

AESTHETIC SURGERY ASSOCIATES MEDICAL OFFICE BUILDING
MAJOR PLAN 2023-106
ATTACHMENTS

- 1. Memorandum**
- 2. Site Plan**
- 3. Submission Receipt dated January 5, 2024**
- 4. Township Engineer Review dated January 31, 2024**
- 5. Township Water & Sewer Engineer Review dated January 31, 2024**
- 6. Township Geotechnical Consultant Review dated January 24, 2024**
- 7. Township Lighting Consultant Review dated January 16, 2024**
- 8. Public Works Department Review dated January 18, 2024**
- 9. Community Development Department Review dated February 1, 2024**
- 10. Lehigh Valley Planning Commission Review dated January 31, 2024**
- 11. Applicant's Correspondence:**
 - A. Project Narrative dated January 4, 2024**
 - B. Waiver Request Letter dated January 4, 2024**

TO: PLANNING COMMISSION
FROM: GREGG ADAMS, PLANNER
SUBJECT: AESTHETIC SURGERY MEDICAL OFFICE BUILDING
MAJOR PLAN 2023-106
REQUEST FOR PRELIMINARY/FINAL PLAN REVIEW
DATE: FEBRUARY 2, 2024
COPIES: BOARD OF COMMISSIONERS, T. PETRUCCI, D. MANHARDT,
L. HARRIER, L. PEREIRA, ESQ, A. TALLARIDA, S. PIDCOCK,
APPLICANT, SUB. FILE 2023-106

LOCATION AND INTENT:

An application to develop the property located at 1619 Hausman Road. The plan proposes construct a two-story 30,033 square foot medical office building and a 97-space parking lot on the 2.61-acre parcel. The property is to be served by public water and public sewer and is zoned Highway Commercial HC. 1619 Hausman Partners LLC is the owner and applicant.

PREVIOUS TOWNSHIP CONSIDERATION:

On June 20, 2019, Strategic Development Group submitted a Sketch Plan for Major Plan 2019-103 Hausman Road Self Storage. The project was reviewed twice by the Planning Commission with no recommendations of approval made. On May 5, 2021, the application was withdrawn, and the project terminated.

REVIEWING AGENCIES COMMENTS:

- A. Township Engineer** – The comments of the Township Engineer are contained in Mr. Anthony Tallarida’s review dated January 31, 2024. Mr. Tallarida is not recommending engineering approval at this time. His comments pertain to waivers and deferrals, plan detail, stormwater management, traffic, and outside agency approvals.
- B. Township Water & Sewer Engineer** – The comments of the Township Water and Sewer Engineer are contained in Mr. Jason Newhard’s review dated January 31, 2024. His comments pertain to plan detail and sewer module requirements.
- C. Township Geotechnical Consultant** – The comments of the Geotechnical Consultant are contained in Mr. Chris Taylor’s review dated January 24, 2024. His comments pertain to stormwater management, geotechnical investigation report detail, stormwater management report detail, spray irrigation plan detail, and land development plan detail.
- D. Township Lighting Consultant** – The comments of the Lighting Consultant are contained in Mr. Cory Trumbower’s review dated January 16, 2024. He notes that the Lighting Plans conform to the Township Lighting Ordinance.
- E. Public Works Department** – The comments from the Public Works Department are contained in Manager Herb Bender’s review dated January 18, 2024. His comments

pertain to water usage, fire lines, stormwater management facilities' ownership, water meter specifications, plan detail, sanitary manhole specifications, and water service ownership.

- F. **Public Safety Committee** –The Public Safety Commission is scheduled to review the plan at its February 5, 2024 meeting.
- G. **Landscape and Shade Tree Commission** – The Landscape and Shade Tree Commission is scheduled to review the plan at its February 26, 2024 meeting.
- H. **Parks and Recreation Board** – The Park and Recreation Board is scheduled to review the plan at its February 12, 2024 meeting.
- I. **Lehigh Valley Planning Commission** – The Lehigh Valley Planning Commission's comments are contained Ms. Bambi Griffin Rivera's review dated January 31, 2024. She reports that the application does not conflict with its land use plans or policies. Her comments pertain to development location, hydric soils, multimodal transportation, and stormwater management.
- J. **Lehigh County Conservation District** – The comments of the Lehigh County Conservation District have not been received at the time of this writing.
- K. **Pennsylvania Department of Transportation** – The comments of the Pennsylvania Department of Transportation have not been received at the time of this writing.
- L. **Pennsylvania Department of Environmental Protection** - The applicant is to obtain approvals from the PA Department of Environmental Protection for NPDES Permits and Sewage Facilities Planning Module Exemption.
- M. **LANTA** – The comments of LANTA have not been received at the time of this writing.
- N. **Community Development Department** – The Department issued a submission receipt dated January 5, 2024 confirming that the application meets the submission requirements of the Subdivision and Land Development Regulations. The Department's technical review is dated February 1, 2024 and provides comment pertaining to zoning issues, Public Safety, Landscape and Shade Tree, Open Space and Recreation, water and sewer, erosion and sedimentation control, street lighting, sidewalk, MS4, plan detail, outside agency submissions, plan recording requirements, waiver and deferral request commentary, and Official Map and Comprehensive Plan commentary.

COMMUNITY DEVELOPMENT DEPARTMENT RECOMMENDATION:

The Department recommends that the Planning Commission take the plan under advisement to afford the applicant the time necessary to address the reviewing agencies' comments. Our recommendation is contingent upon the applicant granting the Township a waiver from the timeframe in which to act upon the plan.

Planning Commission deadline date to act on the plan:

March 11, 2024

Board of Commissioners deadline date to act on the plan:

April 10, 2024



AESTHETIC SURGERY ASSOCIATES MEDICAL OFFICE BUILDING MAJOR PLAN 2023-106

Location Map



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 LANDSCAPE ARCHITECTURE
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PROJECT No.: PAB230046.00
 DRAWN BY: IN
 CHECKED BY: DKP
 DATE: 01/04/2024
 CAD ID: PAB230046.00-LDVP-0A

PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS
 FOR
AESTHETIC SURGERY ASSOCIATES
 MEDICAL OFFICE BUILDING
 1619 HAUSMAN ROAD
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY, PA

BOHLER
 74 W BROAD STREET, SUITE 500
 BETHELEHM, PA 18018
 Phone: (610) 709-9971
 Fax: (610) 709-9976
 www.BohlerEngineering.com

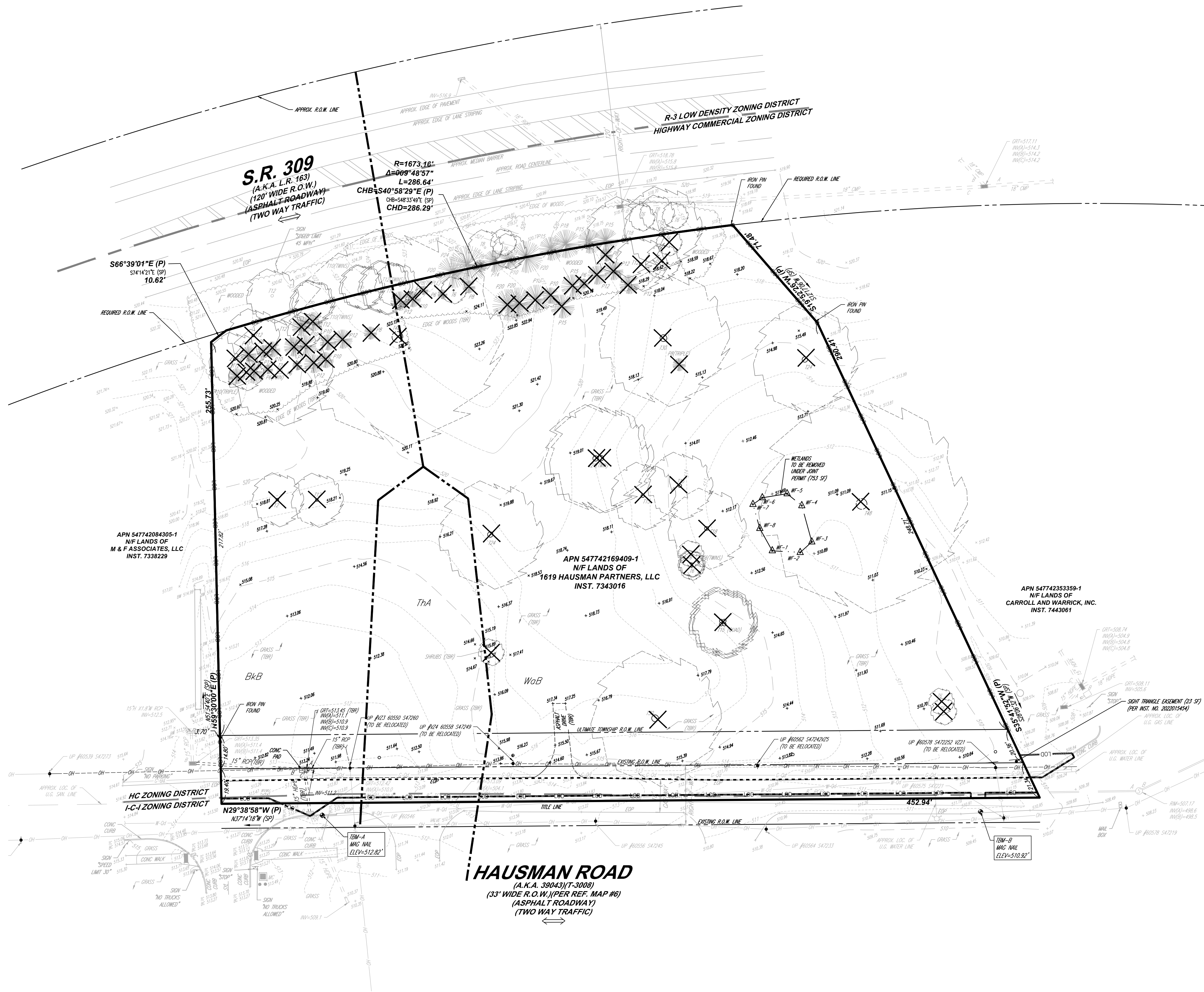
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 DONALD DEAN PETERS
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. 0690435
 EXPIRING LICENSE IN PENNSYLVANIA

SHEET TITLE:
AERIAL PLAN

SHEET NUMBER:
C-202

ORG. DATE - 01/04/2024

R:\2023\PA230046\00\CADD\DRAWINGS\PLAN SET\TRICAL SITE PLANS\PA230046.00-LDVP-0A.dwg...LA10UT.C:2022.AERIAL



LOCATION MAP
SCALE: 1" = 1,000'
SOURCE: GOOGLE.COMMAPS

LEGEND
TO BE REMOVED

TREE	
WETLAND FLAG	
WETLANDS	
ASPHALT DRIVEWAY	
TREELINE	

LEGEND
EXISTING

PROPERTY LINE	
R.O.W. LINE	
ADJACENT PROPERTY LINE	
EASEMENT LINE	
TREELINE	
CONCRETE MONUMENT/IRON PIN	
SURVEY BEARING PLAN MEASUREMENT	(P)
SURVEY BEARING STATE PLANE MEASUREMENT	(SP)
SIGN	
AREA LIGHT	
TREE	
DRAINAGE INLET	
STORM/SANITARY MANHOLE	
WATER/GAS VALVES	
FIRE HYDRANT	
UTILITY POLE	
OVERHEAD UTILITY WIRES	
GAS LINE	
WATER LINE	
SANITARY SEWER	
STORM PIPE	

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PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS

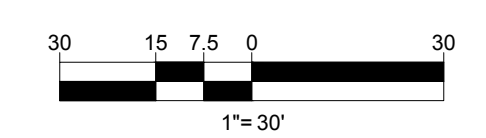
FOR
AESTHETIC SURGERY ASSOCIATES
MEDICAL OFFICE BUILDING
1619 HAUSMAN ROAD
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

BOHLER
74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9978
Fax: (610) 709-9976
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RECORDING LICENSE NO. RE000435

EXISTING CONDITIONS/ DEMOLITION PLAN

SHEET TITLE:
C-201
SHEET NUMBER:
ORG. DATE - 01/04/2024



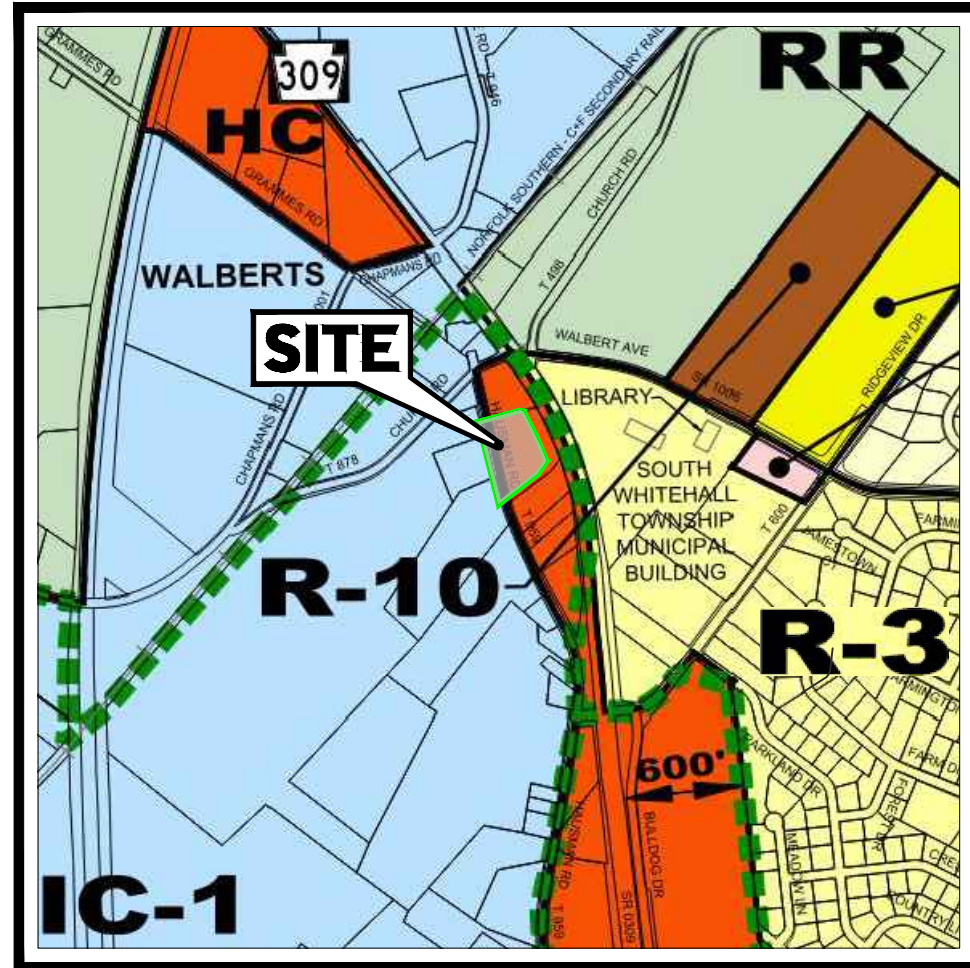
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SITE SPECIFIC NOTES

- PROPERTY OWNER:
1619 HAUSMAN PARTNERS, LLC
250 CETRONIA ROAD, SUITE 301
ALLENTOWN, PA 18104
- EXISTING PROPERTY INFORMATION:
APN 547742169409-1
AREA TO TITLE LINE = 113,840 SF OR 2.613 AC
AREA TO ULTIMATE R.O.W = 96,993 SF OR 2.227 AC
AREA TO EXISTING R.O.W = 105,137 SF OR 2.414 AC
- APPLICANT/EQUITABLE OWNER:
JOHNNY CHUNG, MD (1619 HAUSMAN PARTNERS LLC)
250 CETRONIA ROAD, SUITE 301
ALLENTOWN, PA 18104
- UTILITIES:
SEWER/WATER - PUBLIC (SOUTH WHITEHALL TOWNSHIP AUTHORITY)
ELECTRIC - PENNSYLVANIA POWER & LIGHT (PPL)
GAS - UGI
- DRIVEWAY SEPARATION DISTANCE: 221' (LEFT), 396' (RIGHT)

LEGEND	
PROPOSED FEATURES	
A-1	12'-6" x 12'-6" CMU TRASH ENCLOSURE.
P-1	TYPICAL CONCRETE CURB.
P-2	TYPICAL FLUSH CONCRETE CURB.
P-3	TAPERED CURB.
P-4	DEPRESSED CURB.
P-5	REINFORCED CONCRETE PAVEMENT
P-6	STANDARD ASPHALT PAVEMENT.
P-7	CONCRETE SIDEWALK.
P-8	CONCRETE LANDING.
P-9	CONCRETE STAIRS.
P-10	CONCRETE RAMP.
P-11	MILL AND OVERLAY.
P-12	BOLLARD.



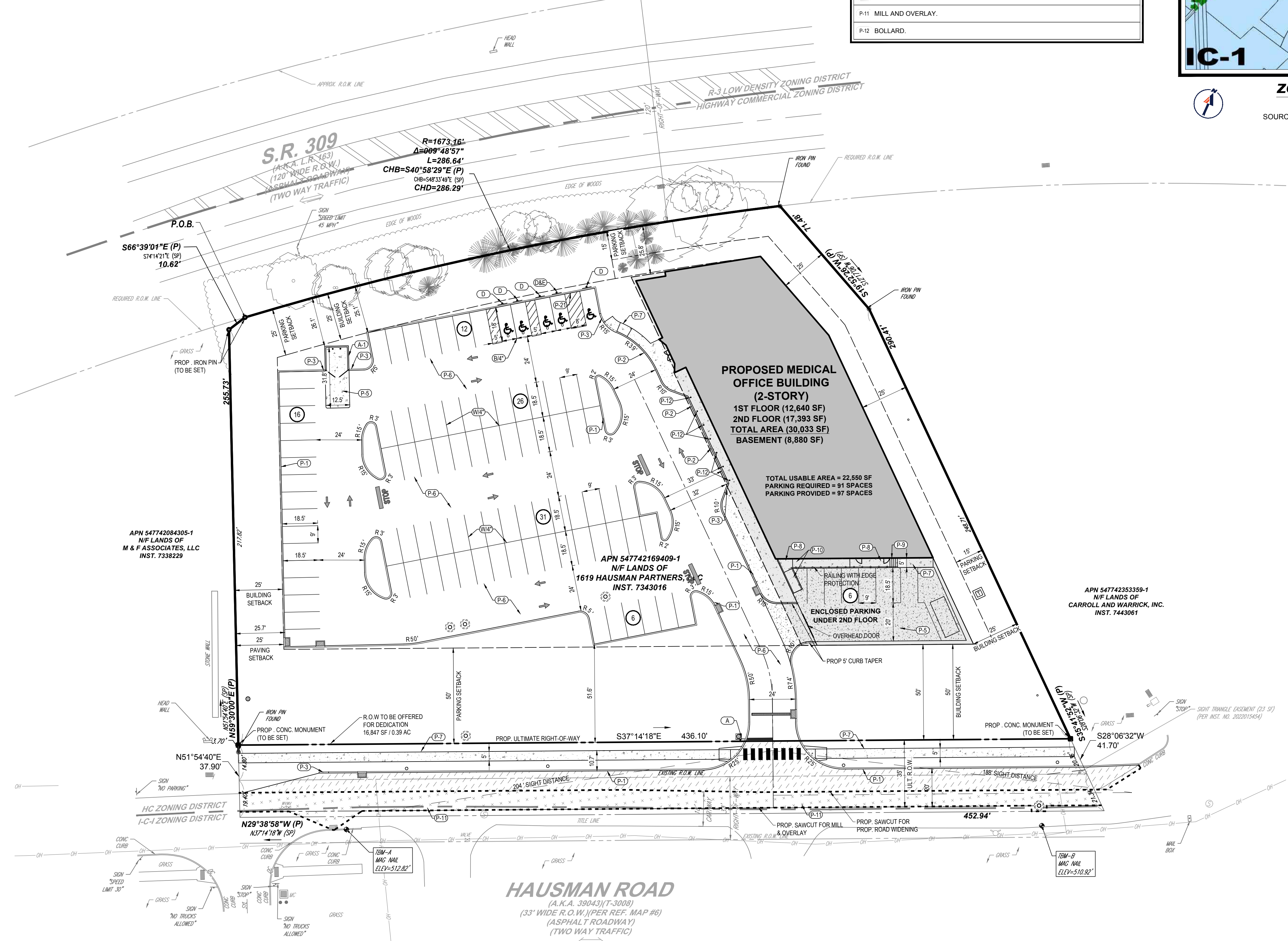
ZONING MAP

SCALE: 1" = 1,000'
SOURCE: SOUTHWHITEHALL.COM



LOCATION MAP

SCALE: 1" = 1,000'
SOURCE: GOOGLE.COMMAPS



PROPOSED MEDICAL OFFICE BUILDING (2-STORY)
1ST FLOOR (12,640 SF)
2ND FLOOR (17,393 SF)
TOTAL AREA (30,033 SF)
BASEMENT (8,880 SF)

TOTAL USABLE AREA = 22,550 SF
PARKING REQUIRED = 91 SPACES
PARKING PROVIDED = 97 SPACES

APN 547742169409-1
N/F LANDS OF
1619 HAUSMAN PARTNERS, LLC
INST. 7343016

APN 547742353359-1
N/F LANDS OF
CARROLL AND WARRICK, INC.
INST. 7443061

APN 547742084305-1
N/F LANDS OF
M & F ASSOCIATES, LLC
INST. 7338229

LEGEND	
EXISTING	
PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
TREELINE	---
CONCRETE MONUMENT/ IRON PIN	○
SURVEY BEARING PLAN MEASUREMENT	(P)
SURVEY BEARING STATE PLANE MEASUREMENT	(SP)
SIGN	□
AREA LIGHT	□
TREE	○
DRAINAGE INLET	□
STORM/SANITARY MANHOLE	○
WATER/GAS VALVES	○
FIRE HYDRANT	○
UTILITY POLE	○
OVERHEAD UTILITY WIRES	---
GAS LINE	---
WATER LINE	---
SANITARY SEWER	---
STORM PIPE	---

LEGEND	
PROPOSED	
PROPERTY LINE	---
R.O.W. LINE	---
EASEMENT LINE	---
SETBACK LINE	---
BUILDING	▭
FULL DEPTH PAVEMENT WIDENING	▨
MILL/OVERLAY	▨
CONCRETE CURB	▬
FLUSH CURB	▬
SAWCUT	▬
FENCE	▬
RAILING	▬
TREELINE	---
ACCESSIBLE SYMBOL	♿
CROSSWALK	▬
SIDEWALK	▬
RAMP	▬
SIGN	▭
BOLLARD	•
PARKING COUNT	1
AREA LIGHT	□
DRAINAGE INLET	□
MANHOLE	○
CLEANOUT	○
FIRE HYDRANT	○
ELECTRIC LINE	---
OVERHEAD LINE	---
GAS LINE	---
WATER LINE	---
SANITARY SEWER	---
STORM PIPE	---
SPOT ELEVATION	123.00

LEGEND	
PROPOSED SIGNAGE	
A	STOP (R1-1)
D	RESERVED PARKING WITH PENALTIES (R7-8P)
E	VAN ACCESSIBLE (R7-8P)

ZONING TABLE				
ZONE: HC - HIGHWAY COMMERCIAL USE: MEDICAL OFFICE - PERMITTED BY RIGHT				
APPLICANT/ OWNER INFORMATION				
APPLICANT:	JOHNNY CHUNG, MD (1619 HAUSMAN PARTNERS LLC) 250 CETRONIA ROAD, SUITE 301 ALLENTOWN, PA 18104			
PROPERTY OWNER:	1619 HAUSMAN PARTNERS, LLC 250 CETRONIA ROAD, SUITE 301 ALLENTOWN, PA 18104			
BULK REQUIREMENTS				
ITEM	CODE	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	\$ 350-24(c)(13)	43,560 SF (1.00 AC)	113,840 SF (2.61 AC) TO TITLE LINE	96,993 SF (2.23 AC) TO ULTIMATE R.O.W.
MIN. LOT FRONTAGE	\$ 350-24(c)(13)	200.0'	452.9'	436.10'
MIN. YARD SETBACKS				
FRONT YARD	\$ 350-24(c)(13)	50.0' FROM STREET R.O.W.	N/A	50.0'
SIDE YARD	\$ 350-24(c)(13)	25.0' FROM SIDE LOT LINE	N/A	25.0'
REAR YARD	\$ 350-24(c)(13)	25.0' FROM REAR LOT LINE	N/A	25.8'
MAX. PERMITTED HEIGHT	\$ 350-24(c)(13)	35.0'	N/A	<35 FT.
MAX. LOT COVERAGE	\$ 350-45	75.0%	0% (120 SF)	56.86% (55,152 SF)
MIN. PARKING SETBACKS				
FRONT	\$ 350-48(c)	50.0' FROM STREET R.O.W.	N/A	50.8'
SIDE	\$ 350-48(c)	25.0' FROM SIDE LOT LINE	N/A	25.0'
REAR	\$ 350-48(c)	25.0' FROM REAR LOT LINE	N/A	25.1'

OFF-STREET PARKING CALCULATIONS
HC - HIGHWAY COMMERCIAL ZONING DISTRICT
REQUIREMENTS:
1 SPACE PER 250 SF OF USEABLE SPACE
22,550 SF / 250 SF = 91 SPACES REQUIRED
TOTAL SPACES REQUIRED (PER TOWNSHIP ORDINANCE) = 91 SPACES
TOTAL SPACES (91 OUTDOOR SPACES + 6 ENCLOSED SPACES) = 97 SPACES

NOTE:
THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS SUCH AS CLARITY OR TITLE, SUBSURFACE CONDITIONS INCLUDING BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS COMMISSIONED BY THE APPLICANT (AND/OR LAND OWNER(S)) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHT-OF-WAYS, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE SOLICITOR.

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CHECKED BY: DXP
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DATE: 1-8-2024
CAD ID: PAB230046.00-LDVP-0A

PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS FOR

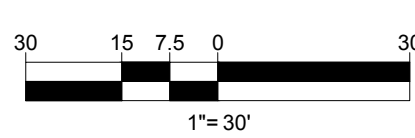
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PROFESSIONAL ENGINEER
DONALD K. PETERS
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. 6209435
EXPIRING LICENSE IN 2024

SHEET TITLE:
SITE PLAN
SHEET NUMBER:
C-301
ORG. DATE - 01/04/2024





LOCATION MAP
SCALE: 1" = 1,000'
SOURCE: GOOGLE.COMMAPS

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PROJECT:
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DEVELOPMENT
PLANS**
FOR
**AESTHETIC
SURGERY
ASSOCIATES**
MEDICAL OFFICE BUILDING
1619 HAUSMAN ROAD
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

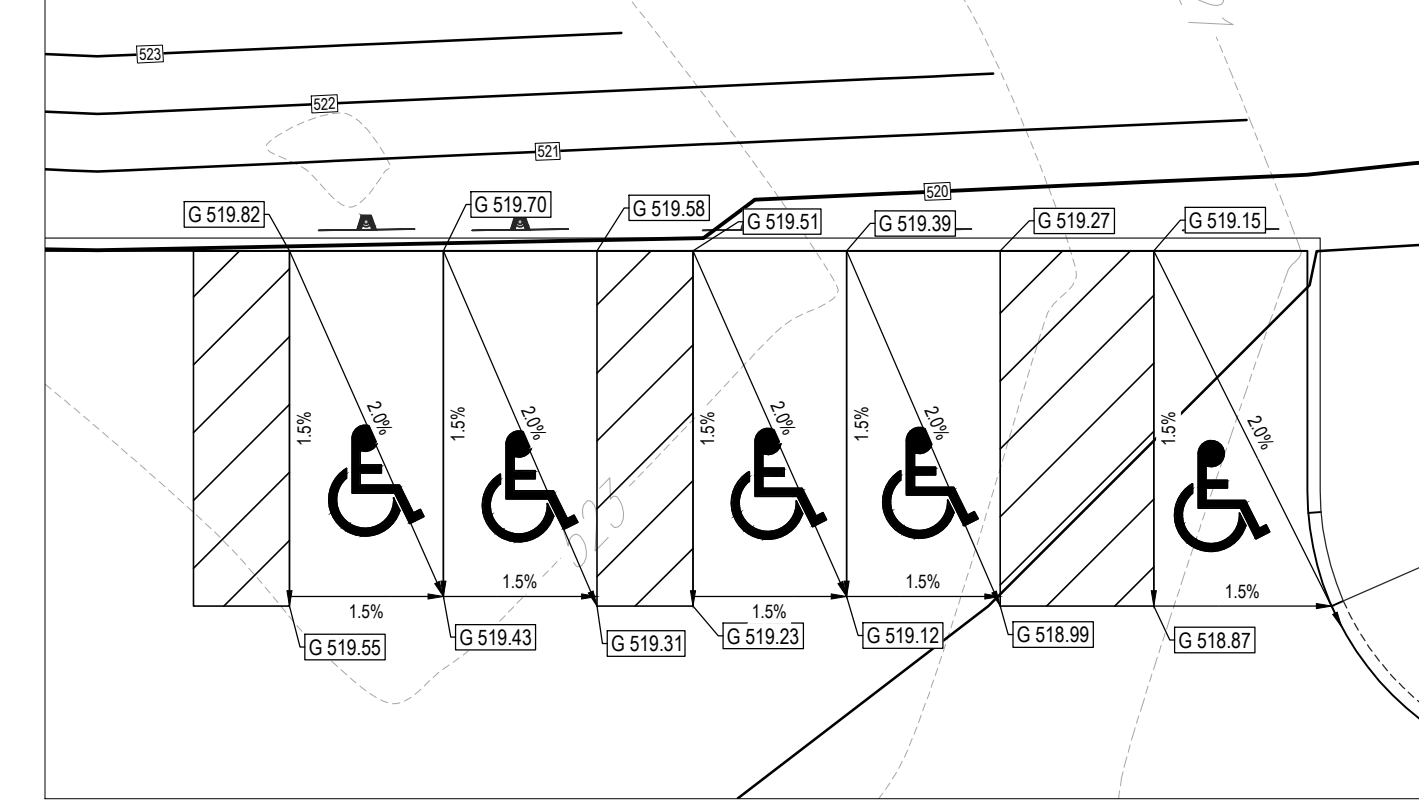
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D.K. PETERS
PROFESSIONAL ENGINEER
DONALD K. PETERS
PENNSYLVANIA LICENSE NO. 6209435
GEORGINA LICENSE NO. 26784
REGISTERED PROFESSIONAL ENGINEER

SHEET TITLE:
**GRADING
PLAN**

SHEET NUMBER:
C-401

ORG. DATE - 01/04/2024



ADA GRADING ENLARGEMENT :
SCALE: 1" = 10'

LEGEND

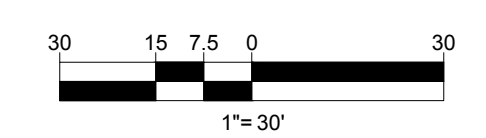
EXISTING	
PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
TREELINE	---
CONCRETE MONUMENT/ IRON PIN	□ ○
SURVEY BEARING PLAN MEASUREMENT	(P)
SURVEY BEARING STATE PLANE MEASUREMENT	(SP)
SIGN	---
AREA LIGHT	---
TREE	○
DRAINAGE INLET	□
STORM/SANITARY MANHOLE	⊙
WATER/GAS VALVES	⊕
FIRE HYDRANT	⊕
UTILITY POLE	⊕
OVERHEAD UTILITY WIRES	OH
GAS LINE	G
WATER LINE	W
SANITARY SEWER	SS
STORM PIPE	SP

LEGEND

PROPOSED	
PROPERTY LINE	---
R.O.W. LINE	---
EASEMENT LINE	---
SETBACK LINE	---
BUILDING	▭
FULL DEPTH PAVEMENT WIDENING	▨
MILLOVERLAY	▩
CONCRETE CURB	▬
FLUSH CURB	▬
SAWCUT	▬
FENCE	X
RAILING	---
TREELINE	---
ACCESSIBLE SYMBOL	♿
CROSSWALK	▬
SIDEWALK	▬
RAMP	▬
SIGN	---
BOLLARD	•
PARKING COUNT	1
AREA LIGHT	---
DRAINAGE INLET	□
MANHOLE	⊙
CLEANOUT	CO
FIRE HYDRANT	⊕
ELECTRIC LINE	E
OVERHEAD LINE	OH
GAS LINE	G
WATER LINE	W
SANITARY SEWER	SS
STORM PIPE	SP
SPOT ELEVATION	123.00 (TC 123.00) BC 123.00

GENERAL NOTES

- THE STORMWATER COLLECTION SYSTEM COMPRISES A FACILITY WHICH WILL BE PRIVATELY OWNED AND MAINTAINED IN A MANNER CONSISTENT WITH ACCEPTED PRACTICES IN ORDER TO PRESERVE THE ADEQUATE FUNCTIONALITY OF THE SYSTEM, AS PER 13.24(a) OF THE ACT 167 ORDINANCE.
- IN THE EVENT OF A SINKHOLE DEVELOPING ON-SITE, REFER TO THE SINKHOLE DETAIL ON SHEET C-605.



R:\2023\PA230046.00\CADD\DRAWINGS\PLAN SET\TRICHTER SITE PLANS\PA230046.00-LDVP-0A...LA\OUT_C-401.GRDING



LOCATION MAP
SCALE: 1" = 1,000'
SOURCE: GOOGLE.COMMAPS

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 CHECKED BY: DKP
 DATE: 01/04/2024
 CAD ID: PAB230046.00-LDVP-0A

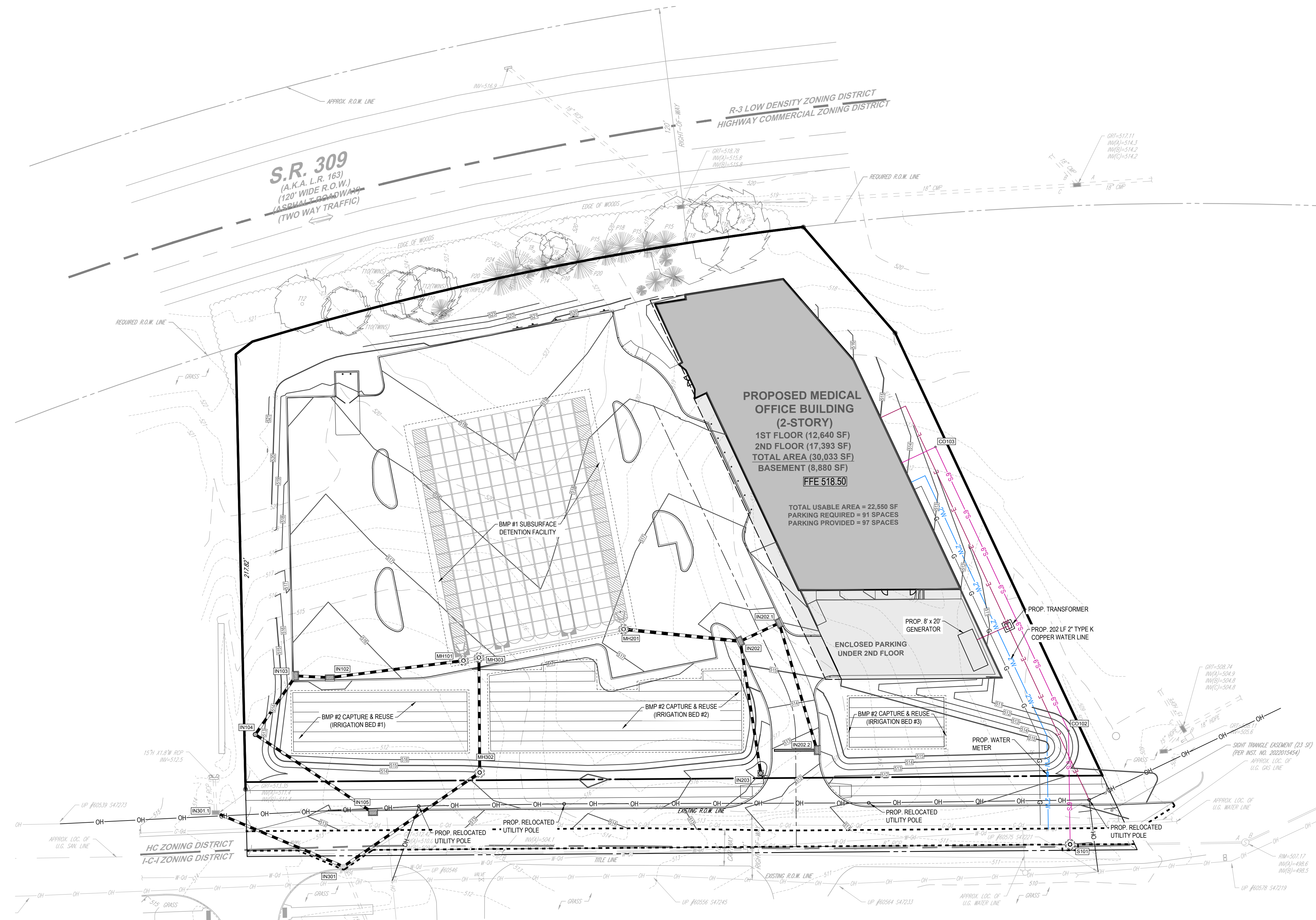
PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS FOR AESTHETIC SURGERY ASSOCIATES

MEDICAL OFFICE BUILDING
 1619 HAUSMAN ROAD
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY, PA

BOHLER
 74 W BROAD STREET, SUITE 500
 BETHLEHEM, PA 18018
 Phone: (610) 709-9971
 Fax: (610) 709-9976
 www.BohlerEngineering.com

D.K. PETERS
 PROFESSIONAL ENGINEER
 DONALD K. PETERS
 PENNSYLVANIA LICENSE NO. 6209435
 RECORDING LICENSE NO. 267844

SHEET TITLE:
UTILITY PLAN
 SHEET NUMBER:
C-501
 ORG. DATE - 01/04/2024



LEGEND

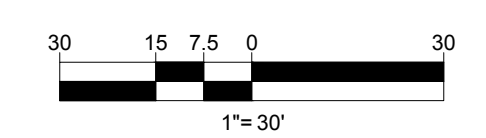
EXISTING	
PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
TREELINE	---
CONCRETE MONUMENT/ IRON PIN	□ ○
SURVEY BEARING PLAN MEASUREMENT	(P)
SURVEY BEARING STATE PLANE MEASUREMENT	(SP)
SIGN	—
AREA LIGHT	—
TREE	○
DRAINAGE INLET	□
STORM/SANITARY MANHOLE	⊙
WATER/GAS VALVES	⊕ ⊖
FIRE HYDRANT	⊕
UTILITY POLE	⊕
OVERHEAD UTILITY WIRES	—
GAS LINE	—
WATER LINE	—
SANITARY SEWER	—
STORM PIPE	—

LEGEND

PROPOSED	
PROPERTY LINE	---
R.O.W. LINE	---
EASEMENT LINE	---
SETBACK LINE	---
BUILDING	▭
FULL DEPTH PAVEMENT WIDENING	▨
MILL/OVERLAY	▩
CONCRETE CURB	—
FLUSH CURB	—
SAWCUT	—
FENCE	—
RAILING	—
TREELINE	---
ACCESSIBLE SYMBOL	♿
CROSSWALK	▤
SIDEWALK	▨
RAMP	▩
SIGN	—
BOLLARD	•
PARKING COUNT	①
AREA LIGHT	—
DRAINAGE INLET	□
MANHOLE	⊙
CLEANOUT	CO
FIRE HYDRANT	⊕
ELECTRIC LINE	—
OVERHEAD LINE	—
GAS LINE	—
WATER LINE	—
SANITARY SEWER	—
STORM PIPE	—
SPOT ELEVATION	123.00 (TC 123.00) B/C 123.00

UTILITY NOTES

- THESE DRAWINGS HAVE BEEN PREPARED BASED ON THE BEST VALUE AVAILABLE INFORMATION. THE ENGINEER HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SOUTH WHITEHALL TOWNSHIP SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS AND CODES, OR PENN D.O.T. FORM 608.
- WATER & SEWER UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SPECIFICATIONS FOR SANITARY SEWERS, WATER MAINS AND APPURTENANCES, STANDARD CONSTRUCTION DETAILS, TOWNSHIP PLUMBING CODE, PENNSYLVANIA DEP, AND ANWA STANDARDS.
- THE STORMWATER COLLECTION SYSTEM COMPRISES A FACILITY WHICH WILL BE PRIVATELY OWNED AND MAINTAINED IN A MANNER CONSISTENT WITH ACCEPTED PRACTICE, IN ORDER TO PRESERVE THE ADEQUATE FUNCTIONING OF THE SYSTEM, AS PER SECTION 13.24(a) OF THE ACT 167 ORDINANCE.
- PROPOSED SEWERS AND LATERALS SHALL BE INSTALLED NO CLOSER THAN 10 FEET TO THE CENTER OF A TREE.



R:\2023\PA230046.00\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PA230046.00-LDVP-0A...LAYOUT_C-501.UPL



PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOPY TREES					
ARA	4	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5" CAL	B&B
ASB	7	ACER SACCHARUM 'BONFIRE'	BONFIRE SUGAR MAPLE	2.5" CAL	B&B
GTK	2	GLEDTISIA TRIACANTHOS 'INERMIS' 'SKYCOLE'	SKYLINE THORNLESS HONEY LOCUST	2.5" CAL	B&B
UP	6	LULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	2.5" CAL	B&B
SHRUBS					
HQSQ	13	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	24-30"	CONTAINER
IGS	22	ILEX GLABRA 'SHAMROCK'	SHAMROCK HIBERNY	24-30"	CONTAINER
IV	19	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	24-30"	CONTAINER
JHB	92	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPRD	CONTAINER
RAG	10	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	15-18"	CONTAINER
TOE	11	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	5-6"	B&B
VR	8	VIBURNUM RHYTHIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4"	B&B

COMPLIANCE CHART

SECTION	REQUIREMENT	CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANCE
ZONING: 350-42 GENERAL PROVISIONS FOR ALL USES AND BUILDINGS	(b)(4) SCREENING REQUIREMENTS (A) SCREENING SHALL BE PROVIDED AND MAINTAINED WITHIN THE BUFFER STRIP, AND AS A MINIMUM SHALL CONSIST OF EITHER: (1) DENSE HEDGES OF DECIDUOUS AND AT LEAST 50% EVERGREEN SHRUBBERY. PLANTS SHALL BE MAINTAINED AT A MINIMUM OF FIVE FEET IN HEIGHT ABOVE ADJACENT GRADE. (2) A FENCE: (1) AT LEAST 70% SOLID. (2) UNIFORMLY COLORED OR OF A NATURALLY DURABLE MATERIAL SUCH AS CEDAR, CYPRESS OR REDWOOD. (3) NOT LESS THAN FIVE FEET TALL AND NOT MORE THAN 12 INCHES ABOVE GRADE. (4) WITH EVERGREEN PLANTINGS: (a) MAINTAINED TO THE EXTERIOR OF THE FENCE AND WITHIN THREE FEET OF THE FENCE. (b) SPACED NO MORE THAN FOUR FEET ON CENTER AND (c) A MINIMUM HEIGHT OF THREE FEET ABOVE ADJACENT GRADE.	A PLANTING HEDGE HAS BEEN PROVIDED AROUND SITE ELEMENTS DEFINED IN 350-42(b)(4)(B) BELOW.	COMPLIES
360.48 USE SCHEDULES	(b)(2)(E)(V)(2) PROVIDE ONE SHADE TREE FOR EVERY TEN (10) PARKING SPACES LOCATED IN A PLANNED MANNER WITHIN OR ADJACENT TO THE PARKING LOT AREAS, WHERE MORE THAN FIFTY (50%) PERCENT OF A PARKING AREA IS EFFECTIVELY PRECLUDED FROM PLANTING SHADE TREES BECAUSE OF AN OVERHEAD POWER LINE ELECTRIC UTILITY RESTRICTION, THE FOREGOING SHADE TREE REQUIREMENT SHALL NOT APPLY TO THOSE SPACES LOCATED WITHIN THE AREA THAT IS RESTRICTED BY SUCH ELECTRIC UTILITY REQUIREMENT. PROVIDED HOWEVER, THAT SUBSTITUTE PLANTINGS AS MAY BE DEEMED TO BE APPROPRIATE BY THE TOWNSHIP MAY BE REQUIRED TO THE EXTENT THEY ARE NOT IN CONFLICT WITH THE UTILITY RESTRICTION. THE TOWNSHIP SHALL HAVE THE RIGHT TO CONFIRM SPECIFIC LANDSCAPING RESTRICTIONS WITH THE UTILITY COMPANY.	TOTAL OPEN AIR PARKING SPACES: 91 REQUIRED: 91 / 10 = 9.1 OR 9 SHADE TREES PROVIDED: 7 ASB, 2 GTK (9 SHADE TREES)	COMPLIES
	(b)(2)(E)(V)(3) THE AREA BETWEEN THE PARKING AREA AND A PUBLIC STREET SHALL BE LANDSCAPED TO INCLUDE PLANTINGS AT LEAST THIRTY (30) INCHES IN HEIGHT. SAID PLANTINGS SHALL BE AT LEAST FIFTY PERCENT (50%) EVERGREEN SHRUBBERY AND SHALL AVERAGE AT LEAST ONE (1) FOR EVERY TEN (10) FEET OF FRONTAGE.	LENGTH ALONG HAUSMAN ROAD: 408' LF (EXCLUDING DRIVEWAY WIDTH) REQUIRED: 408 / 10 = 40.8 OR 41 PLANTS PROVIDED: 10 HQSQ, 13 IGS, 10 IV, 8 VR (41 SHRUBS) (13 IGS, 8 VR (21 EVERGREEN SHRUBS) (51.2%))	COMPLIES
SALDO: 312-40 SHADE TREES	C (1) IN ALL SUBDIVISIONS, TREES SHALL BE PLANTED WITHIN THE STREET RIGHTS-OF-WAY OR STREET TREE EASEMENTS AT UNIFORM INTERVALS BETWEEN 30 AND 40 FEET. THE LOCATION OF SHADE TREES WILL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE AND SHADE TREE COMMISSION AND THE BOARD OF COMMISSIONERS IF ACCEPTABLE TO THE ABOVE TWO BOARDS. TREES MAY BE PLANTED MIDWAY BETWEEN THE CURB AND SIDEWALK PROVIDING THE PLANTING STRIP IS A MINIMUM OF FIVE FEET IN WIDTH, OR BETWEEN THE SIDEWALK AND BUILDING LINE, THREE FEET FROM THE SIDEWALK. SHOULD THE LATTER LOCATION BE CHOSEN, ADDITIONAL STREET RIGHT-OF-WAY SHALL BE DEDICATED TO THE TOWNSHIP OR A STREET TREE EASEMENT ESTABLISHED IN LIEU OF THE SIZE OF THE ADDITIONAL RIGHT-OF-WAY OR STREET TREE EASEMENT SHALL BE DETERMINED BY THE SHADE TREE COMMISSION.	LENGTH ALONG HAUSMAN ROAD: 408' LF (EXCLUDING DRIVEWAY WIDTH) REQUIRED: 408 / 40 = 10.2 OR 10 TREES PROVIDED: 4 ARA, 6 UP (10 TREES)	COMPLIES



LOCATION MAP

SCALE: 1" = 1,000'
SOURCE: GOOGLE.COM/MAPS

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAB230046.00
DRAWN BY: IN
CHECKED BY: DKP
DATE: 01/04/2024
CAD LID: PAB230046.00-LLGT-04

PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS FOR

AESTHETIC SURGERY ASSOCIATES

MEDICAL OFFICE BUILDING
1619 HAUSMAN ROAD
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

BOHLER

74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

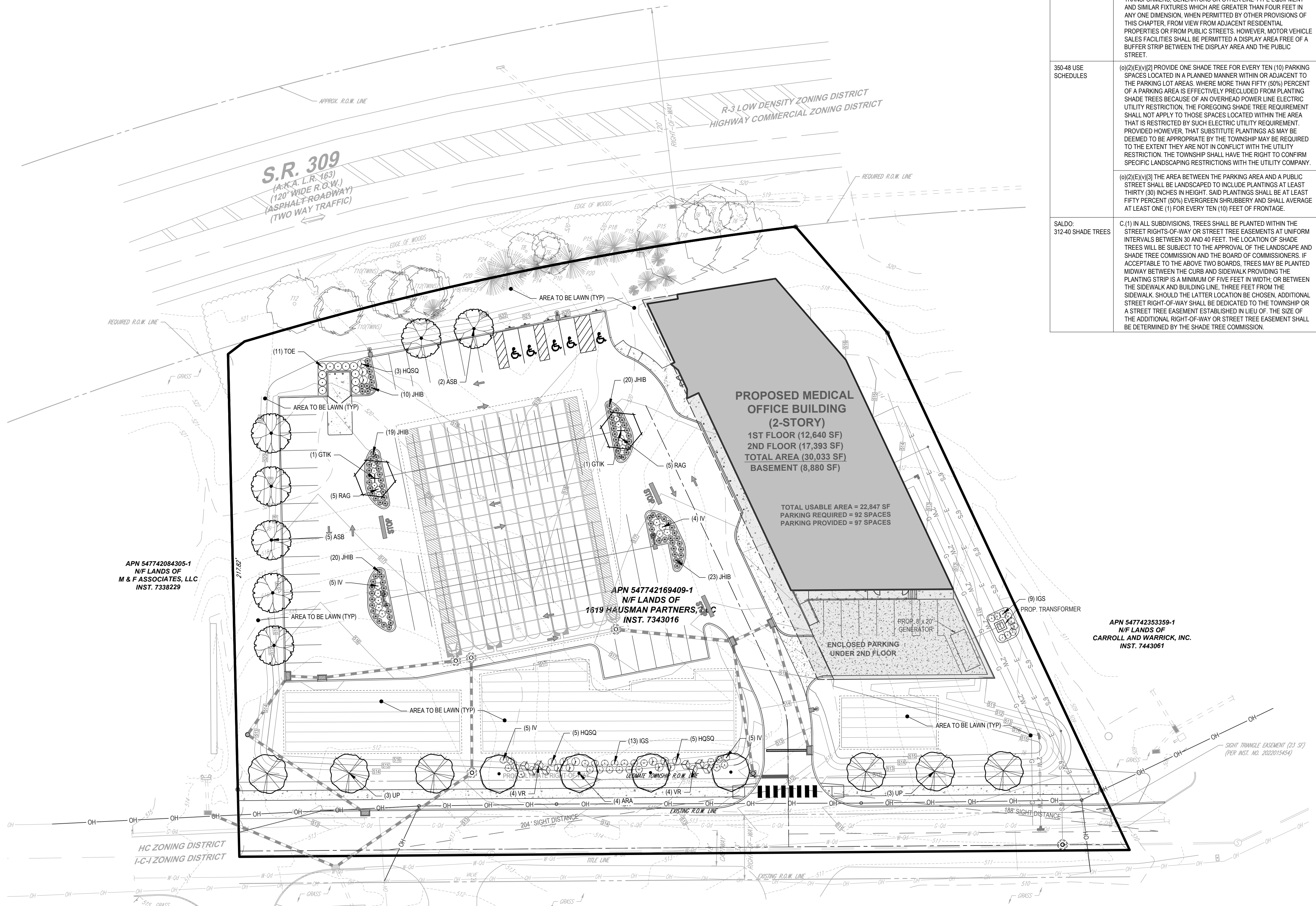


SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:
C-701

ORG. DATE - 01/04/2024



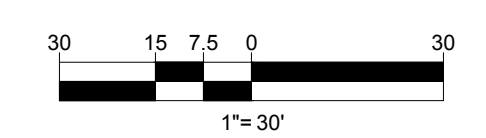
PROPOSED MEDICAL OFFICE BUILDING (2-STORY)
1ST FLOOR (12,640 SF)
2ND FLOOR (17,393 SF)
TOTAL AREA (30,033 SF)
BASEMENT (8,880 SF)

TOTAL USABLE AREA = 22,847 SF
PARKING REQUIRED = 92 SPACES
PARKING PROVIDED = 97 SPACES

APN 547742169409-1
N/F LANDS OF
1619 HAUSMAN PARTNERS, L.P.C
INST. 74343016

APN 547742353329-1
N/F LANDS OF
CARROLL AND WARRICK, INC.
INST. 7443061

HAUSMAN ROAD
(A.K.A. 39043(T-3009))
(33' WIDE R.O.W. (PER REF. MAP #6))
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)



R:\2023\PA230046.00\CADD\DRAWINGS\PLAN SET\TRICHTL SITE PLANS\PA230046.00-LLGT-04.dwg - LAYOUT: C-701.LSP



LUMINAIRE SCHEDULE

Label	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE
P4-S	3	20'-0" AFG	SINGLE	12016	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 4 WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P3-40K-70CRI-14M-x-RPA-HS)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS)
PSW-D	2	20'-0" AFG	BACK-BACK	14602	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE SW, ZERO UP-LIGHT (DSX1-LED-P3-40K-70CRI-14M-x-RPA)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM28AS)
W4	1	9'-0" AFF	SINGLE	4201	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 4, ZERO UP-LIGHT (DSXW1-LED-20C-530-40K-14M-x-E20WC)	---
WL4	1	12'-0" AFG	SINGLE	5342	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 4, ZERO UP-LIGHT (DSXW1-LED-20C-700-40K-14M-x-E20WC)	---

CALCULATION SUMMARY

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ALL POINTS	ILLUMINANCE	Fc	0.44	5.1	0.0	N.A.	N.A.
PARKING LOT	ILLUMINANCE	Fc	1.67	4.1	0.7	2.39	5.86



LOCATION MAP

SCALE: 1" = 100'
SOURCE: GOOGLE.COM/MAPS

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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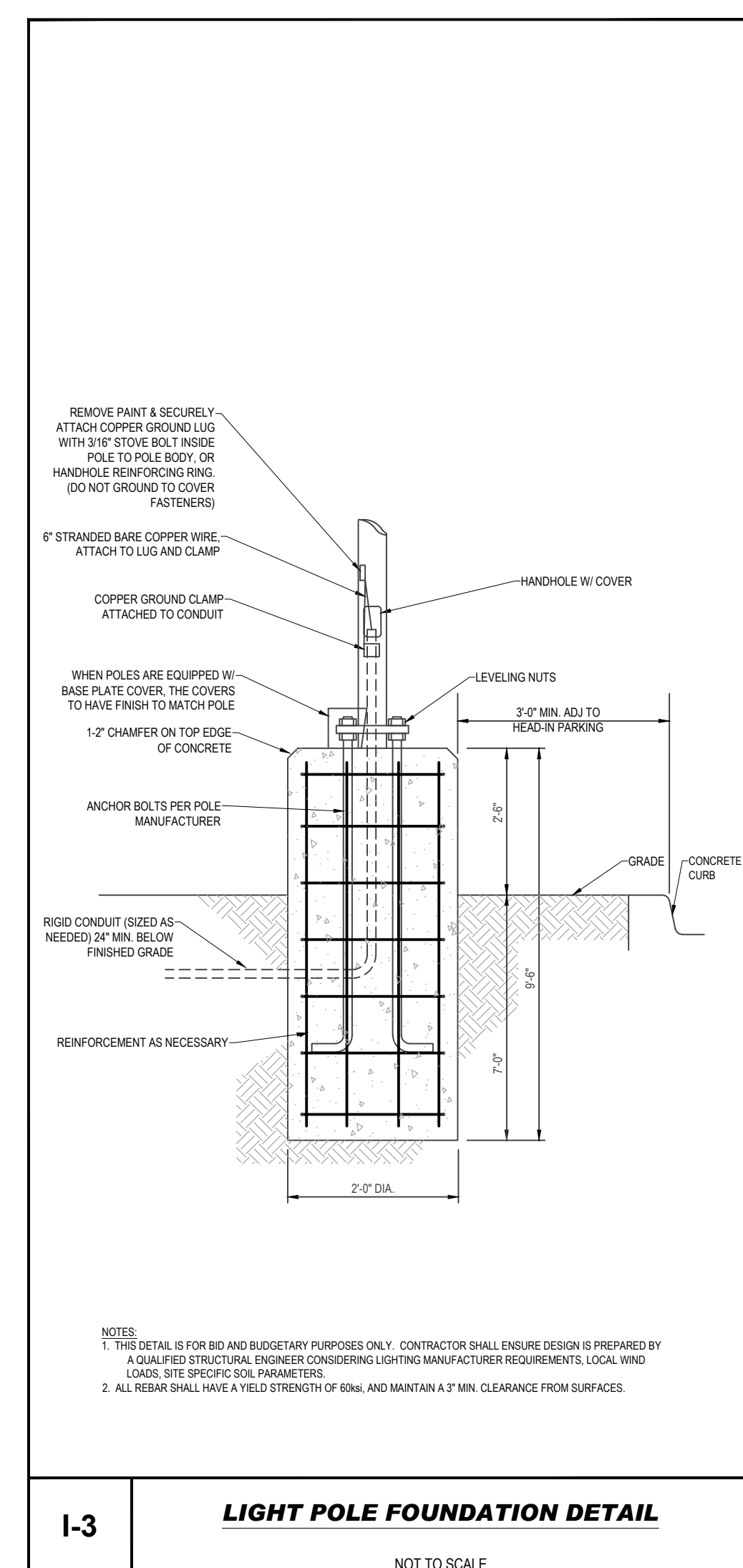
PROJECT No.: PAB230046.00
DRAWN BY: DXP
DATE: 01/04/2024
CAD ID: PAB230046.00-LLGT-04

PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS
FOR
AESTHETIC SURGERY ASSOCIATES
MEDICAL OFFICE BUILDING
1619 HAUSMAN ROAD
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

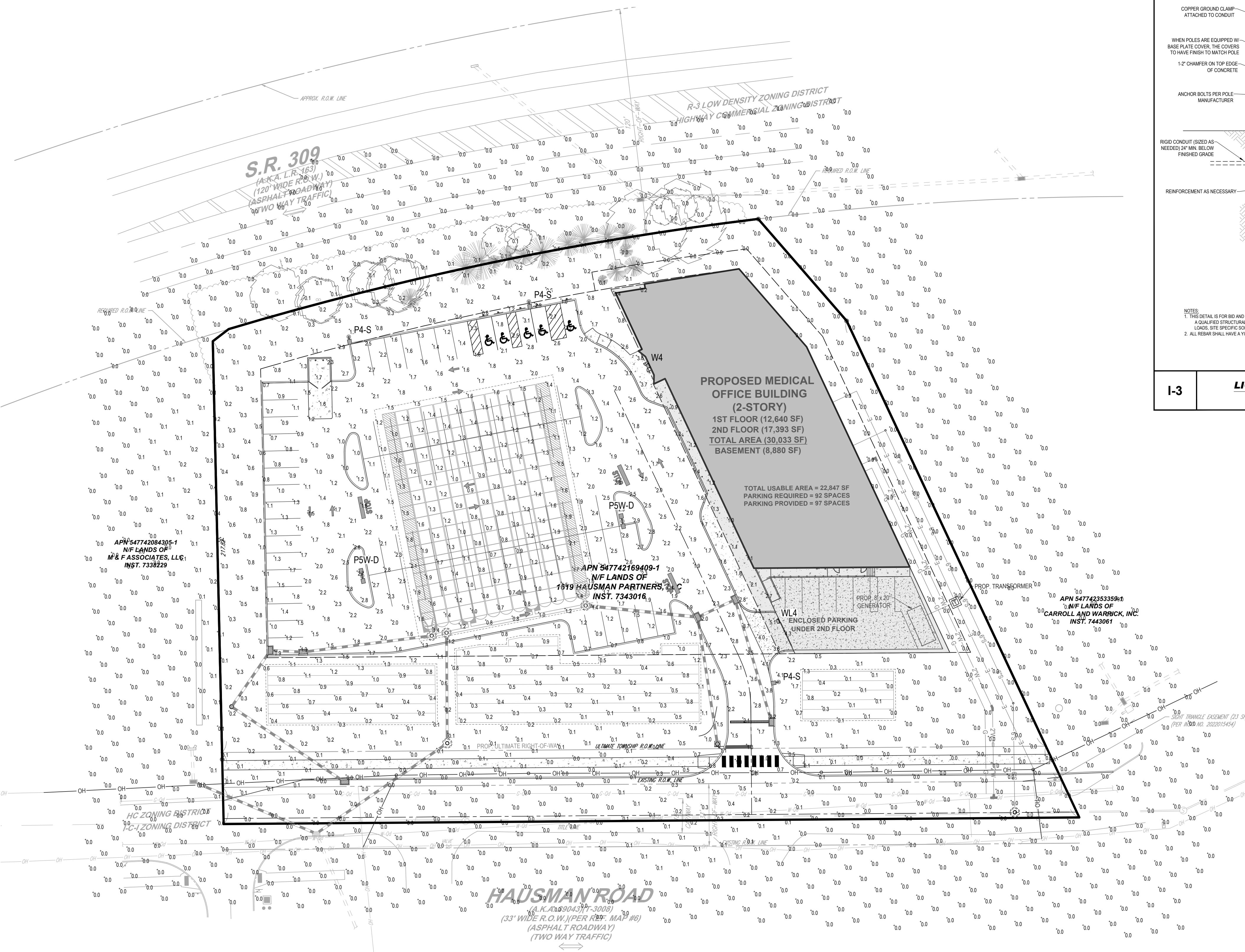
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BETHLEHEM, PA 18018
Phone: (610) 709-9971
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PENNSYLVANIA NORTH
REGISTERED LANDSCAPE ARCHITECT
PENNSYLVANIA LICENSE NO. 12002729
LANDSCAPE ARCHITECT

SHEET TITLE:
LIGHTING PLAN
SHEET NUMBER:
C-703
ORG. DATE - 01/04/2024



I-3 LIGHT POLE FOUNDATION DETAIL
NOT TO SCALE



R:\2023\230046.00\CADD\DRAWINGS\PLAN SET\TRICHTER SITE PLANS\230046.00-LLGT-04.dwg LAYOUT: C-703.LGT

SOUTH WHITEHALL TOWNSHIP

22

4444 Walbert Avenue, Allentown, PA 18104-1699
www.southwhitehall.com • (610) 398-0401

January 5, 2024

1619 Hausman Partners LLC
250 Cetronia Road Suite 301
Allentown, PA 18104-9168

**Re: *Aesthetic Surgery Associates Medical Office Building
Major Plan 2023-106
Application Completeness Review***

Gentlemen:

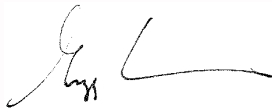
This letter constitutes the Completeness Review for your application of January 4, 2024 for preliminary/final plan review of the above-referenced Major Plan. A determination has been made that your application is ***Administratively Complete***. Please find attached the following documents:

1. *The Escrow and Reimbursement Agreement*
2. An Invoice for the Application Fee
3. An Invoice for the Subdivision Escrow

In order to complete the application, complete and sign the *Escrow and Reimbursement Agreement*, attach a check for the invoiced amount to the Application Fee Invoice, and attach a check for the invoiced amount to the Subdivision Escrow Invoice, and return all three items to the Cashier at the South Whitehall Township Municipal Building no later than 3:30 PM on Thursday January 11, 2024 in order to be on the February 8, 2024 Planning Commission meeting agenda. Should the above-mentioned items be received after the above-mentioned deadline date, the application shall be reviewed at the next available Planning Commission meeting (in accordance with the published meeting submission deadline schedule).

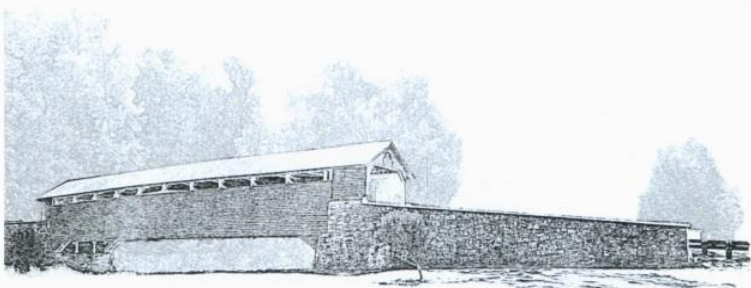
If you have any questions, please call.

Sincerely,



**Gregg R. Adams, Planner
Community Development Department**

cc: D. Manhardt Sub. File 2023-106



MEMORANDUM

TO: Mr. Gregg R. Adams via e-mail
Planner, Community Development Department
South Whitehall Township

FROM: Mr. Anthony F. Tallarida, PE *AFT*
Manager, Municipal Engineering Services

SUBJECT: South Whitehall Township
Aesthetic Surgery Associates MOB
Major Plan #2023-106
Preliminary/Final Plan Review

DATE: January 31, 2024

COPIES: Mr. Thomas R. Petrucci, MPA
Township Manager
South Whitehall Township

Mr. David Manhardt, AICP
Director of Community Development
South Whitehall Township

Mr. Herb Bender
Director of Township Operations
South Whitehall Township

Mr. Mike Elias
Public Works Utility and MS4 Program Coordinator
South Whitehall Township

Ms. Tracy J.B. Fehnel
Insurance Administrator & Executive Assistant
South Whitehall Township

Ms. Laura M. Harrier, BCO
Building Code Official/Zoning Officer
South Whitehall Township

Mr. John G. Frantz, CFEL, BCO
Fire Marshal/Building Code Official
South Whitehall Township

Joseph A. Zator, II, Esq.
South Whitehall Township Solicitor
Zator Law

Jennifer R. Alderfer, Esq.
Assistant South Whitehall Township Solicitor
Zator Law

Mr. Don Peters, P.E.
Bohler Engineering PA, LLC

Mr. Johnny Chung, MD
Aesthetic Surgery Associates

(all via e-mail)

Mr. Ronald J. Gawlik, PE, Township Engineer

REPORT:

South Whitehall Township Ordinances:

Zoning Ordinance (ZO)

Subdivision and Land Development Ordinance (SALDO)

Stormwater Management Plan (SMP)

See attached list for documents reviewed.

Proposal:

- Development of an existing 2.6± acre property along Hausman Road;
- Proposed 2-story Medical Office Building (22,550± s.f. usable area);
- 97 Space Parking Area;
- 1 Underground Detention Facility;
- 3 Capture and Reuse Irrigation Beds;
- Highway Commercial Zoning District;
- TND – Commercial Retrofit;
- Public Sewer; and
- Public Water.

Waivers / Variances Granted:

None to date.

Recommendation:

Engineering approval not recommended at this time.

jfw/laf

Enclosures

South Whitehall Township
Aesthetic Surgery Associates MOB
Major Plan #2023-106
Preliminary/Final Plan Review

January 31, 2024

REVIEW COMMENTS

A. Planning

1. Waivers requested by the Design Engineer in a letter dated January 4, 2023:
 - a. SALDO §312-11 and §312-13 – Waiver to permit a Preliminary/Final submission concurrently. A waiver from these sections does not appear necessary as a Preliminary/Final Plan is permitted;
 - b. SALDO §312-12(b)(15) – Waiver from the requirement of showing contours on adjacent land within 400 feet of the tract. We have no engineering objection to this request;
 - c. SALDO §312-23(b)(20) – Waiver from the requirement of showing the location, character, and elevation of any building within 100 feet of the tract. We have no engineering objection to this request, however, we note the requested waiver section should be SALDO §312-12(b)(20);
 - d. SALDO §312-23(b)(21) – Waiver from the requirement of showing the locations and widths of all sidewalks, trails, driveways, streets, easements, and right-of-way within 400 feet of the tract. We have no engineering objection to this request, however, we note the requested waiver section should be SALDO §312-12(b)(21);
 - e. SALDO §312-35(b)(3)(A)(4) – Waiver from the requirement of providing a concrete driveway apron;
 - f. SALDO §312-41(a)(1)(A) – Waiver from the requirement of providing street lights along Hausman Road. We defer to the Township Lighting Consultant regarding this request; and
 - g. SMP §296-21(b)(14) – Waiver from the requirement of showing the locations of all public water supply wells within 400 feet of the project and all private water supply wells within 100 feet of the project. We have no engineering objection to this request but defer to any requirements from the Township Geotechnical Consultant for setbacks from wells to infiltration facilities.

In the event waivers are granted, update the waiver note on the Plans to list the date of approval.

B. General

1. Obtain any easements necessary for work being done outside of the right-of-way on the neighboring property, (we note grading is currently proposed). Additionally, confirm the curb and sidewalk connections will properly tie into the improvements at the Carroll and Warrick, Inc. property, as we note that property has an updated Plan for the completion of the curb/sidewalk to their northern property line;
2. List the Lighting Details Sheet, Sheet C-704, in the Drawing Sheet Index on the Cover Sheet;
3. List the Plan sheet size in the upper left hand corner of each Plan sheet, SALDO §312-12(b)(2);
4. Provide a statement of intended use on a Plan to be recorded, SALDO §312-12(b)(8)(G);
5. Check the boundary of the tract and provide closure reports to confirm lot closure as we note the area does not close within tolerance based on Plan labeled bearings. Additionally, legal descriptions should be provided for all areas to be dedicated to the Township, SALDO §312-12(b)(14);
6. The Shade Tree Commission should determine the acceptability of the proposed landscaping, SALDO §312-12(b)(28) and §312-12(b)(36);
7. Provide a typical cross-section for Hausman Road, SALDO §312-12(b)(32);
8. Provide water and sanitary sewer profiles for the proposed connections along Hausman Road, SALDO §312-12(b)(33) and §312-12(b)(34);
9. Submit a Project Narrative with all required information, SALDO §312-12(b)(40); and
10. The Zoning Officer may request a Zoning Plan showing historical zoning relief, and all zoning requirements, SALDO §312-12(b)(41).

C. Stormwater Management

1. Provide additional stormwater management provisions within Post-Development tributary area 2b. We note that the pre-development analysis shows that the runoff within this section of Hausman Road will discharge to the existing inlet south of the site. However, in the post-development conditions, the tributary area from 2b will follow the proposed curblin and continue down Hausman Road. Additionally, the

post-development rate for POI 2 is calculated to be greater than the pre-development rate for the 2- and 10-year storm events, SMP §296-11.F and §296-18.R(1)(c);

2. Revise the Pre-Development and Post-Development 1 tributary area runoff rate and volume calculations to consider D soils, SMP§296-18.L;
3. Verify the pre-development Closed Depression routings. The Report indicates that the runoff rate out of the depression is greater than the inflow;
4. Provide an analysis which justifies the General Project Description in the Report to show that any diverted area is mitigated on-site for up to the 100-year storm event;
5. Provide applicable release rate calculations as it appears that the Drip Irrigation System will be winterized or provide an alternative to provide the storage volume assumed in the Subsurface Detention Facility, SMP §296-17.E;
6. Confirm the size of the Subsurface Stone Bed areas and revise the calculations as necessary. It appears that the footprints of each Stone Bed shown in Plan view are inconsistent with the area provided in the Report and Aqua Mist Irrigation Plans;
7. Provide a minimum basin bottom longitudinal slope of 2-percent for the Subsurface Detention Facility, SMP §296-18.R(4)(b). We would defer to the Township Geotechnical Consultant if a waiver would be requested from this requirement;
8. Revise the Subsurface Detention Facility routing calculations to consider storage volume to be provided for the full Water Quality volume below the lowest outlet invert elevation, SMP §296-18.F;
9. Revise the invert out elevation for MH303 to be consistent between the Profile information, Construction Details, and the Report, SALDO §312-12(b)(33);
10. Revise the inlet capacity calculations for Inlet IN202.1 to consider the proposed bypass conditions;
11. Replace the proposed yard drains with Type ‘M’ inlets, SMP §296-18.R(7);
12. Detail any storm sewer connections for a proposed roof leader system for the building as it appears from the Post Development Drainage Plan that the Subsurface Detention Facility is intended to capture these areas. Additionally, revise the inlet drainage areas as necessary to delineate the discharge location of this roof leader system into the storm sewer;
13. Provide an analysis to confirm that the proposed storm sewer connection to the existing inlet in Hausman Road (e.g., Inlet IN301) will not affect the downstream pipe network, SMP §296-18.R(1)(c);
14. Revise the side yard swales to provide side slopes a maximum of 4:1, SMP §296-18.R(3)(d)[2];

15. Provide swale calculations (e.g., swale to Inlet 104 and swale along southern property line) to document that ponding (or additional ponding) will not occur on the adjacent properties, SMP §296-11.F and §296-17.H;
16. Consider providing observation/access ports within the Subsurface Detention Facility for maintenance purposes;
17. Check the Pump On and Off Elevations on Sheet I-03 of the Aqua Mist Irrigation Plans;
18. Identify ownership and maintenance responsibilities for the proposed storm sewer system (including Hausman Road) and the stormwater management facilities;
19. Revise Note for Section §312-39(h) to be consistent with the statements provided in the Ordinance, SALDO §312-39(h);
20. Show any stormwater management easements or provide a blanket easement statement on a Plan to be recorded, SMP §296-21.B(13) and §296-41; and
21. A BMP Operations and Maintenance Plan, describing the proposed procedures, identifying the person responsible, and noting any applicable easements, should be provided, SMP §296-38 and §296-39. The Plan should include a statement, signed by the property owner, acknowledging that stormwater BMPs are fixtures that cannot be altered or removed without approval by the Township, SMP §296-21.D. Additionally, an Operations and Maintenance Agreement should be executed for the proposed stormwater BMPs, SMP §296-45.

D. Traffic

1. Provide additional truck turning templates for delivery truck access to loading/unloading areas;
2. Update the plans to depict all proposed signing labeled with the PennDOT series, message, and size of each sign in the Legend; and
3. Provide detailed grading for the ADA ramps.

E. Policy and Information

1. Address any concerns of the Landscape and Shade Tree Commission, SALDO §312-12(b)(28);
2. Copies of all correspondence, including all data submitted to outside agencies regarding required permits and approvals, should be provided to the Township and our office;
3. List an anticipated completion date of all public improvements on a recorded plan, SALDO §312-14(b)(7);

4. Update the Planning Commission Signature Blocks to be in accordance with SALDO §312-13(d)(2);
5. The Township should determine whether open space, or fees in lieu thereof, will be required, and an appropriate note added to the plan to be recorded, SALDO §312-34(d) and §312-36(d);
6. Address any concerns of the Township Public Safety Commission;
7. Provide the following Plan notes on a sheet to be recorded:
 - a. Details are a minimum standard for all construction within the Township, and that incorporation of portions or all of the Township Standard Construction Details on the Plans constitutes an acceptance of and endorsement of those standards by the Developer and the Developer's Engineer; and
 - b. All construction within Township right-of-way shall be in accordance with Township Specifications and Standards for construction.
8. Discuss matters pertaining to the design of water distribution and sanitary sewerage systems with Public Works, SALDO §312-12(a)(6)(C) and §312-12(a)(7)(C);
9. We have not reviewed and would defer to the Township Fire Marshal and emergency response personnel regarding the acceptability of emergency access and fire protection requirements;
10. We defer to the Township Electrical Consultant to review the proposed site lighting;
11. We defer to the Township Geotechnical Consultant for review of all geotechnical aspects of the design including, but not limited to, the basin liner details, the sinkhole mitigation details, etc.; and
12. Upon submission of plans for recording, all Statements and Certifications shall be signed and sealed/notarized as applicable, SALDO §312-12(b)(6) and §312-14(b)(2).

The comments noted above are the result of our engineering review. We have not reviewed items associated with legal, geotechnical, lighting, water/sanitary sewerage systems, environmental, building code, public safety, and other non-engineering issues, which should be reviewed by the appropriate Township Staff and Consultants.

South Whitehall Township
Aesthetic Surgery Associates MOB
Major Plan #2023-106
Preliminary/Final Plan Review

List of Plans and Supplemental Information
Prepared by Bohler Engineering, PA LLC and
dated or last revised January 4, 2024, except as noted

1. Cover Sheet, Sheet 1 of 29;
2. General Notes Sheet, Sheet 2 of 29;
3. Existing Conditions/Demolition Plan, Sheet 3 of 29;
4. Aerial Plan, Sheet 4 of 29;
5. Site Plan, Sheet 5 of 29;
6. Fire Truck Turning Plan, Sheet 6 of 29;
7. Refuse Truck Turning Plan, Sheet 7 of 29;
8. Grading Plan, Sheet 8 of 29;
9. Utility Plan, Sheet 9 of 29;
10. Soil Erosion and Sediment Pollution Control Plan, Sheet 10 of 29;
11. Soil Erosion and Sediment Control Notes & Details, Sheets 11 through 14 of 29;
12. Post Construction Stormwater Management Plan, Sheet 15 of 29;
13. Post Construction Stormwater Management Notes & Details, Sheets 16 and 17 of 29;
14. Landscape Plan, Sheet 18 of 29;
15. Landscape Notes and Details, Sheet 19 of 29;
16. Lighting Plan, Sheet 20 of 29;
17. Lighting Details, Sheet 21 of 29;
18. Profiles, Sheets 22 and 23 of 29;
19. Details Sheet, Sheets 24 and 25 of 29;
20. Predevelopment Drainage Area Plan, Sheet 26 of 29;
21. Post Development Drainage Area Plan, Sheet 27 of 29;
22. Inlet Drainage Area Plan, Sheet 28 of 29;
23. Volume Exhibit, Sheet 29 of 29;

24. PCSM Plans, Sheets 1 through 5 of 5, prepared by Aqua Mist Irrigation, dated December 12, 2023;
25. Stormwater Management Report; and
26. Subdivision and Land Development Application, dated December 28, 2023.

In addition, we have also received the following in support of the application:

1. Land Title Survey Plan, prepared by Control Point Associates, Inc., revised December 19, 2023;
2. Architect Plans, prepared by MKSD, LLC, dated November 30, 2023 (cursory review only);
3. Summary of Geophysical Survey & Wetlands Evaluation Findings, prepared by Whitestone, dated October 20, 2023;
4. Environmental Site Assessment, prepared by Whitestone, dated September 22, 2023;
5. Report of Geotechnical Investigation, prepared by Whitestone, dated October 24, 2023;
6. Recorded Deed, dated November 15, 2023;
7. LVPC Application, dated December 28, 2023;
8. Letter of Transmittal to Lehigh Valley Planning Commission;
9. Waiver Request Letter; and
10. Letter of Transmittal to South Whitehall Township.



January 31, 2024

Mr. Gregg Adams, Planner
South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104

Re: Aesthetic Surgery Associates Medical Office Building
Land Development Major Plan 2023-106
SSM File 103400.0109

Dear Mr. Adams:

This correspondence is provided as a review of the Land Development Plan submitted for the above referenced project as prepared on 1/04/24. The plan is for a new building located at 1619 Hausman Rd. We have the following comments regarding the water and sanitary sewer utilities:

General Comments

1. Show SWT Standard Utility Details on the detail sheet. SSM can provide upon request.
2. Developer shall clarify the use of the building in order to determine the need for a second water tap (Medical Office Building vs. Hospital use)

Water Comments

1. Show location and depth of exiting 12-inch water main on Hausman Rd.

Sanitary Sewer Comments

1. A sewer planning module will be required for the proposed development.

Sincerely,
Spotts, Stevens and McCoy

A handwritten signature in blue ink that reads "Jason M. Newhard".

Jason M. Newhard, CCM, LO
Manager, Construction Mgt. Services
Water and Wastewater Engineering
jason.newhard@ssmgroup.com

cc: SWT, PW Dept.



HanoverEngineering

252 Brodhead Road • Suite 100 • Bethlehem, PA 18017-8944

Phone: 610.691.5644 • Fax: 610.691.6968 • HanoverEng.com

January 24, 2024

Mr. Gregg Adams, Planner
South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104-1699

RE: Geotechnical Engineering Review of
Provided Documents
Aesthetic Surgery Associates
Medical Office Building Major Plan 2023-106
South Whitehall Township, Lehigh County,
Pennsylvania
Hanover Project SWT23-11(017)

Dear Mr. Adams:

Hanover Engineering (Hanover) has reviewed the information received on January 12, 2024 via electronic link. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following:

1. Report referenced as "Summary of Geophysical Survey & Wetlands Evaluation Findings", prepared by Whitestone Associates, Inc (Whitestone), dated October 20, 2023.
2. Report entitled "Summary Report of Findings Phase I Environmental Site Assessment," prepared by Whitestone, dated September 22, 2023.
3. Report entitled "Report of Geotechnical Investigation", prepared by Whitestone, dated October 24, 2023.
4. Report entitled "Stormwater Management Report", prepared by Bohler Engineering (Bohler), dated January 4, 2024.
5. Plan entitled "ALTA/NSPS Land Title Survey", Drawing No. 1 of 1, prepared by Control Point Associates, Inc., dated July 25, 2023.
6. Plan set entitled "Aesthetic Surgery Associates", Sheets 01 through 05, prepared by Aqua-Mist, dated December 12, 2023.
7. Engineering plan set entitled "Preliminary/Final Land Development Plans for Aesthetic Surgery Associates", Sheets C-101 through C-1003 (28 sheets total), prepared by Bohler, dated January 4, 2024.

This is the first submission of these documents to our office for review. Based on our review, it is our understanding that the subject property consists of a vacant, single tax parcel approximately 2.61 acres in size. The applicant proposes to construct a two (2) story medical office building with a driveway leading in from Hausman Road and appurtenant paved parking areas, stormwater collection and conveyance system, a subsurface stormwater detention facility, and three (3) subsurface stormwater irrigation beds. The site will be served by public water and public sewer. We offer the following comments:

- A. Chapter 296, Stormwater Management, of the South Whitehall Township Code:
1. Chapter 296-11.T: Within areas containing soils identified by the Soils Conservation Service to be sinkhole prone, detention basins shall be lined with a material which, after installation, attains a permeability rate of less than or equal to 1×10^{-7} cm/sec. On the Subsurface Detention facility cross section, the applicant has proposed a 40-mil liner, which is acceptable. For irrigation beds #1,2, and 3, the applicant shall demonstrate compliance with this requirement or formally request a waiver.
 2. Chapter 296-11.Y: Infiltration for stormwater management is encouraged where soils and geology permit, consistent with the provisions of this chapter and, where applicable, the Recommendation Chart for Infiltration Stormwater Management BMPs in Carbonate Bedrock in Appendix D. Infiltration is encouraged for capturing and treating the Water Quality Volume, any part of the Water Quality Volume, or for otherwise meeting the purposes of this chapter. The applicant shall demonstrate that this proposal is consistent with the Recommendation Chart.
 3. Chapter 296-15.F: Infiltration BMPs shall not be constructed on fill unless the applicant demonstrates that the fill is stable and otherwise meets the infiltration BMP standards of this chapter. Fill was documented in test pit SSPP-4 down to Elevation 512, which is the proposed bottom elevation for Bed 2. Provide procedures to be followed in the event that unsuitable fill is encountered below the proposed bottom elevation of this facility.
 4. Chapter 296-15.H: The applicant shall conduct a preliminary site investigation. It appears that the field testing already conducted and reported adequately satisfies this requirement. It is noted that this office was not notified of this soil testing as required by this section.
 5. Address the following requirements of Chapter 296-15.I:
 - a. Paragraph (2): Depth to seasonal high-water table below the invert of the BMP greater than or equal to three feet (3'). Test Pit SSPP-2 documented groundwater at Elevation 508.5 in Bed #1 which has a proposed bottom elevation of 510. Based on the information submitted, the required vertical isolation distance is not provided.
 - b. Paragraph (3): Soil permeability is to be measured by percolation test to be greater than or equal to 0.5 inches/hour and less than or equal to 12 inches per hour. The consultant states that he utilized borehole infiltration and double ring infiltrometer testing methodologies. The consultant shall provide a justification for the testing methods used. The existing testing was conducted above and below the design elevations for all three (3) beds, but not at the design elevations. Raw infiltration rates (prior to application of a safety factor) for Beds 1, 2, and 3 were 0.25, 0.50, and 0.22 inches per hour respectively for the tests that are located within each basin footprint. As stated above, this office was not notified of this testing.
 - c. Paragraph (4) Setback distances or buffers: Provide all information necessary to demonstrate compliance with all of the requirements of this section.
 6. Chapter 296-15.K: For infiltration areas that appear feasible based on the preliminary site investigation, the applicant shall conduct the additional site investigation and

testing as outlined in Appendix G. Based on all of the factors listed in Comment 5.b above, the additional testing is required. This office shall be notified of the testing schedule to allow for observation of the testing. The infiltration rate for each individual bed shall be calculated and reported.

B. Report of Geotechnical Investigation

1. On Page 11 the “Site Planning Considerations” section contains recommended design measures and construction practices. These shall be added to the plan notes.
2. On Page 11 the “Sinkhole Remediation” section contains recommendations and procedures. These shall be added to the plan notes.
3. On Page 20 the “Construction Phase Inspection” section contains recommendations. These shall be added to the plan notes.
4. The Infiltration Test report forms indicate that only three (3) timed readings after the presoak were recorded for Tests I-6, I-7, I-11, I-12, I-13, and I-14, and that only two (2) timed readings were recorded for Tests I-10 and I-15. This testing requires a minimum of four (4) timed readings following the presoak. All future testing conducted shall satisfy this requirement.

C. Stormwater Management Report

1. On Page 14, the testing data provided indicates that the field infiltration rate is 0.50 inches per hour (in/hr), not the 0.25 in/hr listed. The infiltration rates for all three (3) beds reported in this section shall be revised based on the results of the additional testing.

D. Aqua-Mist Plans

1. Two (2) different bed cross sections are provided. Clarify if the beds are to be constructed in these different ways or delete the incorrect cross section.
2. Check the hole size listed on the plan view and detail as being 3/4”. This size appears to be incorrect given a pipe size that is only 1.5 inches in diameter.
3. Update the field infiltration rates for all three (3) beds when additional testing is complete. It is noted that the information for Bed (Zone) 2 is incorrect based on current data.
4. Revise all references to “spray irrigation” to indicate “drip irrigation”. Remove all references to “heads”, “sprinkler heads”, etc. that are not applicable to drip irrigation.
5. Provide correct sheet numbering in the title blocks of each sheet.

E. Land Development Plans

1. Section 312.12(b)(18) of the Subdivision and Land Development Ordinance: Provide and label the location of all significant features listed or provide a note stating which features do not exist on the site.
2. On Sheet C-608, BMP Typical Cross Section Detail, address the following issues:

Mr. Gregg Adams
Planner

4

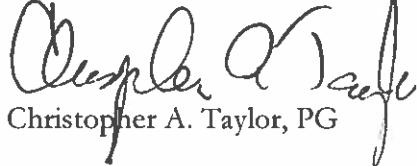
January 24, 2024

- a. The Elevation Table indicates a vertical difference of 0.5 feet from bottom of pipe to top of pipe for each bed. The labeling on the cross section indicates a pipe diameter of 1.5 inches. Please clarify.
 - b. Provide specifications for the subgrade treatment – scarified, uncompacted, free of coarse fragments, free of debris and organics, etc.
 - c. Clarify if geotextile is proposed on the bed bottom, sides, and/or top and provide a label and specification as appropriate.
 - d. Clarify the 5' dimension arrows on the outsides of the bed cross section.
 - e. Make the cross section graphically proportional and provide all dimensions in the same unit of measure.
3. On Sheet C-606, Infiltration Testing Summary Table, add data that is missing or incorrect based on the soil test reporting forms, as follows:
 - a. Test Pit 5: Rock depth and elevation and limiting zone elevation.
 - b. Test Pit 7: Water table depth and elevation and limiting zone elevation.
 - c. Test Pit 13: Infiltration rate should be 0.75 inches per hour (in/hr) and the design rate should be 0.38 in/hr.
 4. On Sheet C-201, a closed depression is indicated by the closed 511 contour line on the south side of the property. This feature shall be investigated and characterized concurrent with the additional soil testing per the above comment. If found to be karst in nature, the feature shall be labeled on the plans and remediation measures shall be provided in the plan notes.

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING



Christopher A. Taylor, PG

cat:cat/sas

S:\Projects\Municipal\WhitehallTownship\Sw123-11(017)-AestheticSurgeryAssociatesMedicalOfficeBuildingMajorPlan2023-106\Docs\2024-01-24-SWT Geotech, Aesthetic Surgery Assoc MOB Major Plan geotech rev cmt ltr 1.doc

cc: Mr. Dave Manhardt, Director of Community Development (via email)
Mr. Herb Bender, Public Works Director (via email)
Mr. Anthony F. Tallarida, PE, The Pidcock Company (via email)
Mr. Mark Gnall, PE, The Pidcock Company (via email)
Mr. Johnny Chung, MD, 1619 Hausman Partners, LLC
Mr. Donald K. Peters, PE, Bohler Engineering

January 16, 2024

South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104-1699

Attn: Mr. Gregg Adams

Re: 1619 Hausman Rd. – Aesthetic Surgery Associates - Site Lighting Review

Dear Mr. Adams:

I have reviewed the Information submitted for the project at 1619 Hausman Road in the Township. The following plan was submitted containing the lighting information:

- Sheet C-703, dated January 4, 2024
- Sheet C-704, dated January 4, 2024

The plan as submitted conforms to the latest Township Ordinances for lighting.

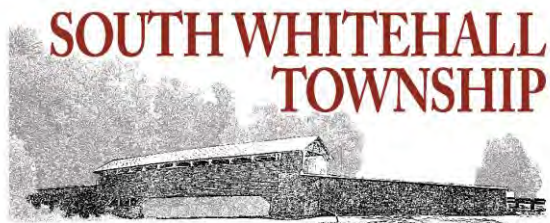
Please feel free to contact me if you have any questions.

Very Truly Yours,



Corey Trumbower
Snyder Hoffman Associates, Inc.

cc: Mark J. Gnall, P.E., Anthony Tallarida, P.E. – The Pidcock Company
Laura M. Harrier – SWT, Lynn A. LaBarre - SWT



INTEROFFICE MEMORANDUM

TO: DAVE MANHARDT, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: HERB BENDER, PUBLIC WORKS MANAGER

DATE: JANUARY 18, 2024

**SUBJECT: AESTHETIC SURGERY ASSOCIATES MEDICAL OFFICE BUILDING
MAJOR PLAN 2023-106**

The Public Works Dept. reviewed the above project and has the following comments:

1. We need to know water usage needs to determine water/sewer tapping and allocation, as well as a sewer planning module.
2. Separate fire line may be required. If fire line is required you must maintain proper separation between utilities.
3. All storm to remain private.
4. Water meter needs to be Neptune Mach 10 with external antenna.
5. All specs need to be Township specs on plan.
6. All sanitary manholes need to be wrapped from casting to base of cone.
7. Water service will be owned to TSV.

SOUTH WHITEHALL TOWNSHIP

4444 Walbert Avenue, Allentown, PA 18104-1699
www.southwhitehall.com • (610) 398-0401

February 1, 2024

1619 Hausman Road Partners LLC
Attn: Johnny Chung, MD
250 Cetronia Road Suite 301
Allentown, PA 18104

**RE: *Aesthetic Surgery Associates Medical Office Building
Major Plan 2023-106
Request For Preliminary/Final Plan Review***

Dear Dr. Chung:

The purpose of this letter is to report zoning and non-engineering related comments that are to be addressed. My comments follow:

Zoning

1. The comments of the Zoning Officer will be received under a separate cover.

Fire Inspector

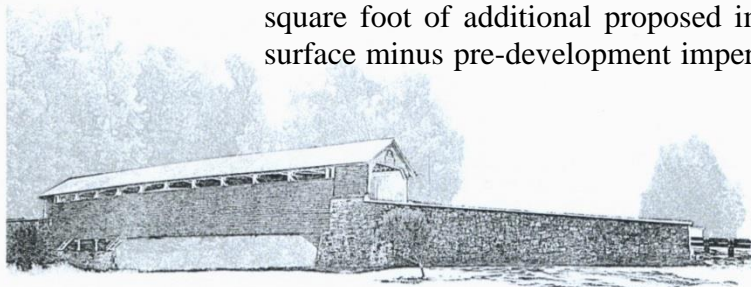
1. The Public Safety Commission in conjunction with the Fire Chief are scheduled to review the plan at their February 5, 2024 meeting.

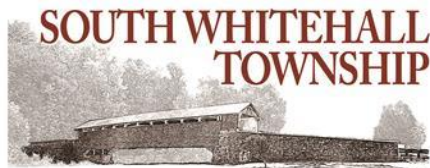
Landscape and Shade Tree Commission

1. The Landscape and Shade Tree Commission is scheduled to review the plan at their February 26, 2024 meeting. It is noted that the street trees are located outside of the right-of-way of Hausman Road. A Street Tree Easement encompassing the planting area of the street trees will be required. The American Elm is on the South Whitehall Township list of prohibited species. Please replace them with an acceptable species. It is also recommended that any maples be replaced with species resistant to Verticillium Wilt.

Open Space and Recreation

1. The Parks and Recreation Board is scheduled to review the plan at their February 12, 2024 meeting. For nonresidential developments a fee shall be Twenty-Five Cents (\$0.25) per square foot of additional proposed impervious coverage (post-development impervious surface minus pre-development impervious surface) in lieu of the requirement for public





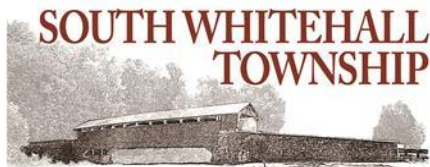
dedication of land. Please provide the additional square footage of impervious surface with the next plan submission so that the fee can be calculated. According to the Bulk Requirements table on the Site Plan, 55,032 additional square feet of impervious surface is proposed, resulting in a fee of \$13,758.00.

Water & Sewer

1. The applicant is to request allocations for water and sewer from the South Whitehall Township Board of Commissioners. Please be aware that the Board of Commissioners now charges both allocation fees and tapping (connection) fees. The applicant must address all water and sewer service issues, and obtain all approvals deemed necessary by the South Whitehall Township Board of Commissioners. You are advised to contact the Township Operations Manager Herb Bender, as soon as practicable, to learn of, or confirm any or all of:
 - a. The amount of any water and/or sewer *allocation fees*. The fees shall be calculated by the Township Water and Sewer Engineer and provided on the “Will Serve” letter. The fee for the allocation(s) will be due prior to plan recording;
 - b. The amount of any water and/or sewer *connection fees*. The fees shall be calculated by the Township Water and Sewer Engineer and provided on the “Will Serve” letter. The fees are due at or before the building permit is to be issued;
 - c. The amount of any *contributions* that would cover the cost of extending the water and/or sewer system so that it can serve your development.
2. The applicant is to contact the PA Department of Environmental Protection to determine what Sewage Facility Planning requirements are to be met for this development.
3. An Erosion and Sediment Control Plan is required for any earth disturbance activity of more than 5,000 square feet pursuant to Section 296-11(B) of the South Whitehall Township Codified Ordinance (Stormwater Management Plan).
4. The applicant shall forward a copy of the plan to PPL for a recommendation on street lighting per Section 312-41(a)(1) of SALDR.

Legal and Other

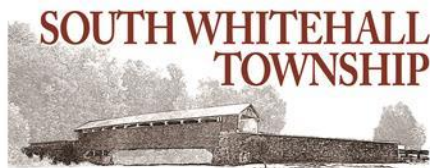
1. Township policy with regard to the deferral of sidewalk and curbing has changed and deferrals shall no longer be granted. The applicant should be prepared to discuss compliance with SALDO Section 312-35(b)(3)(A)(ii).



2. The Township Solicitor and Township Engineer may want to comment upon the legal requirements of the MS4 program with regard to any private stormwater management facilities.
3. That the plan be amended to include a note referencing the “State Highway Law” pursuant to Section 508.6 of the PA Municipalities Planning Code and Section 312-12(a)(9) of the Subdivision and Land Development Ordinance.
4. The dumpster location shall be identified on the plan and screened and buffered in accordance with Section 350-42(b) of the Zoning Ordinance and Section 288-4(c) of the Codified Ordinances.
5. Please consider the following in placement locations for street trees:
 - a. Placement over inlets should be avoided;
 - b. Provide ample clearance from street lights and hydrants.
6. A note shall be added to the plan (in the Light pole Foundation Detail on Sheet C-703) stating that a building permit is required for light pole foundations prior to installation.
7. That a note be added to the site plan stating that the applicant is responsible for joining the PA One Call system and is responsible for the marking of all underground utilities prior to the utilities being formally accepted by and dedicated to the Township.
8. Confirmation of a plan submittal to PennDOT and LANTA shall be provided.
9. Signature Blocks and Certifications to appear on each plan sheet to be recorded.

Plan Recording Requirements

1. Prior to plan recording, the applicant shall submit a check set of plans in PDF format to the Township Engineer and Township to ensure that the standards and requirements of the Lehigh County Recorder of Deeds Office for a recorded plan are met.
2. Signature Blocks and Certifications to appear on each plan sheet to be recorded.
3. The size of the plan sheet shall be noted on the upper left-hand corner of every plan sheet to be recorded.
4. Wherever a Parcel ID is shown on a plan sheet to be recorded, it shall include the appropriate parnum suffix, such as 547677593477-1 or 547687003997-59.
5. Wherever an Owner’s signature is required, the Signature shall be accompanied by a Printed Name and Title (Owner or Title within the owning organization), and an area for a Notary stamp. If there are multiple owners, there shall be signature blocks and areas for Notary stamps for each and every owner’s name. The name of the owner (individual



and/or organization) in the signature block shall match the name listed elsewhere on the plan.

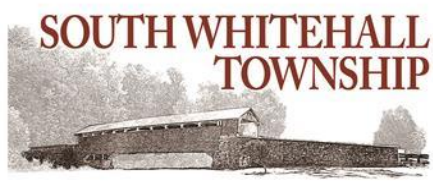
6. On the cover sheet or (if no cover sheet is present) the site plan sheet, include a table listing all of the properties involved in the project, including PIN and Parnum. This information may be included within an existing table or a new table may be created.
7. The review date of the Planning Commission and the review date and Resolution number of the Board of Commissioners shall be placed into the appropriate Board endorsement notes on the appropriate plan sheet to be recorded. Dates and Resolution number may be obtained from South Whitehall Township.

Waiver and Deferral Request Commentary

1. Request to waive SALDO Section 312-11 and 312-13 – Waiver is not necessary as a Preliminary/Final plan submission is permitted.
2. Request to waive SALDO Section 312-12(b)(15) – Staff defers to the Township Engineer.
3. Request to waive SALDO Section 312-23(b)(20) – Staff defers to the Township Engineer.
4. Request to waive SALDO Section 312-23(b)(21) – Staff defers to the Township Engineer.
5. Request to waive SALDO Section 312-35(b)(3)(A)(4) – Staff defers to the Township Engineer.
6. Request to waive SALDO Section 312-41(a)(1)(A) – Unless otherwise recommended by the Township Lighting Consultant, staff has no objections to deferring the requirement for streetlights, as 1670 Church Road Padda Property LLC located nearby in the same neighborhood recently received a deferral of the same requirement.
7. Request to waive SALDO Section 296-21(b)(14) – Staff defers to the Geotechnical Consultant.

Official Map & Comprehensive Plan

1. The Official Map depicts the subject parcel as fronting a Collector Road (Hausman Road) and having frontage along a Principal Arterial Road (PA Route 309). The parcel is underlain by karst geology.
2. The Comprehensive Plan envisions the tract within a Neighborhood Residential Land Use Type. The goal of Neighborhood Residential is to:
 - Encourage housing types to address the needs of all income levels



- Support opportunities for local-serving small business development where appropriate
- Evaluate pedestrian safety and connectivity
- Encourage walkability within neighborhoods and to other land use types
- Consider traffic calming and congestion relief where possible
- And utilize streetscaping, facades, and beautification techniques to create sense of place and preserve community character.
- Neighborhood Residential Land Use supports Open Space, Agriculture, Conservation Subdivision, Small Lot Residential, Multi-Family Residential, Neighborhood Center and Mixed-Residential place types.

Your plan is scheduled to be reviewed by the Planning Commission on Thursday, February 8, 2024 at 7:00 p.m. in the South Whitehall Township Municipal Building located at 4444 Walbert Avenue. The meeting will be also be livestreamed via GoToMeeting. To access the meeting though your computer, go to <https://global.gotomeeting.com/join/757430189>. To access the meeting through your phone, dial 1-224-501-3412 and, when prompted, enter 757 430 189 to join the meeting.

If you have any questions, please call.

Sincerely,

A handwritten signature in black ink, appearing to read "Gregg", followed by a long horizontal flourish.

Gregg R. Adams
Planner, Community Development Department
South Whitehall Township
610.398.0401
adamsg@southwhitehall.com

cc: T. Petrucci D. Manhardt L. Harrier J. Frantz H. Bender
 M. Elias S. Pidcock A. Tallarida L. Pereira, Esq. D. Peters, Bohler
 Sub. File 2023-106



Lehigh Valley Planning Commission

DR. CHRISTOPHER R. AMATO
Chair

CHRISTINA V. MORGAN
Vice Chair

ARMANDO MORITZ-CHAPELLIQUEN
Treasurer

BECKY A. BRADLEY, AICP
Executive Director

January 31, 2024

Mr. Gregg Adams, Planner
South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104

**Re: Aesthetic Surgery Medical Office – Land Development
South Whitehall Township
Lehigh County**

Dear Mr. Adams:

The subject application proposes the construction of a 30,033 square foot medical office building with related improvements at 1619 Hausman Road (PIN547742169409).

The LVPC offers the following comments:

Development Area

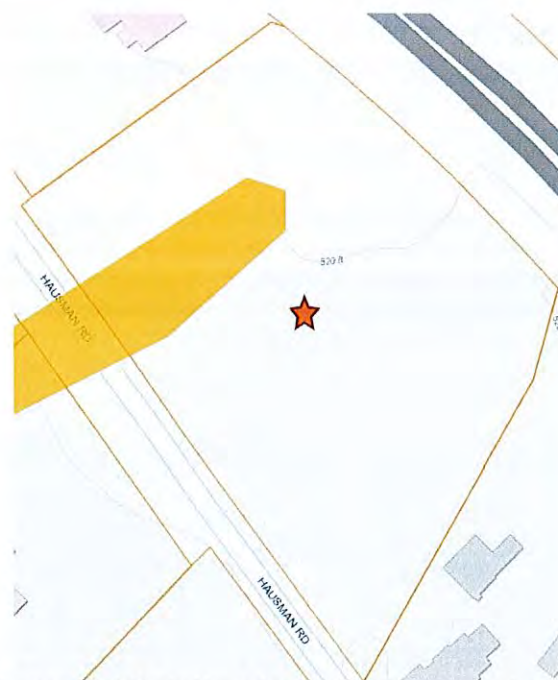
This proposal is located within a development area based on the General Land Use Map in *FutureLV the Regional Plan* (Pages 62-63). These locations have the factors needed to support growth and can sustain additional development.

Infill

The proposal supports a core strategy of *FutureLV* to increase density in urban areas using infill development (Density Special Section, page 81-83).

Hydric Soils

The parcel has a swath of hydric soils running through it. Hydric soils may be protected under the Clean Water Act. The Natural Resources Conservation Service maintains national and state lists of hydric soils and the LVPC recommends verifying that these hydric soils are not listed with the Natural Resource Conservation Service to 'protect high-priority natural lands and water resources' (Policy 3.1).



The parcel is indicated by a star; hydric soils are shown in yellow

Multimodal Accessibility Buffer

The proposed development is within a multimodal accessibility buffer, which is an area where the LVPC highly encourages expansion, improvements, or connections to the mixed-transportation network during development or redevelopment activities (of Policy 2.1). This location is .1 mile from the Lehigh and Northampton Transit Authority (LANTA) Bus stop for Route 309 Stop ID: 5979 and .2 miles from LANTA Bus Stop ID: 6028.

- **Sidewalk**

The LVPC commends the proposed sidewalk that will be installed along Hausman Road that will serve as a connection in the future to an external sidewalk network and improves access to the location for pedestrians including those using a mobility device or tool such as a stroller, walker, scooter, wheelchair, or cane. This supports accessibility and universal design (of Policy 5.2).

- **Bicycle Rack**

The LVPC suggests that the developer consider the addition of parking for bicycles. Many people use their bicycle as a primary or secondary form of transportation in combination with LANTA bus service. The inclusion of one bicycle rack in the development plans would integrate mixed transportation into public space design (of Policy 5.2) and improve connections between bus stops and pedestrian and bicycle infrastructure (of Policy 5.2).

Stormwater Review

The project site is located within the Little Lehigh Creek watershed. This watershed has a fully implemented Act 167 Stormwater Management Ordinance. Comments relative to our review of the project's stormwater management plan are included as attachment 1.

The LVPC encourages the developer to consider opportunities for incorporating sustainable energy systems that reduce overhead operational costs and 'minimize environmental impacts of development' (Policy 3.1), such as geothermal energy systems, solar panels and greywater reuse for irrigation and plumbing. Incorporating sustainable practices to help to 'reduce climate change impacts' (Policy 3.4)."

Municipalities, when considering subdivision/land developments, should reasonably attempt to be consistent with *FutureLV: The Regional Plan*, as required by the Pennsylvania Municipalities Planning Code (MPC) [Article 1§105, Article III§303, §304 & §306(a), Article VI§603(j)].

The LVPC review does not include an in-depth examination of plans relative to subdivision design standards or ordinance requirements since these items are covered in the municipal review.

Sincerely,



Bambi Griffin Rivera
Senior Community and Regional Planner

cc: 1619 Hausman Partners, LLC, Applicant;
Don Peters, PE, Project Engineer/Surveyor;
Tony Tallarida, Township/Borough Engineer;
David Manhardt, Director of Community Development;
Denjam Khadka, LVPC Senior Civil/Environmental Engineer;
Steve Neratko, LVPC Chief Community and Regional Planner;
Geoffrey A. Reese, PE, LVPC Master Planner and Engineer

ATTACHMENT 1

Act 167 Drainage Plan Review

January 31, 2024

Re: Aesthetic Surgery Medical Office
Plans Dated January 4, 2024
South Whitehall Township
Lehigh County

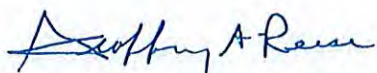
The proposed storm drainage concept presented in the plans and storm drainage calculations dated January 4, 2024 has been reviewed for consistency with the *Little Lehigh Creek Watershed Act 167 Storm Water Management Ordinance*, June 1999. A checklist of the Act 167 review items is attached for your information. As indicated on the checklist, each item of the Drainage Plan has been reviewed for consistency with the Act 167 Ordinance. A brief narrative of the review findings is as follows:

The proposed development is located within drainage district 173 of the Little Lehigh Creek Watershed as delineated in the Act 167 Plan. As such, the runoff control criteria for the site are a 30% Release Rate for the 2-year storm and a 100% Release Rate for the 10-, 25- and 100-year return period storms. Based on review of the plans and calculations, the following deficiencies are noted. The existing closed depression spillway width should be labeled and displayed on the pre-development plan. Roof leaders should be displayed to confirm how runoff from the roof impervious area gets into the underground basin. The storage capacity of infiltration bed 1 appears to be overestimated, as such, the dimensions of the basin should be provided on the plan details. The extra 0.5-foot stone height used in the storage calculation should be displayed on the cross section in addition to the standard chamber height. The proposed drip irrigation and infiltration system needs to be clearly stated on the plans to operate year-round if that is the intent, and the system winterization description should be adjusted accordingly. The post-development flows to point of interest 2 for the 2- and 10-year rainfall events are higher than pre-development flows. The plan should document the long-term maintenance responsibility for the stormwater basins. Therefore, the Drainage Plan has been found to be inconsistent with the Act 167 requirements.

Note that only those details of the Drainage Plan included on the checklist have been covered by this review. Therefore, notable portions of the Drainage Plan not reviewed include any aspect of the post-construction storm water management plan concerning water quality, the details and design of any proposed water quality BMPs, the Erosion and Sedimentation Control Plan and the details of the runoff collection system (piping). These items are reviewed by the municipal engineer and/or others, as applicable.

Once the outlined issues have been addressed, the revised plans, completed application form and appropriate review fee will need to be resubmitted to our office. Please call with any questions regarding these comments.

Sincerely yours,



Geoffrey A. Reese, PE
Master Planner and Engineer



Denjam Khadka
Senior Civil/Environmental Engineer

Attachment

LVPC ACT 167 REVIEW CHECKLIST

Development Name: Aesthetic Surgery Medical Office Watershed: Little Lehigh Creek
 Municipality: South Whitehall Township Reviewer: Denjam Khadka
 Date: January 31, 2024 Checked by: Geoffrey A. Reese, PE

Ordinance Reference	Item	Consistency w/Ordinance		Comment
		Yes	No N/A	

301.A-G.	General storm water management requirements	X	/	/
H.	Consideration of volume controls	X	/	/

302.A,B. Applicable Storm Water Management Provisions	
Subarea(s)	
173	
30%/100% RR	
Criteria	

Criteria Key: RR = release rate; CND = conditional no detention

303.A.	Design consistency with applicable provisions from 302.A. and B.	/	X	/
B.	Mapping of Storm Water Management District Boundaries	X	/	/
C.	Downstream capacity analysis	/	/	X
D.	Multiple discharge points within a single subarea	/	/	X
E,F.	Multiple discharge points within multiple subareas	/	/	X
K.	Documentation of no increase in peak or volume	/	/	X
L.	Documentation of "no harm" downstream	/	/	X
M.	Regional or subregional detention analysis	/	/	X
N.	Capacity improvements analysis	/	/	X

304.A.	Computation method (rational or soil-cover-complex)	X	/	/
B.	Verification of detention design by routing	/	X	/
C.	Minimum detention pond freeboard specifications	/	/	X
E.	Soil-cover-complex method design rainfall	X	/	/
F.	Rainfall intensities for rational method	/	/	X
G.	Curve Numbers for soil-cover-complex method	X	/	/
H.	Runoff coefficients for the rational method	/	/	X
I.	Volume control storage volume	/	/	X
K.	Common time of concentration	/	/	X
L.	Manning equation to calculate watercourse capacity	/	/	X

403.	Drainage Plan Contents	/	X	/
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See Attachment 1 for details.



74 W. Broad Street, Suite 500
Bethlehem, PA 18018
610.709.9971

January 4, 2024
Via Email

South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104

Attention: Gregg Adams, Planner

Re: Aesthetic Surgery Associates
1619 Hausman Partners, LLC
Medical Office Building
1619 Hausman Road
South Whitehall Township
Lehigh County, PA
PAB230046.00

PROJECT NARRATIVE

1619 Hausman Partners, LLC is proposing to improve an undeveloped parcel located at 1619 Hausman Road in South Whitehall Township, with a Medical Office Building. The proposed building will consist of 2-stories and will provide 30,033 SF of gross area.

The parcel is located within the Highway Commercial (HC) Zoning District and is owned by 1619 Hausman Partners, LLC. The parcel ID is 547742169409-1. The existing parcel is 2.61 acres to the Title Line with a proposed 2.23 acres net remaining after offering dedication of right-of-way to the Township.

The single parcel is currently undeveloped and surrounded by commercial developments on both sides, being bound by Hausman Road and Route 309.

The improvements include a proposed 30,033 SF medical office building, with 22,550 SF usable floor area, with a parking requirement of 91 spaces, and a provided 97 spaces. The development will also contain related site amenities and improvements, inclusive of landscaping, lighting, utilities and stormwater management facilities. Stormwater management facilities consist of a subsurface detention basin and corresponding subsurface irrigation beds, consistent with Township, County and State regulations. The site will be served by public water and sewer, with connections located along Hausman Road.

Should you have any questions, or require additional information, please do not hesitate to contact me at dpeters@bohlereng.com or at 610-709-9971.

Sincerely,

BOHLER ENGINEERING PA, LLC

Don Peters, P.E.

DP/mb

cc: Lehigh Valley Planning Commission (Letter)
Johnny Chung, Aesthetic Surgery Associates (email)
Matthias Fenstermacher, The Serfass Companies (email)
Erich Shock, Fitzpatrick Lentz & Bubba, P.C.

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74 W. Broad Street, Suite 500
Bethlehem, PA 18018
610.709.9971

January 4, 2024
Via Hand Delivery & Email
(adamsg@southwhitehall.com)

South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104

Attention: Board of Commissioners

Re: Aesthetic Surgery Associates
Medical Office Building
1619 Hausman Road
South Whitehall Township
Lehigh County, PA
PAB230046.00

Dear Commissioners:

On behalf of Aesthetic Surgery Associates, Bohler Engineering PA, LLC is hereby requesting the following Waivers associated with the Preliminary/Final Land Development application for the above referenced project:

- 1. From SALDO §312-11 & 312-13 to allow concurrent Preliminary/Final plan approval.

Request to permit a Preliminary/Final submission to be reviewed and considered simultaneously.

- 2. From SALDO §312-12(B)(15) which requires showing contours on adjacent land within 400 feet of the site.

A Waiver is requested to accept the Plans as presented. Additional contours nearby the property have been included on the Aerial Plan.

- 3. From SALDO §312-23(B)(20) which requires showing the location, character and elevation of any building within 100 feet of the tract.

In lieu of providing surveyed information, which would require obtaining access to adjoining properties, the Plan set contains an Aerial Plan which shows the surrounding properties of the project site.

- 4. From SALDO §312-23(B)(21) which requires showing the locations and widths of all sidewalks, trails, driveways, streets, easements, and right-of-ways platted or existing in the subdivision and within 400 feet of any part of the subdivision tract.

In lieu of providing surveyed information, which would require obtaining access to adjoining properties, the Plan set contains an Aerial Plan which shows the surrounding properties of the project site.

- 5. From SALDO §312-35(B)(3)(A)(IV) which requires constructing a concrete driveway apron.

In lieu of a concrete driveway apron, accessible concrete ramps will be utilized.

- 6. From SALDO §312-41(A)(1)(A) from providing street lights along Hausman Road.

In lieu of street lights along Hausman Road, adequate lighting will be provided at the driveway entrance and parking facilities.

7. From SWM §296-21(B)(14) from showing the locations of all public water supply wells within 400 feet of the project and all private water supply wells within 100 feet of the project.

A Waiver is requested to accept the Plans as presented.

Thank you for your assistance and should you have any questions, or require additional information, please do not hesitate to contact me at dpeters@bohlereng.com or 610-709-9971.

Sincerely,

BOHLER ENGINEERING PA, LLC



Don Peters, P.E.

DP/mb

cc: Lehigh Valley Planning Commission (Letter)

Johnny Chung, Aesthetic Surgery Associates (email)

Matthias Fenstermacher, The Serfass Companies (email)

Erich Shock, Fitzpatrick Lentz & Bubba, P.C.

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