



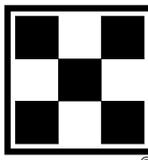
Know what's below. Call before you dig.

SOUTH WHITEHALL SECTION 312-12(B)(7) THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES...

SOUTH WHITEHALL SECTION 312-39(H) NOTWITHSTANDING ANY PROVISIONS OF THE TOWNSHIP STORMWATER MANAGEMENT PLAN, INCLUDING EROSION AND WAIVER PROVISIONS, ANY LANDOWNER AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT STORMWATER RUNOFF CHARACTERISTICS...

Preliminary/Final Land Development Plans

WASTEWATER TREATMENT UPGRADES



Nestlé-PURINA PetCare Allentown Factory 2050 POPE ROAD, ALLENTOWN, PA 18104

SOUTH WHITEHALL TOWNSHIP LEHIGH COUNTY, PENNSYLVANIA

November 16, 2023 Last Revised February 8, 2024

SURVEYOR'S CERTIFICATION

I, _____, A LICENSED PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE ACCOMPANYING PLANS AND SUPPORTING DOCUMENTATION ARE TRUE, CORRECT, ACCURATE AND ARE IN COMPLIANCE WITH ALL REQUIREMENTS, PROVISIONS AND CONDITIONS OF RESOLUTION...

DESIGN PROFESSIONAL'S CERTIFICATION

I, CHRISTOPHER J. WILLIAMS, A LICENSED PROFESSIONAL ENGINEER OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE ACCOMPANYING PLANS AND SUPPORTING DOCUMENTATION ARE TRUE, CORRECT, ACCURATE AND ARE IN COMPLIANCE WITH ALL REQUIREMENTS, PROVISIONS AND CONDITIONS OF RESOLUTION...

CHRISTOPHER J. WILLIAMS, P.E. DATE: X/X/2023
BARRY ISETT & ASSOCIATES
85 SOUTH ROUTE
100 ALLENTOWN, PA 18106
610-398-0904

OWNER'S CERTIFICATION

[I/WE] BEING DULY SWORN ACCORDING TO LAW DEPOSE AND SAY THAT [I AM/WE ARE] THE SOLE OWNER(S) OF THIS PROPERTY, IN PEACEFUL POSSESSION OF THE SAME, AND THAT THERE ARE NO SUITS PENDING AFFECTING THE TITLE THEREOF. [I/WE] DO FURTHER DEPOSE AND SAY THAT [I/WE] HAVE COMPLIED WITH ALL REQUIREMENTS, PROVISIONS AND CONDITIONS OF RESOLUTION...

NESTLÉ PURINA PETCARE
NAME: _____
TITLE: _____
SWORN AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____ 20____
NOTARY PUBLIC
MY COMMISSION EXPIRES ON _____ DAY OF _____ 20____

DEVELOPER'S CERTIFICATION

AS DEVELOPER, I HEREBY CERTIFY THAT ALL LAND TO BE IMPROVED WILL BE PROPERLY GRADED TO PROVIDE ADEQUATE SURFACE DRAINAGE SO THAT NO LOW SPOTS OR WATER POCKETS CREATE A PUBLIC NUISANCE AND THAT PERMANENT CONCRETE REFERENCE MONUMENTS WILL BE PLACED AT GRADE, AS NOTED ON THE PLAN, UPON COMPLETION OF GRADING.

NESTLÉ PURINA PETCARE
NAME: _____
TITLE: _____
SWORN AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____ 20____
NOTARY PUBLIC
MY COMMISSION EXPIRES ON _____ DAY OF _____ 20____

TOWNSHIP ACKNOWLEDGMENT

BASED UPON AND EXPRESSLY IN RELIANCE ON THE FOREGOING CERTIFICATIONS OF THE OWNER AND DESIGN PROFESSIONAL, THE WITHIN PLAN IS ACCEPTED BY SOUTH WHITEHALL TOWNSHIP AS THE PLAN SATISFYING ALL REQUIREMENTS, PROVISIONS AND CONDITIONS OF RESOLUTION.

SOUTH WHITEHALL TOWNSHIP APPROVALS

RECOMMENDED FOR APPROVAL ON _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION.

CHAIRMAN SECRETARY

APPROVED ON _____ BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH WHITEHALL.

CHAIRMAN SECRETARY

LEHIGH VALLEY PLANNING COMMISSION

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION.

PLANNER DATE

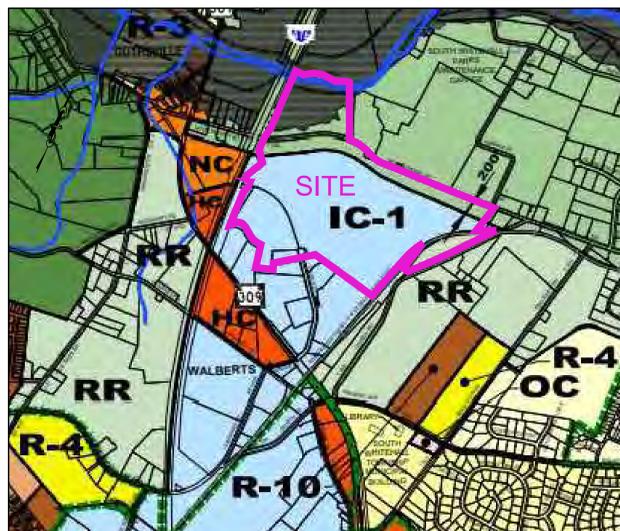
PROOF OF RECORDING

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA, AS DOCUMENT ID: _____ ON THE _____ DAY OF _____ 20____

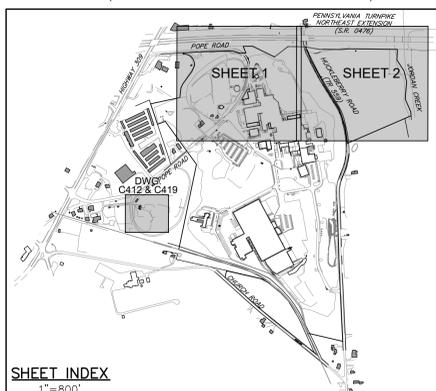
APPLICANT NOTES

- 1. THE APPLICANT IS THE OWNER, EQUITABLE OWNER OR HAS AN OPTION OR CONDITIONAL CONTRACT OF SALE ON THE LAND PROPOSED TO BE SUBDIVIDED OR DEVELOPED...
2. THE APPLICANT CERTIFIES THAT HE WILL PROPERLY GRADE ALL INDIVIDUAL LOTS TO PROVIDE ADEQUATE SURFACE DRAINAGE...
3. THE APPLICANT ACKNOWLEDGES THAT FOLLOWING APPROVAL OF THIS PLAN, PLAN CHANGES MAY BE REQUIRED TO ADDRESS THE COMMENTS AND REGULATIONS OF OUTSIDE AGENCIES...

NESTLÉ PURINA PETCARE
NAME: _____
TITLE: _____



LOCATION MAP SCALE: 1"=1000' (SOURCE: SOUTH WHITEHALL TWP. ZONING MAP)



SHEET INDEX 1"=800'



610.398.0904
barryisett.com
5420 Crackersport Road
Allentown, PA 18104



41 Hutchins Drive
Portland, Maine 04102
800.426.4262 | www.woodardcurran.com

COMMITMENT & INTEGRITY DRIVE RESULTS

SITE DATA - MAIN CAMPUS

OWNER/DEVELOPER: NESTLÉ PURINA PETCARE
2050 POPE ROAD
ALLENTOWN, PA 18104-9308
CORPORATE ADDRESS
CHECKERBOARD SQUARE
ST. LOUIS, MO 63164-0001

DOCUMENT ID: DBV. 1538 PG. 0661
PARCEL ID: 547736133872-1
547735265505-1
GROSS AREA: 114.5996 AC.
SEWER: ON-LOT
WATER: ON-LOT

SITE DATA - NORTHERN TRACT

OWNER/DEVELOPER: NESTLÉ PURINA PETCARE
2050 POPE ROAD
ALLENTOWN, PA 18104-9308
CORPORATE ADDRESS
CHECKERBOARD SQUARE
ST. LOUIS, MO 63164-0001

DOCUMENT ID: 2023006208
PARCEL ID: 547726166829-1
GROSS AREA: 18.765 AC.
SEWER: ON-LOT
WATER: ON-LOT

CAR PARKING CALCULATION:

FIRST SHIFT = 193
SECOND SHIFT = 145
THIRD SHIFT = 145
REQUIRED PARKING:
1 SPACE/EMPLOYEE ON THE LARGEST TWO SHIFTS = 193+144 = 338 SPACES REQUIRED

OVERSIZED AND TRAILER PARKING CALCULATION:

REQUIRED:
1 OVERSIZED SPACE PER 5 DOCKS X 67 DOCKS = 14 OVERSIZED SPACES
1 TRAILER SPACE PER 5 DOCKS X 67 DOCKS = 14 TRAILER SPACES
PROVIDED:
58 OVERSIZED SPACES & 285 TRAILER SPACES
NOTE: NO CHANGES PROPOSED TO PARKING OR NUMBER OF EMPLOYEES WITH THIS PROJECT.

ZONING DATA

ZONING DATA PROVIDED IS BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.

ZONING DISTRICT: IC-1 & RR-2
EXISTING/PROPOSED USE: MANUFACTURING

AREA AND DIMENSIONAL REQUIREMENTS:	IC-1	RR-2	PROVIDED MAIN CAMPUS	PROVIDED NORTHERN TRACT
MINIMUM REQUIREMENTS	REQUIRED			
MIN. LOT AREA:	2.5 ACRES		114.5996 ACRES	18.765 ACRES
MIN. FRONTAGE:	300'	MANUFACTURING USE NOT PERMITTED IN THIS DISTRICT	CONFORMS	CONFORMS
MAX. BUILDING HEIGHT:	70'		CONFORMS	N/A
MAX. IMPERVIOUS COVERAGE:	75%		40.7%	1.3%(10,966 S.F.)
MIN. YARD SETBACKS:				
FRONT YARD:	50'	150*	CONFORMS	CONFORMS
SIDE YARDS:	25'	50*	CONFORMS	CONFORMS
REAR YARDS:	25'	50*	CONFORMS	CONFORMS
* PER DIRECTIVE OF SOUTH WHITEHALL TWP. ZONING OFFICER, CIRCA 2017				

THE FOLLOWING AGENCY PERMITS/APPROVALS ARE REQUIRED

GOVERNMENT AGENCIES	PERMIT/APPROVAL	STATUS
SOUTH WHITEHALL TOWNSHIP	LAND DEVELOPMENT & WATER/SEWER APPROVAL	SUBMITTED
LEHIGH COUNTY CONSERVATION DISTRICT	E&S/N.P.D.E.S. APPROVAL	SUBMITTED
LEHIGH VALLEY PLANNING COMMISSION	LAND DEVELOPMENT/STORMWATER CONSISTENCY APPROVAL	SUBMITTED
PA DEPARTMENT OF ENVIRONMENTAL PROTECTION	SEWER PLANNING MODULE APPROVAL	SUBMITTED

WAIVERS & DEFERRALS

THE FOLLOWING WAIVERS/DEFERRALS WERE RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION AT THEIR MEETING AT APRIL 15, 2021:

- a. SALDO §312-12(B)(15) AND §312-12(B)(21) - WAIVER FOR THE REQUIREMENT OF CONTOURS ON ADJACENT LAND AND THE LOCATION OF SIDEWALKS, TRAILS, DRIVEWAYS, STREETS, EASEMENTS, AND RIGHT-OF-WAY WITHIN 400 FEET OF THE SITE;
b. SALDO §312-35(B)(3)(A)(1) - DEFERRAL FOR THE INSTALLATION OF CONCRETE CURB ALONG THE INTERNAL STREETS. A WAIVER WAS REQUESTED;
c. SALDO §312-35 (B)(3)(A)(1) - DEFERRAL REQUESTED FOR THE INSTALLATION OF CONCRETE CURB ALONG PUBLIC STREETS;
d. SALDO §312-35(B)(3)(A)(2) - DEFERRAL FOR THE INSTALLATION OF CONCRETE CURB ALONG THE INTERNAL DRIVEWAYS AND OFF-STREET PARKING AREAS;
e. SALDO §312-35(B)(3)(A)(1)(A) - DEFERRAL FOR THE INSTALLATION OF CONCRETE SIDEWALKS ALONG ACCESS DRIVES;
f. SALDO §312-35(B)(3)(A)(1)(A) - DEFERRAL FOR THE INSTALLATION OF CONCRETE SIDEWALKS ALONG PUBLIC STREETS ALONG THE PERIMETER OF THE PROPERTY;
g. SALDO §312-35(B)(3) - DEFERRAL PERTAINING TO THE RIGHT-OF-WAY DEDICATION ALONG PERIMETER ROADWAYS;
h. SALDO §312-40 - DEFERRAL PERTAINING TO THE PLANTING OF STREET/SHADE TREES ALONG PERIMETER ROADWAYS; AND
i. SALDO §312-13(F)(3) - WAIVER PERTAINING TO THE ISSUANCE OF BUILDING PERMITS PRIOR TO COMPLETION OF THE SUBDIVISION PLAN RECORDING.

PLAN TITLE	PLAN NO.	DATE	LAST REV.
*Title Sheet	671-C398	11/16/2023	2/8/2024
*Note Sheet	671-C399	11/16/2023	2/8/2024
*Master Site Development Plan	671-C400	11/16/2023	2/8/2024
*Site Development Plan 1	671-C401	11/16/2023	2/8/2024
*Site Development Plan 2	671-C402	11/16/2023	2/8/2024
Master Existing Features Plan	671-C403	11/16/2023	2/8/2024
Existing Features Plan 1	671-C404	11/16/2023	2/8/2024
Existing Features Plan 2	671-C405	11/16/2023	2/8/2024
Grading Plan 1	671-C406	11/16/2023	2/8/2024
Grading Plan 2	671-C407	11/16/2023	2/8/2024
Utility Plan 1	671-C408	11/16/2023	2/8/2024
Utility Plan 2	671-C409	11/16/2023	2/8/2024
* Master PCSM Plan	671-C410	11/16/2023	2/8/2024
* PCSM Plan 1	671-C411	11/16/2023	2/8/2024
* PCSM Plan 2	671-C412	11/16/2023	2/8/2024
* PCSM Details 1	671-C413	11/16/2023	2/8/2024
* PCSM Details 2	671-C414	11/16/2023	2/8/2024
* Riparian Buffer Plan	671-C415	11/16/2023	2/8/2024
* Riparian Buffer Note Sheet	671-C416	11/16/2023	2/8/2024
Master Erosion Control Plan	671-C417	11/16/2023	2/8/2024
Erosion Control Plan 1	671-C418	11/16/2023	2/8/2024
Erosion Control Plan 2	671-C419	11/16/2023	2/8/2024
Erosion Control Details 1	671-C420	11/16/2023	2/8/2024
Construction Detail	671-C421	11/16/2023	2/8/2024

* - DENOTES PLAN TO BE RECORDED

1. NPDES SUBMISSION JAZ CDC 11/21/2023
2. TOWNSHIP RE-SUBMISSION JAZ CDC 2/8/2024

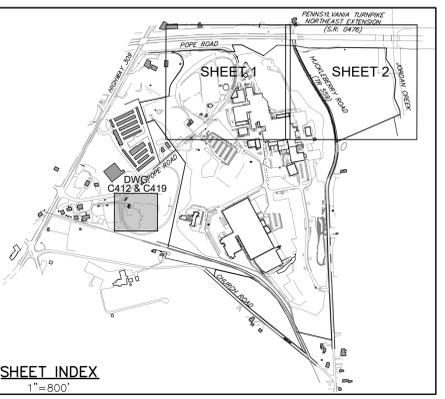
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DATE 11/16/2023
MADE BY JAZ
SCALE AS NOTED
APP'D BY CJW
PREP'D ENGR CJW
PRINTED

TITLE SHEET
WASTEWATER TREATMENT UPGRADES
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY
PENNSYLVANIA

PLANT BLDG. NO. AREA NO.
DRAWING NUMBER REVISION
671-C398 A



SITE DATA - MAIN CAMPUS

OWNER/DEVELOPER: NESTLE PURINA PETCARE
 2050 POPE ROAD
 ALLENTOWN, PA 18104-9308
 CORPORATE ADDRESS
 CHECKERBOARD SQUARE
 ST. LOUIS, MO 63164-0001

DOCUMENT ID: DBV. 1538 PG. 0661
 PARCEL ID: 547736133872-1
 547735265505-1

GROSS AREA: 114.5996 AC.
 SEWER: ON-LOT
 WATER: ON-LOT

SITE DATA - NORTHERN TRACT

OWNER/DEVELOPER: NESTLE PURINA PETCARE
 2050 POPE ROAD
 ALLENTOWN, PA 18104-9308
 CORPORATE ADDRESS
 CHECKERBOARD SQUARE
 ST. LOUIS, MO 63164-0001

DOCUMENT ID: 202306208
 PARCEL ID: 547726166829-1

GROSS AREA: 18.765 AC.
 SEWER: ON-LOT
 WATER: ON-LOT

ZONING DATA

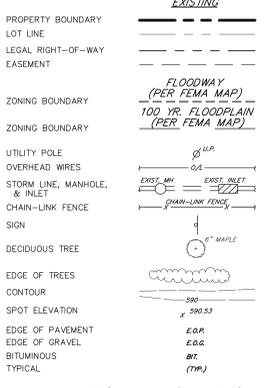
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ZONING DISTRICT: IC-1 & RR-2
 EXISTING/PROPOSED USE: MANUFACTURING

AREA AND DIMENSIONAL REQUIREMENTS:	IC-1	RR-2	PROVIDED MAIN CAMPUS	PROVIDED NORTHERN TRACT
MINIMUM REQUIREMENTS	REQUIRED			
MIN. LOT AREA:	2.5 ACRES	MANUFACTURING USE NOT PERMITTED IN THIS DISTRICT.	114.5996 ACRES	18.765 ACRES
MIN. FRONTAGE:	300'		CONFORMS	CONFORMS
MAX. BUILDING HEIGHT:	70'		CONFORMS	N/A
MAX. IMPERVIOUS COVERAGE:	75%		40.7%	1.3%(10,966 S.F.)
MIN. YARD SETBACKS:				
FRONT YARD:	50'	150*	CONFORMS	CONFORMS
SIDE YARDS:	25'	50*	CONFORMS	CONFORMS
REAR YARDS:	25'	50*	CONFORMS	CONFORMS

* PER DIRECTIVE OF SOUTH WHITEHALL TWP. ZONING OFFICER, CIRCA 2017

LEGEND



SOUTH WHITEHALL SECTION 312-12(B)(2)

THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHAEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE IMPORTANCE OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THE INFORMATION WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS. COMMISSIONED BY THE APPLICANT (AND/OR LAND OWNERS) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIVISIONS AND STREET OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERSEEN WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DETECTION, CONSISTENCY, COORDINATE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER FACILITIES, INCLUDING THE RESPONSIBILITY OF THE SURVEYOR OF RECORD, SHALL BE SHOWN ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SUFFICER.

SOUTH WHITEHALL SECTION 312-38(H)

NOTHING IN ANY PROVISIONS OF THE TOWNSHIP STORMWATER MANAGEMENT PLAN, INCLUDING EXEMPTION AND WAIVER PROVISIONS, ANY LANDOWNER AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT STORMWATER RUNOFF CHARACTERISTICS SHALL INCLUDE SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT INJURY TO HEALTH, SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REQUIRED TO MANAGE THE RATE, VOLUME, DIRECTION AND QUALITY OF RESULTING STORMWATER RUNOFF IN A MANNER WHICH OTHERWISE ADEQUATELY PROTECTS HEALTH AND PROPERTY FROM HAZARD AND DAMAGE. MUNICIPALITY REVIEW AND APPROVAL OF THE DRAINAGE PLAN, OR THE SUBSEQUENT OBSERVATION AND APPROVAL OF STORMWATER MANAGEMENT FACILITIES, SHALL NOT CONSTITUTE LAND DEVELOPMENT OR BE BY THE MUNICIPALITY OR OTHERWISE CAUSE THE MUNICIPALITY TO BE ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND. BY SUBMITTING AN APPLICATION UNDER THE TOWNSHIP STORMWATER MANAGEMENT PLAN, THE DEVELOPER HEREBY AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE MUNICIPALITY AND ALL ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DEMANDS, DAMAGES OF ACTION OR SUITS WHICH ARISE OUT OF OR RELATE TO THE REVIEW, APPROVAL, CONSTRUCTION OR OBSERVATION OF THE DEVELOPER'S DRAINAGE PLAN AND STORMWATER MANAGEMENT FACILITIES.



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 barryisett.com
 5420 Crackersport Road
 Allentown, PA 18104



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 800.426.4262 | www.woodardcurran.com
 COMMITMENT & INTEGRITY DRIVE RESULTS

REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE
1.				NPDES SUBMISSION	JAZ	CDC	11/21/2023				
2.				TOWNSHIP RESUBMISSION	JAZ	CDC	2/8/2024				

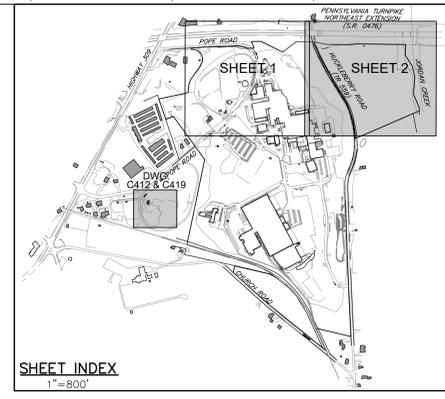
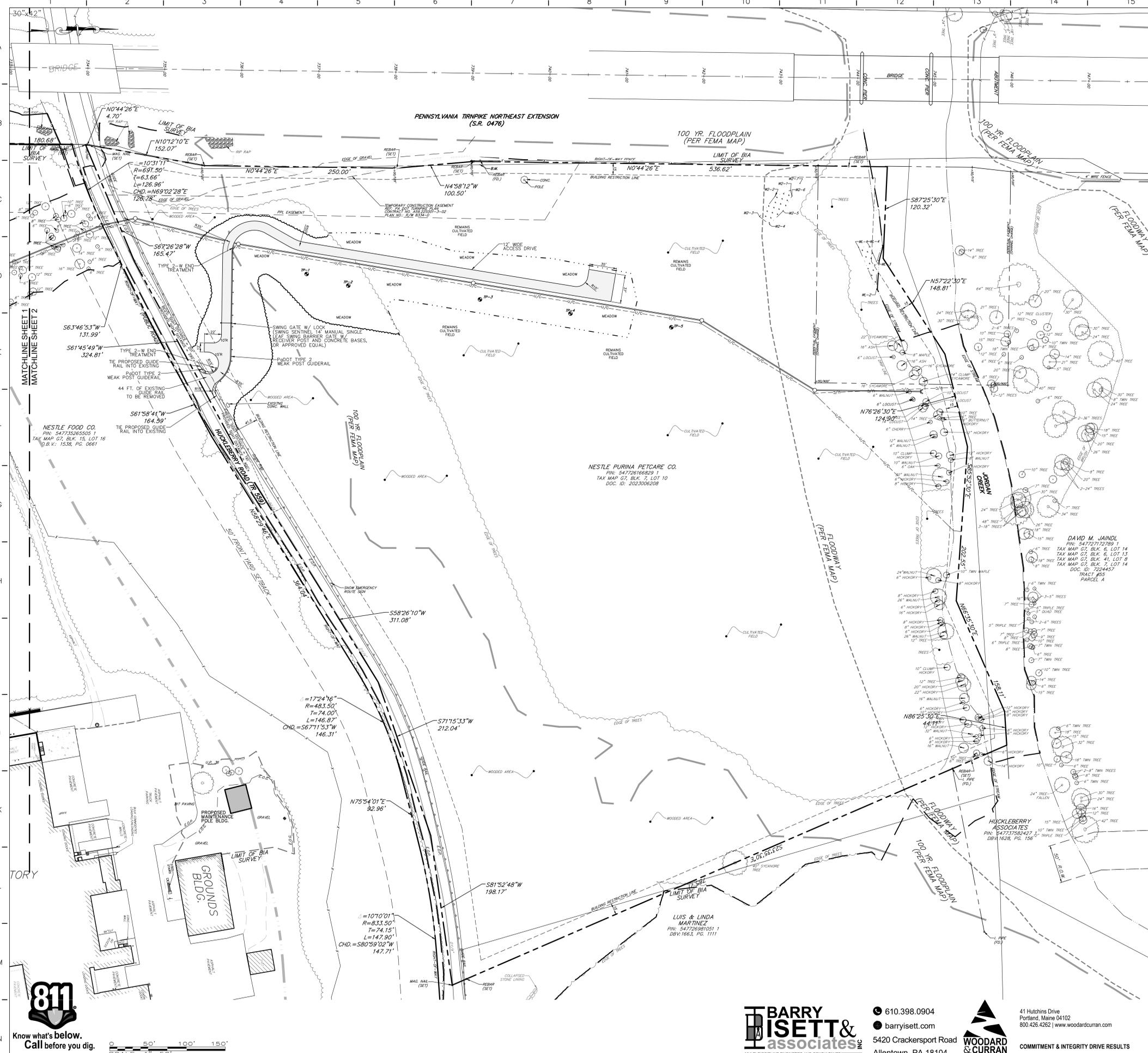
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DATE	11/16/2023
MADE BY	JAZ
SCALE	1" = 150'
APPROVED BY	CJW
PRINTED	CJW

MASTER SITE DEVELOPMENT PLAN
 WASTEWATER TREATMENT UPGRADES
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY
 PENNSYLVANIA

PLANT BLDG. NO.	AREA NO.	DRAWING NUMBER	REVISION
		671-C400	A



SOUTH WHITEHALL SECTION 312-12(B)(7)
 THE PLAN HAS BEEN REVIEWED BY THE TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, GROUNDWATER ACTIVITY, AND HISTORIC AND ARCHITECTURAL ISSUES, OR SUCH OTHER ISSUES AS APPROPRIATE THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNERS AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN REVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF SECTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY BOUNDARIES, STREETS RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC. ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SQUAD.

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SITE DATA - MAIN CAMPUS

OWNER/DEVELOPER: NESTLE PURINA PETCARE
 2050 POPE ROAD
 ALLENTOWN, PA 18104-9308
 CORPORATE ADDRESS
 CHECKERBOARD SQUARE
 ST. LOUIS, MO 63164-0001

DOCUMENT ID: DBV. 1538 PG. 0661
 PARCEL ID: 547736133872-1
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ZONING DISTRICT: IC-1 & RR-2
 EXISTING/PROPOSED USE: MANUFACTURING

AREA AND DIMENSIONAL REQUIREMENTS:	IC-1	RR-2	PROVIDED MAIN CAMPUS	PROVIDED NORTHERN TRACT
MINIMUM REQUIREMENTS	REQUIRED			
MIN. LOT AREA:	2.5 ACRES	MANUFACTURING USE NOT PERMITTED IN THIS DISTRICT.	114.5996 ACRES	18.765 ACRES
MIN. FRONTAGE:	300'		CONFORMS	CONFORMS
MAX. BUILDING HEIGHT:	70'		CONFORMS	N/A
MAX. IMPERVIOUS COVERAGE:	75%		40.7%	1.33(10,966 S.F.)
MIN. YARD SETBACKS:				
FRONT YARD:	50'	150'	CONFORMS	CONFORMS
SIDE YARDS:	25'	50'	CONFORMS	CONFORMS
REAR YARDS:	25'	50'	CONFORMS	CONFORMS

* PER DIRECTIVE OF SOUTH WHITEHALL TWP. ZONING OFFICER, CIRCA 2017

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 barryisett.com
 5420 Crackersport Road
 Allentown, PA 18104

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DATE	11/16/2023
MADE BY	JAZ
SCALE	1" = 50'
WRN BY	CJW
PRN BY	CJW
ENR BY	CJW
PRINTED	

SITE DEVELOPMENT PLAN 2
 WASTEWATER TREATMENT UPGRADES

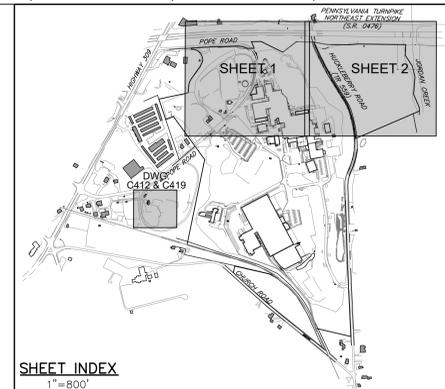
SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY
 PENNSYLVANIA

BLDG. NO.	AREA NO.	DRAWING NUMBER	REVISION
		671-C402	A

REVISION	BY	APP'D BY	DATE	REVISION	BY	APP'D BY	DATE	REVISION	BY	APP'D BY	DATE
1.				NPDES SUBMISSION	JAZ	CDC	11/21/2023				
2.				TOWNSHIP RESUBMISSION	JAZ	CDC	2/8/2024				

NOTICE - THIS DRAWING AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED THEREIN ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF NESTLE PURINA PETCARE COMPANY WHICH RESERVES ALL PATENT OR OTHER RIGHTS. COPYING, REPRODUCTION OR DUPLICATION, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED BY NESTLE PURINA PETCARE COMPANY. ANY SUCH COPIES SHALL ALSO BE THE EXCLUSIVE PROPERTY OF THE NESTLE PURINA PETCARE COMPANY. THIS DRAWING AND ANY SUCH COPIES SHALL BE RETURNED WHEN REQUESTED AND USED SUBJECT TO ABOVE CONDITIONS ONLY ON AUTHORIZED COMPANY WORK.

11/16/2023 10:58:00 AM C:\Users\jbarry\OneDrive\Documents\671-C402\671-C402.dwg Plot by Barry Isett



SOUTH WHITEHALL SECTION 312-12(B)(7)
 THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP ENGINEER AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH THE ZONING REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLANNING ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, MARKET DEPENDENCY, AND WHETHER THERE ARE ANY OTHER ISSUES OF SUCH OTHER NATURE (AS APPROPRIATE) THAT MAY AFFECT THE IMPORTANCE OF THE PROPERTY BOUNDARY AND/OR LAND OWNERSHIP. THE TOWNSHIP ENGINEER HAS NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS. COMMISSIONED BY THE APPLICANT AND/OR LAND OWNERS AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE, DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY OTHER AS APPROPRIATE, AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE CONCERNING THE MAXIMUM ALLOWABLE COVERAGES, CLARITY OF EASEMENTS, DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER FEATURES WHICH ARE THE RESPONSIBILITY OF THE SURVEYOR. RECORD WHOSE SEAL APPEARS ON THIS PLAN AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP ENGINEER, OR THE TOWNSHIP ENGINEER.

SOUTH WHITEHALL SECTION 312-38(H)
 WHEREAS THE TOWNSHIP ENGINEER HAS REVIEWED THE STORMWATER MANAGEMENT PLAN, INCLUDING EXEMPTION AND WAIVER PROVISIONS, ANY LANDOWNER AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT STORMWATER RUNOFF CHARACTERISTICS SHALL IMPLEMENT SUCH MEASURES AS ARE REASONABLY NECESSARY TO THE REPAIR TO HEALTH, SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REQUIRED TO MANAGE THE RAIN VOLUME, DRAINAGE CAPACITY OF RESULTING STORMWATER STRUCTURES IN A MANNER WHICH OTHERWISE ADEQUATELY PROTECTS HEALTH AND PROPERTY FROM INJURY AND DAMAGE.

MUNICIPALITY REVIEW AND APPROVAL OF THE DRAINAGE PLAN, OR THE SUBSURFACE UTILITY MAP, OR BOTH, SHALL NOT CONSTITUTE LAND DEVELOPMENT ON BEHALF OF OR BY THE MUNICIPALITY OR OTHER AGENCY. THE MUNICIPALITY SHALL NOT BE RESPONSIBLE FOR THE ALTERATION OR DEVELOPMENT OF LAND BY SUBMITTING AN APPLICATION UNDER THE TOWNSHIP STORMWATER MANAGEMENT PLAN. THE DEVELOPER HEREBY AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE MUNICIPALITY AND ALL ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DAMAGES, SUITS OF ACTION OR SUITS WHICH ARISE OUT OF OR RELATE TO THE REVIEW, APPROVAL, CONSTRUCTION OR OBSERVATION OF THE DEVELOPER'S DRAINAGE PLAN AND STORMWATER MANAGEMENT FACILITIES.

SURVEY NOTES:

- AREA NOTED AS "LIMIT OF BIA SURVEY" WAS SURVEYED BY BARRY ISETT & ASSOCIATES DURING DECEMBER 2022, JANUARY 2023 & MARCH 2023. PLAN INFORMATION OUTSIDE OF THIS LIMIT WAS PROVIDED BY THE CLIENT AND WAS PREPARED BY BASE ENGINEERING.
- THESE DRAWINGS HAVE BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE SURVEYOR HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO ANY FUTURE CONSTRUCTION.
- THE BASIS OF BEARING FOR THE SUBJECT SURVEY IS THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).
- HORIZONTAL COORDINATES ARE ON THE NAD83(2011) PENNSYLVANIA STATE PLANE SOUTH ZONE COORDINATE SYSTEM.
- ELEVATIONS ON THIS PLAN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88).
- THE ZONING DATA, INCLUDING BUILDING RESTRICTION LINES, PROVIDED ARE BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A SUBSURFACE UTILITY MAPPING STUDY AND THE LOCATIONS OF THE SUBSURFACE UTILITIES SHOWN HEREON ARE SUBJECT TO ANY AND ALL REVISIONS THAT A SUBSURFACE UTILITY MAPPING STUDY MIGHT REVEAL. THE SURVEY PREPARED BY ISETT HAS REVEALED VARIOUS UNKNOWNS REGARDING UTILITY LOCATIONS AND CONTRACTORS UTILIZING THESE PLANS ARE ADVISED TO PERFORM SUBSURFACE UTILITY MAPPING PRIOR TO CONSTRUCTION.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, CONDITIONS AND RESTRICTIONS, ETC. THAT A TITLE REPORT MIGHT REVEAL.
- A BOUNDARY SURVEY WAS NOT PERFORMED FOR THE SITE #1. PROPERTY AND THIS PLAN SHOULD NOT BE CONSIDERED AS ONE.
- ANY DISCREPANCIES IN RECONCILIATION OF RECORD INFORMATION WITH FIELD MEASUREMENTS SHOWN ON THIS SURVEY ARE DUE TO THE PROFESSIONAL EVALUATION OF SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO: DEED CALLS, LOCATION OF CORNER MONUMENTATION, LOCATIONS OF LONG STANDING POSSESSION LINES OR OTHER BOUNDARY LINE EVIDENCE, CARTRAY LOCATIONS (ROADS), INTENT OF ORIGINAL SURVEY, SENIORITY OF TITLE AND ERROR IN RECORD MEASUREMENTS AND/OR CLOSURES.

EXISTING FEATURES NOTE:
 THE PROPERTY DOES NOT CONTAIN ANY OF THE FOLLOWING TOPOGRAPHICAL AND PHYSICAL FEATURES: WATER CONSERVATION AREAS, ROCK OUTCROPPINGS, SLAG PILES, QUARRY HOLES, SPRINGS OR SWAMPY AREAS. NO KARST FEATURES WERE IDENTIFIED ON-SITE.

BENCHMARK:
 A BENCHMARK FOUND ALONG THE EASTERLY RIGHT-OF-WAY FENCE OF THE NORTHEAST EXTENSION OF THE PENNSYLVANIA TURNPIKE, APPROXIMATELY 519' FEET NORTH OF THE SOUTHWEST CORNER OF THE

LEGEND

PROPERTY BOUNDARY	EXISTING
LOT LINE	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
FLOODWAY	(PER FEMA MAP)
FLOODPLAIN	100 YR. FLOODPLAIN (PER FEMA MAP)
UTILITY POLE	U/P
OVERHEAD WIRES	O/W
STORM LINE, MANHOLE, & INLET	SM, MH, INLET
CHAIN-LINK FENCE	CL-F
SIGN	S
DECIDUOUS TREE	D
EDGE OF TREES	ET
CONTOUR	C
SPOT ELEVATION	590.53
EDGE OF PAVEMENT	E.P.
EDGE OF GRAVEL	E.G.
BITUMINOUS	B
TYPICAL	(TM)

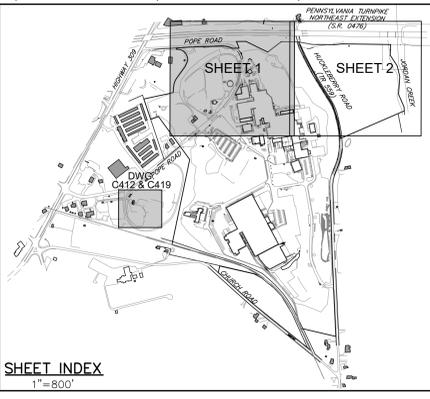
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2. TOWNSHIP RESUBMISSION		JAZ	CDC	2/8/2024			
DATE	11/16/2023	MADE BY	JAZ	MASTER EXISTING FEATURES PLAN WASTEWATER TREATMENT UPGRADES		PLANT	
SCALE	1" = 150'	APPROVED BY	CJW			BLDG. NO.	AREA NO.
PRINTED	CJW	SOUTH WHITEHALL TOWNSHIP LEHIGH COUNTY PENNSYLVANIA				DRAWING NUMBER	REVISION
671-C403		A					



- SURVEY NOTES:**
1. AREA NOTED AS "LIMIT OF BIA SURVEY" WAS SURVEYED BY BARRY ISETT & ASSOCIATES DURING DECEMBER 2022, JANUARY 2023 & MARCH 2023. PLAN INFORMATION OUTSIDE OF THIS LIMIT WAS PROVIDED BY THE CLIENT AND WAS PREPARED BY BASE ENGINEERING.
 2. THESE DRAWINGS HAVE BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE SURVEYOR HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO ANY FUTURE CONSTRUCTION.
 3. THE BASIS OF BEARING FOR THE SUBJECT SURVEY IS THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).
 4. HORIZONTAL COORDINATES ARE ON THE NAD83(2011) PENNSYLVANIA STATE PLANE SOUTH ZONE COORDINATE SYSTEM.
 5. ELEVATIONS ON THIS PLAN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88).
 6. THE ZONING DATA, INCLUDING BUILDING RESTRICTION LINES, PROVIDED ARE BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.
 7. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A SUBSURFACE UTILITY MAPPING STUDY AND THE LOCATIONS OF THE SUBSURFACE UTILITIES SHOWN HEREON ARE SUBJECT TO ANY AND ALL REVISIONS THAT A SUBSURFACE UTILITY MAPPING STUDY MIGHT REVEAL. THE SURVEY PREPARED BY ISETT HAS REVEALED VARIOUS UNKNOWN LOCATIONS REGARDING UTILITY LOCATIONS AND CONTRACTORS UTILIZING THESE PLANS ARE ADVISED TO PERFORM SUBSURFACE UTILITY MAPPING PRIOR TO CONSTRUCTION.
 8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAYS, CONDITIONS AND RESTRICTIONS, ETC. THAT A TITLE REPORT MIGHT REVEAL.
 9. A BOUNDARY SURVEY WAS NOT PERFORMED FOR THE SITE #1 PROPERTY AND THIS PLAN SHOULD NOT BE CONSTRUED AS ONE.
 10. ANY DISCREPANCIES IN RECONCILIATION OF RECORD INFORMATION WITH FIELD MEASUREMENTS SHOWN ON THIS SURVEY ARE DUE TO THE PROFESSIONAL EVALUATION OF SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO: DEED CALLS, LOCATION OF CORNER MONUMENTATION, LOCATIONS OF LONG STANDING POSSESSION LINES OR OTHER BOUNDARY LINE EVIDENCE, CARTWAY LOCATIONS (ROADS), INTENT OF ORIGINAL SURVEY, SENIORITY OF TITLE AND ERROR IN RECORD MEASUREMENTS AND/OR CLOSURES.

EXISTING FEATURES NOTE:
 THE PROPERTY DOES NOT CONTAIN ANY OF THE FOLLOWING TOPOGRAPHICAL AND PHYSICAL FEATURES: WATER CONSERVATION AREAS, ROCK OUTCROPS, SLAG PILES, QUARRY HOLES, SPRINGS OR SWAMPY AREAS. NO KARST FEATURES WERE IDENTIFIED ON-SITE.

BENCHMARK:
 A REBAR FOUND ALONG THE EASTERLY RIGHT-OF-WAY FENCE OF THE NORTHEAST EXTENSION OF THE PENNSYLVANIA TURNPIKE, APPROXIMATELY 519' FEET NORTH OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY, 114' RIGHT OF TURNPIKE CENTERLINE STATION 739+11, 63' FEET SOUTHWEST OF A PPL SEGRIST-MESCOVILLE TRANSMISSION LINE MONO POLE, ELEVATION 336.21, NAVD 88.

SOUTH WHITEHALL SECTION 312-12(R)(7)
 THE PLAN IS NOT INTENDED TO BE USED FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED. THE TOWNSHIP ENGINEER HAS REVIEWED THE TOWNSHIP ENGINEER'S DESIGN AND CONSTRUCTION OF THE WASTEWATER TREATMENT FACILITIES, INCLUDING EXEMPTION AND WATER PROVISIONS, ANY LANDSCAPE AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT STORMWATER RUNOFF CHARACTERISTICS SHALL INCLUDE SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT INJURY TO HEALTH, SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REQUIRED TO MANAGE WASTE VOLUME, DIRECTION AND QUALITY OF RESULTING STORMWATER RUNOFF IN A MANNER WHICH CONSERVES, ADEQUATELY PROTECTS HEALTH AND PROPERTY FROM FLOOD AND DAMAGE.

SOUTH WHITEHALL SECTION 312-38(H)
 THE TOWNSHIP ENGINEER HAS REVIEWED THE TOWNSHIP ENGINEER'S DESIGN AND CONSTRUCTION OF THE WASTEWATER TREATMENT FACILITIES, INCLUDING EXEMPTION AND WATER PROVISIONS, ANY LANDSCAPE AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT STORMWATER RUNOFF CHARACTERISTICS SHALL INCLUDE SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT INJURY TO HEALTH, SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REQUIRED TO MANAGE WASTE VOLUME, DIRECTION AND QUALITY OF RESULTING STORMWATER RUNOFF IN A MANNER WHICH CONSERVES, ADEQUATELY PROTECTS HEALTH AND PROPERTY FROM FLOOD AND DAMAGE.

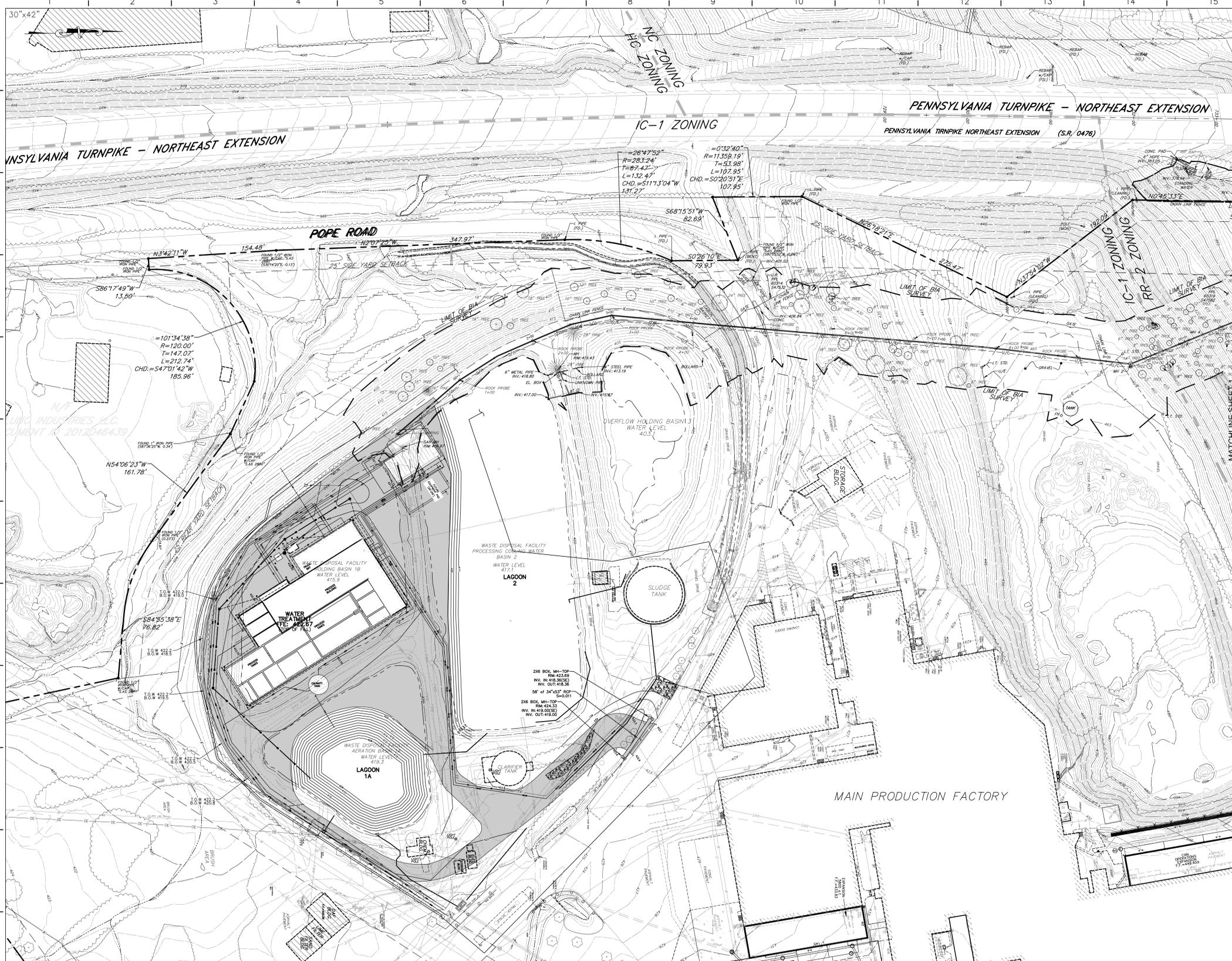
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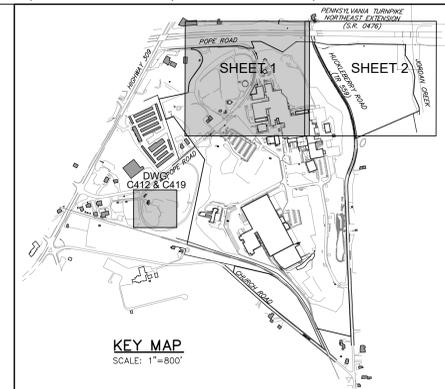
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2. TOWNSHIP RESUBMISSION		JAZ	CDC	2/8/2024	
DATE	11/16/2023				
MADE BY	JAZ				
SCALE	1" = 50'				
APPROVED BY	CJW				
PROJECT ENGINEER	CJW				
PRINTED					
Nestlé PURINA Engineering					
EXISTING FEATURES PLAN 1					
WASTEWATER TREATMENT UPGRADES					
SOUTH WHITEHALL TOWNSHIP LEHIGH COUNTY PENNSYLVANIA					
PLANT					REVISION
BLDG. NO.					A
AREA NO.					
DRAWING NUMBER					
671-C404					



SOUTH WHITEHALL SECTION 312-12(B)(7)
 THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP PLANNING AND ZONING ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PHYSICAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SURVEY ACCURACY, INCLUDING, BUT NOT LIMITED TO, JOBS AND WATER RIGHTS, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE INTERESTS OF THE TOWNSHIP OR THE TOWNSHIP ENGINEER, THE TOWNSHIP ENGINEER MAKES NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS. THE TOWNSHIP ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE TOWNSHIP ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

SOUTH WHITEHALL SECTION 312-39(H)
 I HEREBY AGREE TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE TOWNSHIP AND ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY THE TOWNSHIP OR ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AS A RESULT OF OR IN CONNECTION WITH THE REVIEW, APPROVAL, CONDITION OR OBSERVATION OF THE DEVELOPER'S DRAINAGE PLAN AND STORMWATER MANAGEMENT FACILITIES.



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SCALE: 1"=50'

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BENCHMARK:
 A REBAR FOUND ALONG THE EASTERLY RIGHT-OF-WAY FENCE OF THE NORTHEAST EXTENSION OF THE PENNSYLVANIA TURNPIKE, APPROXIMATELY 519' FEET NORTH OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY, 114' RIGHT OF TURNPIKE CENTERLINE STATION 739+11, 63' FEET SOUTHWEST OF A DIP, SECURED-MESCOSVILLE TRANSMISSION LINE MONO POLE, ELEVATION 336.21, NAVD 88.

REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE
1.				1.	JAZ	CDC	11/21/2023	NPDES SUBMISSION			
2.				2.	JAZ	CDC	2/8/2024	TOWNSHIP RESUBMISSION			

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Nestlé PURINA
 Engineering

DATE: 11/16/2023
 MADE BY: JAZ
 SCALE: 1"=50'
 APPO BY: CJW
 PROJ ENGR: CJW
 PRINTED:

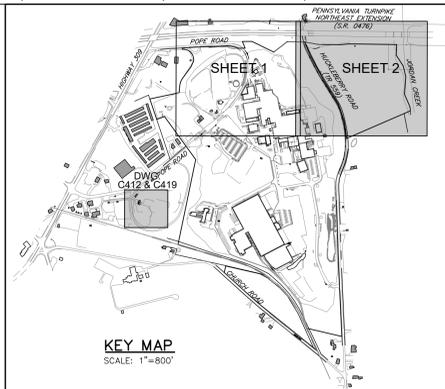
GRADING PLAN 1		PLANT
WASTEWATER TREATMENT UPGRADES		BLDG. NO.
SOUTH WHITEHALL TOWNSHIP		AREA NO.
LEHIGH COUNTY		DRAWING NUMBER
PENNSYLVANIA		671-C406
		REVISION
		A



SOUTH WHITEHALL SECTION 312-12(B)(7)
 THE TOWNSHIP ENGINEER HAS REVIEWED AND APPROVED THIS PLAN FOR CONFORMANCE WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND ENGINEERING REQUIREMENTS OF TOWNSHIP ENGINEERING. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE TOWNSHIP ENGINEER MAKES NO REPRESENTATION OR WARRANTY CONCERNING THE RESULTS, WHICH SHOULD BE OBTAINED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE, DIMENSIONS AND QUANTITIES OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF NOTATION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC. ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR REVERIFIED BY THE TOWNSHIP ENGINEER, OR THE TOWNSHIP ENGINEER'S SURVEYOR.

SOUTH WHITEHALL SECTION 312-38(H)
 NOTWITHSTANDING ANY PROVISIONS OF THE TOWNSHIP STORMWATER MANAGEMENT PLAN INCLUDING EXEMPTION AND WAIVER PROVISIONS, ANY LANDOWNER AND ANY OTHER PERSONS ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT STORMWATER RUNOFF CHARACTERISTICS SHALL IMPLEMENT SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT INJURY TO HEALTH, SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REQUIRED TO MANAGE THE RATE, VOLUME, DIRECTION AND QUALITY OF RESULTING STORMWATER RUNOFF IN A MANNER WHICH OTHERWISE REASONABLY PROTECTS HEALTH AND PROPERTY FROM HARM AND DAMAGE.

MUNICIPALITY REVIEW AND APPROVAL OF THE DRAINAGE PLAN, OR THE SUBSEQUENT OBSERVATION AND APPROVAL OF STORMWATER MANAGEMENT FACILITIES SHALL NOT CONSTITUTE LAND DEVELOPMENT OR BE SUBJECT TO OR BY THE MUNICIPALITY OR OTHERWISE CAUSE THE MUNICIPALITY TO BE ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND. BY SUBMITTING AN APPLICATION UNDER THE TOWNSHIP STORMWATER MANAGEMENT PLAN, THE DEVELOPER HEREBY AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE MUNICIPALITY AND ALL ITS REPRESENTATIVES, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DAMAGES, CAUSES OF ACTION OR SUITS WHICH MAY BE ASSERTED OR INCURRED BY THE REVIEW, APPROVAL, CONSTRUCTION OR OBSERVATION OF THE DEVELOPER'S DRAINAGE PLAN AND STORMWATER MANAGEMENT FACILITIES.



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BENCHMARK:
 A REBAR FOUND ALONG THE EASTERLY RIGHT-OF-WAY FENCE OF THE NORTHEAST EXTENSION OF THE PENNSYLVANIA TURNPIKE, APPROXIMATELY 519' FEET NORTH OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY, 114' RIGHT OF TURNPIKE CENTERLINE STATION 739+11.63 FEET SOUTHWEST OF A PPL SIEGFRIED-WESCOVILLE TRANSMISSION LINE MONO POLE; ELEVATION 336.21, NAVD 88.

REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE
1.				1.				1.				1.			
2.				2.				2.				2.			

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Nestlé PURINA
 Engineering

DATE	11/16/2023	PLANT	GRADING PLAN 2
MADE BY	JAZ	BLDG. NO.	
SCALE	1"=50'	AREA NO.	
APPROVED BY	CJW	DRAWING NUMBER	671-C407
PRINTED	CJW	REVISION	A

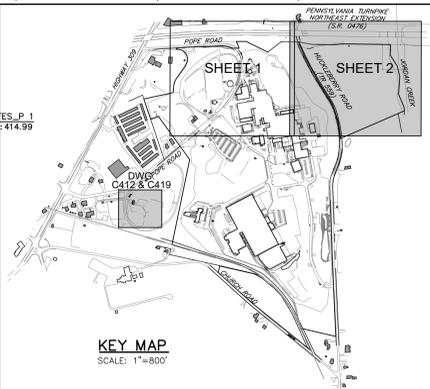
WATERWAY TREATMENT UPGRADES
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY
 PENNSYLVANIA



SOUTH WHITEHALL SECTION 312-12(B)(7)
 THE PLAN HAS BEEN REVIEWED BY THE TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES AS APPROPRIATE THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS. COMMISSIONED BY THE APPLICANT AND/OR LAND OWNERS AS APPROPRIATE, AND ENGINEERED IN THE APPROPRIATE FIELD OF PRACTICE ENGINEERING AND SURVEYING. THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MINIMUM COMPETENCIES. CLARITY OF SECTION CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC. ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD. THESE DATA APPEAR ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SURVEYOR.

SOUTH WHITEHALL SECTION 312-39(H)
 NOTWITHSTANDING ANY PROVISIONS OF THE TOWNSHIP STORMWATER MANAGEMENT PLAN, INCLUDING EDUCATION AND WAIVER PROVISIONS, ANY LANDOWNER AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT STORMWATER RUNOFF CHARACTERISTICS SHALL INCLUDE SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT HARMFUL TO HEALTH, SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE NECESSARY TO MAINTAIN THE RATE, DIRECTION AND QUALITY OF RESULTING STORMWATER RUNOFF IN A MANNER WHICH OTHERWISE ADEQUATELY PROTECTS HEALTH AND PROPERTY FROM HARMFUL AND DAMAGE.

MUNICIPALITY REVIEW AND APPROVAL OF THE SEWAGE PLAN OR THE SUBSEQUENT OBSERVATION AND APPROVAL OF STORMWATER MANAGEMENT FACILITIES SHALL NOT CONSTITUTE LAND DEVELOPMENT OR BE MADE BY THE MUNICIPALITY OR OTHERWISE CAUSE THE MUNICIPALITY TO BE ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND. BY SUBMITTING AN APPLICATION UNDER THE TOWNSHIP STORMWATER MANAGEMENT PLAN, THE DEVELOPER HEREBY AGREES TO INDENTURE, DESIGN, AND FIELD MARKLESS THE MUNICIPALITY AND ALL ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, AGENTS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DEMANDS, CAUSES OF ACTION OR SUITS WHICH ARISE OUT OF OR RELATE TO THE REVIEW, APPROVAL, CONSTRUCTION OR OBSERVATION OF THE DEVELOPER'S DRAINAGE PLAN AND STORMWATER MANAGEMENT FACILITIES.



811
 Know what's below.
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SCALE: 1"=50'

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BENCHMARK:
 A REBAR FOUND ALONG THE EASTERLY RIGHT-OF-WAY FENCE OF THE NORTHEAST EXTENSION OF THE PENNSYLVANIA TURNPIKE, APPROXIMATELY 519' FEET NORTH OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY, 114' RIGHT OF TURNPIKE CENTERLINE STATION 739+11, 6.5' FEET SOUTHWEST OF A PPL SIEGFRIED-WESCOVILLE TRANSMISSION LINE MONO POLE; ELEVATION 336.21; NAD83.

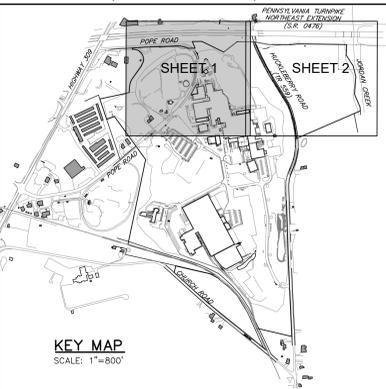
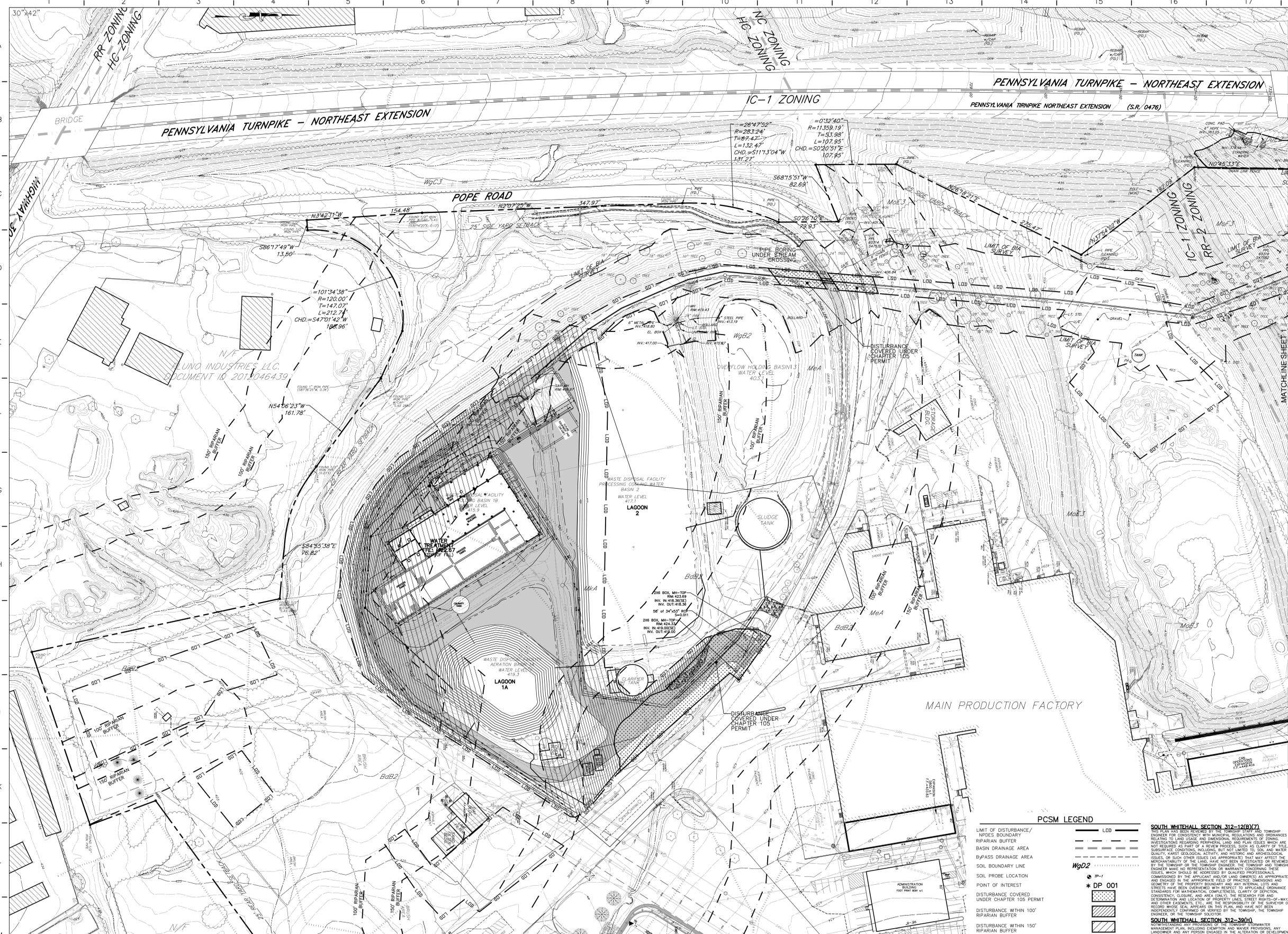
REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE
1.				1.				1.			
2.				2.				2.			

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Nestlé PURINA
 Engineering

DATE	11/16/2023
MADE BY	JAZ
SCALE	1"=50'
APPROVED BY	CJW
PRINTED	CJW

UTILITY PLAN 2		PLANT
SEWAGE TREATMENT UPGRADES		BLDG. NO.
SOUTH WHITEHALL TOWNSHIP		AREA NO.
LEHIGH COUNTY		DRAWING NUMBER
PENNSYLVANIA		671-C409
		REVISION
		A



PLAN PREPARED BY:
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ALLENTOWN, PA 18104-9308

LIMIT OF DISTURBANCE & NPDES BOUNDARY AREA = 11.1 ACRES
CHAPTER 105 DISTURBANCE = 10.5 ACRES
CHAPTER 105 DISTURBANCE = 0.50 ACRES

DISCHARGE POINT NUMBERING TO START AT DPO06 TO COINCIDE WITH NESTLE PURINA PETCARE FACILITY EXISTING OUTFALL DISCHARGE POINTS.

RECEIVING WATERS:
UNIT TO JORDAN CREEK;
HQ-CWF, MF

SEE DRAWINGS 671-C413 & 671-C414 FOR ADDITIONAL NOTES AND DETAILS

ANY EXCESSIVE OR UNSUITABLE MATERIAL SHALL BE TAKEN OFFSITE TO A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. IMPORTED FILL SHALL ONLY BE RECEIVED FROM A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THE SITE OF ALL IMPORT/EXPORT HAS AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. ANY MATERIAL EXPORTED OFFSITE MUST MEET THE CLEAN FILL POLICY.

- PCSM BMP LIST**
- RAIN GARDEN
 - ⊙ BMP ID#
- CRITICAL STAGES OF PCSM IMPLEMENTATION**
- CRITICAL STAGES OF POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION SHOULD BE OBSERVED AND/OR INSPECTED BY AN INDEPENDENT PROFESSIONAL OR DESIGNER. THESE CRITICAL STAGES INCLUDE THE CONSTRUCTION OF CRITICAL BMPS AND ANY OTHER ACTIVITIES AS MAY BE REQUIRED BY THE DEP OR THE CONSERVATION DISTRICT. THESE CRITICAL STAGES INCLUDE:
- EXCAVATION & INSTALLATION OF RAIN GARDENS
 - FIELD VERIFY TRIBUTARY DRAINAGE AREAS TO THE PROPOSED RAIN GARDENS
 - RIPARIAN BUFFER INSTALLATION
 - VERIFY ALL SITE RESTORATION AREAS HAVE BEEN RESTORED BACK TO THE ORIGINAL COVER TYPE AFTER CONSTRUCTION.
- A LICENSED PROFESSIONAL QUALIFIED TO OBSERVE AND INSPECT THE ABOVE SHOULD BE CONTACTED AT LEAST THREE (3) DAYS PRIOR TO EXECUTION OF ANY CRITICAL STAGES.

SINKHOLE NOTE
SINKHOLES SHALL BE REPAIRED UNDER THE DIRECTION OF A PROFESSIONAL GEOLOGIST OR GEOTECHNICAL ENGINEER.

PERMIT TERMINATION NOTE:
WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN, OR UPON SUBMISSION OF THE "NOT" IF SOONER, THE PERMITTEE SHALL FILE WITH THE COUNTY CONSERVATION DISTRICT A STATEMENT SIGNED BY A LICENSED PROFESSIONAL AND BY THE PERMITTEE CERTIFYING THAT THE WORK IS PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE PERMIT AND THE APPROVED PCSM PLANS.

BMP MODIFICATION
NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING OR VEGETATION INTO A STORMWATER BMP, WHICH WOULD LIMIT OR ALTER THE FUNCTIONING OF THE BMP.

PCSM RECORDING NOTE
THE PCSM PLANS INCLUDED IN THIS DEVELOPMENT PLAN SET SHALL BE RECORDED WITH THE LEHIGH COUNTY RECORDER OF DEEDS. SEE TITLE SHEET FOR RECORDING CERTIFICATION.

RECYCLING OR DISPOSAL OF MATERIALS:
CONSTRUCTION WASTES FROM LAND DISTURBANCE AND DEVELOPMENT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS SUITABLE FOR SUCH WASTES IN ACCORDANCE WITH PA DEP REGULATIONS. EXCESS SOIL/ROCK SHALL BE UTILIZED ON SITE TO IMPROVE FINAL GRADING OF LOW AREA LOTS. THESE WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

THE OPERATOR SHALL ASSURE THAT AN E&C CONTROL PLAN IS PREPARED, APPROVED BY THE GOVERNING CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL/ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.

RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THIS PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH PA DEP RULES AND REGULATIONS.

SEDIMENT REMOVED FROM EROSION CONTROLS AND FACILITIES SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN TPO/SOIL STOCKPILES.

ANTICIPATED CONSTRUCTION WASTES INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:

- SEDIMENT
- TRASH/DEBRIS
- VEGETATION CLIPPINGS AS MAY RESULT FROM MAINTENANCE
- PACKAGING MATERIAL

WETLANDS NOTE
WETLANDS ARE NOT LOCATED WITHIN THE PROJECT SITE. WOODARD AND CURRAN PUBLISHED WETLAND AND WATERBODY DELINEATIONS IN 2021 AND 2023. NO WETLANDS ARE IMPACTED BY THE PROPOSED DEVELOPMENT.

PCSM LEGEND

LIMIT OF DISTURBANCE/ NPDES BOUNDARY	---	LDD
RIPARIAN BUFFER	---	
BASEIN DRAINAGE AREA	---	
BYPASS DRAINAGE AREA	---	
SOIL BOUNDARY LINE	---	
SOIL PROBE LOCATION	●	
POINT OF INTEREST	★	DP 001
DISTURBANCE COVERED UNDER CHAPTER 105 PERMIT	▨	
DISTURBANCE WITHIN 100' RIPARIAN BUFFER	▨	
DISTURBANCE WITHIN 150' RIPARIAN BUFFER	▨	

DRAINAGE AREA TABLE

RAIN GARDEN 1: 0.49 ACRES
RAIN GARDEN 2: 0.32 ACRES
BYPASS AREA: 0.80 ACRES

NOTE: RESTORATION AREAS WERE NOT INCLUDED AS PART OF THE STORMWATER RATE ANALYSIS.

SOUTH WHITEHALL SECTION 312-12(B)(7)
THE TOWNSHIP STORMWATER MANAGEMENT PLAN AND STORMWATER MANAGEMENT PLAN, INCLUDING EXEMPTION AND WAIVER PROVISIONS, ANY LAWS AND ANY REGULATIONS ENACTED OR TO BE ENACTED BY THE TOWNSHIP OF LEHIGH COUNTY, PENNSYLVANIA, WHICH MAY AFFECT STORMWATER RUNOFF CHARACTERISTICS SHALL BE REVIEWED AND APPROVED BY THE TOWNSHIP ENGINEER. THE TOWNSHIP ENGINEER SHALL BE RESPONSIBLE FOR REVIEWING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS, AND FOR APPROVING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS. THE TOWNSHIP ENGINEER SHALL BE RESPONSIBLE FOR REVIEWING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS, AND FOR APPROVING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS. THE TOWNSHIP ENGINEER SHALL BE RESPONSIBLE FOR REVIEWING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS, AND FOR APPROVING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS.

SOUTH WHITEHALL SECTION 312-38(H)
THE TOWNSHIP ENGINEER SHALL BE RESPONSIBLE FOR REVIEWING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS, AND FOR APPROVING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS. THE TOWNSHIP ENGINEER SHALL BE RESPONSIBLE FOR REVIEWING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS, AND FOR APPROVING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS. THE TOWNSHIP ENGINEER SHALL BE RESPONSIBLE FOR REVIEWING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS, AND FOR APPROVING THE STORMWATER MANAGEMENT PLAN AND WAIVER PROVISIONS.

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BENCHMARK:
A BENCHMARK FOUND ALONG THE EASTERLY RIGHT-OF-WAY FENCE OF THE NORTHEAST EXTENSION OF THE PENNSYLVANIA TURNPIKE, APPROXIMATELY 519' FEET NORTH OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY, 114' RIGHT OF TURNPIKE CENTERLINE STATION 738+11, 63 FEET SOUTHWEST OF A PPL SIEGRIED-WESCOVILLE TRANSMISSION LINE MONO POLE, ELEVATION 336.21, NAVD 88.

0 50' 100' 150'
SCALE: 1"=50'

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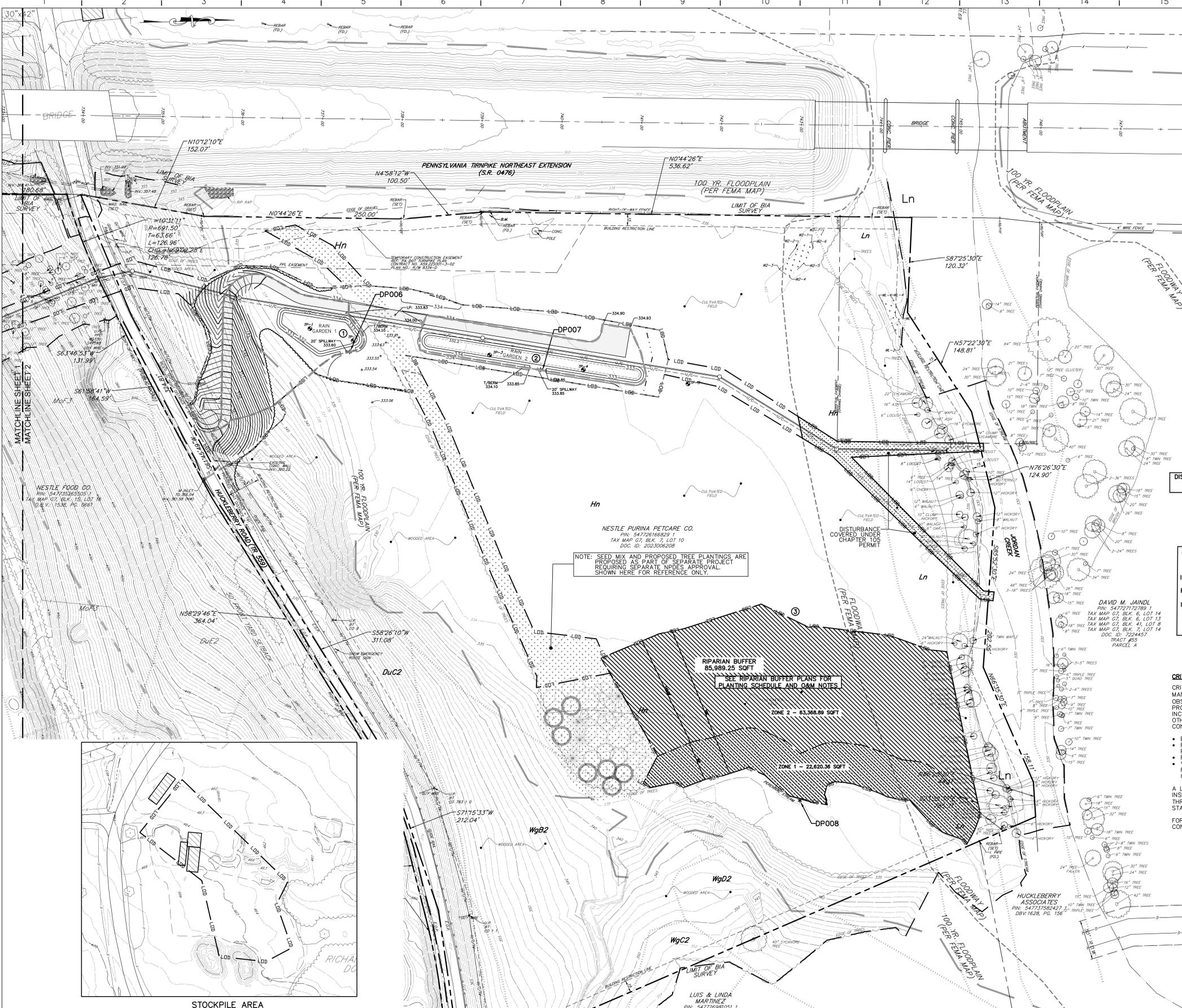
Nestlé PURINA
Engineering

DATE	11/16/2023	PLANT	
MADE BY	JAZ	BLDG. NO.	
SCALE	1" = 50'	AREA NO.	
APP'D BY	CJW	DRAWING NUMBER	671-C411
PRINTED	2/7/2024	REVISION	A

PCSM PLAN 1	
WASTEWATER TREATMENT UPGRADES	
SOUTH WHITEHALL TOWNSHIP	
LEHIGH COUNTY	
PENNSYLVANIA	

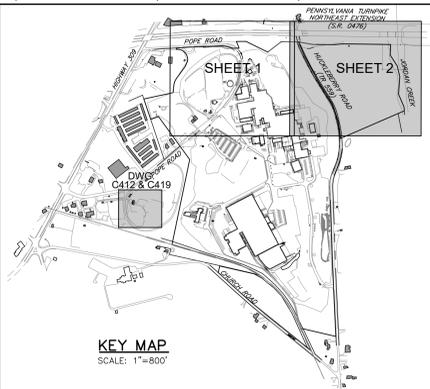
REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE
1.				1.				1.			
2.				2.				2.			

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SOUTH WHITEHALL SECTION 312-12(B)(7)
 THE DESIGN OR DEVELOPMENT OF LAND BY SUBMITTING AN APPLICATION FOR A PERMIT TO DISTURB LAND TO MUNICIPAL REGULATIONS AND ORDINANCES IS NOT GUARANTEED TO BE ACCURATE. THE ENGINEER HAS CONDUCTED VISUAL INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, HAZARD, EROSION, ACTIVITY, AND HISTORIC AND ARCHAEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE IMPLEMENTATION OF THE PLAN. THE ENGINEER HAS NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP ENGINEER HAS MADE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND INCURRED IN THE APPROPRIATE FELD OF PRACTICE. PROFESSIONAL STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DETECTION, CONSISTENCY, CLARITY, AND AREA (ONLY), THE RECORD FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY AND OTHER FEATURES, SHALL BE THE RESPONSIBILITY OF THE SUPERVISOR OF THE TOWNSHIP ENGINEER. THE TOWNSHIP ENGINEER HAS NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP ENGINEER OR THE TOWNSHIP ENGINEER.

SOUTH WHITEHALL SECTION 312-39(H)
 NOTWITHSTANDING ANY PROVISIONS OF THE TOWNSHIP STORMWATER MANAGEMENT PLAN, THE TOWNSHIP ENGINEER HAS CONDUCTED VISUAL INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, HAZARD, EROSION, ACTIVITY, AND HISTORIC AND ARCHAEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE IMPLEMENTATION OF THE PLAN. THE ENGINEER HAS NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP ENGINEER HAS MADE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND INCURRED IN THE APPROPRIATE FELD OF PRACTICE. PROFESSIONAL STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DETECTION, CONSISTENCY, CLARITY, AND AREA (ONLY), THE RECORD FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY AND OTHER FEATURES, SHALL BE THE RESPONSIBILITY OF THE SUPERVISOR OF THE TOWNSHIP ENGINEER. THE TOWNSHIP ENGINEER HAS NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP ENGINEER OR THE TOWNSHIP ENGINEER.



PCSM LEGEND

LIMIT OF DISTURBANCE/ NPDES BOUNDARY	LDD
RIPARIAN BUFFER	---
BASIN DRAINAGE AREA	---
BYPASS DRAINAGE AREA	---
SOIL BOUNDARY LINE	---
SOLL PROBE LOCATION	DP 001
POINT OF INTEREST	DP 001
DISTURBANCE COVERED UNDER CHAPTER 100 PERMIT	---
DISTURBANCE WITHIN 100' RIPARIAN BUFFER	---
DISTURBANCE WITHIN 150' RIPARIAN BUFFER	---

DRAINAGE AREA TABLE

RAIN GARDEN 1	0.84 ACRES
RAIN GARDEN 2	0.32 ACRES
BYPASS AREA	0.80 ACRES

NOTE: RESTORATION AREAS WERE NOT INCLUDED AS PART OF THE STORMWATER RATE ANALYSIS.

PLAN PREPARED BY:
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SITE ADDRESS: NESTLE PURINA PETCARE
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 ALLENTOWN, PA 18104-9308

LIMIT OF DISTURBANCE & NPDES BOUNDARY AREA = 11.1 ACRES
 CHAPTER 102 DISTURBANCE = 10.6 ACRES
 CHAPTER 103 DISTURBANCE = 0.50 ACRES

DISCHARGE POINT NUMBERING TO START AT DP006 TO COINCIDE WITH NESTLE PETCARE FACILITY EXISTING OUTFALL DISCHARGE POINTS.

RECEIVING WATERS:
 LIMIT TO JORDAN CREEK;
 HQ-CWF, MF

SEE DRAWING 671-C413 & 671-C414 FOR ADDITIONAL NOTES AND DETAILS

ANY EXCESSIVE OR UNSUITABLE MATERIAL SHALL BE TAKEN OFFSITE TO A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. IMPORTED FILL SHALL ONLY BE RECEIVED FROM A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THE SITE OF ALL IMPORT/EXPORT HAS AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. ANY MATERIAL EXPORTED OFFSITE MUST MEET THE CLEAN FILL POLICY.

PCSM BMP LIST

- 1 RAIN GARDEN
- 1 BMP ID#

CRITICAL STAGES OF PCSM IMPLEMENTATION

CRITICAL STAGES OF POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION SHOULD BE OBSERVED AND/OR INSPECTED BY A LICENSED PROFESSIONAL OR DESIGNER. THESE CRITICAL STAGES INCLUDE THE CONSTRUCTION OF CRITICAL BMPs AND ANY OTHER ACTIVITIES AS MAY BE REQUIRED BY THE DEP OR CONSERVATION DISTRICT. THESE CRITICAL BMPs INCLUDE:

- EXCAVATION & INSTALLATION OF RAIN GARDENS
- FIELD VERIFY TRIBUTARY DRAINAGE AREAS TO THE PROPOSED RAIN GARDENS
- RIPARIAN BUFFER INSTALLATION
- VERIFY ALL SITE RESTORATION AREAS HAVE BEEN RESTORED BACK TO THE ORIGINAL COVER TYPE AFTER CONSTRUCTION.

A LICENSED PROFESSIONAL QUALIFIED TO OBSERVE AND INSPECT THE ABOVE SHOULD BE CONTACTED AT LEAST THREE (3) DAYS PRIOR TO EXECUTION OF ANY CRITICAL STAGES.

FOR FULL BMP INSTALLATION SEQUENCE REFER TO CONSTRUCTION SEQUENCE ON SHEET ESD-2.

SINKHOLE NOTE:
 SINKHOLES SHALL BE REPAIRED UNDER THE DIRECTION OF A PROFESSIONAL GEOLOGIST OR GEOTECHNICAL ENGINEER.

PERMIT TERMINATION NOTE:
 WITHIN 30 DAYS AFTER COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN, OR UPON SUBMISSION OF THE "NOTI" IF SOONER, THE PERMITEE SHALL FILE WITH THE COUNTY CONSERVATION DISTRICT A STATEMENT SIGNED BY A LICENSED PROFESSIONAL AND BY THE PERMITEE CERTIFYING THAT THE WORK IS PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE PERMIT AND THE APPROVED PCSM PLANS.

BMP MODIFICATION:
 NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING OR VEGETATION INTO A STORMWATER BMP, WHICH WOULD LIMIT OR ALTER THE FUNCTIONING OF THE BMP.

PCSM RECORDING NOTE:
 THE PCSM PLANS INCLUDED IN THIS DEVELOPMENT PLAN SET SHALL BE RECORDED WITH THE LEHIGH COUNTY RECORDER OF DEEDS. SEE TITLE SHEET FOR RECORDING CERTIFICATIONS.

RECYCLING OR DISPOSAL OF MATERIALS:
 CONSTRUCTION WASTES FROM LAND DISTURBANCE AND DEVELOPMENT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS SUITABLE FOR SUCH WASTES IN ACCORDANCE WITH PA DEP REGULATIONS. EXCESS SOIL/ROCK SHALL BE UTILIZED ON SITE TO IMPROVE FINAL GRADING OF LOW AREA LOTS. THESE WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

THE OPERATOR SHALL ASSURE THAT AN EAS CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE GOVERNING CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL/ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.

RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THIS PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH PA DEP RULES AND REGULATIONS.

SEDIMENT REMOVED FROM ESPCP CONTROLS AND FACILITIES SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL STOCKPILES.

ANTICIPATED CONSTRUCTION WASTES INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:

- SEDIMENT
- TRASH/DEBRIS
- VEGETATION CLIPPINGS AS MAY RESULT FROM MAINTENANCE
- PACKAGING MATERIAL

WETLANDS NOTE:
 WETLANDS ARE LOCATED WITHIN THE PROJECT SITE. WOODARD AND CURRAN PUBLISHED WETLAND AND WATERBODY DELINEATIONS IN 2021 AND 2023. NO WETLANDS ARE IMPACTED BY THE PROPOSED DEVELOPMENT.

811
 Know what's below.
 Call before you dig.

BENCHMARK:
 A BENCHMARK FOUND ALONG THE EASTERLY RIGHT-OF-WAY FENCE OF THE NORTHEAST EXTENSION OF THE PENNSYLVANIA TURNPIKE, APPROXIMATELY 519' FEET NORTH OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY, 114' RIGHT OF TURNPIKE CENTERLINE STATION 739+11, 63' FEET SOUTHWEST OF A PPL SECURED-WEISSVILLE TRANSMISSION LINE MONO POLE. ELEVATION 336.21, NAVD 88.

SCALE: 1" = 50'

NO.	REVISION	DATE	BY	APP'D BY
1.	NPDES SUBMISSION	JAZ CDC 11/21/2023		
2.	TOWNSHIP RESUBMISSION	JAZ CDC 2/8/2024		

BARRY ISETT & ASSOCIATES
 MULTI-DISCIPLINE ENGINEERS AND CONSULTANTS

610.398.0904
 barryisett.com
 5420 Crackersport Road
 Allentown, PA 18104

41 Hutchins Drive
 Portland, Maine 04102
 800.426.4262 | www.woodardcurran.com

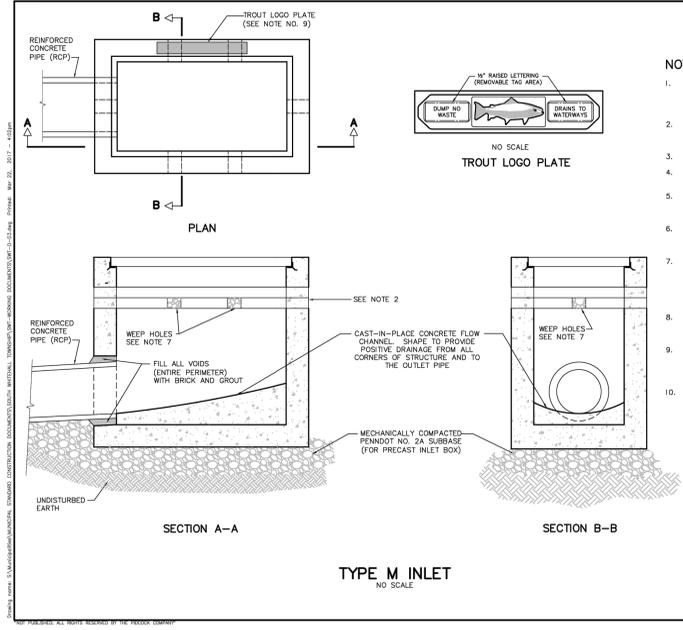
WOODARD & CURRAN
 COMMITMENT & INTEGRITY DRIVE RESULTS

DATE	11/16/2023	PCSM PLAN 2 WASTEWATER TREATMENT UPGRADES	PLANT	
MADE BY	JAZ		BLDG. NO.	
SCALE	1" = 50'		AREA NO.	
PRINTED	2/7/2024		DRAWING NUMBER	671-C412
DESIGNED BY	CJW		LEHIGH COUNTY	REVISION
PROJECT NO.	CJW		PENNSYLVANIA	A

NO.	REVISION	DATE	BY	APP'D BY	NO.	REVISION	DATE	BY	APP'D BY
1.	NPDES SUBMISSION	JAZ CDC 11/21/2023			1.	NPDES SUBMISSION	JAZ CDC 11/21/2023		
2.	TOWNSHIP RESUBMISSION	JAZ CDC 2/8/2024			2.	TOWNSHIP RESUBMISSION	JAZ CDC 2/8/2024		

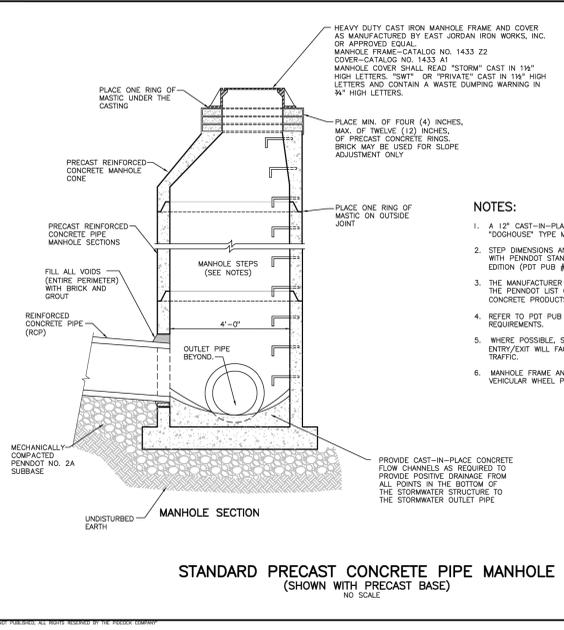
30" x 42" CLEAN FILL NOTES

- IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH (CONTRACTOR).
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THIS TERM INCLUDES SPOILED MATERIAL USED ASHphalt, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILL ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).
- CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
- ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.
- ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
- FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 REGULATIONS AND 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM.



- NOTES:**
- CONCRETE INLET AND TOP UNITS SHALL BE AS DETAIL IN PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, CURRENT EDITION (POT PUB #72M) RC-45M, INLETS, CONCRETE TOP UNITS CAST-IN-PLACE AND PRECAST.
 - PROVIDE A MINIMUM OF 4 INCHES AND MAXIMUM OF 8 INCHES VERTICALLY OF PRECAST CONCRETE COLLARS WITH THROUGH-WALL OPENINGS ADJACENT TO SUBGRADE TO SERVE AS WEEP HOLES.
 - ALL EXPOSED EDGES SHALL BE CHAMFERED 1"x1".
 - STEPS SHALL BE PROVIDED WHENEVER STRUCTURE EXCEEDS 4 FEET IN DEPTH.
 - STEP DIMENSIONS AND CONFIGURATION SHALL BE IN ACCORDANCE WITH PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, CURRENT EDITION (POT PUB #72M), RC-39M.
 - PROVIDE STRUCTURAL STEEL GRATE - BICYCLE SAFE, AS DETAILED IN PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, CURRENT EDITION (POT PUB #72M) RC-45M, INLET GRATES.
 - THE BACKFILL AROUND THE WEEPHOLES SHALL NOT CONTAIN SCREENINGS, I.E., PLACE PENNDOT NO. 3 OR LARGER STONES AS REQUIRED BY ENGINEER, WITHOUT SCREENINGS TO ALLOW WATER TO ENTER WEEPHOLES. PLACE GEOTEXTILE FABRIC AROUND BACKFILL TO PREVENT MIGRATION OF SUBGRADING MATERIAL INTO VIDS OF BACKFILL.
 - THE MANUFACTURER OF THE INLETS SHALL BE INCLUDED ON THE PENNDOT LIST OF APPROVED MANUFACTURERS OF PRECAST CONCRETE PRODUCTS (BULLETIN 15).
 - TOP UNITS MUST CONTAIN THE 24-INCH BY 3-INCH TROUT LOGO PLATE AND TAGS DISPLAYING A DUMPING WARNING AS MANUFACTURED BY EAST JORDAN IRON WORKS INC. (CATALOG NO. 7030P-1) TO BE READ FROM ROADWAY SIDE OF INLET.
 - REFER TO CURRENT EDITION, (POT PUB #72M), RC-45M FOR ADDITIONAL INLET BOX REQUIREMENTS.

REVISION	SOUTH WHITEHALL TOWNSHIP STANDARD CONSTRUCTION DETAILS LEHIGH COUNTY, PENNSYLVANIA
DATE	08/20/2024
BY	SWT-03
DESCRIPTION	PRECAST CONCRETE TYPE M INLET



- NOTES:**
- A 12" CAST-IN-PLACE, REINFORCED BASE MAY BE USED FOR A "DOORHOUSE" TYPE MANHOLE.
 - STEP DIMENSIONS AND CONFIGURATION SHALL BE IN ACCORDANCE WITH PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, CURRENT EDITION (POT PUB #72M), RC-39M.
 - THE MANUFACTURER OF THE MANHOLES SHALL BE INCLUDED ON THE PENNDOT LIST OF APPROVED MANUFACTURERS OF PRECAST CONCRETE PRODUCTS (BULLETIN 15).
 - REFER TO POT PUB #72M, RC-39M FOR ADDITIONAL REQUIREMENTS.
 - WHERE POSSIBLE, STEPS SHALL BE ORIENTED SUCH THAT ENTRY/EXIT WILL FACE THE GENERAL DIRECTION OF ONCOMING TRAFFIC.
 - MANHOLE FRAME AND COVER SHALL BE PLACED OUT OF VEHICULAR WHEEL PATH AS MUCH AS PRACTICAL.

REVISION	SOUTH WHITEHALL TOWNSHIP STANDARD CONSTRUCTION DETAILS LEHIGH COUNTY, PENNSYLVANIA
DATE	08/20/2024
BY	SWT-01
DESCRIPTION	STANDARD PRECAST CONCRETE PIPE MANHOLE

UTILITY NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE SPECIFICATIONS AND STANDARDS OF SOUTH WHITEHALL TOWNSHIP & THE LEHIGH COUNTY CONSERVATION DISTRICT. INTERPRETATION THEREOF SHALL REST WITH THE TOWNSHIP ENGINEER, AUTHORITY ENGINEER, OR CONSERVATION DISTRICT REPRESENTATIVE, RESPECTIVELY.
- UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR FOR RELOCATION DUE TO CONFLICTS WITH RIDE FOOTINGS AND SHALL BE RECONNECTED ACCORDING TO SOUTH WHITEHALL TOWNSHIP SPECIFICATIONS.
- ALL HDPE PIPE SHALL BE SMOOTH BORE INTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE PIPING WITH WATER TIGHT JOINTS.
- AT NO TIME SHALL STORM SEWER PIPE ENTER/EXIT THE CORNER OF INLET BOXES.
- ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- THE FINAL GRADE ELEVATION WITHIN THE 100-YEAR FLOODWAY SHALL MATCH THE EXISTING GRADE ELEVATION.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE COVER OVER ALL STORMWATER AND UTILITY PIPING, PER THE MANUFACTURER'S SPECIFICATIONS.
- RAMP SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION OR 50:1 CROSS SLOPE. LANDINGS SHALL NOT EXCEED 50:1 SLOPE IN ANY DIRECTION.
- FENCE CONTRACTOR TO COORDINATE FENCE POST LOCATIONS WITH STORM AND OTHER UTILITIES.

POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) STANDARD NOTES:

- PERMIT TERMINATION**
- UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.24(2)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH §§ 102.4 AND 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS), THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT, RESPECTIVELY.

- TEMPORARY COVER FOR EROSION CONTROL**
- INITIAL PROTECTION: APPLY TEMPORARY SEEDING WHEN PERMANENT SEEDING IS DELAYED OR OUT OF PLANNING SEASON.
- SITE PREPARATION: INCORPORATE LIME AND FERTILIZER (RATE BASED ON SOIL TESTS) INTO THE TOP 4-6" OF TOPSOIL. IF SOIL TESTS ARE NOT AVAILABLE, APPLY ONE TON PER ACRE OF AGRICULTURAL LIMESTONE AND 10-10-10 FERTILIZER AT 500 LB PER ACRE.

- PERMANENT COVER FOR STABILIZATION**
- PERMANENT: ALL DISTURBED AREAS TO BE PREPARED AND SEEDED WITH THE FOLLOWING SPECIES AT THE NOTED SEEDING RATE FOLLOWING FINAL GRADING:
- SEEDING DATES: MARCH 15 - MAY 15
AUGUST 15 - OCTOBER 15

SEASON	SEEDS	RATE (LB./ACRE)
SPRING (MARCH 15 TO JUNE 15)	ANNUAL RYEGRASS or SPRING OATS	40
SUMMER (JUNE 16 TO AUGUST 15)	ANNUAL RYEGRASS	40
FALL (AUGUST 16 TO NOVEMBER 1)	ANNUAL RYEGRASS or WINTER RYE	168

- SEED SPECIES BY SITE**
- | | | |
|------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|
| LAWNS | KENTUCKY BLUEGRASS (POA PRATENSIS) and TURF-TYPE PERENNIAL RYEGRASS (LOLIUM PERENNE) and FINE (RED or CHEWING) FESCUE (FESTUCA RUBRA/COMMUTATA) | 4
1.5
2.5 |
| ATHLETIC FIELDS | KENTUCKY BLUEGRASS (POA PRATENSIS) and TURF-TYPE PERENNIAL RYEGRASS (LOLIUM PERENNE) and TURF-TYPE TALL FESCUE (FESTUCA ARUNDINACEA) | 1.5
3
3 |
| SLOPES AND BANKS | CHEWING FESCUE (FESTUCA RUBRA/COMMUTATA) and BLUE FESCUE (FESTUCA OVINA GLAUCA) and HARD FESCUE (FESTUCA DURIVILIA) and CREEPING RED FESCUE (FESTUCA RUBRA) and SLENDER FESCUE (FESTUCA RUBRA TRICHOPHYLLA) and DAWSON RED FESCUE (FESTUCA RUBRA DAWSON) and ANNUAL RYEGRASS (FESTUCA MULTIFLORUM) | 2
2
1
1
1
0.5 |

- PCSM PLAN COMPLIANCE NOTE**
- THIS PLAN MINIMIZES EXTENT OF IMPERVIOUS AREA BY CONSTRUCTING THE MINIMAL AMOUNT OF PARKING SPACES AND USING SPRAY IRRIGATION FOR VOLUME AND WATER QUALITY MANAGEMENT. THIS PLAN MINIMIZES EXTENT OF EXISTING DISCHARGE POINTS. THIS PLAN MINIMIZES EXTENT OF LAND CLEARING AND GRADING BY ONLY DISTURBING AREAS NECESSARY FOR CONSTRUCTION AND FORECASTING THE MAXIMUM EXTENT PRACTICABLE. DURATION OF EARTH DISTURBANCE HAS BEEN LIMITED BY PROVIDING AN EARLY SEEDING OF CONSTRUCTION TO THE CONTRACTOR. SOIL COMPACTION IS MINIMIZED BY PROVIDING THE EXTENT AND DURATION OF CONSTRUCTION ACTIVITIES. THE PLAN UTILIZES A PROPOSED BMP TO MITIGATE THE 2-YEAR VOLUME INCREASE. WATER QUALITY IS BEING MITIGATED BY LOCAL VALVE FEATURES, PROTECTING NATURAL DRAINAGE FEATURES, SPRAY IRRIGATION, AND DETENTION.

CONSTRUCTION, OWNERSHIP, OPERATIONS, & MAINTENANCE PROCEDURES FOR BMP'S

- POST CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) AS PROPOSED HEREON, SHALL BE OWNED, OPERATED, AND MAINTAINED AS FOLLOWS:**
- NESTLE PURINA PETCARE
2050 POPE ROAD
ALLENTOWN, PA 18104-9308
610-398-4789
- OPERATIONS AND MAINTENANCE RESPONSIBILITIES SHALL BE TRANSFERRED TO ANY SUBSEQUENT OWNER. UPON TRANSFER, THE PARTY CURRENTLY RESPONSIBLE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS PART OF THIS APPROVED PCSM PLAN TO THE NEW OWNER.
- BMPs, AS PROPOSED, SHALL BE OPERATED & MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

VEGETATIVE STABILIZATION

- VEGETATED AREAS SHOULD BE MAINTAINED AT A 70% UNIFORM PERENNIAL VEGETATIVE COVER.
- DEAD OR THINNING VEGETATION SHOULD BE AMENDED OR REVEGETATED IN ACCORDANCE WITH THIS PLAN.

- CLEAN FILL / ENVIRONMENTAL DUE DILIGENCE NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING CLEAN FILL AND PERFORMING ENVIRONMENTAL DUE DILIGENCE. CLEAN FILL IS DEFINED AS UNCONTAMINATED, NONWATER-SOLUBLE, NONDECOMPOSABLE INERT SOLID MATERIAL USED TO LEVEL AN AREA OR BRING THE AREA TO GRADE. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF A REGULATED WATERWAY. USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND RECOGNIZABLE AS SUCH. (25 PA. CODE §§ 287.1, 271.1)
 - ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP AND USE HISTORY OF PROPERTY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ENVIRONMENTAL ASSESSMENTS AND AUDITS.

SEEDING SCHEDULE

- SPECIFICATION: THE FOLLOWING SPECIFICATION SHALL BE USED FOR THIS PROJECT UNLESS OTHERWISE NOTED. Penn State College of Agriculture, Sciences, EROSION CONTROL AND CONSERVATION PLANTINGS ON NONCROPLAND by Peter Landschoot, 1997 or as revised.
- PRIOR TO STARTING EARTH DISTURBANCE, CONTRACTOR SHALL SAMPLE THE SITE TOPSOIL AND OBTAIN A SOIL TEST FROM A REPUTABLE LABORATORY. AT A MINIMUM, THE TEST SHALL INCLUDE SOIL pH, COMPOSITION, AND % ORGANICS ALONG WITH RECOMMENDATIONS FOR pH BALANCE, FERTILIZATION, AND LIMING.

- BEFORE PLACING TOPSOIL, PREPARE SUBGRADE TO A DEPTH 6" BELOW FINAL GRADE. SCARIFY SUBGRADE WITH DEEP TINE PLOW, SCREEN TOPSOIL AND UNIFORMLY BLEND IN 20-25% BY VOLUME LEAF MOULD OR PROCESSED MUSHROOM SUBSTRATE. SPREAD AMENDED/SCREENED TOPSOIL OVER SUBGRADE TO OBTAIN FINISHED GRADE. COMPACT SURFACE TO 80-85% COMPACTION. DO NOT GET COMPACT.
- TEMPORARY COVER FOR EROSION CONTROL**
- INITIAL PROTECTION: APPLY TEMPORARY SEEDING WHEN PERMANENT SEEDING IS DELAYED OR OUT OF PLANNING SEASON.

- SITE PREPARATION: INCORPORATE LIME AND FERTILIZER (RATE BASED ON SOIL TESTS) INTO THE TOP 4-6" OF TOPSOIL. IF SOIL TESTS ARE NOT AVAILABLE, APPLY ONE TON PER ACRE OF AGRICULTURAL LIMESTONE AND 10-10-10 FERTILIZER AT 500 LB PER ACRE.
- METHOD: APPLY SEED USING SURFACE BROADCASTING OR HYDROSEEDING.

- PERMANENT COVER FOR STABILIZATION**
- PERMANENT: ALL DISTURBED AREAS TO BE PREPARED AND SEEDED WITH THE FOLLOWING SPECIES AT THE NOTED SEEDING RATE FOLLOWING FINAL GRADING:
- SEEDING DATES: MARCH 15 - MAY 15
AUGUST 15 - OCTOBER 15
- SITE PREPARATION: INCORPORATE LIME AND FERTILIZER (RATE BASED ON SOIL TESTS) INTO THE TOP 6" OF TOPSOIL. IF SOIL TESTS ARE NOT AVAILABLE, APPLY SIX TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 10-20-20 FERTILIZER AT 1000 LB PER ACRE.

- MULCHING: APPLY THREE TONS PER ACRE OF STRAW TO ACHIEVE A LOOSE LAYER 3/4-1" DEEP. USE JUTE MATTING RATHER THAN STRAW ON STEEP SLOPES. APPLY CELLULOSE FIBER TACKIFIER OVER STRAW MULCH AT A RATE OF 800-1000 LBS. PER ACRE. HYDROMULCHING IS ACCEPTABLE WHEN BLOWING OF STRAW IS A CONCERN.

- METHOD: APPLY SEED USING DRILL FERTIG AND PACKER WHEEL PLANT OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN OPENLY AND SEEDING SHALL BE PLACED 1 TO 1.5 INCHES DEEP. BROADCAST SEEDING PERMITTED WITH IMMEDIATE MULCH COVER. HYDROSEEDING OF PERMANENT SEEDING IS NOT PERMITTED.

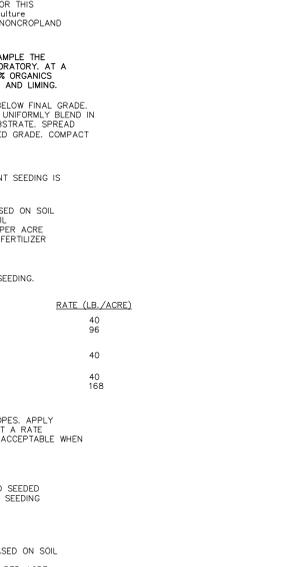
SEED SPECIES BY SITE	RATE (LB./1000 SF)
LAWNS	4 1.5 2.5
ATHLETIC FIELDS	1.5 3 3
SLOPES AND BANKS	2 2 1 1 1 0.5

- SEED SPECIES BY SITE**
- | | | |
|------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|
| LAWNS | KENTUCKY BLUEGRASS (POA PRATENSIS) and TURF-TYPE PERENNIAL RYEGRASS (LOLIUM PERENNE) and FINE (RED or CHEWING) FESCUE (FESTUCA RUBRA/COMMUTATA) | 4
1.5
2.5 |
| ATHLETIC FIELDS | KENTUCKY BLUEGRASS (POA PRATENSIS) and TURF-TYPE PERENNIAL RYEGRASS (LOLIUM PERENNE) and TURF-TYPE TALL FESCUE (FESTUCA ARUNDINACEA) | 1.5
3
3 |
| SLOPES AND BANKS | CHEWING FESCUE (FESTUCA RUBRA/COMMUTATA) and BLUE FESCUE (FESTUCA OVINA GLAUCA) and HARD FESCUE (FESTUCA DURIVILIA) and CREEPING RED FESCUE (FESTUCA RUBRA) and SLENDER FESCUE (FESTUCA RUBRA TRICHOPHYLLA) and DAWSON RED FESCUE (FESTUCA RUBRA DAWSON) and ANNUAL RYEGRASS (FESTUCA MULTIFLORUM) | 2
2
1
1
1
0.5 |

- DRAINAGE DITCHES, DETENTION BASIN (MOWED)**
- | | |
|---------------------------------------------------------------------------------------------------------------------|----------------------|
| ANNUAL RYEGRASS and REDTOP (AGROSTIS ALBA) and TALL FESCUE (FESTUCA ARUNDINACEA) and SWITCHGRASS (PANICUM VIRGATUM) | 2
0.5
0.5
2 |
|---------------------------------------------------------------------------------------------------------------------|----------------------|
- DETENTION BASIN (ONE MOWING ANNUALLY)**
- | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| REDDTOP (AGROSTIS ALBA) and CREEPING BENTGRASS (AGROSTIS STOLONIFERA) and RIVERBANK WILD RYE (ELYMUS RIPARIUS) and FOWL BLUEGRASS (POA PALUSTRIS) and ALKALIGRASS (PUCCELLINIA DISTANS) and ANNUAL RYEGRASS | 0.5
0.5
0.5
0.5
2 |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|

- * ALL SEED TO BE MIN. 98% PURE LIVE SEED.
- SUGGESTED VARIETIES**
- | | |
|--------------------|---------------------------------------------|
| FINE FESCUE | RELIANT II, SR310, DISCOVERY, OSPREY |
| TALL FESCUE | Houddog V, Montauk, Morrison, and Apache II |
| WINTER RYE | ARCOOSTOOK OR BALLEE TYPE |
| KENTUCKY BLUEGRASS | SR 2109, NORTH STAR, BLACKSBURG, BRILLIANT |

2'x6' JUNCTION BOX



TYPICAL STORM PIPE TRENCH & BACKFILL



- NOTES:**
- EXCAVATE TRENCH BOX AND INSTALL SHORING AS REQUIRED TO COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND CODES.
 - IF UNSUITABLE MATERIAL IS FOUND, UNDERGO AS DIRECTED BY THE ENGINEER AND BACKFILL WITH SUITABLE MATERIAL TO BOTTOM OF BEDDING ELEVATION.
 - KEEP EXCAVATIONS DRY AND FREE OF WATER. INTERCEPT AND DIVERT SURFACE DRAINAGE AWAY FROM EXCAVATIONS. DEWATER ANY PRECIPITATION AND SUBSURFACE WATER FROM EXCAVATIONS.
 - DO NOT ADVANCE TRENCHING OPERATIONS MORE THAN 200 FEET AHEAD OF COMPLETED PIPING.
 - ALL TRENCHES WITHIN PAVED AREAS SHALL BE BACKFILLED WITH FULL DEPTH PA DOT NO. 2A COARSE AGGREGATE.

SINKHOLE MITIGATION DETAIL



- NOTES:**
- OVER EXCAVATE SINKHOLE THROAT TO REMOVE ALL SOIL.
 - LOWEST ROCK THROAT OR FRACTURED BEDROCK BE ENCOUNTERED IN BOTTOM OF EXCAVATION. HIGH SLUMP CONCRETE FLOORING SHALL BE PLACED IN HOLE SUFFICIENT TO FILL THROAT ON FRACTURES.
 - IF NO THROAT OR BEDROCK IS ENCOUNTERED EXCAVATE UNTIL FIRM SOIL IS ENCOUNTERED ON ALL SIDES AND BOTTOM OF EXCAVATION.
 - AFTER CLEAN CONCRETE OR SHOOT GUN, PLACE BENTONITE CLAY/SOIL CAP TO 2 INCHES BELOW FIN. GRADE. MOD. PROCT. FILL. PLACE COMPACTED FINE-GRAINED NATIVE CLAY FILL TO 10% BELOW FIN. GRADE. MOD. PROCT. FILL TO 15% BELOW FIN. GRADE.
 - INSTALL BENTONITE CLAY/SOIL CAP 10" BEYOND THE EXCAVATION.
 - GRADE NATIVE CLAY TO DRAIN AWAY FROM THE AREA.
 - PLACE 4" X 4" X 4" CONCRETE CURB TO STABILIZE.
 - ALL STABILIZATION WORK SHOULD BE DONE UNDER SUPERVISION OF A PA LICENSED PROFESSIONAL GEOLOGIST OR PROFESSIONAL ENGINEER EXPERIENCED WITH KARST GEOLOGY AND FAMILIAR WITH SITE AND FOUNDATION CONDITIONS.
 - HEREBY AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE MUNICIPALITY AND ADVISE REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES OR ACTION OR SUITS WHICH MAY BE BROUGHT OR RELATE TO THE REVIEW, APPROVAL, CONSTRUCTION OR OBSERVATION OF THE DRAINAGE PLAN AND STORMWATER MANAGEMENT FACILITIES.

SOUTH WHITEHALL SECTION 312-12(B)(7)

- THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONFLICTS WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING. QUESTIONS REGARDING MUNICIPAL LAND AND PLAN USES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, SHALL BE THE RESPONSIBILITY OF THE APPLICANT. THE REVIEWER ASSUMES NO LIABILITY FOR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE SUBSTANTIATION OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OF THE TOWNSHIP ENGINEER, THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMANDED BY THE APPLICANT AND LAND OWNERS AS APPROPRIATE, AND ENDED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND DISTANCES HAVE BEEN VERIFIED BY THE TOWNSHIP ENGINEER AND TOWNSHIP ENGINEER. 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PLANTING SCHEDULE						
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	MIN. HT.	SPACING	
ZONE 1 SEEDLINGS 25,090.39 S.F., 0.58 ACRES						
7	Acer rubrum	Red Maple	2" CAL	12"-18"	20X20'	
7	Populus deltoides	Eastern Cottonwood	2" CAL	12"-18"	20X20'	
7	Betula nigra	River Birch	2" CAL	12"-18"	20X20'	
7	Amelanchier arborea	Serviceberry	2" CAL	12"-18"	20X20'	
7	Platanus occidentalis	Sycamore	2" CAL	12"-18"	20X20'	
7	Quercus palustris	Pin Oak	2" CAL	12"-18"	20X20'	
7	Quercus bicolor	Swamp White Oak	2" CAL	12"-18"	20X20'	
49	TOTAL					
ZONE 2 SEEDLINGS 63,368.89 S.F., 1.46 ACRES						
14	Phloxia arbutifolia	Red Chokeberry	2" CAL	12"-18"	20X20'	
14	Clethra alnifolia	Summersweet	2" CAL	12"-18"	20X20'	
14	Cornus amomum	Silky dogwood	2" CAL	12"-18"	20X20'	
14	Betula nigra	River Birch	2" CAL	12"-18"	20X20'	
14	Acer rubrum	Red Maple	2" CAL	12"-18"	20X20'	
14	Cercis sericea	Red-osier dogwood	2" CAL	12"-18"	20X20'	
14	Quercus palustris	Pin Oak	2" CAL	12"-18"	20X20'	
14	Platanus occidentalis	Sycamore	2" CAL	12"-18"	20X20'	
14	Salix discolor	American Pussy-Willow	2" CAL	12"-18"	20X20'	
14	Sambucus canadensis	American elder	2" CAL	12"-18"	20X20'	
14	Viburnum cassinoides	Witherod	2" CAL	12"-18"	20X20'	
14	Viburnum recognitum	Northern arrowwood	2" CAL	12"-18"	20X20'	
14	Vaccinium corymbosum	Highbush blueberry	2" CAL	12"-18"	20X20'	
182	TOTAL					

NOTE:
TREE SPACING BASED ON ACHIEVING 60-80% TREE CANOPY COVER.



Know what's below.
Call before you dig.

"PURSUANT TO THE REQUIREMENTS OF PA ACT 287, AS AMENDED, I/SETT CONTACTED ONE CALL INC. FOR A ROUTINE LOCATION REQUEST. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE IN ACCORDANCE WITH ACT 121. (PA ONE CALL SYSTEM, INC. 1-800-242-1776)."

LEGEND	
EXISTING	PROPOSED
PROPERTY BOUNDARY	PROPERTY BOUNDARY
LOT LINE	LOT LINE
BUILDING SETBACK	BUILDING SETBACK
ULTIMATE RIGHT-OF-WAY	ULTIMATE RIGHT-OF-WAY
LEGAL RIGHT-OF-WAY	LEGAL RIGHT-OF-WAY
EASEMENT	EASEMENT
BUFFER YARD	BUFFER YARD
NPDES BOUNDARY	NPDES BOUNDARY
PHASE 3 LIMIT OF DISTURBANCE	PHASE 3 LIMIT OF DISTURBANCE
BUILDING	PROPOSED BUILDING
150' WIDE AREA OF INTEREST FROM POND	150' WIDE AREA OF INTEREST FROM POND
METLANDS	METLANDS
SOIL BOUNDARY	SOIL BOUNDARY
CONTOUR	CONTOUR

NOTE:
6' TALL TREE SHELTER WITH MESH BIRD NETTING REQUIRED AROUND ALL SEEDLINGS AND BARE ROOT TREES. PLEASE REFER TO SHEET RB-2 FOR INSTALLATION INSTRUCTIONS.
TREE SHELTER TO BE 6' TALL TREE PRO SHELTER OR APPROVED EQUAL.
<https://www.treepro.com/>



610.398.0904
barryisett.com
5420 Crackersport Road
Allentown, PA 18104



41 Hutchins Drive
Portland, Maine 04102
800.426.4262 | www.woodardcurran.com
COMMITMENT & INTEGRITY DRIVE RESULTS



DATE	11/16/2023
MADE BY	CB
SCALE	1" = 50'
APPROVED BY	CJW
PRINTED	CJW

RIPARIAN BUFFER PLAN
WASTEWATER TREATMENT UPGRADES
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY
PENNSYLVANIA

PLANT BLDG. NO.	AREA NO.	DRAWING NUMBER	REVISION
		671-C415	A

REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE	REVISION	BY	APPROVED BY	DATE
1.				1.	JAZ	CDC	11/21/2023				
2.				2.	JAZ	CDC	2/8/2024				

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DATE PLOTTED: 11/16/2023 10:58:10 AM
 PLOTTER: HP DesignJet T1100e
 PLOT SCALE: 1"=50'
 PLOT SHEETS: 1 OF 1
 PLOT SIZE: 30" X 42"

PROTECTION

- 1. Tree protection:
a. All trees and vegetation to be retained shall be protected from equipment damage by snow fencing or other effective barriers.
b. Protective barrier locations to be approved by qualified arborist, forester or landscape architect.
c. At a minimum, trees and shrubs that are to be preserved shall be protected by snow fencing, or 4' high "high visibility safety fencing, to ensure that there is no encroachment within the drip line areas by altered grades, trenching, stockpiling of building materials or topsoil, or the compaction of soils and roots by construction equipment or any motor vehicle.
d. Fencing or barriers around trees shall be placed at the drip line, the required fencing may be placed within the drip line only upon demonstration, to the satisfaction of the qualified arborist, forester or landscape architect, that the required work cannot be performed without utilizing the area within the drip line; and those appropriate measures are being taken to protect the trees.
e. Contractors shall avoid driving heavy equipment and/or construction vehicles beneath the drip lines of trees designated for protection.
f. Protective barriers placed around woody vegetation during construction shall be removed and properly disposed of upon stabilization of earth disturbance.
2. Unavoidable grading encroachment:
a. Trees which are to be retained, and which shall be subject to drip line encroachment, shall be prepared for construction by crown and root pruning, and be deep root fertilized.
b. Any grading work proposed within the drip line to remain shall be accomplished by excavator or backhoe equipment. The excavator and/or backhoe equipment shall be positioned outside of the drip line, and shall use the excavator arm to reach beneath the drip line.
c. Cleared trees / debris shall not be hauled into areas where trees are specified to be preserved.
3. Trees are not to be used to support roping, cables, scaffolding, fencing, lighting, signs, temporary utilities, surveying spikes, or any other device.
4. Topsoil stockpiles shall be located at least ten (10) feet from any installed trees and existing trees to remain or outside of canopy drip lines (whichever is greater).
5. Tree trunks and branches damaged during construction shall be protected from further damage. Damaged branches shall be pruned according to national arborist association standards. All cuts shall be made sufficiently close to the trunk or parent limb, without cutting into the branch collar or leaving a protruding stub. Pruning must be accomplished in a manner that minimizes bark from being peeled or torn from the tree. An appropriate pruning spray shall be used on all cuts to help facilitate healing.
6. Trees that have been disturbed and those trees that have root and branch damage shall be fertilized in the early fall or mid-spring. Fertilizer grade shall have approximately 3 parts nitrogen to 1 part phosphorus and potassium (3-1-1 ratio). Fertilizer shall be broadcast over the soil surface in an area twice the size of the tree protection zone at a rate of one (1) pound per 1000 square feet.
7. Grade changes around the drip lines of trees to remain shall be minimized. Procedures for treatment of trees to mitigate and minimize root damage shall be proposed and subject to approval by a qualified arborist, forester or landscape architect. The following precautions may be taken and implemented when encroachment beneath tree drip lines cannot be avoided:
a. Minimum 6 inches of wood chips should be placed over the entire area of the drip line to cushion root systems from damage by equipment tires/tracks.
b. When it is not possible to avoid having equipment working around the trunk of existing trees, minimum 4 feet long 1"x2" boards (spaced at 4 inch intervals) should be strapped around the trunk of the tree (beginning 2 feet above grade) to help prevent inadvertent damage to the trunk by equipment.
c. Upon completion of construction, wood chips and protective boards must be removed and disposed of properly.
8. No hazardous or toxic materials shall be stored within or around groupings of woody vegetation or within 100 feet of the drip line of any existing tree or within or around any other natural feature addressed herein. Hazardous or toxic contaminants, including but not limited to petroleum hydrocarbons, oils, pesticides, herbicides, thinners, solvents, cleaners, abrasives, acids and bases are strictly prohibited within or around woody vegetation or within 100 feet of the drip line of any existing tree.

The Riparian Buffer Management Area will be further protected in perpetuity by an easement and related covenant agreement as part of the Subdivision and Land Development Plans.

INITIAL EVALUATION MAINTENANCE AND RESTORATION

Existing vegetation in the riparian buffer area shown on the Riparian Buffer Plan shall be evaluated and undergo the following restoration and maintenance procedure:

- 1. Native trees, shrubs and saplings to remain shall be flagged by or at the direction of a qualified forester, arborist or landscape architect and protected with the measures outlined above before any maintenance and/or restoration procedures take place.
2. All existing vegetation in the riparian buffer areas to remain shall undergo an initial maintenance program which shall include but not be limited to the following:
a.) Remove and dispose of all man made debris and trash
b.) Remove any weeds, vines and/or invasive plant material
c.) Remove any diseased plant material
d.) Native dead plant material shall remain and be allowed to decompose as it provides many benefits to wildlife. However, any natural debris that may cause a rise in floodwaters due to obstruction shall be removed.
3. After note 2, steps a.-d. have been completed areas where there are gaps and/or sparse areas in the existing tree canopy and/or where disease ridden and invasive canopy trees are removed shall be in-filled with new native trees. Trees shall be selected and planted at spacing shown in the landscape schedule. No one species shall make up more than fifty (50%) percent of the total tree planted and a minimum of three species shall be planted. Final tree locations shall be approved by a qualified forester, arborist or landscape architect. Pruning and trimming of trees shall occur to promote healthy growth but not compromise the overhead canopy.
4. Areas where there is little or no understory and/or shrub layer and/or where disease ridden and invasive plant material is removed leaving a void shall be in-filled with new native understory trees and shrubs. No one species shall make up more than fifty (50%) percent of the total of each layer and a minimum of three species shall be planted in each layer. Final plant material locations shall be approved by a qualified forester, arborist or landscape architect.
5. Once the new plant material is installed the native seed mixes shall be installed in accordance with the Native Seed Mix Establishment and Maintenance Notes, Guidelines and Requirement Notes found on this sheet.
6. All new plant material shall be watered on a regular basis throughout the first growing season. Watering shall take unless average rainfall equal to 1" per week occurs naturally. Watering shall be performed by a method that ensures deep penetration especially on canopy trees and be equivalent to 1" of rainfall per week.
7. Weeds and invasive plant material shall be removed or controlled in accordance with the Native Seed Mix Establishment and Maintenance Notes, Guidelines and Requirement Notes found on this sheet.
8. The entire Riparian Buffer Management area shall be inspected four (4) time during the first four (4) growing seasons (preferably February, May, August and November) and after any severe storm event. Any damaged areas caused by flooding and erosion shall be repaired immediately to prevent further damage/erosion. Damaged or dead plant material shall be replanted during the next growing season.

MINIMUM STANDARDS FOR QUALITY & MAINTENANCE

- 1. QUALITY. All plants shall be typical of their species or variety; they shall have normal, well-developed branches and vigorous fibrous root systems. All plants shall be nursery grown unless otherwise stated; they shall have been growing under the same climate conditions as the site for at least two (2) years prior to date of planting. All plants which are found unsuitable in growth or condition of which are not true to name shall be removed and replaced with acceptable plants. All plants shall be free from defects and injuries and certified by appropriate federal and state authorities to be free from disease and insect infestations.
2. MEASUREMENTS. Plants shall be measured as they stand in their natural position. Stock furnished shall be a fair average of the minimum sizes specified or of the range given in the American Nursery & Landscape Association's Standard for Nursery Stock, ANSI Z60.1-2004.
3. PREPARATION OF PLANTS. All precautions customary in good trade practice shall be taken in preparing plants for moving.
4. DELIVERY. Plants shall be packed, transported and handled with utmost care to insure adequate protection against injury.
5. Where, in order to achieve the effect established in the plant plan, uniformity of the plant material is desired, the plant material shall be of the same size and age, of the same cultivar, and obtained from the same nursery.
6. All required landscaping materials shown on this plan shall be installed in accordance with the approved riparian buffer plan.

BARE ROOT AND SEEDLING PLANTING INSTRUCTIONS

- 1. Unpack your trees, remove all packing materials, carefully untangle the roots and soak the roots in water 3 to 6 hours. Do not allow the roots to dry out.
2. Dig a hole, wider than seems necessary, so the roots can grow outward without crowding. Remove any grass within a 3-foot circular area. To aid root growth, turn soil in an area up to 3 feet in diameter.
3. Plant the tree at the same depth it stood in the nursery, with plenty of room for the roots. Partially fill the hole, firming the soil around the lower roots. Do not add soil amendments such as peat or bark. Do not use fertilizer, potting soil, or chemicals on your new trees.
4. Shovel in the remaining soil. It should be firmly but not tightly packed. Construct a water-holding basin around the tree. Give the tree plenty of water.
5. After the water has soaked in, spread protective mulch three inches deep in a 3-foot diameter area around the base of the tree, but not touching the trunk.
6. All new plant material shall be watered on a regular basis throughout the first growing season. Watering shall take unless average rainfall equal to 1" per week occurs naturally. Watering shall be performed by a method that ensures deep penetration especially on canopy trees and be equivalent to 1" of rainfall per week.

SITE MONITORING

Below is the site monitoring form to be completed and submitted by the party responsible for inspection and maintenance of the buffer to the Conservation District within one year of establishment and protection. Form can be found in DEP Form 394-5600-001, page 89

Streamside Riparian Forest Buffer Monitoring SITE MONITORING SUMMARY FORM
Site Name, Date Collected, Collected by
Total Area (acres), Area Sampled, Number of Plots
Original Planting Density (Trees or Shrubs per Acre)
Original Planting Density
B&B/Containerized Saplings, Sheltered Seedlings
Seedlings w/o Shelters, Other
Trees and Shrubs Counted During Monitoring
Table with columns: Tree or Shrub Species, Number Counted, Number of Each Plant Type (Planted Seedling, Sheltered Seedling, B&B, Natural Regen, Other), Condition* (I, 2)
TOTALS:
*1=Healthy and free to grow, not significantly impaired or damaged. Likely to survive and grow.
*2=Damaged or impaired by some problem.
Number of Species Counted:
Plant Condition Summary: Percent Healthy, Percent Damaged
Vegetative Competition: None, Light, Medium, Heavy
Over Entire Site, Tally for each plot
Comments:
394-5600-001 / November 27, 2010 / Page 89

6' TALL TREE SHELTER INSTALLATION WITH MESH BIRD NET

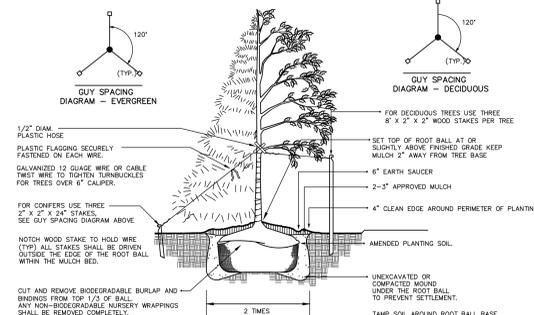
After planting the tree in accordance with proper tree planting directions, pound or press the stake into the ground at a distance from the tree equal to about one-half the diameter of the protector. The stake should be on the side of the tree toward the prevailing wind; e.g., if the prevailing wind is from the west, the stake should be on the west side of the tree. The top of the stake should be several inches higher than the top locktie that secures the protector to the stake. See table below for stake sizes.

- 1. Fold the collar back over the outside of the protector, with the smooth side of the protector on the inside. The purpose of the collar is to provide a soft rim so the trees' bark won't be damaged. PLEASE NOTE: Many tree planters have found it advantageous not to fold the collar. They've found that if the collar is left upright, birds will not land on it because it's too flimsy to support their weight. Also, it saves time because it's one less step. Even with the collar up there should be no abrasion of the tree's trunk.
2. With the holes lined up, slide the lockties through both holes in each side wall and lock the tie three clicks to keep it from falling out.
3. Carefully slide the protector down over the top of the tree and the lockties down over the stake. PLEASE NOTE: If the trees have branches, carefully gather them together with their tips facing up before lowering the protector.
4. Make sure the bottom of the protector is in good contact with the ground. PLEASE NOTE: Proper protector installation does not require the protector to be pressed down into the ground because doing so can sometimes cause rodent problems. Mice, voles and other animals often build nests inside protectors that are too firmly planted in the ground.
5. Tighten ties.
6. Attach Mesh Bird Net to top opening of shelter.
7. Inspect and repair tree shelters on an annual basis.
8. Remove mesh bird net when trees grow to top of tree shelters.
9. Remove and recycle tree shelters when trees reach a height of 10'.

5 YEAR LONG TERM MAINTENANCE

Below is the 5 year maintenance schedule required to optimize survival of a newly planted riparian forest buffer.

Table with columns: Year (1-5), Maintenance Tasks for Riparian Forest Buffers. Rows include: Check tree shelters (March-April), Remove shelters (Spring), Herbicide application (April-May), Mowing (Summer and Fall), Herbicide application (mid-August-early October), Survival (Late Fall), Replacement plantings (Fall to Spring), Flooding, Other Task(s). Source: Landowners Guide to Buffer Success, Chesapeake Bay Foundation and Riparian Forest Buffer Design and Maintenance, MD Department of Natural Resources Forest Service. 394-5600-001 / November 27, 2010 / Page 85



- NOTES:
1. TREE PITS SHOULD BE HAND DUG. IF MECHANICALLY DIGGING PIT, SCARIFY EDGES OF PIT TO LOOSEN SOIL TO ALLOW ROOTS TO PENETRATE WALL.
2. UNEXCAVATED MOULD SHOULD NOT BE OVERLY REMOVED. SOIL SHOULD CONSIST OF CLUMPS OF VARIOUS SIZES. GRAVEL SHALL NOT BE USED AS FILL MATERIAL.
3. INSTALL TREE SO THAT ROOT FLAKE IS JUST ABOVE FINISH GRADE. DO NOT PLACE MULCH AROUND TRUNK.
4. TREE STAKING - ONLY IF IT IS EXPECTED BY THE CONTRACTOR OR FOUND BY THE LANDSCAPE ARCHITECT THAT THE TREE WILL NOT SUPPORT ITSELF. TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1/2" OF GROWTH AND BUTTER ALL BRANCHES FROM THE WIRE. TUCK ANY LOOSE ENDS OF THE WIRE CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED. ENSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK REMOVE ALL STAMPS AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS (USUALLY AFTER ONE GROWING SEASON) PROTECT AND MAINTAIN WARNING FLAGS ON ALL WIRES.
5. ENSURE THAT THERE ARE NO GIRDLING ROOTS AROUND TRUNK OF TREE. IF THERE ARE GIRDLING ROOTS AROUND TRUNK, TREE SHOULD NOT BE INSTALLED.
6. REMOVE PLASTIC, PAPER, OR FIBER POTS FROM CONTAINERIZED PLANT MATERIAL. PULL ROOTS OUT OF THE ROOT MAT, AND CUT CIRCLING ROOTS WITH A SHARP KNIFE. LOOSEN THE POTTING MEDIUM AND SHAKE AWAY FROM THE ROOT MAT. IMMEDIATELY AFTER REMOVING THE CONTAINER, INSTALL THE PLANT SUCH THAT THE ROOTS DO NOT DRY OUT. PACK PLANTING MIX AROUND THE EXPOSED ROOTS WHILE PLANTING. WATER THOROUGHLY.
7. TREE AND SHRUB MASSINGS SHALL BE ENCOMPASSED BY ONE LARGE MULCHED BED.
TREE PLANTING N.T.S.



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barryisett.com
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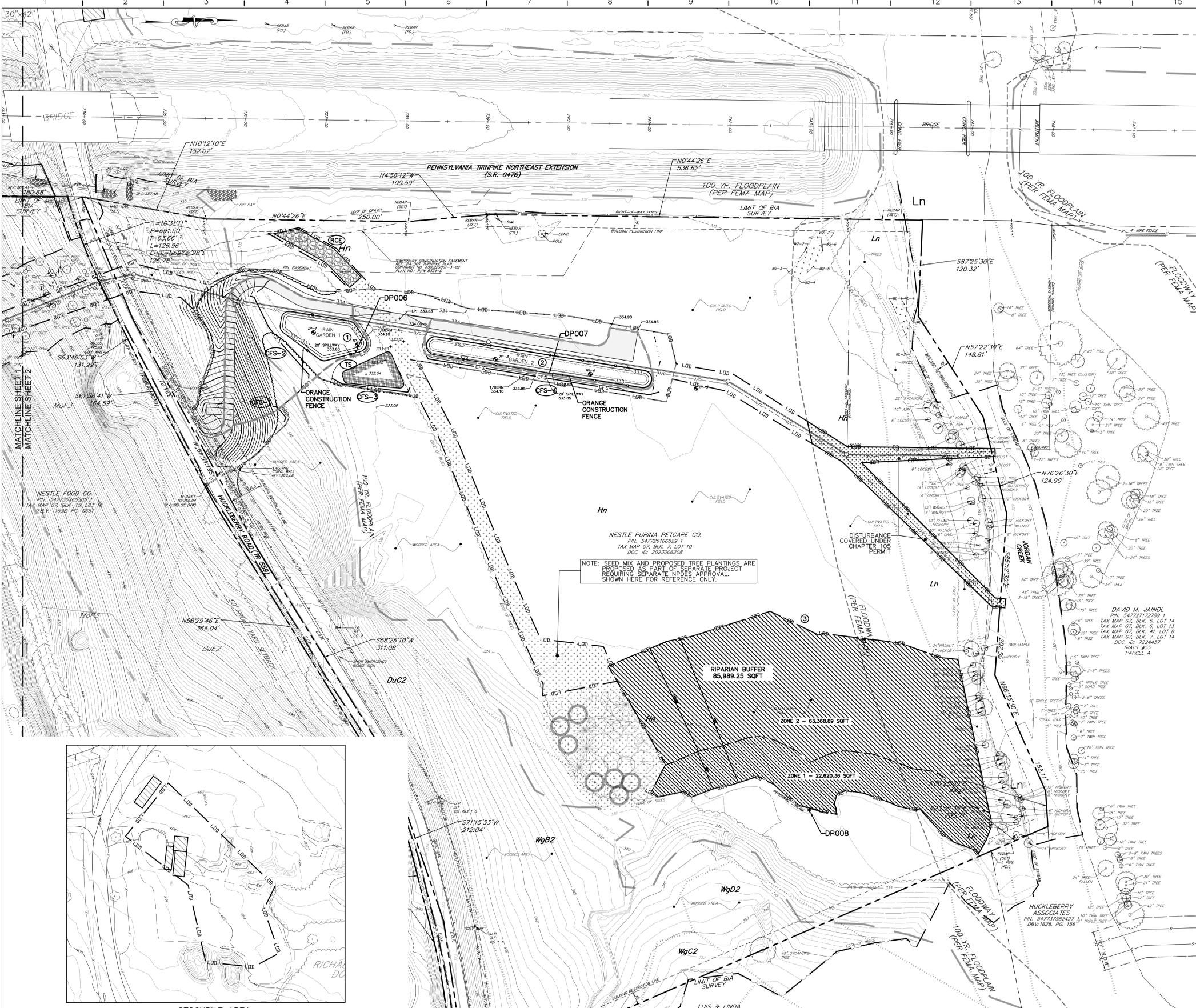


Table with columns: DATE, MADE BY, SCALE, APP'D BY, PROJ ENGR, PRINTED. Values: 11/16/2023, CB, N.T.S., CJW, CJW.

RIPIARIAN BUFFER NOTE SHEET
WASTEWATER TREATMENT UPGRADES
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY
PENNSYLVANIA

Table with columns: PLANT, BLDG. NO., AREA NO., DRAWING NUMBER, REVISION. Values: 671-C416, A.

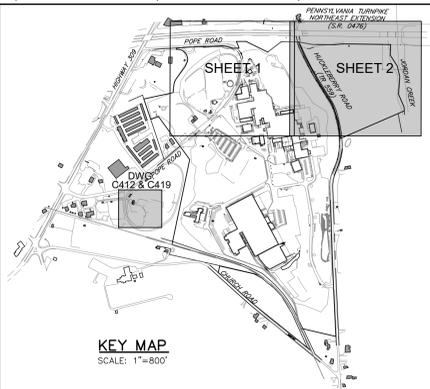
Table with columns: REVISION, BY, APP'D BY, DATE. Multiple empty rows for revision tracking.



SOUTH WHITEHALL SECTION 312-12(B)(7)
 THE TOWNSHIP ENGINEER HAS REVIEWED THE SUBMITTALS AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND ZONING. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBMITTALS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE TOWNSHIP ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBMITTALS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE TOWNSHIP ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBMITTALS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED.

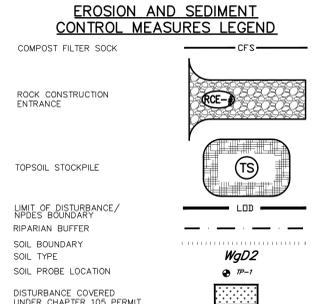
SOUTH WHITEHALL SECTION 312-39(H)
 NOTWITHSTANDING ANY PROVISIONS OF THE TOWNSHIP STORMWATER MANAGEMENT PLAN, INCLUDING EROSION AND SEDIMENT CONTROL, ANY LANDOWNER AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT STORMWATER RUNOFF CHARACTERISTICS SHALL IMPLEMENT SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT INJURY TO HEALTH, SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REASONABLY NECESSARY TO MAINTAIN THE DIRECTION AND QUALITY OF RESULTING STORMWATER RUNOFF IN A MANNER WHICH OTHERWISE ADEQUATELY PROTECTS HEALTH AND PROPERTY FROM INJURY AND DAMAGE.

MUNICIPALITY REVIEW AND APPROVAL OF THE DRAINAGE PLAN, OR THE SUBSEQUENT OBSERVATION AND APPROVAL OF STORMWATER MANAGEMENT FACILITIES SHALL NOT CONSTITUTE LAND DEVELOPMENT OR BEHALF OF OR BY THE MUNICIPALITY OR OTHERWISE CAUSE THE MUNICIPALITY TO BE ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND BY SUBMITTING AN APPLICATION UNDER THE TOWNSHIP STORMWATER MANAGEMENT PLAN. THE DEVELOPER HEREBY AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE MUNICIPALITY AND ALL ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DAMAGES, CAUSES OF ACTION OR SUITS WHICH ARISE OUT OF OR RELATE TO THE REVIEW, APPROVAL, CONSTRUCTION OR OBSERVATION OF THE DEVELOPER'S DRAINAGE PLAN AND STORMWATER MANAGEMENT FACILITIES.



- PLAN PREPARED BY: CHRISTOPHER J. WILLIAMS, P.E. WILLIAMS@BARRYSETT.COM BARRY SETT & ASSOCIATES 5420 CRACKERSPORT ROAD ALLENTOWN, PA 18104 610-398-0904
- SITE ADDRESS: NESTLE PURINA PETCARE 2050 POPE ROAD ALLENTOWN, PA 18104-9308
- LIMIT OF DISTURBANCE & NPDES BOUNDARY AREA = 11.1 ACRES
- CHAPTER 102 DISTURBANCE = 11.0 ACRES
- CHAPTER 105 DISTURBANCE = 0.50 ACRES
- DISCHARGE POINT NUMBERING TO START AT DP006 TO COINCIDE WITH NESTLE PURINA PETCARE FACILITY EXISTING OUTFALL DISCHARGE POINTS.
- RECEIVING WATERS: LINT TO JORDAN CREEK; HQ-CWF, MF
- SEE DRAWING 671-C420 FOR ADDITIONAL NOTES AND DETAILS
- SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH NAG S75
- UTILITY TRENCHING NOTE: STOCK TOPSOIL ON UPSTREAM SIDE OF UTILITY TRENCH.

ANY EXCESS OR UNSUITABLE MATERIAL SHALL BE TAKEN OFFSITE TO A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. IMPORTED FILL SHALL ONLY BE RECEIVED FROM A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THE SITE OF ALL IMPORT/EXPORT HAS AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. ANY MATERIAL EXPORTED OFFSITE MUST MEET THE CLEAN FILL POLICY.



COMPOST FILTER SOCK SIZING

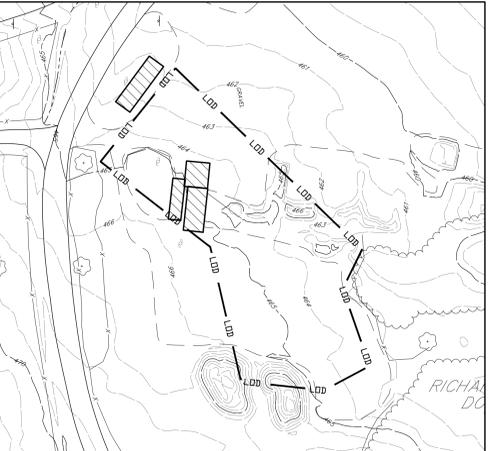
CFS-1 = 12"	CFS-7 = 12"
CFS-2 = 18"	CFS-8 = 12"
CFS-3 = 12"	CFS-9 = 18"
CFS-4 = 12"	CFS-10 = 32"
CFS-5 = 12"	CFS-11 = 24"
CFS-6 = 12"	CFS-12 = 12"
CFS-13 = 12"	

WATERLINE EXTENSION PROJECT MEADOW SEED MIX.
 ANY MEADOW AREA WITHIN THE PROPOSED SEED ACCESS PATH TO THE PROPOSED RIPARIAN BUFFER THAT HAS BEEN DISTURBED AS PART OF THIS PROJECT SHALL BE RESEED WITH A MEADOW SEED MIX.

SEEDING MIXES

TRUMPH LOW GROW FESCUE SEED MIX (SLOPED AREAS)	
FM BROWN & SONS SEED MIX, SINKING SPRING PA PROPRIETARY BLEND	
SPECIES	MIX
HARD FESCUE	60%
CREeping RED FESCUE	20%
CHEWINGS FINE FESCUE	20%
APPLICATION RATE:	5LB PER 1,000 SF

NOTE: SEED MIX AND PROPOSED TREE PLANTINGS ARE PROPOSED AS PART OF SEPARATE PROJECT REQUIRING SEPARATE NPDES APPROVAL. SHOWN HERE FOR REFERENCE ONLY.



811
 Know what's below. Call before you dig.

BENCHMARK:
 A REBAR FOUND ALONG THE EASTERLY RIGHT-OF-WAY FENCE OF THE NORTHEAST EXTENSION OF THE PENNSYLVANIA TURNPIKE, APPROXIMATELY 519' FEET NORTH OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY, 114' RIGHT OF TURNPIKE CENTERLINE STATION 739+11, 63' FEET SOUTHWEST OF A PPL SCEPTER-WEISSVILLE TRANSMISSION LINE MONO POLE. ELEVATION 336.21, NAVD 88.

SCALE: 1" = 50'

BARRY ISETT & ASSOCIATES
 MULTI-DISCIPLINE ENGINEERS AND CONSULTANTS

610.398.0904
 barrysett.com
 5420 Crackersport Road
 Allentown, PA 18104

41 Hutchins Drive
 Portland, Maine 04102
 800.426.4262 | www.woodardcurran.com

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1	NPDES SUBMISSION	JAZ	CDC	11/21/2023	NOTICE - THIS DRAWING AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF NESTLE PURINA PETCARE COMPANY WHICH RESERVES ALL PATENT OR OTHER RIGHTS. COPYING, REPRODUCTION OR DUPLICATION, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED BY NESTLE PURINA PETCARE COMPANY. ANY SUCH COPIES SHALL ALSO BE THE EXCLUSIVE PROPERTY OF THE NESTLE PURINA PETCARE COMPANY. THIS DRAWING AND ANY SUCH COPIES SHALL BE RETURNED WHEN REQUESTED AND USED SUBJECT TO ABOVE CONDITIONS ONLY ON AUTHORIZED COMPANY WORK.
2	TOWNSHIP RESUBMISSION	JAZ	CDC	2/8/2024	
DATE	11/16/2023	MADE BY	JAZ	SCALE	1" = 50'
APPROVED BY	CJW	DATE	2/7/2024	PROJECT ENGR	CJW
Nestlé PURINA Engineering					
EROSION CONTROL PLAN 2 WASTEWATER TREATMENT UPGRADES SOUTH WHITEHALL TOWNSHIP LEHIGH COUNTY PENNSYLVANIA					
BLDG. NO.	AREA NO.	DRAWING NUMBER	REVISION		
		671-C419	A		

