRINTER ARMREST AC-PENPRTR-CC	401.94	401.94T
<b>Total</b>			

Signature: \_\_\_\_\_

Date: \_\_\_\_\_



# KML Transport, LLC

## Emergency Vehicle Service Solutions

# Confidential Customer Quote

6 Mt. Pleasant Rd Unit D  
Aston, PA 19014  
Phone: 484-840-8241

Name / Address
South Whitehall Twp Police 4444 Walbert Ave Allentown, PA 18104

Note	Rep	Vehicle Type	Date	Quote #
	SP	PIU PATROL	1/16/2024	2989

Qty	Description	Cost Ea	Total
1	Customer supplied Patco Tracker unit		0.00
2	Customer supplied radios. Customer to supply antennas and cables.		0.00
2	MAGNETIC MIC RADIO MIC CLIP	42.05	84.10T
2	ANTENNA CABLE	20.95	41.90T
1	806-960 MIRAGE ANTENNA - BLACK	71.36	71.36T
1	150mhz Quarterwave antenna	15.00	15.00T
1	Customer supplied Patrol PC tablet and keyboard		0.00
1	CM-SD2M-SL-PTPC	894.82	894.82T
1	Customer supplied Watchguard Camera System. Customer to supply overhead mount for Ford PIU		0.00
1	WG-20-fduv-PS, Single window bar	140.48	140.48T
1	PS-20uv-sc-os-fx fire ext pocket, 1/2 cage with plastic seat and OSS belts	2,532.63	2,532.63T
1	Cargoraxx electronics box with tray	600.60	600.60T
1	BLAC-RAC SINGLE WEAPON, AR15 MOUNT WITH COLD WIRE	577.99	577.99T
2	27001 90 DEGREE BRACKET	37.975	75.95T
1	4110-18103 SHOTGUN MOUNT	379.69	379.69T
53	Shop labor	106.88679	5,665.00T
1	Harness 27 circuit with timer	690.00	690.00T
1	INTERMOTIVE IDLE LOCK	578.95	578.95T
1	INTERMOTIVE BLACK OUT	660.35	660.35T
1	TINT FRONT 2 WINDOWS	125.00	125.00T
1	Misc electrical supplies	129.95	129.95T
1	Incoming freight	600.00	600.00
1	GRAPHICS PACKAGE	838.40	838.40T
1	KML Signature Seat Cover: Total Value \$250.00	0.00	0.00T
	Heavy duty reinforced driver's side seat cover customized for your vehicle. Includes American Flag logo on seat upright.		

**Total**

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

# KML Transport, LLC

## Emergency Vehicle Service Solutions

# Confidential Customer Quote

6 Mt. Pleasant Rd Unit D  
Aston, PA 19014  
Phone: 484-840-8241

Name / Address
South Whitehall Twp Police 4444 Walbert Ave Allentown, PA 18104

Note	Rep	Vehicle Type	Date	Quote #
	SP	PIU PATROL	1/16/2024	2989
Qty	Description		Cost Ea	Total
	Municipal Exemption		0.00%	0.00

**Emergency Vehicle Service Solutions Warranty Policy**  
 All EVSS supplied parts are backed by a manufacturers warranty.  
 Note: Typical manufacturers warranty is parts only,  
 not to include labor.  
 EVSS provides a one year warranty on workmanship and installation.  
 Outside of the one year warranty, labor to replace parts is at the  
 expense of the customer.  
**\*\*\*THIS QUOTE IS VALID FOR SIXTY DAYS\*\*\***

<b>Total</b>	\$22,901.01
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Signature: \_\_\_\_\_

Date: \_\_\_\_\_





# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Police

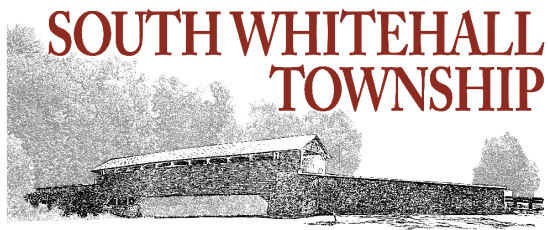
**ITEM TYPE:** Motion

**AGENDA SECTION:** MOTIONS

**SUBJECT:** Motion to Proceed with Capital Purchase (rifles and associated equipment) for South Whitehall Township Police Department

**SUGGESTED ACTION:**

**ATTACHMENTS:**  
[2024.04.12 - IOM-ICSB, re-Request to Purchase.pdf](#)



**MEMORANDUM FOR  
AGENDA ITEMS**

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Interim Chief Steve Brown
<b>DATE:</b>	12 April 2024
<b>SUBJECT:</b>	Request to Purchase Patrol Rifles and Associated Equipment
<b>COPY TO:</b>	Tom Petrucci, Township Manager

- **Background Information and/or Justification of Expense:**

The Police Department is requesting to upgrade our patrol rifles for our vehicles better protect the officers in our department. Our current rifles, a long barrel AR-15, cannot accommodate silencers that will suppress the high decibel noise of a round leaving the barrel in an enclosed space, such as a building or vehicle. There is a documented incident with a local police department where an officer had to discharge a firearm inside of his vehicle that led to the officer losing his hearing. This is a prime example of the need for this equipment. Additionally, our officers were trained on the range in a similar situation wearing hearing protection, where they could still hear and feel the concussion of the rifle being discharged.

With the use of ARPO funds designated to the police department for body worn cameras and in-car cameras that were covered by grants, we would be able to cover the expense of equipping officers with gear that will potentially save lives and diminish liability. Essentially, we could protect officers' hearing during a critical incident by suppressing the noise and reducing the chance of hearing loss, as well as the cost of liability for disability pensions.

Although the use of suppression systems and protection of hearing are not new, the technology has been tailored to law enforcement applications and has become best practice throughout the profession. Surrounding agencies have already procured short barrel rifles with silencers and equipment to suppress their noise. The South Whitehall Township Police firearms instructors and Command Staff have done their due diligence in evaluating weapons and various suppressor systems and believe that the listed combination will serve our needs effectively for the right cost. The same weapons and silencers are used by the five (5) Lehigh County emergency response teams members who are members of our department.

- **Action Requested:**

We are requesting the Board of Commissioners approve the purchase of thirty (30) BCM CBQ rifle for \$39,300.00, as well as 30 suppressors for \$28,539.00. The total cost of \$67,839.00

would be encumbered as a part of the ARPA funds that were designated to the police department as a Capital Purchase.

**Budget Line Item (if applicable):** *ARPA*



# Item Cover Page

## BOARD OF COMMISSIONERS AGENDA ITEM REPORT

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel,Community Development

**ITEM TYPE:** Motion

**AGENDA SECTION:** MOTIONS

**SUBJECT:** Motion to Proceed with Request for Proposal for Zoning Consultant for Jordan Valley Open Space Zoning Overlay

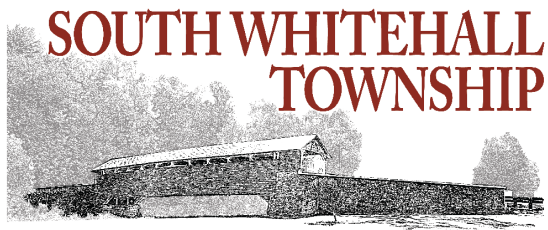
**SUGGESTED ACTION:**

**ATTACHMENTS:**

[2024.04.17 BOC Memo - Jordan Valley Zoning Overlay RFP.pdf](#)

[2024.04.10 Request for Proposals \(RFP\) - SWT Open Space Zoning Overlay Ordinance.pdf](#)





**MEMORANDUM FOR  
AGENDA ITEMS**

<b>TO:</b>	Board of Commissioners
<b>FROM:</b>	Chris Strohler, AICP, Long-Range Planner
<b>DATE:</b>	April 17, 2024
<b>SUBJECT:</b>	Jordan Valley Open Space Zoning Overlay – Consultant RFP
<b>COPY TO:</b>	T. Petrucci; H. Bender; D. Manhardt; T. Fehnel

• **Background Information:**

In March 2023, South Whitehall Township adopted the updated Comprehensive Plan, which guides future land use in the Township. Implementation Item Z1 of the Comprehensive Plan calls for updates to the Township Zoning Ordinance through the following actions:

- Review and update zoning districts where appropriate based on the land use plan
- Integrate Place Types when updating zoning districts
- Utilize transportation and economic impact models to evaluate impacts on potential zone changes

Over the past several months, the Township has been working with the consulting team at Houseal Lavigne to set up the web-based planning software, ArcGIS Urban, while integrating zoning and current land use conditions. This work has primarily been focused on the Jordan Valley, which is identified as the area with the highest concentration of resources to protect and has the most pressure for new development.

Using the information gathered from ArcGIS Urban, staff is prepared to initiate the development of a zoning overlay ordinance to cover the Jordan Valley. The intent of this overlay zone is to encourage options to preserve open space with development where direct land preservation isn't feasible.

The proposed goals of the Jordan Valley Open Space Overlay Ordinance are to:

- Maximize open space preservation
- Minimize impacts to local roadways
- Prioritize complimentary development patterns
- Maintain private property owner's development rights

Township staff is requesting a motion from the Board of Commissioners to release the attached Request for Proposals (RFP) to hire a professional consulting team to help prepare the Jordan Valley Open Space Overlay Ordinance. The selected consultant will be responsible for creating the ordinance text, developing design guidelines for the overlay area, and updating a land use type/place type table to accompany the ordinance. The selected consultant will also be responsible for working with Township staff to evaluate how the ordinance fulfills the above referenced goals throughout the process. This evaluation will primarily be conducted using ArcGIS Urban to test the proposed provisions of the ordinance in "real-world" scenarios.

- **Action Requested:**

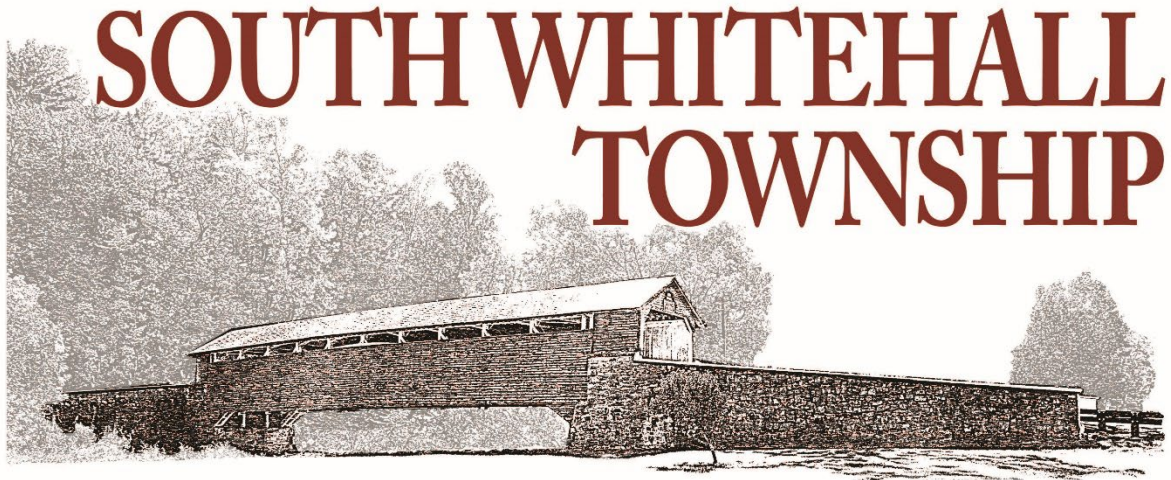
Motion of the Board of Commissioners to authorize the Township Manager and Community Development staff to release the attached Request for Proposals (RFP) for the Jordan Valley Open Space Overlay Ordinance.

- **Budget Line Item(s) (if applicable):**

Consulting Services 01460002-40312

- **Attachments:**

Draft RFP



# **REQUEST FOR PROPOSALS (RFP)**

## **OPEN SPACE ZONING OVERLAY ORDINANCE**

**PROPOSALS DUE  
Friday May 17, 2024  
By 4:00 PM EST**

**INQUIRIES**  
Christopher Strohler, AICP  
Long-Range Planner  
Phone: 610-398-0401 x231  
Email: [strohlerc@southwhitehall.com](mailto:strohlerc@southwhitehall.com)

## **INTRODUCTION**

South Whitehall Township, a First-Class Township in Lehigh County, Pennsylvania, is requesting proposals from qualified firms for a one-time contract to prepare an open space zoning overlay ordinance for the Township. This overlay ordinance will cover an approximately 5,500-acre, primarily rural area in the northern portion of the Township.

**Proposals shall be submitted electronically to Christopher Strohler, Long-Range Planner no later than Friday May 17<sup>th</sup>, 2024, by 4:00 PM EST.**

Proposals shall be emailed as attachments in Portable Document Format (PDF) to [strohlerc@southwhitehall.com](mailto:strohlerc@southwhitehall.com) or via a downloadable link. Please contact the Township ahead of the final submittal to test any links or file share options. The Township reserves the right to reject any or all proposals not submitted appropriately by the specified deadline.

## **PURPOSE**

South Whitehall Township is seeking the services of a consultant (or team of consultants) to undertake the preparation of an open space zoning overlay ordinance for an approximately 5,500-acre area in the northern part of the Township, referred to as the Jordan Valley.

The goals of the Jordan Valley Open Space Zoning Overlay Ordinance are to:

- Maximize open space preservation
- Minimize impacts to local roadways
- Prioritize complimentary development patterns
- Maintain private property owner's development rights

This zoning overlay ordinance should provide options to landowners and developers to better balance the preservation of open space in compliment with residential, commercial, and industrial developments in the Jordan Valley.

## **BACKGROUND**

South Whitehall adopted its latest Comprehensive Plan in March 2023. The overarching goals of the 2023 Comp Plan are to “*identify areas based on existing neighborhood, natural characteristics, and existing physical boundaries to strategically plan for potential growth that is harmonious within the identified area*” and to “*plan for future land use, development and redevelopment to remain within the capacity to install and maintain infrastructure in a fiscally responsible manner.*”

Resource protection is an important theme and focus of the 2023 Comprehensive Plan. The primary area recognized for resource protection in the Plan is the northern third of the Township, where development is sparse, but resources are densely concentrated. This area, now referred to as the Jordan Valley was identified as a unique area that residents consider a special landscape, contributing to Township's rural identity and quality of life. With limited access to public water and public sewer, a large portion of the Jordan Valley has remained undeveloped.

The Comprehensive Plan also introduced the concept of Place Types as a way to bridge the gap between land use and zoning and focus on preserving and promoting the region's sense of place. General Place Type descriptions were created for the Comprehensive Plan to help visualize their use, but more details are needed to integrate design parameters and better guide desired development patterns.



The Jordan Valley is identified as a specific land use type in the Comprehensive Plan with the following goals:

*Preserve the rural and historic character of the Jordan Valley through the following:*

- *Preserve natural resources and important landscapes through incentives and cooperation with landowners.*
- *Enhance crossroad villages with attention to the surrounding landscape.*
- *Encourage the continuation of active agriculture by allowing uses consistent with operations of working farms.*
- *Incentivize the utilization of Conservation Subdivisions for future land developments.*

The proposed zoning overlay district will cover the entire Jordan Valley land use area and some areas designated as Industrial and Rural Residential. In addition to the resource protection goals of the Comprehensive Plan, the Township is currently working on an open space, historic, agricultural, and natural resource preservation plan, entitled *South Whitehall Landscapes*. The goals of this plan emphasize the need for permanent preservation of resources through direct land protection, ordinance revisions, and policy. This plan will also identify guidelines on the specific types and uses of open space in the Township.

### **SCOPE OF WORK**

The selected consultant or consulting team will provide the planning services necessary to create the Jordan Valley Open Space Zoning Ordinance through the following tasks:

1. Coordinate directly with South Whitehall Township staff to develop the concepts and components of the ordinance.
2. Draft the zoning overlay ordinance structure and text.
3. Further Develop Place Type descriptions, including approved use types and design considerations.
4. Develop design guidelines and standards for the zoning overlay district.

The selected consultant will not be responsible for any mapping, GIS analysis, or related tasks. All mapping, data collection, analysis, and information needed to inform the provisions of the ordinance will be provided by Township staff.

The selected consultant will also be required to work collaboratively with Township staff (and possibly other consultants) to evaluate how the draft provisions of the ordinance fulfill the four goals of the Jordan Valley Open Space Zoning Ordinance throughout the project. This evaluation will primarily be conducted through GIS analysis conducted by Township staff but will be an important step in the ordinance development process.

### **CONSIDERATIONS**

- The consultant will adhere to all requirements of the Pennsylvania Municipalities Planning Code (MPC) during the development of the overlay ordinance.
- All public notices, posting, administrative proceedings, etc. related to the zoning overlay ordinance adoption will be handled by the Township and not be the responsibility of the consultant.
- No public meetings, workshops, hearings, etc. will be required of the consultant as part of this scope of work.

## **PROPOSAL REQUIREMENTS**

Proposals shall include the following items:

- 1. Letter of Transmittal**
  - a. Primary Consulting Firm's name, mailing address, and nearest office location
  - b. Primary contact person and contact information
  - c. Statement that this proposal is a response to the Jordan Valley Open Space Zoning Overlay Ordinance RFP
- 2. Consultant Firm or Team Experience**
  - a. Brief overview of the firm(s)
  - b. Narrative explaining the approach to the project
  - c. Examples of relevant work and/or experience
- 3. Key Personnel**
  - a. Project Team organizational chart with assigned project manager
  - b. Anticipated roles of all personnel assigned to the project
  - c. Resumes/Experience Summaries for all relevant personnel
- 4. Timeline**
  - a. Proposed project schedule. South Whitehall Township would prefer to have the ordinance in draft form before the end of 2024. To keep on pace, bi-weekly meetings with Township staff are encouraged.
- 5. Price Proposal**

## **EVALUATION CRITERIA**

Proposals will be reviewed by an evaluation committee comprised of Township Staff. In order of importance, staff will evaluate proposals based on the following criteria:

1. Documented experience in open space/conservation-based zoning
2. Experience in Pennsylvania with the Pennsylvania Municipalities Planning Code (MPC)
3. Creativity and innovation in new techniques and ideas, with an understanding of real-world practicality
4. Project Schedule
5. Cost

## **SUMMARY**

South Whitehall Township is encouraged to work with experienced, innovative firms to develop this overlay ordinance to fulfill the open space preservation goals of the South Whitehall Township Comprehensive Plan and *South Whitehall Landscapes Plan*.

South Whitehall Township reserves the right to interview any or all the applicants submitting a proposal, although decisions may be made on the proposal alone. Additionally, the Township reserves the right to request clarifying information from the Proposer after submission of the proposal. South Whitehall Township reserves the right to reject any or all proposals, regardless of cost.

Questions on the proposal or submission requirements may be directed to:

**Christopher Strohler, AICP**

**Long-Range Planner**

**Phone: 610-398-0401 x231**

**Email: [strohlerc@southwhitehall.com](mailto:strohlerc@southwhitehall.com)**

## **LINKS**

[2023 South Whitehall Township Comprehensive Plan](#)

[Pennsylvania Municipalities Planning Code \(MPC\)](#)

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# Item Cover Page

**BOARD OF COMMISSIONERS AGENDA ITEM REPORT**

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel,Administration

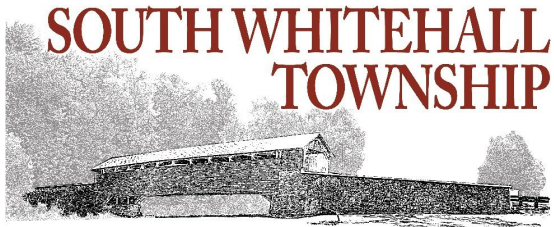
**ITEM TYPE:** Correspondence/Informational

**AGENDA SECTION:** CORRESPONDENCE AND INFORMATION ITEMS

**SUBJECT:** Boards and Commissions - Informational Items / Vacancies

**SUGGESTED ACTION:**

**ATTACHMENTS:**  
[Upcoming Meetings and Current Vacancies.pdf](#)



## UPCOMING MEETINGS AND CURRENT VACANCIES

### **UPCOMING MEETINGS/EVENTS: Details posted on website.**

- Saturday, April 20<sup>th</sup>, 9A-12N – Earth Day Event, at CB Park
- Monday, April 22<sup>nd</sup>, 5:30P – Landscape & Shade Tree Commission
- Wednesday, April 24<sup>th</sup>, 10A – Pension Committee
- Wednesday, April 24<sup>th</sup>, 7P – Zoning Hearing Board – CANCELED
- Wednesday, May 1<sup>st</sup>, 7P – Board of Commissioners

### **CURRENT VACANCIES ON BOARDS/COMMISSIONS:**

1. Civil Service Commission – 2 Alternate Vacancies
2. Zoning Hearing Board - 2 Alternate Vacancies





# Item Cover Page

**BOARD OF COMMISSIONERS AGENDA ITEM REPORT**

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel,Community Development

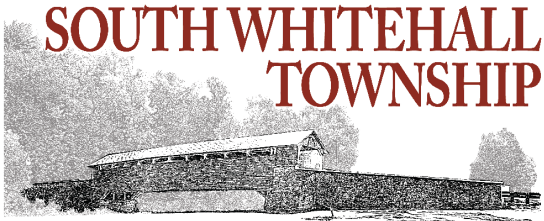
**ITEM TYPE:** Direction/Discussion

**AGENDA SECTION:** DIRECTION/DISCUSSION ITEMS

**SUBJECT:** ArcGIS Urban System - Presentation/Discussion

**SUGGESTED ACTION:**

**ATTACHMENTS:**  
[2024.04.11 CD DIRECTOR - BOC Memo Houseal-Lavigne Update \(003\).pdf](#)



**MEMORANDUM FOR  
AGENDA ITEMS**

To:	Board of Commissioners
From:	David Manhardt, AICP, Director of Community Development
Date:	April 11, 2024
Subject:	Houseal-Lavigne ArcGIS Urban Update
Copy To:	T. Petrucci, C. Strohler, G. Adams, T. Fehnel

**Background Information:**

In September 2023, South Whitehall engaged in a Professional Services Agreement with Houseal-Lavigne to configure ArcGIS Urban.

Township staff would like to update the Borad of Commissioners related to the progress and how the tool will be utilized to evaluate any proposed modifications to the Township’s Zoning Ordinance.

**Action Requested:**

None at this time.

**Budget Line Items:**

Consulting Services 01460002-40312, in progress.



# Item Cover Page

**BOARD OF COMMISSIONERS AGENDA ITEM REPORT**

**DATE:** April 17, 2024

**SUBMITTED BY:** Tracy Fehnel, Finance

**ITEM TYPE:** Payment of Invoices

**AGENDA SECTION:** MOTION TO AUTHORIZE PAYMENT OF INVOICES & DISBURSEMENTS

**SUBJECT:** Invoices and Disbursements

**SUGGESTED ACTION:**

**ATTACHMENTS:**