

**RIDGE FARM
FINAL PLAN PHASE 1C
MAJOR PLAN 2017-101**

ATTACHMENTS

- 1. Memorandum**
- 2. Site Plan**
- 3. Township Engineer Review dated November 8, 2023**
- 4. Township Water and Sewer Engineer Review dated November 7, 2023**
- 5. Township Geotechnical Consultant Reviews dated November 9, 2023**
- 6. Township Lighting Consultant Review dated November 11, 2023**
- 7. Public Works Department Review dated November 9, 2023**
- 8. Community Development Department Review dated November 10, 2023**
- 9. Zoning Officer Review dated November 10, 2023**
- 10. Fire Marshal Review dated October 30, 2023**
- 11. Landscape and Shade Tree Commission Review dated November 21, 2022**
- 12. Parks and Recreation Board Review dated January 26, 2023**
- 13. Applicant Correspondence**
 - A. Project Narrative dated November 17, 2022**

TO: PLANNING COMMISSION
FROM: GREGG R. ADAMS, PLANNER
SUBJECT: RIDGE FARM FINAL PLAN PHASE 1C
MAJOR PLAN 2017-101
REQUEST FOR FINAL PLAN REVIEW

DATE: NOVEMBER 10, 2023

COPIES: BOARD OF COMMISSIONERS, T. PETRUCCI, H. BENDER,
D. MANHARDT, L. HARRIER, J. ZATOR, ESQ., J. ALDERFER,
ESQ, S. PIDCOCK, A. TALLARIDA, APPLICANT, FILE 2017-101

LOCATION AND INTENT:

An application to develop the property located at PIN 548746422139 (located directly west of the Buchman Street/Roosevelt Street intersection and directly north and northwest of the Keneseth Israel Cemetery). The plan proposes 34 two-unit dwelling units (17 pairs of twins); Granary Lane, Gristmill Lane and the continuation of Buchman Street; Active Open Space 5; and Basin 8 and associated stormwater management facilities on an approximately 6.8-acre portion of the 123-acre tract. The property is zoned R-4 Medium Density Residential and TND-Residential Cluster Overlay District and is being developed as a TND-Residential Cluster Overlay. Kay Walbert LLC is the equitable owner and applicant.

PREVIOUS TOWNSHIP CONSIDERATION:

At their December 15, 2022 meeting, the Planning Commission reviewed and took under advisement Major Plan 2017-101 Ridge Farm Final Plan Phase 1C.

At their November 3, 2021 meeting, the Board of Commissioners approved the preliminary plan for Major Plan 2017-101 Ridge Farm.

At their October 21, 2021 meeting, the Planning Commission reviewed and recommended conditional preliminary plan approval of Major Plan 2017-101 Ridge Farm to the Board of Commissioners.

At their September 16, June 17 and February 23, 2021 meetings, and at their September 30, August 24, July 16 and May 21, 2020 meetings, the Planning Commission reviewed and took under advisement Ridge Farm Preliminary Plan 2017-101.

The Board of Commissioners, on November 20, 2019, approved Conditional Use 2017-601 Ridge Farm subject to the applicant complying with the following conditions:

1. That the applicant addresses to the satisfaction of the Township Engineer, the comments of the Township Engineer, as contained in his review letters dated July 31, 2019 and September 13, 2019.
2. That the applicant addresses to the satisfaction of the Township TND Design Consultant, the comments of Mr. Tom Comitta, as contained in his review letter dated July 11, 2019.

3. That the applicant addresses to the satisfaction of the Zoning Officer, the comments of Miss Laura Harrier, as contained in her review letter dated October 25, 2019, 2019.
4. That the applicant addresses to the satisfaction of PENNDOT, the preparation of a complete Traffic Impact Study consistent with the plan submitted and supporting the traffic conclusions presented by the developer's engineer, and the design, permitting, and construction of the improvements identified in the July 25, 2019 email from Rob Hoffman to Brian Boyer and of which Brian Boyer emailed his concurrence on July 31, 2019.
5. That the applicant design and construct the course of travel within the "Mobility Easement" to be an emergency access route between the residential area and the commercial village, with appropriate access control measures at either terminus, the design of which shall be reviewed and approved by the Township. Should a pedestrian and/or bicycle trail be put in place within the "Mobility Easement", rest areas for elderly or handicapped individuals along the easement shall be included, the design and construction of which shall be reviewed and approved by the Township. Further, the "Mobility Easement" shall be of sufficient size to allow a dedication of the "Mobility Easement" as a Township street of similar specifications as the one depicted on the Ridge Farm Sketch Plan last revised November 26, 2018, should the Township desire such a dedication in the future.

The Planning Commission reviewed the application at the following meetings: May 18, 2017; February 15, 2018; September 11, 2018; October 16, 2018; September 16, 2019; and October 30, 2019.

On August 6, 2014, the Board of Commissioners, through Ordinance 985, readopted the South Whitehall Township Zoning Ordinance and Map, which included new regulations for Traditional Neighborhood Development and designated a number of overlay districts within the Township for such developments. The tract includes a TND Residential Cluster Overlay District.

REVIEWING AGENCIES COMMENTS:

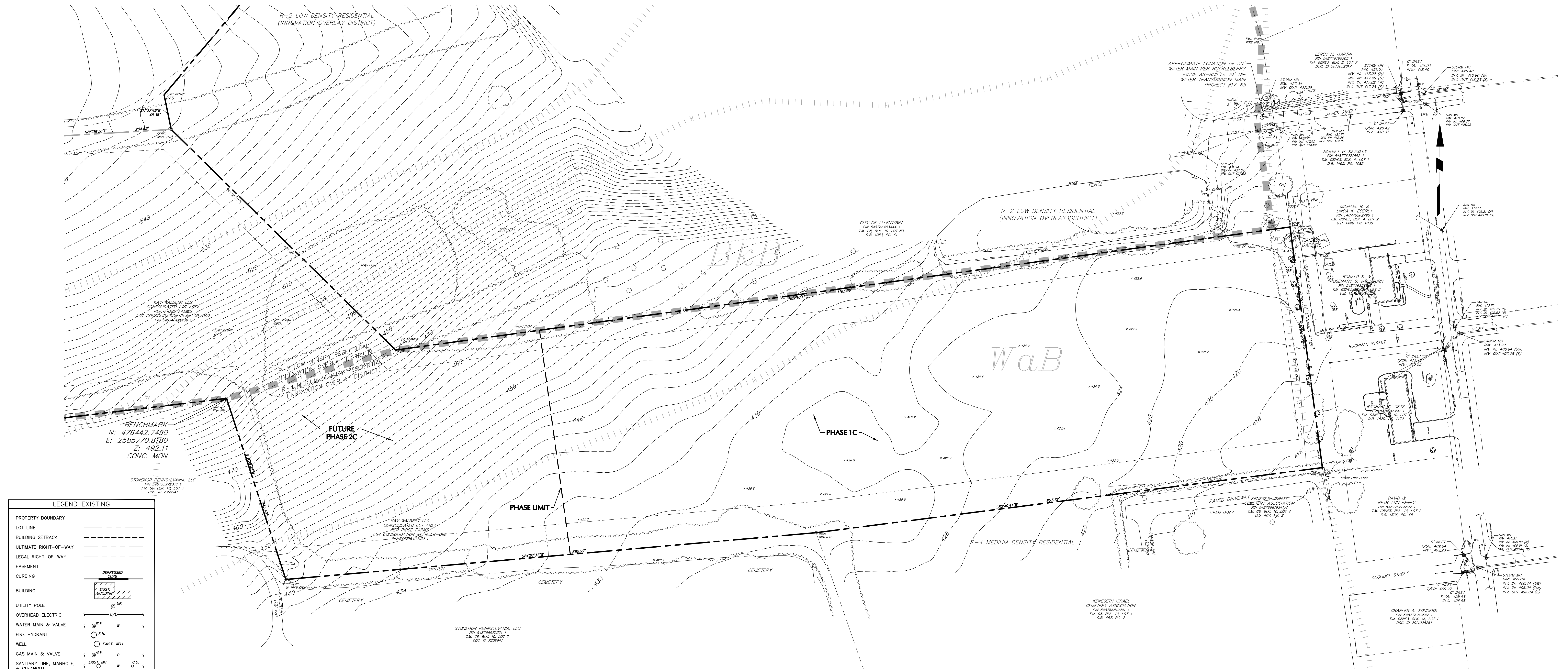
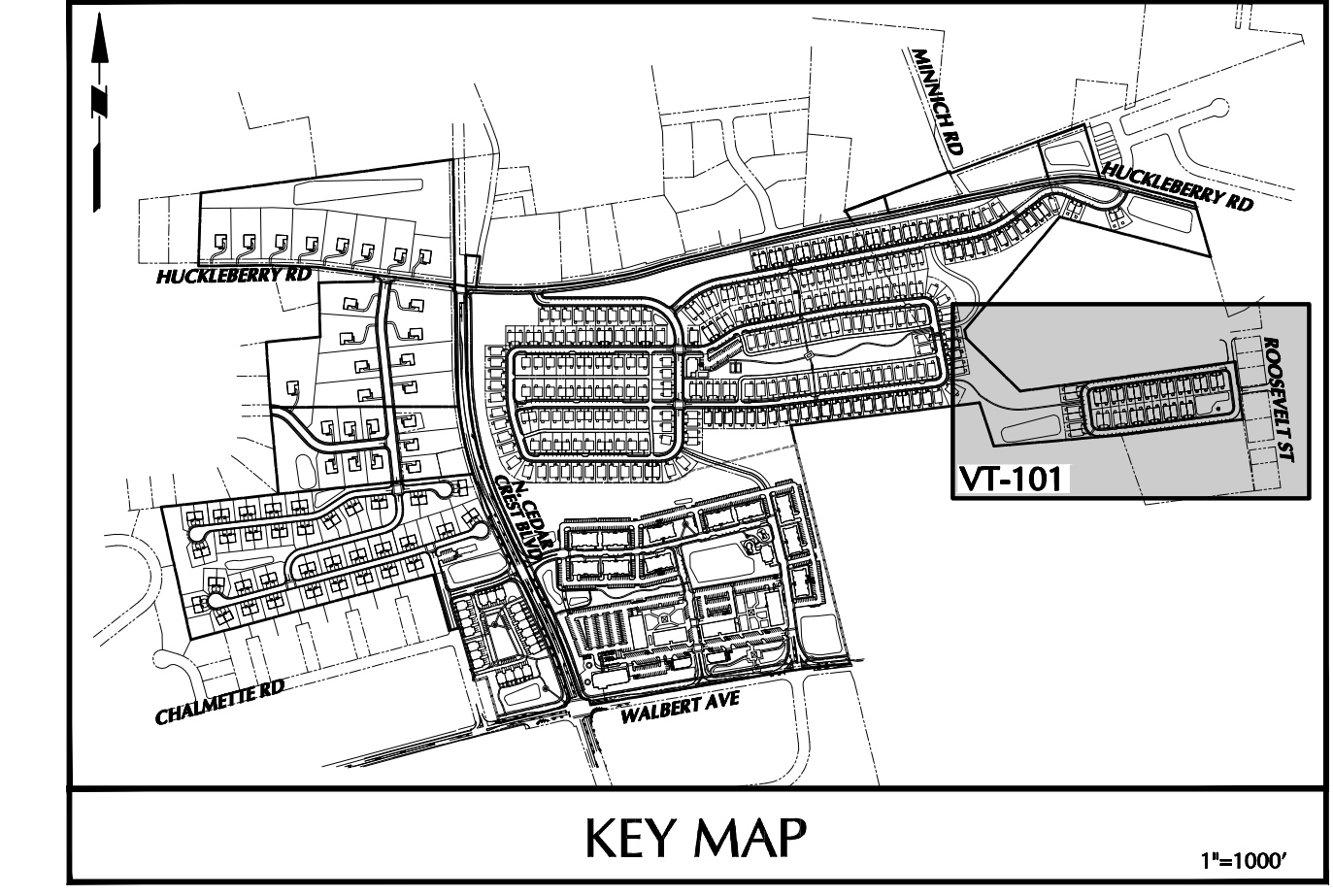
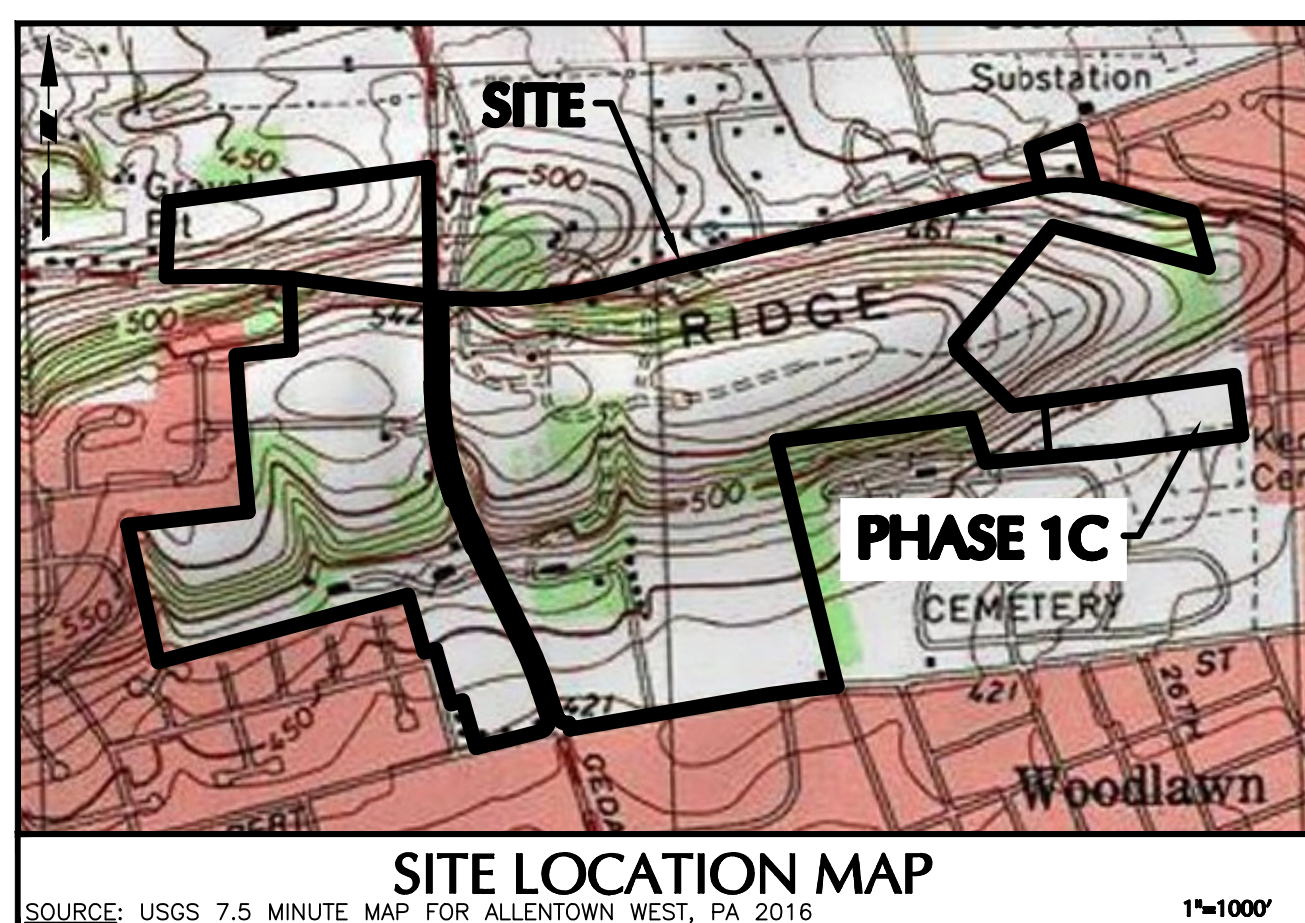
- A. Township Engineer** – The comments of the Township Engineer are contained in Mr. Anthony Tallarida’s review dated November 8, 2023. Mr. Tallarida is not recommending engineering approval at this time. His comments pertain to relevant preliminary plan approval conditions, Buchman Street improvements, accessibility, Phasing Plan revisions, retaining walls, stormwater, traffic, and outside agency approvals.
- B. Township Water & Sewer Engineer** – The comments of the Township Water and Sewer Engineer are contained in Mr. Jason Newhard’s review dated November 7, 2023. His comments pertain to plan detail.
- C. Township Geotechnical Consultant** – The comments of the Geotechnical Consultant are contained in Mr. Chris Taylor’s review dated November 9, 2023. His comments pertain to retaining wall details and plan detail.
- D. Township Lighting Consultant** – The comments of the Lighting Consultant are contained in Mr. Corey Trumbower’s review dated November 11, 2023. His comments pertain to inadequate street lighting.
- E. Township TND Consultant** – The comments of the Township TND Consultant have not been received at the time of this writing.
- F. Public Works Department** – The comments of the Public Works are contained in Manager Herb Bender’s review dated November 9, 2023. Mr. Bender’s comments pertain to fire flow, paving moratorium and road restoration.
- G. Public Safety Committee** –The Public Safety Commission reviewed the plan at its December 6, 2022 meeting and made no comments to the plan.
- H. Landscape and Shade Tree Commission** – The Landscape and Shade Tree Commission is scheduled to review the plan at their November 30, 2023 meeting.
- I. Parks and Recreation Board** –The Parks and Recreation Board reviewed the plan at its January 9, 2023 meeting and determined that the plan is acceptable.
- J. Lehigh Valley Planning Commission** – The comments from the Lehigh Valley Planning Commission are applicable for the preliminary plan. No additional review is required for the final plan submission.
- K. Lehigh County Conservation District** – The comments of the Lehigh County Conservation District have not been received at the time of this writing.
- L. Pennsylvania Department of Transportation** – PennDOT is currently reviewing the applicant’s Highway Occupancy Permit plans.
- M. Pennsylvania Department of Environmental Protection** - The applicant is to obtain approvals from the PA Department of Environmental Protection for NPDES Permits and Sewage Facilities Planning Module Exemption.
- N. Community Development Department** – The Department’s technical review is dated November 11, 2023 and provides comments pertaining to zoning, street trees, Open

Space, water and sewer service, MS4, and Comprehensive Plan and Official Map consistency.

COMMUNITY DEVELOPMENT DEPARTMENT RECOMMENDATION:

The Department recommends that the Planning Commission take the plan under advisement to afford the applicant the time necessary to address the reviewing agencies' comments. Our recommendation is contingent upon the applicant granting the Township a waiver from the timeframe in which to act upon the plan.

Planning Commission deadline date to act on the plan: December 31, 2023
Board of Commissioners deadline date to act on the plan: December 31, 2023



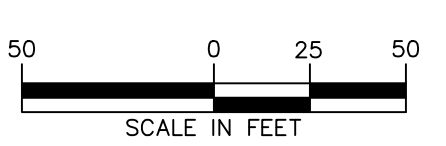
LEGEND EXISTING

PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
CURBING	---
BUILDING	---
UTILITY POLE	---
OVERHEAD ELECTRIC	---
WATER MAIN & VALVE	---
FIRE HYDRANT	---
WELL	---
GAS MAIN & VALVE	---
SANITARY LINE, MANHOLE, & CLEANOUT	---
STORM LINE, MANHOLE, & INLET	---
CHAIN-LINK FENCE	---
POST/SPLIT RAIL FENCE	---
WOOD FENCE	---
SIGN	---
DECIDUOUS TREE	---
EVERGREEN TREE	---
TREE ROW	---
CONTOUR	---
SPOT ELEVATION	---
WETLANDS	---
EDGE OF PAVEMENT	---
BITUMINOUS	---
TYPICAL	---
FINISH FLOOR	---
DOOR SILL	---
EXISTING SOIL GROUP	---
EXISTING SOIL GROUP NAME	---
ZONING DISTRICT BOUNDARY	---

SOIL TYPES

SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkD	Berks-Weikert complex, 15 to 25 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
DbB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
D1C	Duffield-Hyder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
UmB	Urban land/Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
WaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B

- NOTES:**
- THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON PLANS ENTITLED "BERKS CORPORATION/RIDGE FARMS PARTNERSHIP, SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PA," BY BARRY ISETT & ASSOCIATES, INC., DRAWING NUMBERS MSU-1 THROUGH SU-48, DATED 9/29/15, LAST REVISED 4/21/16.
 - CONTOUR ELEVATION DATUM IS FROM NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - VERTICAL CONTROL FROM THE 1984 SURVEY WAS ESTABLISHED USING VRS GNSS OBSERVATION ON THE KEYNET GPS VRS NETWORK UTILIZING THE GEOID12A MODEL.
 - PROPERTY LINE BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE GRID SOUTH ZONE.
 - THE PROPERTY DESCRIBED ON THIS PLAN IS LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD, AS NOTED ON THE JULY 16, 2004 FEMA FIRM MAPPING.



OWNER/APPLICANT
KAY WALBERT LLC
ATTN: RICHARD M. KOZE, JR.
5930 HAMILTON BLVD., SUITE 10
ALLENTOWN, PA 18106
610-395-6857

Date	Description	No.
10/26/2023	REVISED PER TOWNSHIP COMMENTS	1
REVISIONS		

SIGNATURE: *[Signature]*
PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

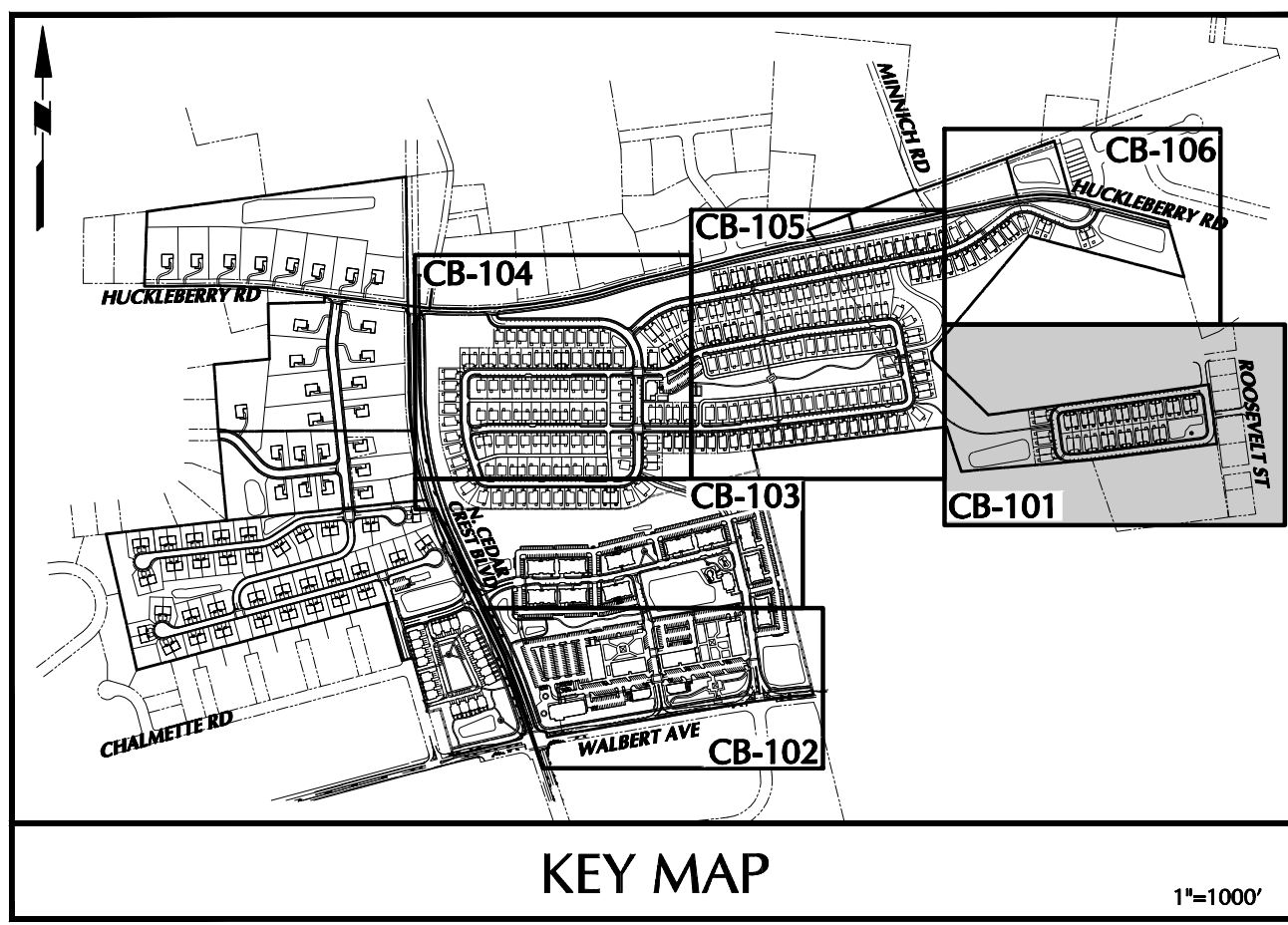
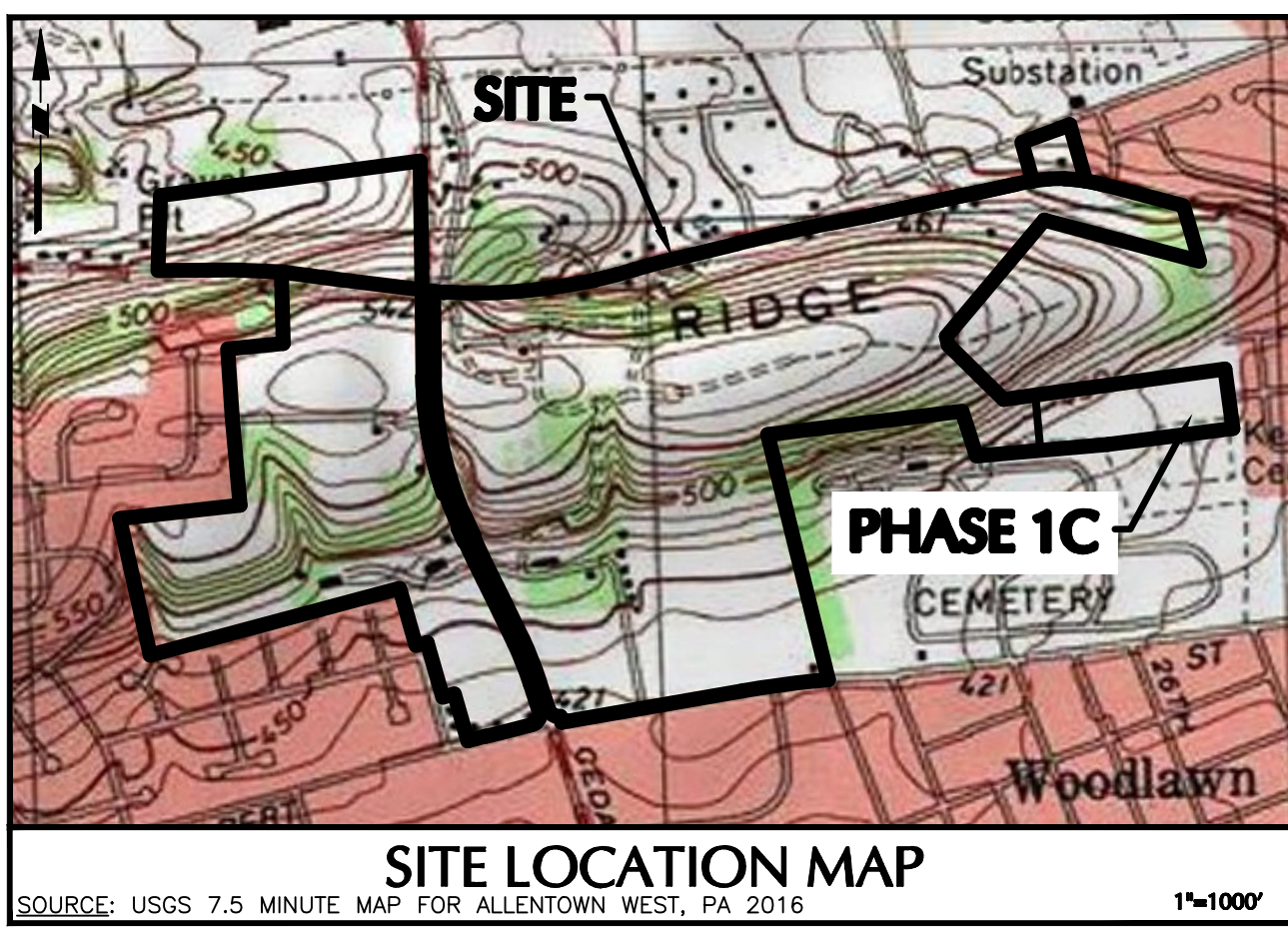
LANGAN
One West Broad Street, Suite 200, Bethlehem, PA 18018
T: 610.861.9500 F: 610.866.8501 www.langan.com
Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
Langan Engineering and Environmental Services, Inc.
Langan GI, Inc.
Langan International LLC
Collectively known as Langan

Project
RIDGE FARMS PHASE 1C FINAL PLANS
548746422139 1
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY PENNSYLVANIA

Drawing Title
EXISTING FEATURES PLAN

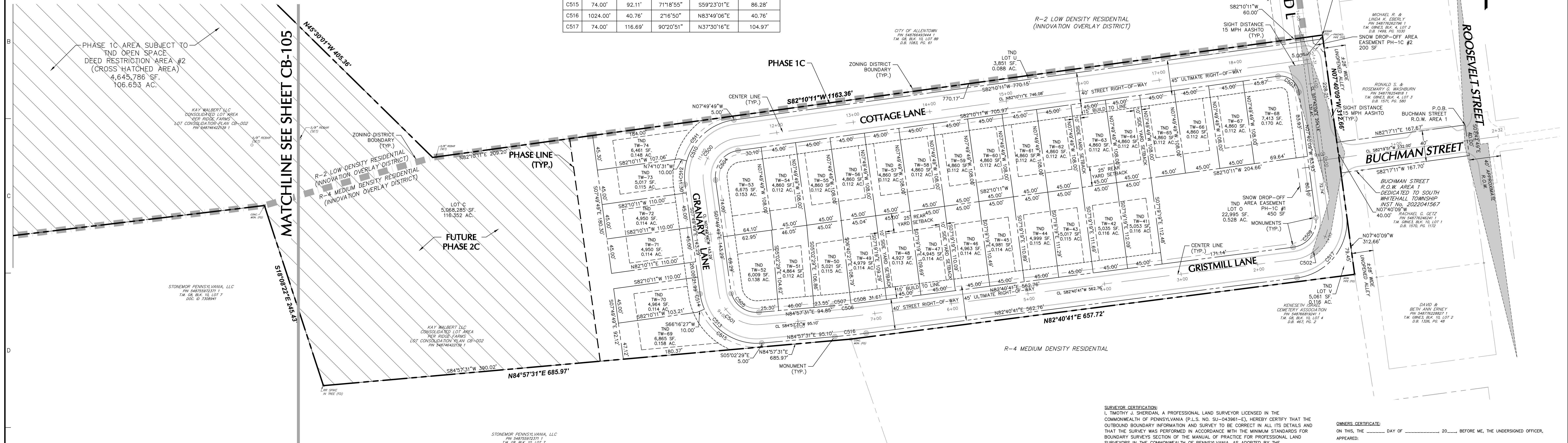
Project No. 240043301
Date 11/17/22
Scale 1" = 50'
Drawn By JDM Checked By JSE
Submission Date

Project No. 240043301
Drawing No. VT-101
Sheet 3 of 26



CURVE	RADIUS	ARC LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C500	50.00'	78.54'	90°00'00"	N37°10'11"E	70.71'
C501	50.00'	76.11'	87°12'39"	N51°26'09"W	68.97'
C502	50.00'	78.84'	90°20'51"	S37°30'16"W	70.92'
C503	24.00'	37.77'	90°09'40"	N52°44'59"W	33.99'
C504	34.00'	53.41'	90°00'00"	S37°10'11"W	48.08'
C505	34.00'	52.00'	87°37'22"	S51°38'25"E	47.08'
C506	984.00'	24.52'	1°25'39"	N84°14'42"E	24.51'
C507	984.00'	24.52'	1°25'39"	N84°14'42"E	24.51'
C508	984.00'	14.65'	0°51'11"	N83°06'17"E	14.65'
C509	34.00'	53.61'	90°20'51"	N37°30'16"E	48.23'
C510	74.00'	116.24'	90°00'00"	S37°10'11"W	104.65'
C511	74.00'	85.69'	66°20'42"	S48°59'50"W	80.98'
C512	74.00'	30.55'	23°39'18"	S03°59'50"W	30.34'
C513	74.00'	112.64'	87°12'39"	S51°26'09"E	102.07'
C514	74.00'	20.53'	15°53'44"	S15°46'41"E	20.46'
C515	74.00'	92.11'	71°18'55"	S59°23'01"E	86.28'
C516	1024.00'	40.76'	2°16'50"	N83°49'06"E	40.76'
C517	74.00'	116.69'	90°20'51"	N37°30'16"E	104.97'

TOWNSHIP REVIEW NOTE:
 THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST, GEOLOGICAL ACTIVITY, AND HISTORICAL AND ARCHAEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNERS AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR.

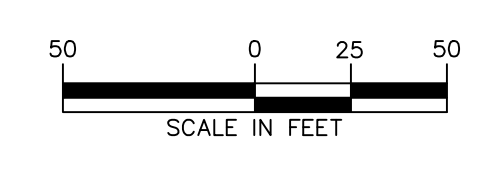


- [Hatched Box] REQUIRED RIGHT-OF-WAY TO BE DEEDED TO THE COMMONWEALTH
- [Diagonal Lines Box] PHASE 1C AREA SUBJECT TO NDN OPEN SPACE DEED RESTRICTION

NOTES:
 1. SEE SITE PLAN SHEET CS-101 FOR NOTES.

LEGEND	
SITE SYMBOLS	GRADING SYMBOLS
EXISTING CURB LINE	EXISTING CONTOUR
EXISTING MONUMENT	PROPOSED CONTOUR
EXISTING PROPERTY LINE	EXISTING SPOT ELEVATION
PROPOSED BUILDING LINE	PROPOSED SPOT ELEVATION
PROPERTY LINE	SOILS SYMBOLS
PROPOSED LOT LINE (WITH PIN MARKER)	SOILS BOUNDARY
PROPOSED LOT LINE (WITH CONCRETE REFERENCE MONUMENTS)	SOIL TYPE
BUILDING SETBACK LINE	TREELINE
PROPOSED UTILITY EASEMENT	
STORMWATER BMP AREA	
CONCRETE SIDEWALK	
SOIL	
RETAINING WALL	
BASIN LIMITS	
ACCESSIBLE ROUTE	
EXISTING STORM SEWER	EXISTING SANITARY SEWER MANHOLE
EXISTING WATER MAIN	EXISTING FIRE HYDRANT
PROPOSED STORM SEWER	EXISTING CATCH BASIN
PROPOSED SANITARY SEWER	EXISTING WATER VALVE
PROPOSED SANITARY SEWER FORCE MAIN	EXISTING MANHOLE
PROPOSED WATER MAIN	EXISTING ELECTRIC POLE
PROPOSED GAS MAIN	
PROPOSED TELEPHONE AND ELECTRIC	
PROPOSED FIRE HYDRANT	

OWNER/APPLICANT
KAY WALBERT LLC.
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857



10/26/2023	REVISED PER TOWNSHIP COMMENTS	1
Date	Description	No.
REVISIONS		

SIGNATURE: *[Signature]*
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-051088-E

LANGAN
 One West Broad Street, Suite 200, Bethlehem, PA 18018
 T: 610.861.9500 F: 610.861.9501 www.langan.com
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
 Langan International LLC
 Collectively known as Langan

Project: **RIDGE FARMS PHASE 1C FINAL PLANS**
 548746422139 1
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **SUBDIVISION PLAN (RECORD PLAN)**
 Project No.: 240043301
 Date: 11/17/22
 Scale: 1" = 50'
 Drawn By: JDM Checked By: JSE
 Submission Date: _____
 Sheet 4 of 26

APPLICANTS CERTIFICATION:
 I HEREBY CERTIFY THAT:
 A. THE APPLICANT IS THE OWNER, EQUITABLE OWNER OR HAS AN OPTION OF CONDITIONAL CONTRACT OF SALE ON THE LAND PROPOSED TO BE SUBDIVIDED OR DEVELOPED, THAT NO LITIGATION OR LIENS EXIST ON OR ARE PENDING AGAINST THE SITE, THAT THE PLAN HAS BEEN PROCESSED WITH THE APPLICANTS FREE CONSENT.
 B. THE APPLICANT CERTIFIES THAT HE WILL PROPERLY GRADE ALL LOTS TO PROVIDE ADEQUATE SURFACE DRAINAGE SO THAT NO LOW SPOTS OF WATER POCKETS CREATE A NUISANCE AND THAT HE WILL PLACE PERMANENT CONCRETE REFERENCE MONUMENTS TO GRADE AS NOTED ON THE PLAN UPON COMPLETION OF GRADING.
 C. THE APPLICANT ALSO ACKNOWLEDGES THAT FOLLOWING APPROVAL OF THIS PLAN, PLAN CHANGES MAY BE REQUIRED TO ADDRESS THE COMMENTS AND REGULATIONS OF OUTSIDE AGENCIES RESPONSIBLE TO REVIEW ANY ASPECT OF THE PROJECT REFLECTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO POST CONSTRUCTION STORMWATER MANAGEMENT AND NPDES PERMIT REGULATIONS. IN THE EVENT OF CHANGES TO THE PLAN FOLLOWING APPROVAL (WHETHER OR NOT THE PLAN HAS BEEN RECORDED), THE APPLICANT SHALL SUBMIT THE REVISED PLAN TO THE TOWNSHIP FOR REVIEW BEFORE THE APPLICANT MAY MOVE FORWARD WITH CONSTRUCTION ACTIVITIES PURSUANT TO THE REVISED PLAN (WHETHER OR NOT THE PLAN HAS BEEN RECORDED).

RICHARD M. KOZE, JR. (MANAGING MEMBER)
 KAY WALBERT LLC
 MY COMMISSION EXPIRES: _____
 (NOTARY PUBLIC OR OTHER OFFICER)

SURVEYOR CERTIFICATION:
 I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E), HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY TO BE CORRECT IN ALL ITS DETAILS AND THAT THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON NOVEMBER 19, 2021, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST AS SHOWN, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT. THE REQUIRED AND PROPOSED RIGHT-OF-WAY AREAS SHOWN ARE EXCLUDED FROM THIS CERTIFICATION.

TIMOTHY J. SHERIDAN
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E
 SURVEYOR CERTIFICATION:
 I, SHAUN F. HIGGINS, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-051088-E), HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION TO BE CORRECT IN ALL ITS DETAILS.

SHAUN F. HIGGINS
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-051088-E
 ENGINEER'S CERTIFICATION:
 I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____

JASON S. ENGELHART
 PROFESSIONAL ENGINEER PA LIC. NO. PE-057145-E
 RECORDED INFORMATION:
 RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, LEHIGH COUNTY, PENNSYLVANIA IN INSTRUMENT No. _____ ON _____ 20____ PLANNER DATE

OWNERS CERTIFICATE:
 ON THIS _____ DAY OF _____ 20____ BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:
 RICHARD M. KOZE, JR. (MANAGING MEMBER)
 KAY WALBERT LLC
 WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OR OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW. WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

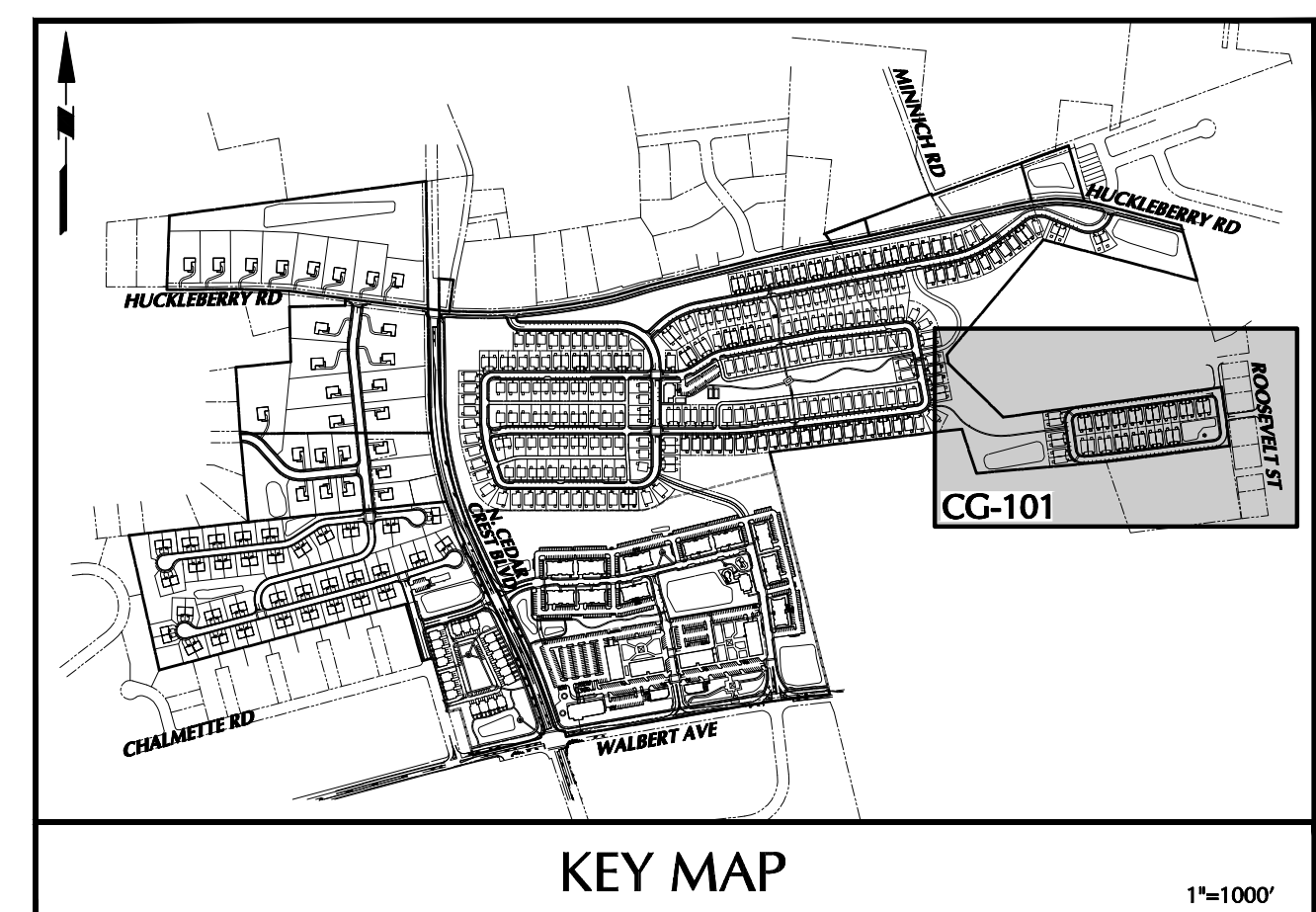
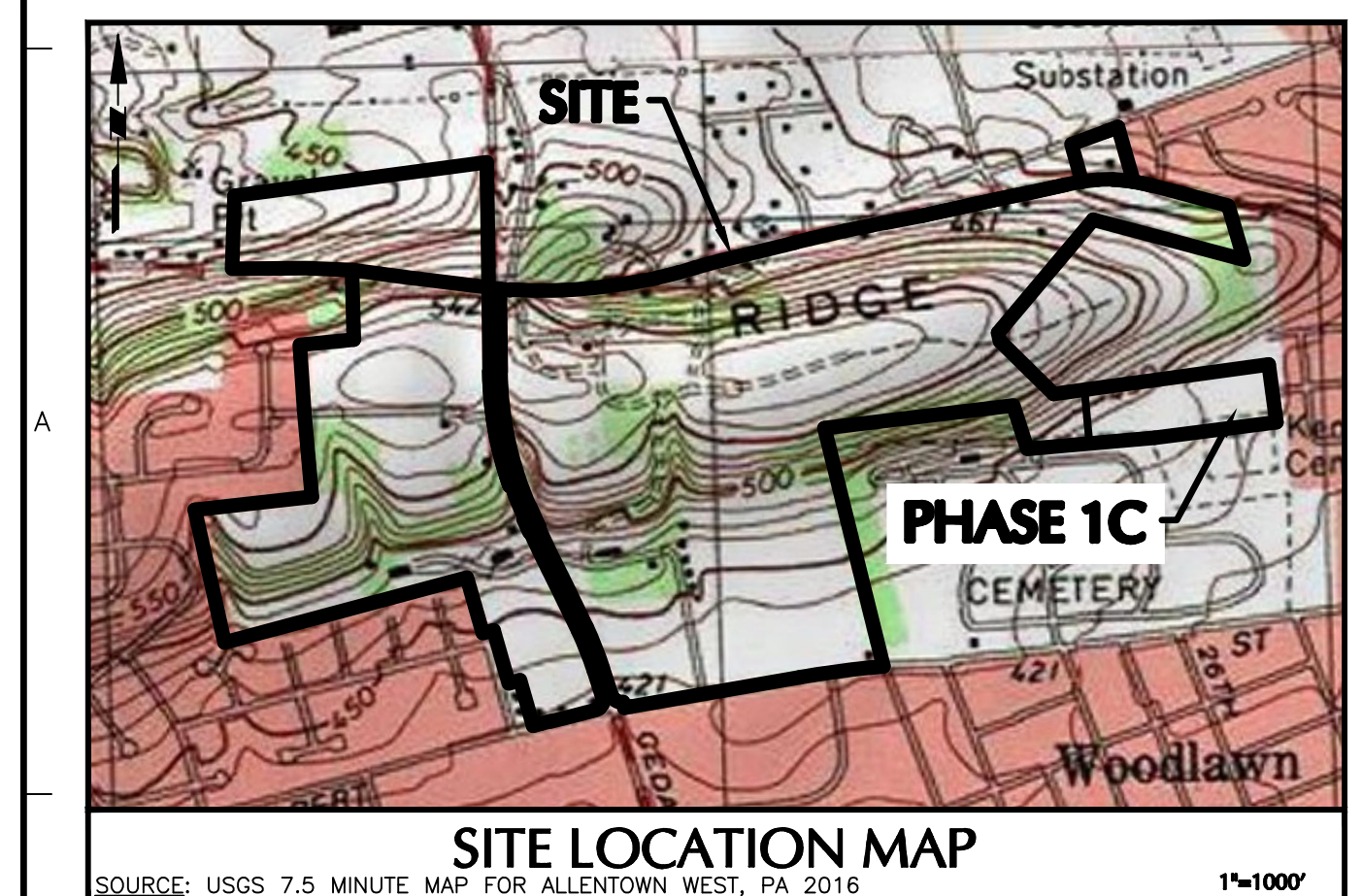
MY COMMISSION EXPIRES: _____
 (NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:
 I, THE UNDERSIGNED, OWNER OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAY OFF, PLATTED AND SUBMITTED, AND HEREBY LAY OFF, PLAT AND SUBMIT AS A REAL ESTATE, IN ACCORDANCE WITH THIS PLAN, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

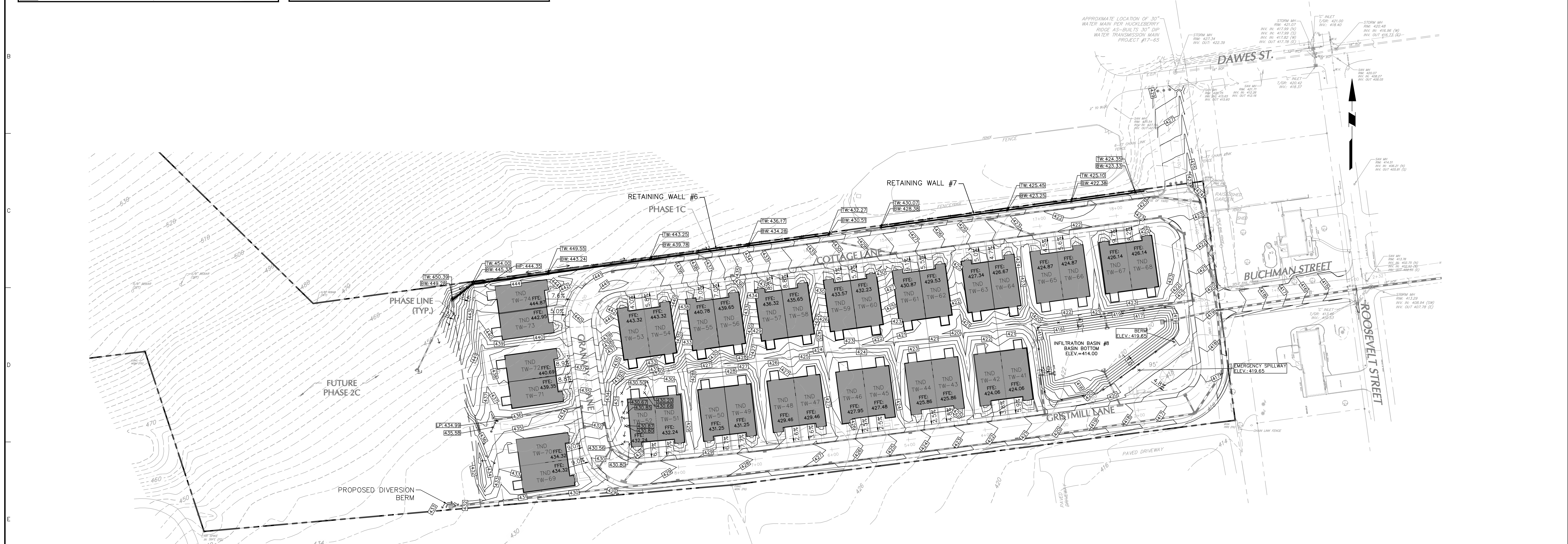
RICHARD M. KOZE, JR. (MANAGING MEMBER)
 KAY WALBERT LLC
 APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:
 RECOMMENDED FOR APPROVAL _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:
 APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TOWNSHIP (MONTH DAY YEAR)

LEHIGH VALLEY PLANNING COMMISSION:
 REVIEWED: _____ (CHAIRMAN)
 _____ (SECRETARY)
 _____ (TOWNSHIP ENGINEER)
 APPROVED BY LEHIGH VALLEY PLANNING COMMISSION.

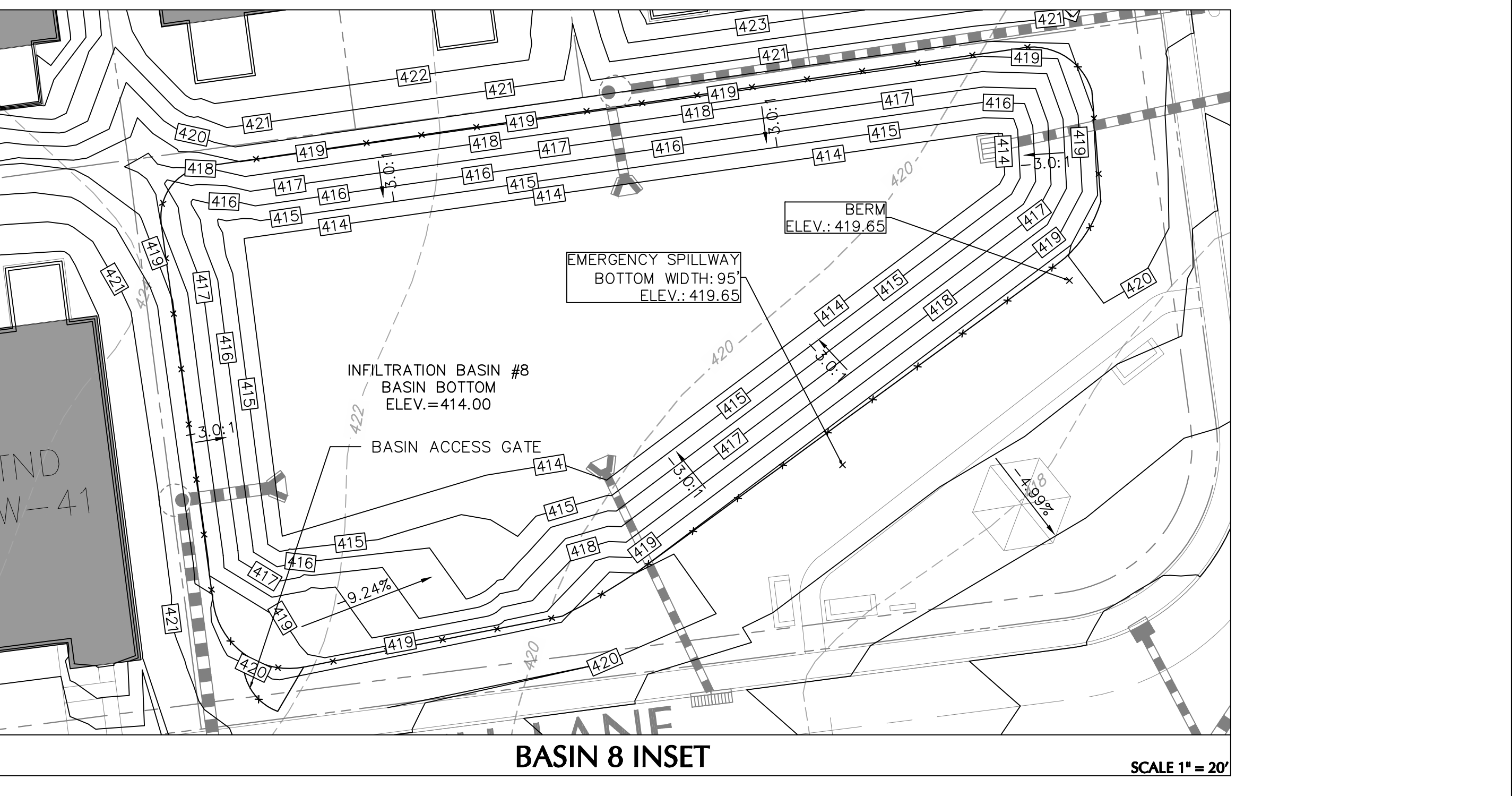


LEGEND table with columns for SITE SYMBOLS, GRADING SYMBOLS, and UTILITY SYMBOLS, listing various symbols for lines, contours, and infrastructure.

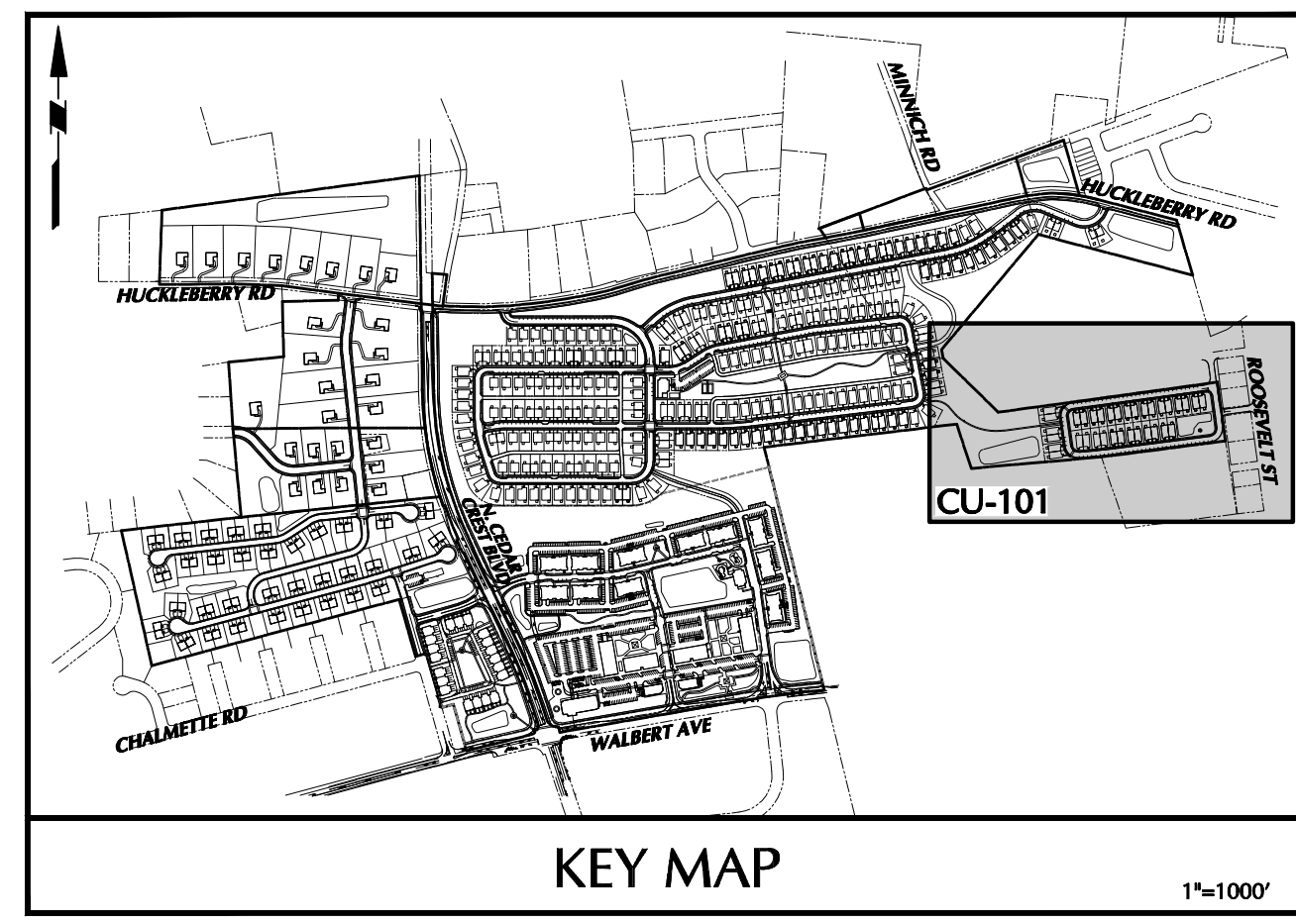
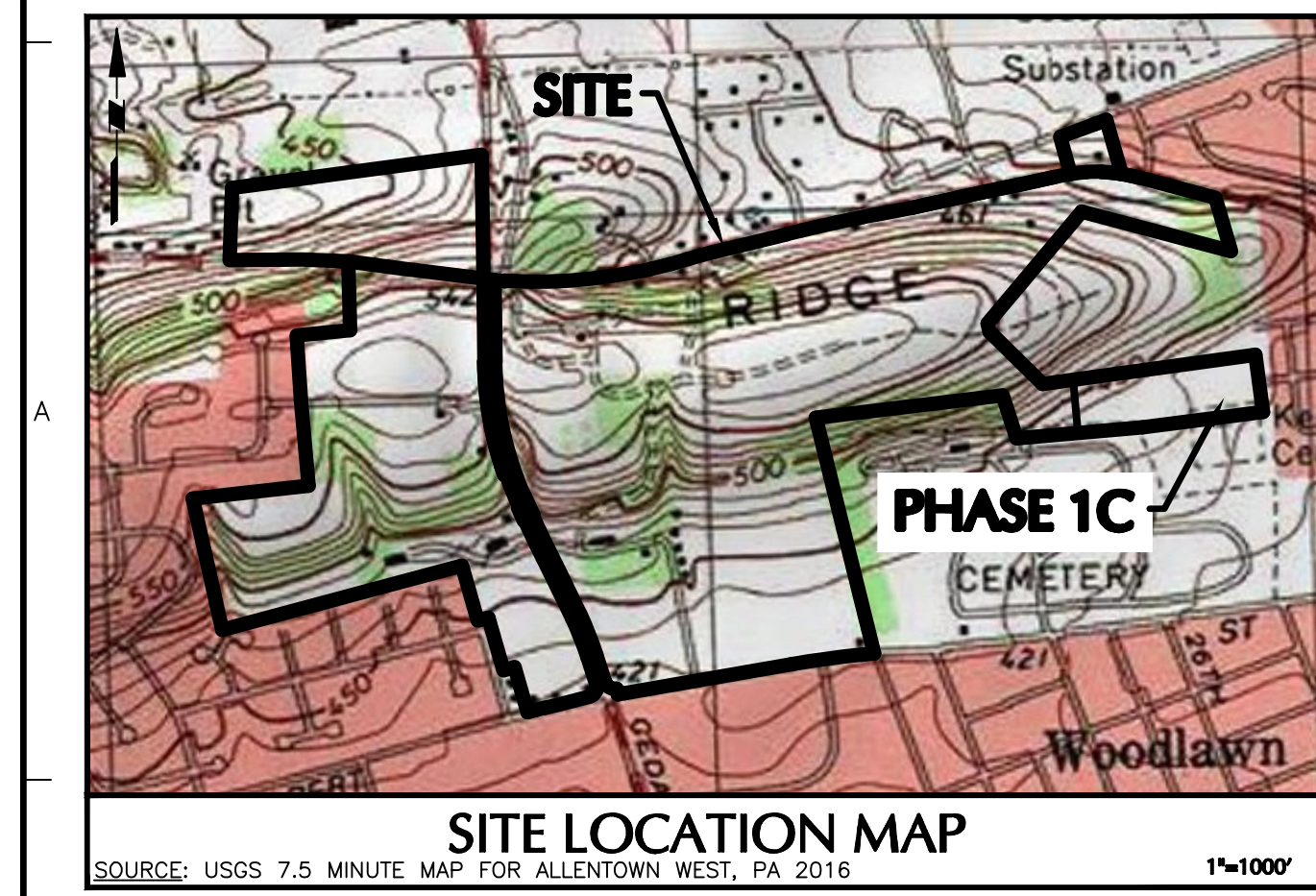


- GRADING AND DRAINAGE PLAN NOTES: 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD...

Table with columns: Date, Description, No. Includes a 'REVISIONS' table and a signature block for the Professional Engineer.



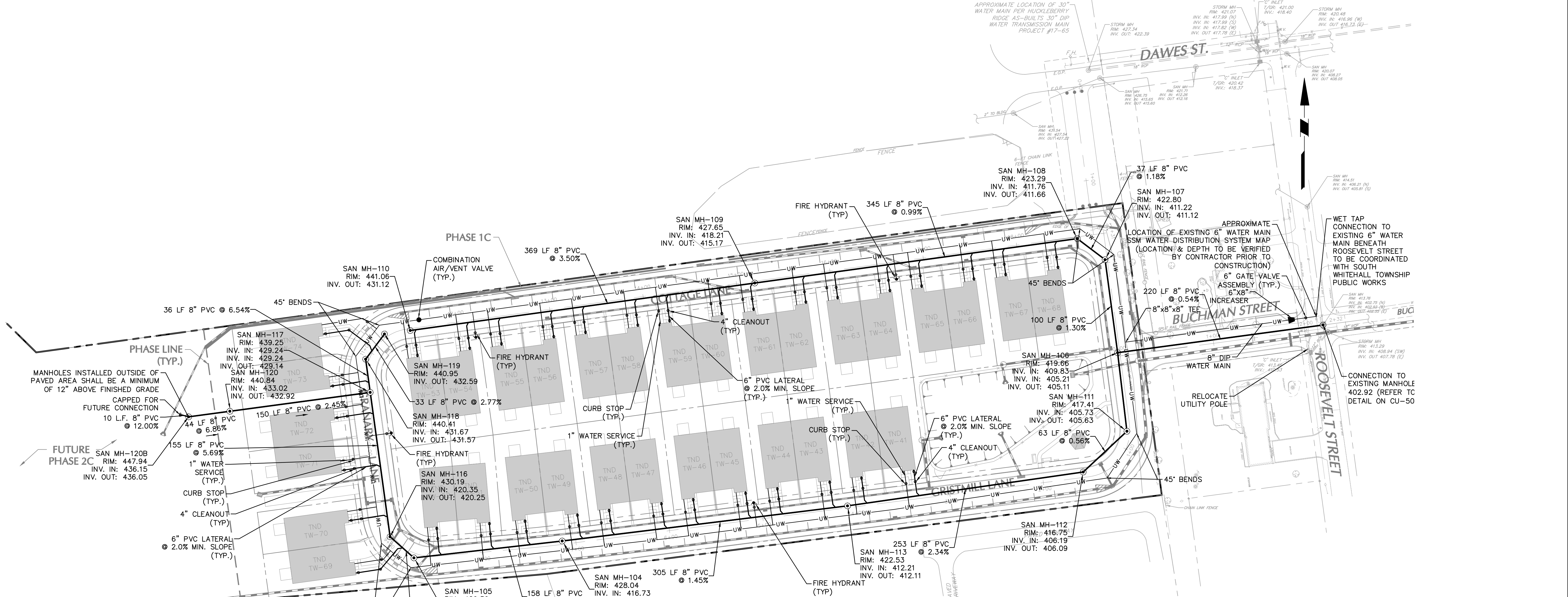
Project information block including Project Name (RIDGE FARMS PHASE 1C), Drawing Title (GRADING PLAN), Project No. (240043301), Date (11/17/22), Scale (1" = 50'), and Sheet number (14 of 26).



LEGEND	
SITE SYMBOLS	GRADING SYMBOLS
EXISTING CURB LINE	EXISTING CONTOUR
EXISTING MONUMENT	PROPOSED CONTOUR
EXISTING PROPERTY LINE	EXISTING SPOT ELEVATION
PROPOSED BUILDING LINE	PROPOSED SPOT ELEVATION
PROPERTY LINE	SOILS SYMBOLS
PROPOSED LOT LINE (WITH PIN MARKER)	SOILS BOUNDARY
PROPOSED LOT LINE (WITH CONCRETE REFERENCE MONUMENTS)	SOIL TYPE
BUILDING SETBACK LINE	TREELINE
PROPOSED UTILITY EASEMENT	
STORMWATER BMP AREA	
CONCRETE SIDEWALK	
SIGN	
RETAINING WALL	
BASEIN LIMITS	
ACCESSIBLE ROUTE	
UTILITY SYMBOLS	
EXISTING STORM SEWER	EXISTING SANITARY SEWER MANHOLE
EXISTING WATER MAIN	EXISTING FIRE HYDRANT
PROPOSED STORM SEWER	EXISTING CATCH BASIN
PROPOSED SANITARY SEWER	EXISTING WATER VALVE
PROPOSED SANITARY SEWER FORCE MAIN	EXISTING MANHOLE
PROPOSED WATER MAIN	EXISTING ELECTRIC POLE
PROPOSED GAS MAIN	
PROPOSED TELEPHONE AND ELECTRIC	
PROPOSED FIRE HYDRANT	

- UTILITY NOTES:**
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
 - THE LOCATION OF THE EXISTING GAS MAINS ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
 - THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
 - ALL GAS WORK AND OTHER ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
 - ALL ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS. MIN. DEPTH OF COVER OVER ELECTRICAL GAS AND CABLE SHALL BE 2 FT.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - ALL UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS REQUIRED BY PROVIDER.
 - CONTRACTOR SHALL COORDINATE EXACT LOCATION OF UTILITIES WITH APPROVED BUILDING PLANS.
 - ALL METERS, VALVES, ETC. MUST BE RECESSED TYPE AND HEAVY TRAFFIC RATED.
 - THE CONTRACTOR SHALL COORDINATE THE WATER WORK WITH SOUTH WHITEHALL TOWNSHIP.
 - A MINIMUM TEN (10) FOOT HORIZONTAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND STORM SEWER. A MINIMUM EIGHTEEN (18) INCHES VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND OTHER UTILITIES.
 - ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4 FEET FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION.
 - PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 10 FT BETWEEN SANITARY SEWER MAINS AND WATER MAINS. PROVIDE A 3 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND ALL OTHER UTILITIES. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND CONCRETE CURBS. A MINIMUM DISTANCE OF 10 FT SHALL BE PROVIDED BETWEEN NEW WATER AND SEWER SERVICE LINES AND LIGHT POLES, TREES, ETC.
 - ALL WATER MAIN FITTINGS SHALL BE PROVIDED WITH THRUST BLOCKING. REFER TO DETAILS FOR THRUST BLOCK DETAILS AND FITTING SCHEDULES.
 - ALL FIRE HYDRANTS AND VALVES SHALL OPEN RIGHT (CLOCKWISE).
 - DIP = DUCTILE IRON PIPE
PVC = POLYVINYL CHLORIDE
 - WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AS WELL AS THE SOUTH WHITEHALL TOWNSHIP STANDARDS AND SPECIFICATIONS, AND IS SUBJECT TO INSPECTION BY SOUTH WHITEHALL TOWNSHIP AND ITS ENGINEER. SOUTH WHITEHALL TOWNSHIP WILL BE RESPONSIBLE FOR THE APPROVAL OF ALL MATERIALS IN CONNECTION WITH THE WATER MAIN.
 - SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AS WELL AS THE SOUTH WHITEHALL TOWNSHIP STANDARDS AND SPECIFICATIONS, AND IS SUBJECT TO INSPECTION BY SOUTH WHITEHALL TOWNSHIP AND ITS ENGINEER. SOUTH WHITEHALL TOWNSHIP WILL BE RESPONSIBLE FOR THE APPROVAL OF ALL MATERIALS IN CONNECTION WITH THE SANITARY SEWER.
 - ALL SANITARY SEWER LINES SHALL BE SDR-35 PVC AND ALL LATERALS SHALL BE SCHEDULE 40 PVC, EXCEPT AS NOTED. ALL SANITARY LINES AND LATERALS SHALL BE BEDDED TO MEET MANUFACTURER'S SPECIFICATIONS AND/OR APPROVAL OF SOUTH WHITEHALL TOWNSHIP, WHICHEVER IS MORE RESTRICTIVE.
 - ALL SANITARY SEWER MANHOLES PROPOSED TO BE INSTALLED WITHIN ANY EASEMENT SHALL BE INSTALLED WITH WATERIGHT FRAMES AND COVERS. ANY MANHOLE TO BE INSTALLED OUTSIDE OF PAVED AREAS SHALL BE INSTALLED A MINIMUM OF 12" ABOVE FINISH GRADE.
 - WHEN A NEW SANITARY LINE IS CONSTRUCTED AND TIED INTO AN ACTIVE MANHOLE, THE NEW LINE WILL BE PLUGGED AND REMAIN PLUGGED UNTIL ALL TESTING HAS BEEN COMPLETED BY THE DEVELOPER AND APPROVED BY A SOUTH WHITEHALL TOWNSHIP INSPECTOR OR REPRESENTATIVE.
 - LOCATOR TAPE SHALL BE INSTALLED ABOVE ALL SANITARY SEWER MAIN LOCATED IN UNPAVED AREAS, AND ABOVE ALL LOW PRESSURE SANITARY SEWER MAIN AND LATERALS WITHIN THE TOWNSHIP RIGHT-OF-WAY.
 - THE LOCATIONS OF EXISTING UTILITIES ARE NOT THE RESPONSIBILITY AND HAVE NOT BEEN REVIEWED BY THE PROCOCK COMPANY, THE TOWNSHIP OR THE SPITTS, STEVENS AND MCCOY COMPANY.
 - ALL WATER METERS SHALL BE NEPTUNE MACH 10 WITH RADIO READS.

- UTILITY TRENCH EXCAVATION GUIDELINES:**
- CONSTRUCTION REQUIREMENTS
 - WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF-CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
 - LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
 - ALL DISTURBED AREAS ARE TO BE RESTORED AND STABILIZED WITHIN TWENTY (20) DAYS, IN ACCORDANCE WITH THE STABILIZATION METHODS APPLICABLE TO THE AREA OF DISTURBANCE (I.E. SWALES WITH LINER, ROAD WITH BASE COURSE AND ETC.)
 - EXCEPTIONS - IN CERTAIN CASES TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED IN THESE CASES, ALL OF THE REQUIREMENTS LISTED UNDER ITEM 1 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:
 - DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
 - IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED IN MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.



ACT 287 AS AMENDED
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 287 AS AMENDED AND TO CONTRACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS UNLESS OTHERWISE NOTED PRIOR TO START OF CONSTRUCTION.
 PENNSYLVANIA ONE CALL 1-800-242-1776
 SERIAL NO. RIDGE FARMS: 30332

CALL BEFORE YOU DIG
 IN PA, TOLL FREE
 1-800-242-1776
 FOR FREE BROCHURES TO LOCATE UNDERGROUND UTILITIES
 IT'S THE LAW

THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO. NO CERTIFICATION IS MADE BY LANGAN AS TO THE ACCURACY OR COMPLETENESS OF THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776

OWNER/APPLICANT
 KAY WALBERT LLC.
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

50 0 25 50
 SCALE IN FEET

REVISIONS	Date	Description	No.
REVISED PER TOWNSHIP COMMENTS	10/26/2023		1

LANGAN
 One West Broad Street, Suite 200, Bethlehem, PA 18018
 T: 610.864.9500 F: 610.864.9501 www.langan.com
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
 Langan Engineering and Environmental Services, Inc.
 Langan GI, Inc.
 Langan International LLC
 Collectively known as Langan

SIGNATURE: JEFFREY HARSHBARGER
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

Project: **RIDGE FARMS PHASE 1C FINAL PLANS**
 548746422139 1
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **UTILITY PLAN**

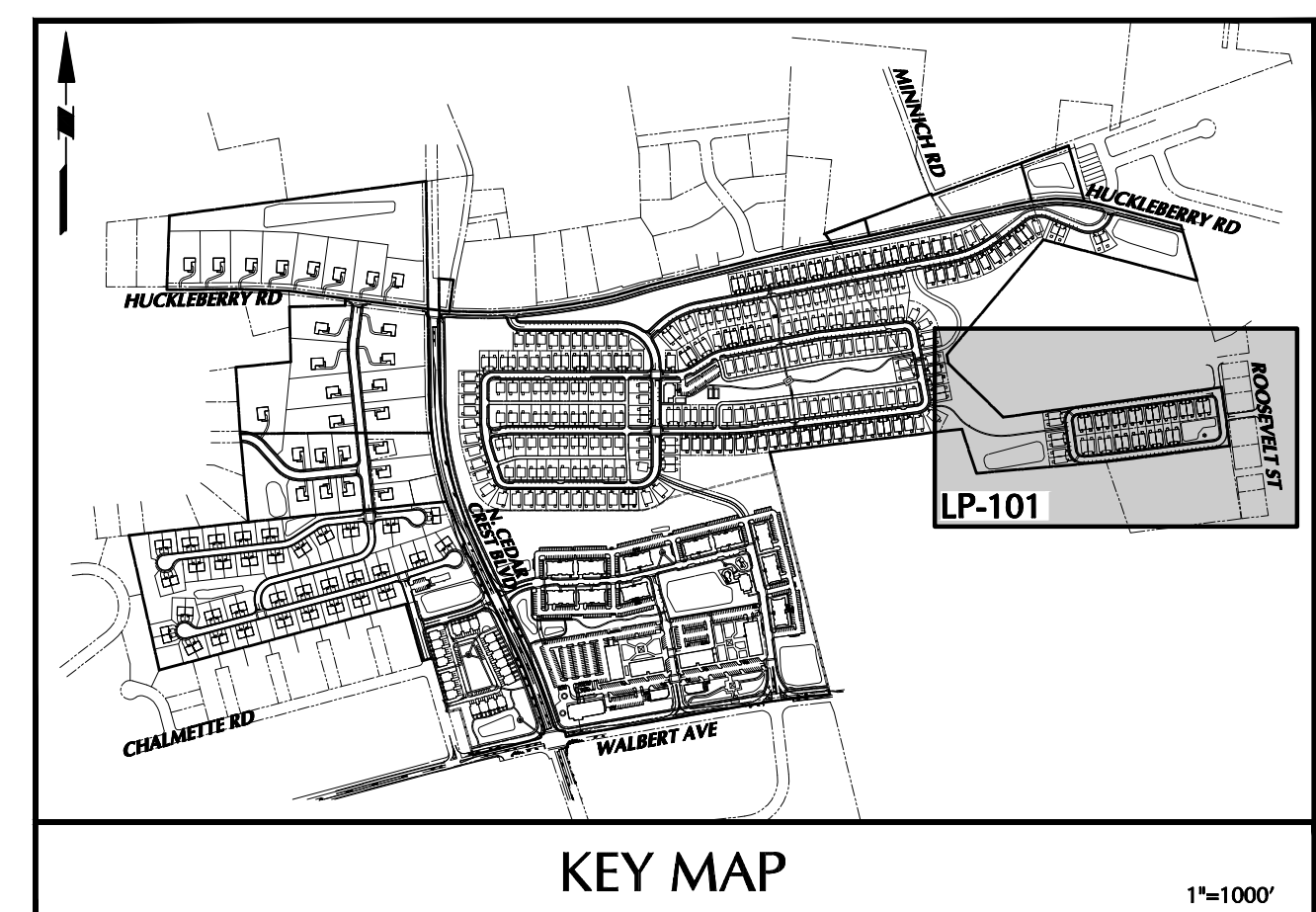
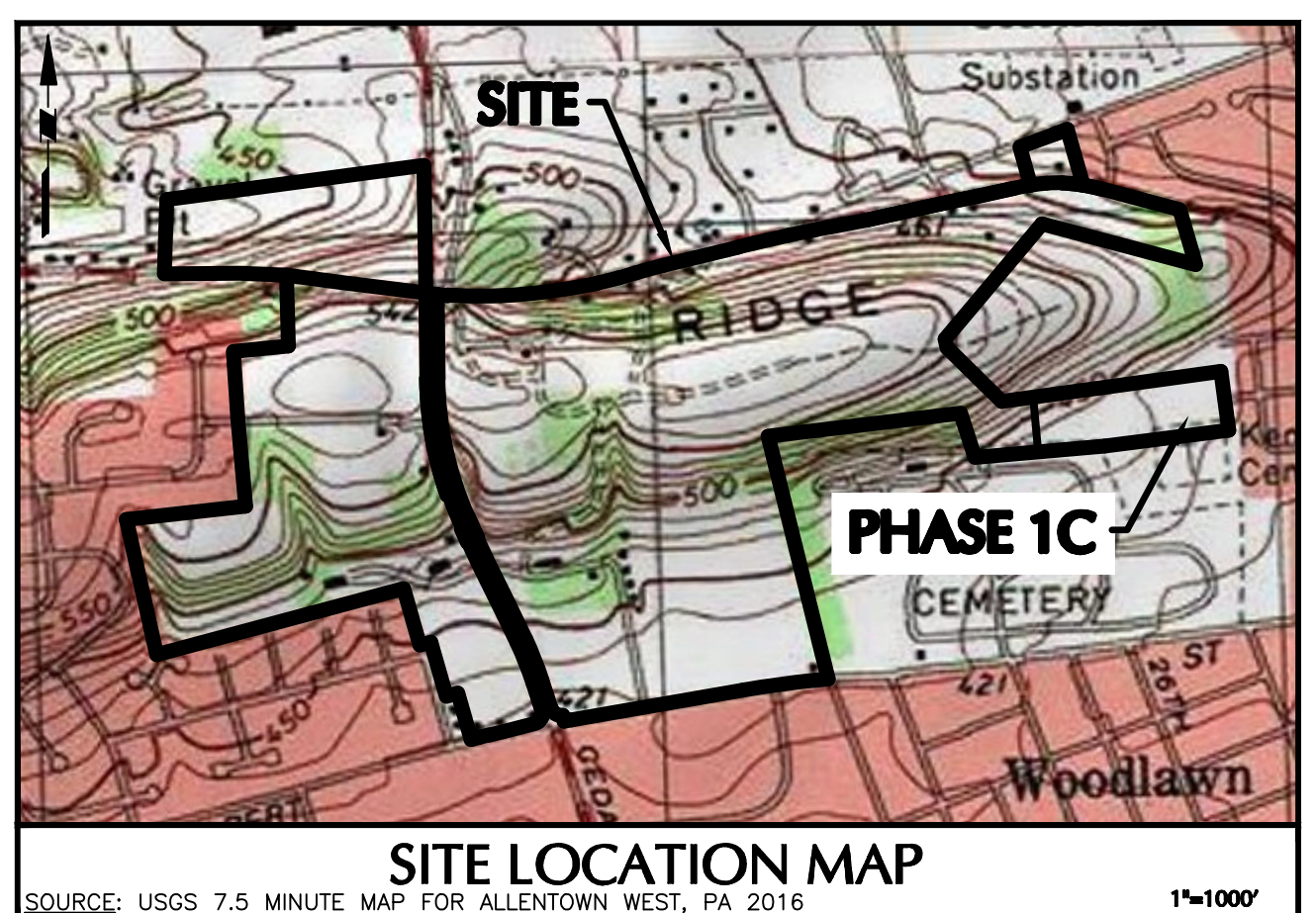
Project No.: 240043301
 Date: 11/17/22
 Scale: 1" = 50'
 Drawn By: JDM
 Checked By: JSE
 Submission Date: _____

Sheet 19 of 26

Project No.: 240043301
 Date: 11/17/22
 Scale: 1" = 50'
 Drawn By: JDM
 Checked By: JSE
 Submission Date: _____

Drawing No.: **CU-101**

Sheet 19 of 26



LEGEND

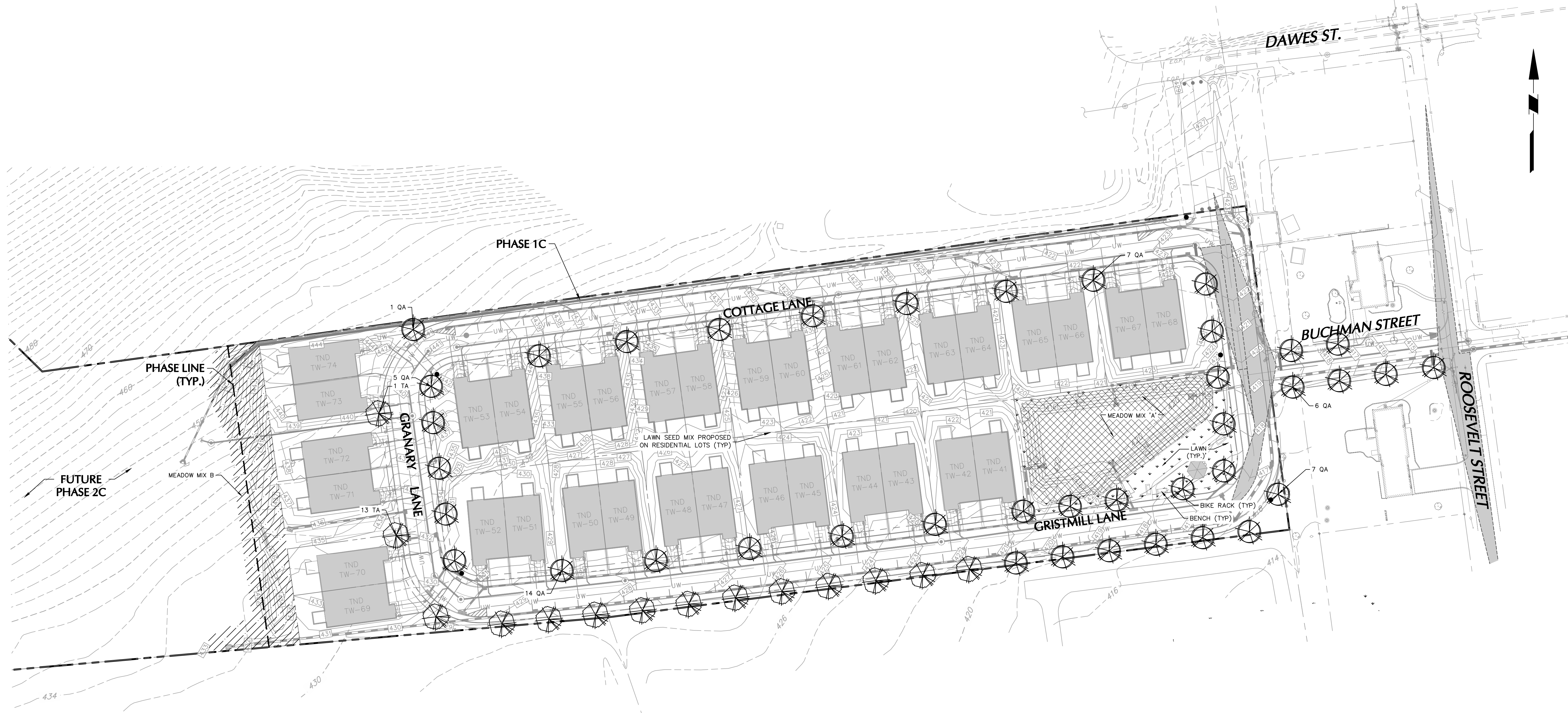
SITE SYMBOLS	GRADING SYMBOLS
EXISTING CURB LINE	EXISTING CONTOUR
EXISTING MONUMENT	PROPOSED CONTOUR
EXISTING PROPERTY LINE	EXISTING SPOT ELEVATION
PROPOSED BUILDING LINE	PROPOSED SPOT ELEVATION
PROPERTY LINE	SOILS SYMBOLS
PROPOSED LOT LINE (WITH PIN MARKER)	SOILS BOUNDARY
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PROPOSED TELEPHONE AND ELECTRIC	
PROPOSED FIRE HYDRANT	

ACT 287 AS AMENDED
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 287 AS AMENDED AND TO CONTRACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.
 PENNSYLVANIA ONE CALL 1-800-242-1776
 SERIAL NO. BRIDGE FARMS: XXXXX

CALL BEFORE YOU DIG
 IN PA TOLL FREE 1-800-242-1776
 FOR FREE MARK-OUTS TO LOCATE UNDERGROUND UTILITIES
 IT'S THE LAW

HATCH LEGEND

	PROPOSED LAWN SEED MIX
	PROPOSED MEADOW MIX A
	PROPOSED MEADOW MIX B



PLANT SCHEDULE

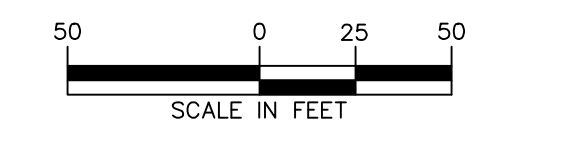
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
QA	40	QUERCUS RUBRA	RED OAK	2 1/2-3" CAL.	B+B	-
TA	14	TILIA AMERICANA	AMERICAN BASSWOOD	2 1/2-3" CAL.	B+B	-

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

ORDINANCE COMPLIANCE TABLE

ITEM	ZONING DISTRICT (SOUTH WHITEHALL TOWNSHIP); TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT				ORDINANCE SECTION (PAGE)
	REQUIRED	PROPOSED	PROVIDED	COMPLIES	
Shade Trees					
Street Trees	Uniformly spaced at every 30' - 40'	2,024 LF roadway / 40' = 51 street trees	54 street trees provided	YES ¹	SALDO §312-40

NOTES:
 1. REFER TO SHEET LP-501 FOR LANDSCAPE NOTES AND DETAILS.



THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO. NO CERTIFICATION IS MADE BY LANGAN AS TO THE ACCURACY OR COMPLETENESS OF THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776

OWNER/APPLICANT
 KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

REVISIONS	Date	Description	No.
REVISED PER TOWNSHIP COMMENTS	10/26/2023		1

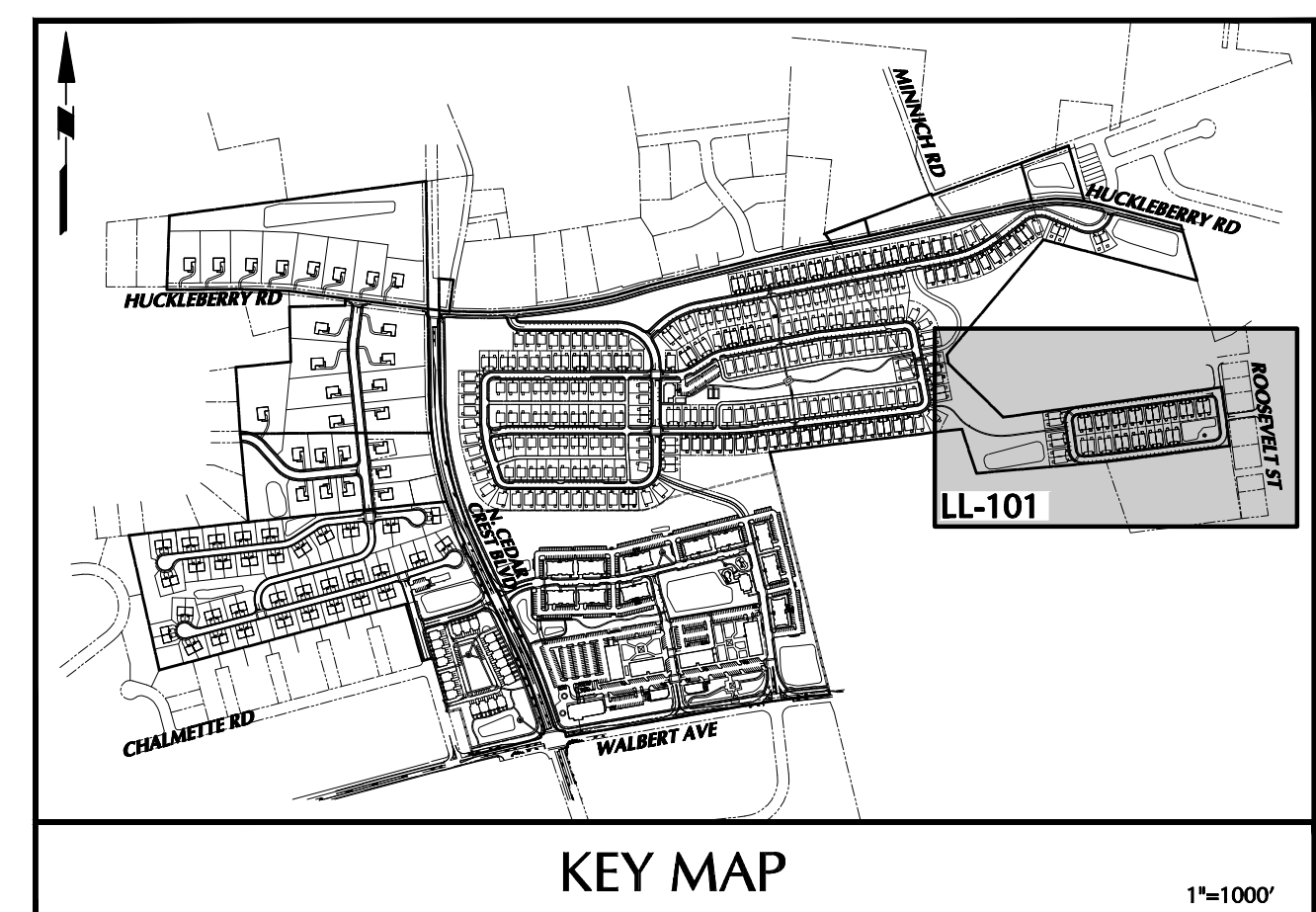
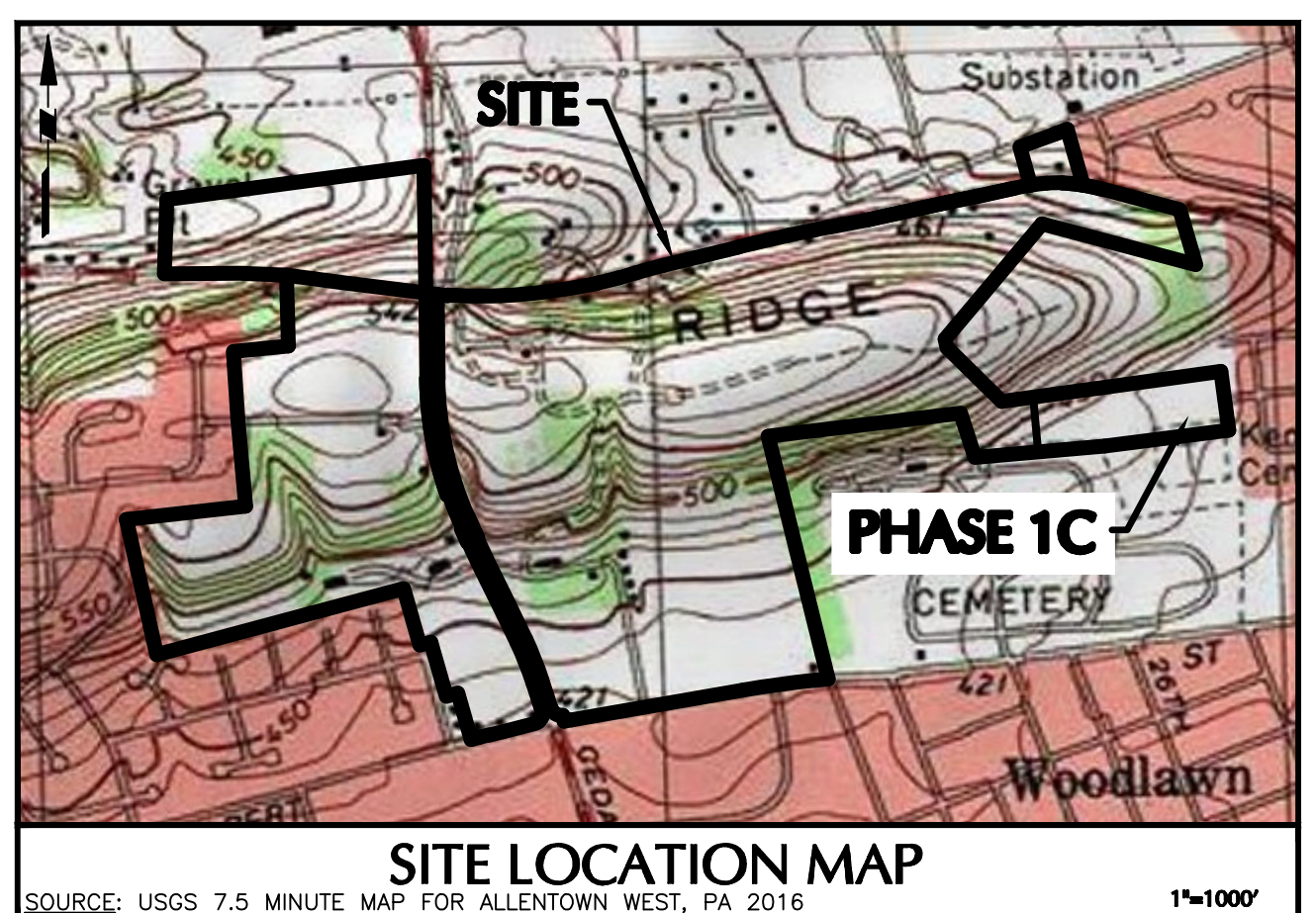
SIGNATURE:
 REGISTERED LANDSCAPE ARCHITECT PA Lic. No. LA-002533

LANGAN
 One West Broad Street, Suite 200, Bethlehem, PA 18018
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 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
 Langan Engineering and Environmental Services, Inc.
 Langan GI, Inc.
 Langan International LLC
 Collectively known as Langan

Project: **RIDGE FARMS PHASE 1C FINAL PLANS**
 548746422139.1
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

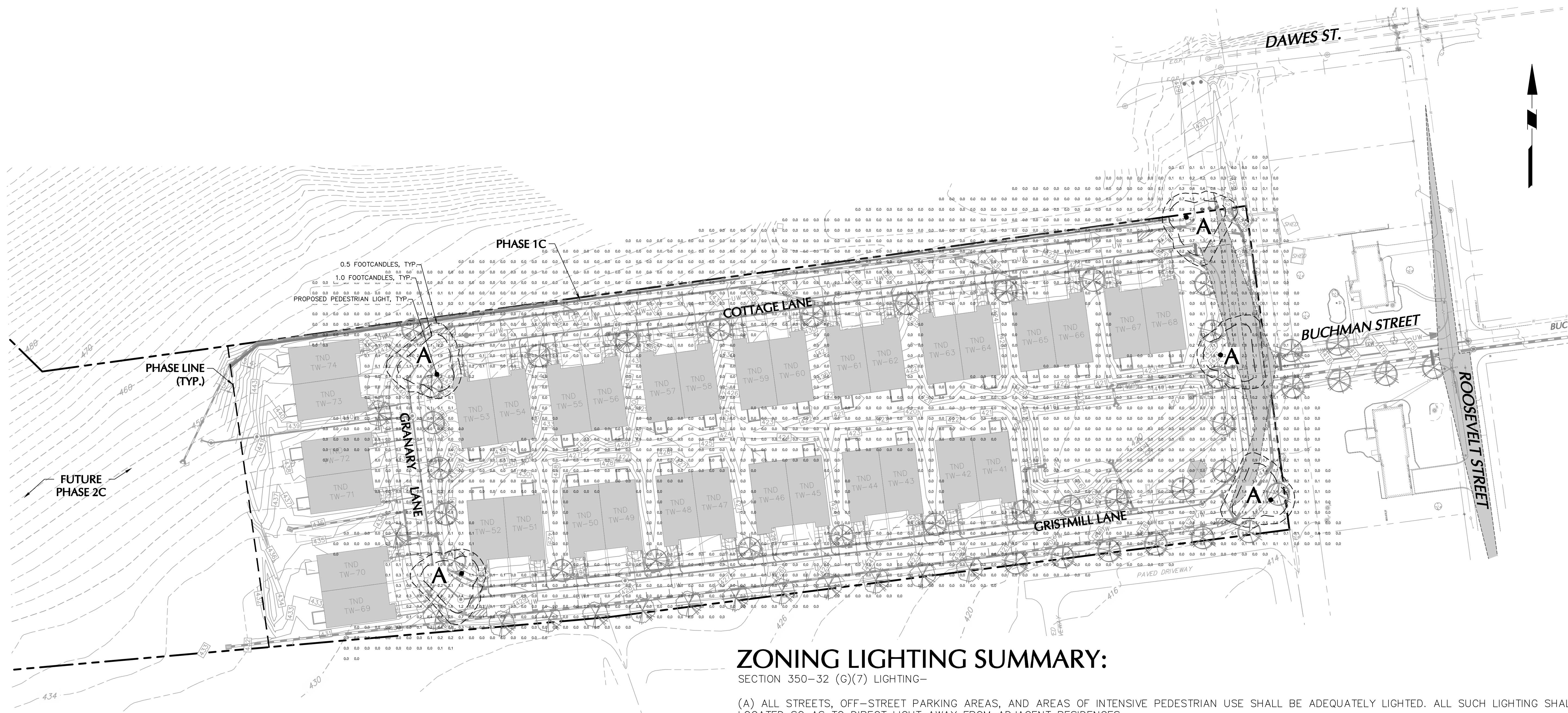
Drawing Title: **LANDSCAPE PLAN**

Project No. 240043301
 Date 11/17/22
 Scale 1" = 50'
 Drawn By SPW
 Checked By RP
 Submission Date
 Drawing No. **LP-101**
 Sheet 23 of 26

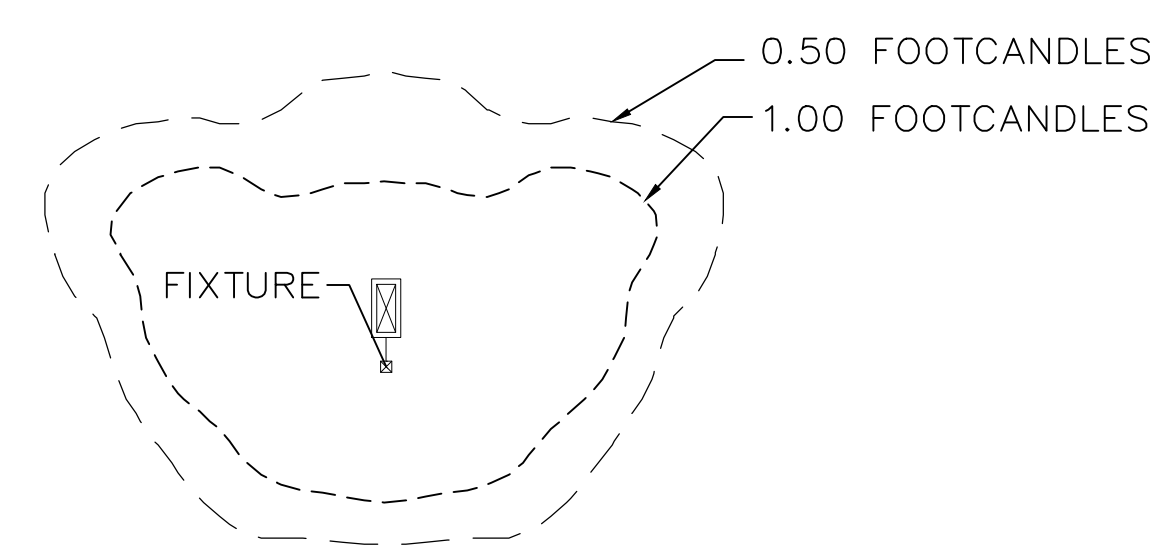


SITE LIGHTING SCHEDULE															
SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	OPTICS	LUMENS	LLF	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.
•	A	5	SELUX	BETA LANTERN LED	POST TOP PEDESTRIAN LIGHT; COLOR - BLACK	16'	64W LED	TYPE IV DISTRIBUTION	6,396	0.90	BLL-R4-1-56700-30-BL-UNV	SELUX	STRAIGHT STEEL POLE	16'	AT535-16-BL

NOTE:
 1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES.
 2. ALL MOUNTING METHODS, CONDUITS, WIRING AND THE SUPPLY OF THE CORRECT ELECTRICAL POWER IN ACCORDANCE WITH ALL LOCAL CODES IS THE RESPONSIBILITY OF THE INSTALLER.



PHOTOMETRIC LIGHTING TEMPLATE:



NOTE: THE PHOTOMETRIC TEMPLATE REPRESENTS LIGHT THROW FOR EACH INDIVIDUAL FIXTURE AND DOES NOT REPRESENT LIGHT COMING FROM OTHER SOURCES.

ZONING LIGHTING SUMMARY:

- SECTION 350-32 (G)(7) LIGHTING-
- (A) ALL STREETS, OFF-STREET PARKING AREAS, AND AREAS OF INTENSIVE PEDESTRIAN USE SHALL BE ADEQUATELY LIGHTED. ALL SUCH LIGHTING SHALL BE DESIGNED AND LOCATED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENCES.
 - (B) ADEQUATE LIGHTING SHALL BE PROVIDED AFTER DARK. APPROPRIATE LIGHTING FIXTURES SHALL BE PROVIDED FOR WALKWAYS AND TO IDENTIFY STEPS, RAMPS, AND SIGNS. SUCH LIGHTING SHALL BE DESIGNED AND LOCATED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENCES.
 - (C) ALL LIGHTING FACILITIES WILL BE INSTALLED BY THE DEVELOPER AT THE DEVELOPERS EXPENSE AFTER WHICH THEY SHALL BE DEDICATED TO SOUTH WHITEHALL TOWNSHIP.
- SECTION 350-42 (I) ILLUMINATION OF PRIVATE STREETS AND DRIVEWAYS-
- (1) ALL PRIVATE STREETS AND DRIVEWAYS, EXCEPT FOR THOSE SERVICING THREE (3) OR FEWER DWELLING UNITS, SHALL BE ILLUMINATED ADEQUATELY DURING THE HOURS BETWEEN SUNSET AND SUNRISE WHEN THE USE IS IN OPERATION.
 - (2) LIGHTING FIXTURES SHALL MEET THE STANDARD ESTABLISHED IN THE LATEST EDITION OF THE ILLUMINATING ENGINEERING SOCIETY (I.E.S.) HANDBOOK FOR FULL CUTOFF DESIGN. NO FIXTURES WITH EXPOSED LAMPS OR CANDLEPOWER DISTRIBUTION ABOVE THE LEVEL ESTABLISHED IN THE I.E.S. HANDBOOK FOR FULL CUTOFF DESIGN SHALL BE PERMITTED. THIS REQUIREMENT APPLIES TO POLE-MOUNTED AND WALL-MOUNTED LUMINARIES.
 - (3) ILLUMINATION LEVELS AND DESIGN FOR PRIVATE STREETS AND DRIVEWAYS SHALL MEET THE REQUIREMENTS ESTABLISHED IN THE LATEST EDITION OF THE I.E.S. HANDBOOK.
 - (4) LUMINAIRE MOUNTING HEIGHT, DEFINED AS THE HEIGHT ABOVE GRADE TO THE BOTTOM OF THE FIXTURE, SHALL NOT EXCEED 20'0" IN AREAS WHERE THE FIXTURE IS WITHIN 300'-FEET OF A RESIDENTIAL PROPERTY. THE HEIGHT SHALL NOT EXCEED 30'0" IN ALL OTHER AREAS, EXCEPT THOSE SPECIFICALLY ALLOWED FOR ILLUMINATION OF RECREATION FIELDS.
 - (5) SUBMISSIONS TO THE TOWNSHIP ENGINEER FOR REVIEW AND RECOMMENDATION, AND APPROVAL BY THE TOWNSHIP, SHALL INCLUDE A GENERAL LAYOUT OF THE SITE INDICATING PARKING AND DRIVE AREAS, LOCATIONS OF ALL LIGHTING FIXTURES, EITHER ISO FOOTCANDLE CURVE LAYOUTS OR POINT-BY-POINT LEVEL INDICATION, CATALOG INFORMATION FOR THE FIXTURE AND POLE USED, MOUNTING HEIGHTS FOR FIXTURES, AND A FOUNDATION DETAIL FOR THE POLE. THE SITE PLAN SHALL ALSO DEFINE THE SURROUNDING PROPERTIES INDICATING THE ZONING DESIGNATION. IN ORDER TO DETERMINE THAT SPILL LIGHT DOES NOT EXCEED THE LEVEL INDICATED IN SUBSECTION (F), THE CALCULATION GRID FOR ILLUMINATION LEVELS SHALL EXTEND SUFFICIENTLY INTO SURROUNDING PROPERTIES.
 - (6) THE ILLUMINATION LEVEL SHALL NOT EXCEED .5 HORIZONTAL FOOT-CANDLES ON ANY ADJOINING LOT THAT IS RESIDENTIALLY ZONED OR CONTAINS A RESIDENTIAL USE.
 - (7) IT SHALL BE NOTED THAT ADDITIONAL APPROVAL BY THE PENNSYLVANIA POWER AND LIGHT (PPL) IS REQUIRED FOR PPL INSTALLATION, BUT TOWNSHIP APPROVAL SHALL NOT BE CONTINGENT UPON APPROVAL BY PPL.

LEGEND	
SITE SYMBOLS	GRADING SYMBOLS
EXISTING CURB LINE	EXISTING CONTOUR
EXISTING MONUMENT	PROPOSED CONTOUR
EXISTING PROPERTY LINE	EXISTING SPOT ELEVATION
PROPOSED BUILDING LINE	PROPOSED SPOT ELEVATION
PROPERTY LINE	SOILS SYMBOLS
PROPOSED LOT LINE (WITH PIN MARKERS)	SOILS BOUNDARY
PROPOSED LOT LINE (WITH CONCRETE REFERENCE MONUMENTS)	SOIL TYPE
BUILDING SETBACK LINE	TREELINE
PROPOSED UTILITY EASEMENT	UTILITY SYMBOLS
STORMWATER BMP AREA	EXISTING STORM SEWER
CONCRETE SIDEWALK	EXISTING WATER MAIN
RETAINING WALL	PROPOSED STORM SEWER
BASIN LIMITS	PROPOSED SANITARY SEWER
ACCESSIBLE ROUTE	PROPOSED SANITARY SEWER FORCE MAIN
	PROPOSED WATER MAIN
	PROPOSED GAS MAIN
	PROPOSED TELEPHONE AND ELECTRIC
	PROPOSED FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING CATCH BASIN
	EXISTING WATER VALVE
	EXISTING MANHOLE
	EXISTING ELECTRIC POLE

ACT 287 AS AMENDED
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 287 (AS AMENDED) AND TO CONTRACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS UNLESS OTHERWISE NOTED PRIOR TO START OF CONSTRUCTION.
 PENNSYLVANIA ONE CALL 1-800-242-1776
 SERIAL NO (BRIDGE #A#M#): XXXXX



NOTES:
 1. REFER TO SHEET LL-501 FOR LIGHTING NOTES AND DETAILS.

DATE	REVISIONS	NO.
10/26/2023	REVISED PER TOWNSHIP COMMENTS	1

SIGNATURE: *Michael J. Langan*
 REGISTERED LANDSCAPE ARCHITECT PA Lic. No. LA-002533



Project: **RIDGE FARMS PHASE 1C FINAL PLANS**
 548746422139 1
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **LIGHTING PLAN**

Project No.	240043301	Drawing No.	LL-101
Date	11/17/22	Scale	1" = 50'
Drawn By	SPW	Checked By	RP
Submission Date			

OWNER/APPLICANT: **KAY WALBERT LLC**
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO. NO CERTIFICATION IS MADE BY LANGAN AS TO THE ACCURACY OR COMPLETENESS OF THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776

THE PIDCOCK COMPANY

CIVIL ENGINEERING AND LAND PLANNING

ARCHITECTURE

LAND SURVEYING

Oxford Drive at Fish Hatchery Road
2451 Parkwood Drive Allentown, Pennsylvania 18103-9608
Telephone: 610-791-2252
Telefacsimile: 610-791-1256
E-mail: info@pidcockcompany.com
Website: www.pidcockcompany.com

Established 1924
J. Scott Pidcock, P.E., R.A.

Bruce E. Anderson, P.E., LEED AP
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John M. McRoberts, P.E.
Brent D. Shriver, P.E.
Todd L. Sonntag, R.A., LEED AP
Anthony F. Tallarida, P.E.
Ryan R. Troutman, P.E.

G. Edwin Pidcock, P.E., P.L.S. 1924-1967
John S. Pidcock, P.E., P.L.S. 1954-1999
Ralph M. Pidcock, P.L.S. 1952-2000 (Retired)

MEMORANDUM

TO: Mr. Gregg R. Adams via e-mail
Planner, Community Development Department
South Whitehall Township *AFT*

FROM: Mr. Anthony F. Tallarida, PE
Manager, Municipal Engineering Services

SUBJECT: South Whitehall Township
Ridge Farms
Major Subdivision #2017-101
Phase 1C Final Plan Review

DATE: November 8, 2023

COPIES: Mr. Thomas R. Petrucci, MPA
Township Manager
South Whitehall Township

Mr. David Manhardt, AICP
Director of Community Development
South Whitehall Township

Mr. Herb Bender
Director of Township Operations
South Whitehall Township

Mr. Mike Elias
Public Works Utility and MS4 Program Coordinator
South Whitehall Township

Ms. Tracy J.B. Fehnel
Insurance Administrator & Executive Assistant
South Whitehall Township

Ms. Laura M. Harrier, BCO
Building Code Official/Zoning Officer
South Whitehall Township

Mr. John G. Frantz, CFEL, BCO
Fire Marshal, Building Code Official
South Whitehall Township

Joseph A. Zator, II, Esq.
South Whitehall Township Solicitor
Zator Law

Jennifer R. Alderfer, Esq.
Assistant South Whitehall Township Solicitor
Zator Law

Mr. Christopher A. Taylor, PG
Senior Geologist
Hanover Engineering Associates, Inc.

Mr. Richard M. Koze, Jr.
President
Kay Builders, Inc.

Mr. Jason S. Engelhardt, P.E., LEED AP
Principal
Langan Engineering

Mr. Robert L. Hoffman, P.E., PTOE
Regional Manager
Traffic Planning and Design, Inc.

(all via e-mail)

Mr. J. Scott Pidcock, PE, RA, Township Engineer

REPORT:

South Whitehall Township Ordinances:

Zoning Ordinance (ZO)

Subdivision and Land Development Ordinance (SALDO)

Stormwater Management Plan (SMP)

See attached list for documents reviewed.

Proposal:

6.8± acres to be developed on the northeast portion of the site in proximity to Buchman Street in the Traditional Neighborhood Development (TND) section of the site Development.

Development consists of:

34 Twins (TND);

1 infiltration basin;

0.53± acres of Active Open Space;

2,400± linear feet of private streets (including a 135± feet emergency access to Dawes Street); and

Connection to Buchman Street.

Public Water and Sewer;

Overall Conditional Use approval was granted on November 20, 2020; and

Overall Preliminary Plan approval granted by the Board of Commissioners, November 3, 2021.

Waivers/Deferrals Granted:

See Waiver Resolution 2018-62; and

See Overall Preliminary Plan Approval Resolution 2021-50.

Recommendation:

Engineering approval is not recommended at this time.

jfw/laf

Enclosures

THE PIDCOCK COMPANY

South Whitehall Township
Ridge Farms
Major Subdivision #2017-101
Phase 1C Final Plan Review

November 8, 2023

REVIEW COMMENTS

A. Planning

1. All outstanding comments listed in the Draft Overall Preliminary Plan Resolution that do not relate to the scope of this Plan are still applicable and will be required to be addressed as appropriate during future phases of the development; and
2. Provide documentation to the satisfaction of the Township Solicitor that the Access Easement 1 has been obtained, Condition of Approval (COA) Item 28. Additionally, provide applicable legal descriptions and associated title plans, SALDO §312-27(a)(3).

B. General

1. Clarify the Twin Unit Sidewalk and Driveway Apron Detail (Sheet CS-501) to reflect the proposed configuration of the two adjoining units. Also, revise the grading along the sidewalk at the driveway to reflect any grade changes. Discuss the driveway apron configuration with the Township Department of Public Works (DPW) and address any comments to their satisfaction;
2. We note the following regarding the improvements to the Buchman Street Area:
 - a. There are concerns with the impact construction vehicles may have on the existing roadway network (e.g., pavement structure degradation) in the neighborhood accessing the Buchman Street construction area. Pre- and Post-Development pavement evaluations in the existing neighborhood may be necessary. Consideration should be given to prohibiting construction traffic through this area. The DPW should be contacted to determine the limits of pavement evaluations;
 - b. Confirm with the Township Staff and DPW the limits of pavement restoration to the existing roadways resulting from the proposed off-site work;
 - c. Obtain any easements for work proposed outside the property/right-of-way limits (e.g., grading on the north side of Buchman Street on the Washburn Property); and
 - d. The DPW should review and ultimately accept the location of the proposed snow drop-off area easements.
3. We note the following survey related comments:
 - a. List rights-of-way and easements proposed to be dedicated to the Township in a comprehensive table, SALDO §312-12(b)(25) and §312-12(b)(26); and

- b. Confirm the status/use of Lots TND Lot U and TND Lot V. Completely define these lots with metes and bounds, SALDO §312-14(b)(3).
4. The Township's Accessibility Code Official may have additional review comments during building permitting. We recommend contacting the Code Official to confirm the above comments and any other applicable accessibility requirements. Review with the Code Official the details of the ramps;
5. The ownership of Buchman Street (public or private) should be determined, as we note additional waivers may be needed if it remains a proposed public street;
6. The Township should confirm the acceptability of the Phasing revisions shown on the supplemental sheets of the Preliminary Set (Sheet CS-200), SALDO §312-12(b)(35); and
7. We note the following relating to the proposed retaining walls:
 - a. Provide details of the fence and retaining wall(s) which should ultimately be reviewed and approved by the Township Building Code Official prior to construction;
 - b. We note that the proposed retaining walls are in close proximity to the site's storm sewerage systems. Impacts of the drainage systems on wall anchoring systems should be confirmed by the Design Engineer subject to the review of the Township Geotechnical Consultant (TGC); and
 - c. Retaining Walls #6 and #7 are shown in close proximity to the property boundaries. Show any geogrid or tie back limits and confirm any impacts related to the storm sewerage system, subject to the review of the TGC. In the event geogrid or constructions limits extend onto adjacent property(ies), easement(s) should be obtained as necessary.

C. Stormwater Management

1. Additional detail should be provided to show swale grading, depth of swale compared to depth in channel at property line, as well as more detail regarding pipe flow, collection, etc.;
2. It appears that a portion of the area upstream of Wall #6 as well as some area west of the proposed improvements will be redirected to the downstream property. It should be shown that the downstream flow path is sufficient to accept the proposed runoff and that the downstream property owner agrees to accept any increase in runoff, SMP §296-9.D;
3. Verify the crest elevation of the outlet control structure of Basin #8 to provide consistency between the Plans and the Report, SALDO §312-39(a)(7)(B);
4. Provide additional water quality volume calculations for POA-7, SMP §296-12.B(1);
5. Provide justification for the Infiltration Basin inputs (e.g., volume routed to BMP, infiltration area, etc.) provided in the DEP Worksheet calculations, SALDO §312-39(a)(7)(B);

6. Confirm Network J calculations for the 100-year storm to show the intended runoff will ultimately be conveyed to Basin #8 if any surcharge in the system occurs, SMP §296-14.S;
7. Confirm the top and invert elevations for EX-CB-17 as shown on the Plans. We note that the proposed grate elevation on the Plan will conflict with the 24” RCP invert elevation;
8. Provide swale calculations for the rear yard swale to Infiltration Basin #8. We note, the swale is extremely shallow adjacent to TW-62 and it should be shown to convey flow with freeboard without encroaching on the house/foundation;
9. We defer to the Township Geotechnical Consultant to review the acceptability of Swale #11 and Swale #12 as PCSM BMPs with infiltration capacities;
10. The Impervious Area Chart for each lot on the Plans appears to include only what is shown on the Plans. We suggest an additional allowance for each lot for future improvements (e.g., patio, walkways, shed, etc.) be provided; and
11. A BMP Operations and Maintenance Plan, describing the proposed procedures, identifying the person responsible, and noting any applicable easements, should be provided, SMP §296-28 and §296-30. The Plan should include a statement, signed by the property owner, acknowledging that stormwater BMPs are fixtures that cannot be altered or removed without approval by the Township, SMP §296-29. Additionally, an Operations and Maintenance Agreement should be executed for the proposed stormwater BMPs, SMP §296-32.

D. Traffic

1. We have reviewed the Phase 1C Supplemental Traffic Analysis Report provided by TPD and dated October 23, 2023. The trip generation provided in the report is consistent with the previously approved Traffic Study for the Ridge Farm Overall Preliminary Plan. The report states that Phase 1C (34 Residential Townhouse Units) would generate 22 AM, 25 PM, and 52 Saturday peak hour trips, with a portion of those trips (15 AM, 16 PM, and 33 Saturday) utilizing the Cedar Crest Boulevard & Walbert Avenue intersection. The traffic described for Phase 1C constitutes approximately 0.6% AM, 0.5% PM, and 1.6% Saturday peak hour trips through this intersection. An analysis for this intersection was not provided in the report. Based on the Report, Phase 1C traffic will utilize the Cedar Crest corridor from Orefield Road to the Route 22 interchange. The applicant has not proposed any additional roadway improvements to accompany Phase 1C, beyond what is already committed to for Phase 1A and Phase 1B;
2. All curb ramps within the development should be designed based on PennDOT standards. We note a Preliminary design is provided to show feasibility of the ramps and a complete design is required prior to construction;
3. Revise the Crosswalk Markings Detail (Sheet CS-503) so the curb reveal is flush with the pavement (1/2-inch reveal noted); and
4. Provide details for the pavement marking for the parallel parking (including spaces and hatching).

E. Policy and Information

1. We defer to the TGC to review all geotechnical aspects of the design including, but not limited to, the sinkhole mitigation details, site retaining wall installations/designs, etc.;
2. We defer to the Township Electrical Consultant to review the proposed site lighting. The Design Engineer should confirm that the proposed light standard foundations will be adequate to support the proposed light standards;
3. Confirm all copies of outside agencies required permits and approvals have been provided to the Township. Also, list the approval dates of each permits on the List of Other Required Approvals or Permits;
4. Address any comments from the Public Safety Committee and the Shade Tree Commission to their satisfaction. Provide easements as necessary for street trees that are located outside the street right-of-way, Draft Overall Preliminary Plan Resolution Item 26;
5. Matters pertaining to the design of water distribution and sanitary sewerage systems should be directed to the DPW. We have not reviewed these designs;
6. The school bus routes and stop locations proposed in the development should be reviewed with, and approved by, the Parkland School District, SALDO §312-12(a)(15); and
7. Upon submission of plans for recording, all Statements and Certifications shall be signed and sealed/notarized as applicable, SALDO §312-14(b)(2).

The comments noted above are the result of our engineering review. We have not reviewed items associated with legal, zoning, geotechnical, lighting, water/sanitary sewerage systems, environmental, frontage streetscape improvements, building code, public safety, and other non-engineering issues, which should be reviewed by the appropriate Township Staff and Consultants.

THE PIDCOCK COMPANY

South Whitehall Township
Ridge Farms
Major Subdivision #2017-101
Phase 1C Final Plan Review

List of Plans and Supplemental Information
Prepared by Langan Engineering and
dated or last revised October 26, 2023 (except as noted)

1. Cover Sheet, Sheet 1 of 26;
2. Aerial Map, Sheet 2 of 26 (cursory review only);
3. Existing Features Plan, Sheet 3 of 26 (cursory review only);
4. Subdivision Plan (6 sheets), Sheets 4 through 9 of 26;
5. Site Plan, Sheet 10 of 26;
6. Pavement Plan, Sheet 11 of 26;
7. Fire Truck Turn Plan, Sheet 12 of 26;
8. Delivery Truck Turn Plan, Sheet 13 of 26;
9. Grading Plan, Sheet 14 of 26;
10. Drainage Plan, Sheet 15 of 26;
11. Post Construction Stormwater Management Plan (Record Plan), Sheet 16 of 26;
12. Drainage Details, Sheets 17 and 18 of 26;
13. Utility Plan, Sheet 19 of 26 (water and sanitary sewer information not reviewed);
14. Roadway & Utility Profiles, Sheets 20 through 22 of 26;
15. Landscape Plan, Sheet 23 of 26 (cursory review only);
16. Landscaping Note and Detail, Sheet 24 of 26 (cursory review only);
17. Lighting Plan, Sheets 25 of 26 (cursory review only);
18. Lighting Notes and Details, Sheet 26 of 26 (cursory review only);
19. Sheets from Preliminary Plan Submission:
 - a. Project Calculation Summary Plan (Record Plan), Sheet 3 of 151, last revised September 23, 2021;
 - b. Phasing Plan, Sheet 39 of 151, last revised November 17, 2022;
 - c. TND Open Space Plan, Sheet 42 of 151, last revised September 23, 2021;
 - d. Site Details, Sheets 58 and 59 of 151, last revised July 21, 2022;
 - e. Drainage Details, Sheets 84 and 85 of 151, last revised September 23, 2021;
and

November 7, 2023

Mr. Gregg Adams, Planner
South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104

Re: Ridge Farms Development
Land Development #2017-101
Review of Phase 1C
SSM File 103400.0098

Dear Mr. Adams:

This correspondence is provided as a review of the Preliminary Land Development Plan submitted for the above referenced project revised on 10/26/23. This phase is for 34 residential units adjacent to the Grandview Cemetery. We have the following comments regarding the water and sanitary sewer utilities:

General Comments

1. **Utility Plan CU-101 Sheet 19 Of 26** - Add to Utility Notes -
Where required to install the waterline deeper to avoid conflict with other utilities, deflect the waterline with the use of 45-degree bends and return to 4 feet of cover. Water valves shall be placed at depths no greater than 4 feet. [SWT Construction Standards - Laying and Construction of Pipe. Page B-27]
2. **Utility Plan CU-101 Sheet 19 Of 26** – Add to Note 13 –
No water line should be deeper than 6ft.

Water Comments

1. **Utility Plan CU-101 Sheet 19 Of 26** – Near station 0+00 at the 8” Water main tee located on Gristmill Lane, Cottage Lane and Buchman Street add three 8” water valves. [one valve on the north side of 8” tee Cottage Lane and one 8” valve on the south side of the 8” tee Gristmill Lane and one 8” valve on the east side of 8” tee Buchman Street.
2. **Utility Plan CU-101 Sheet 19 Of 62** - Add two water main street valves - one north and one south of the fire hydrant tee located on Granary Lane. This area is near station 10+00.
3. **Utility Plan CU-101 Sheet 19 Of 62** – Add water sample station on Granary Lane near Fire Hydrant. This area is near station 10+00.

Sanitary Sewer Comments

1. Phase 1C planning module submission will be required.



Sincerely,
Spotts, Stevens and McCoy

A handwritten signature in blue ink that reads "Jason M. Newhard".

Jason M. Newhard, CCM, LO
Manager, Construction Mgt. Services
Water and Wastewater Engineering
jason.newhard@ssmgroup.com

cc: SWT, PW Dept.



HanoverEngineering

252 Brodhead Road • Suite 100 • Bethlehem, PA 18017-8944
Phone: 610.691.5644 • Fax: 610.691.6968 • HanoverEng.com

November 9, 2023

Mr. Gregg Adams, Planner
South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104-1699

RE: Geotechnical Review of Provided Documents
Ridge Farms
Major Subdivision #2017-101
South Whitehall Township, Lehigh County,
Pennsylvania
Hanover Project SWT19-11(002)

Dear Mr. Adams:

Hanover Engineering (Hanover) has reviewed the information received on October 27, 2023 via electronic submission. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following:

1. Letter referenced as “Geotechnical Review of Provided Documents – Response”, prepared by Langan, dated October 26, 2023.
2. Report referenced as “Phase 1C Stormwater Memo”, prepared by Langan, dated November 17, 2022, revised October 26, 2023.
3. Engineering plan set entitled “Ridge Farms – Phase 1C”, Sheets 1 of 26 through 26 of 26 inclusive, prepared by Langan, dated November 17, 2022, revised October 26, 2023.

Based on our review and according to the Subdivision and Land Development Review Application, it is our understanding that the subject property formerly existed as eleven (11) separate tax parcels containing numerous existing improvements, including multiple dwellings, barns, other outbuildings, and access driveways. The entire subject property is approximately two hundred (200) acres in size. The existing water and sewerage service to the various structures is not specified on the engineering plans. We further understand that the property is proposed to be subdivided into a total of four hundred and two (402) residential lots and five (5) non-residential lots. Of the residential lots, one hundred eighty-two (182) are proposed to contain single family dwellings and two hundred twenty (220) are proposed to contain semi-detached dwellings (twins). In addition, four hundred sixty-eight (468) multi-family units (apartments) are proposed. The non-residential lots are proposed to contain two (2) restaurants, a medical office building, and four (4) mixed use buildings. All lots are proposed to be served by public water and public sanitary sewer, along with appurtenant paved accessways, parking areas, stormwater collection and conveyance systems, and stormwater management facilities.

This is a second submission for Phase 1C. We offer the following review of comments as issued in our letter dated December 2, 2022, repeated below in italics, and any new comments generated by this submission:

1. *We note that retaining walls are proposed. Details/specifications/calculations for all retaining walls shall be submitted to the Township for review and approval before issuance of a building permit. This requirement is contained in Note 41 on Sheet 10.*

The consultant has acknowledged this comment in his response letter, stating that details and calculations will be submitted following land development plan approval but prior to construction.

We note that a 12" Retaining Wall underdrain is now proposed. The consultant shall provide plan view details and cross section details that show fully the horizontal and vertical relationship between Retaining Walls 6 and 7, the underdrain(s), storm sewer runs/structures, Swale 12, and all other proposed features in the immediate vicinity along with the property boundary. Per a previous comment from The Pidcock Company, include all structural elements of the retaining walls such as geogrid and tie backs.

2. *Quantify the proposed grades in the northwest corner of the site, behind Units 73 and 74. If grades are proposed to be steeper than three feet (3') horizontal to one foot (1') vertical (3:1), provide additional plantings per the condition of the waiver from SALDO Section 312-35(b)(3)(A)(viii)(1)(B)(ii). See notes on Sheet 10 regarding waiver condition.*

The consultant has responded that labels have been added to the grading plan to show that the proposed grades do not exceed 3:1. Labels have been added in two (2) places in this area. However, there are other locations that appear steeper than the areas labeled. These include along the west side of Swale 11 and immediately west of Inlet CB-J-14C.

3. *Quantify the sidewall slopes for Basin 8 and confirm that they are not steeper than three feet (3') horizontal to one foot (1') vertical (3:1) to demonstrate compliance with the condition of the waiver from SALDO Section 312-39(D)(2). See notes on Sheet 10 regarding waiver conditions.*

This comment has been adequately addressed.

4. *Provide a scaled blow up of Basin 8 with existing and proposed contour values clearly labeled.*

This comment has been adequately addressed.

5. *The proposed slope of zero percent (0%) across the floor of Basin 8 is hereby approved in accordance with the condition of the waiver from SALDO Section 312-39(D)(2). See notes on Sheet 10 regarding waiver conditions.*

This comment was informational with no response required.

New Comments (November 9, 2023)

6. It is noted that Swale 11 is now additionally labeled as "BMP #3 – Vegetated Swale" and that Swale 12 is now additionally labeled as "BMP #2 – Vegetated Swale". Clarify if infiltration is proposed at these locations and, if so, provide justification for the infiltration rates utilized for design.

Mr. Gregg Adams
Planner

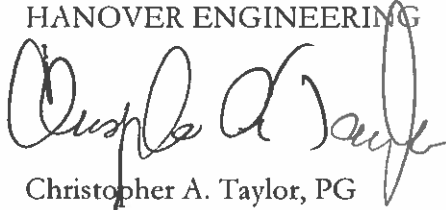
3

November 9, 2023

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING



Christopher A. Taylor, PG

cat:cat/sas

S:\Projects\Municipal\WhitehallTownship\Sw119-11(002)-RidgeFarm#2017-101\Docs\2023-11-09-SWT Geotech, Ridge Farms #2017-101 geotech rev cmt ltr 2 Ph 1C.doc

cc: Mr. Dave Manhardt, Director of Community Development (via email)
Mr. Herb Bender, Public Works Department Superintendent (via email)
Mr. Anthony Tallarida, PE, The Pidcock Company (via email)
Mr. Mark Gnall, PE, The Pidcock Company (via email)
Mr. Rick Koze, Kay Walbert, LLC
Mr. Jason Engelhardt, PE, Langan

Novemeber 11, 2023

South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104-1699

Attn: Mr. Gregg Adams

Re: Ridge Farms Phase 1C –Land Development Plans - Site Lighting Review

Dear Mr. Adams:

I have reviewed the Information submitted for the project at 1429 Eck Road in the Township. The following plan was submitted containing the lighting information:

- Sheet LL-101, dated November 17, 2022 and last revised 10/26/2023
- Sheet LL-501, dated November 17, 2022 and last revised 10/26/2023

The plan as submitted does not conform to the latest Township Ordinance, namely:

- (1) Sheet LL-101 shows zero readable light along Cottage Lane, Granary Lane, and Gristmill Lane. The township shall determine if these streets are required to comply with township ordinance 350-42.i.2 and 350-42.i.3 pertaining to illumination of private streets and driveways which requires that private streets be illuminated to IES standards.

Please feel free to contact me if you have any questions.

Very Truly Yours,



Corey Trumbower
Snyder Hoffman Associates, Inc.

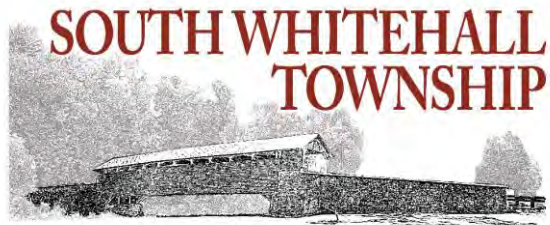
Mr. Gregg Adams / South Whitehall Township

Project Name

July 16, 2019

Page 2 of 2

cc: Mark J. Gnall, P.E., Anthony Tallarida, P.E. – The Pidcock Company
Laura M. Harrier – SWT, Lynn A. LaBarre - SWT



INTEROFFICE MEMORANDUM

TO: DAVE MANHARDT, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: HERB BENDER, PUBLIC WORKS MANAGER

DATE: NOVEMBER 9, 2023

SUBJECT: RIDGE FARMS FINAL PLAN 1C

MAJOR PLAN 2017-101

The Public Works Dept. reviewed the above project and has the following comments:

1. We are concerned that you will not have adequate fire flow with the 6" water line proposed. Our records indicate a 12" line on Dawes St. that may be able to meet the demand.
2. Also note that the roads in that development for proposed water have recently been paved and are under a 5-year moratorium, which can only be lifted by the South Whitehall Township BOC.
3. Road restoration will need to follow the South Whitehall Township Paving Ordinance.

SOUTH WHITEHALL TOWNSHIP

4444 Walbert Avenue, Allentown, PA 18104-1699
www.southwhitehall.com • (610) 398-0401

November 10, 2023

Kay Walbert LLC
5930 Hamilton Boulevard, Suite 10
Allentown, PA 18106

**Re: Ridge Farms Final Plan Phase 1C
Major Subdivision 2017-101
Request for Final Plan Review**

Dear Mr. Koze:

The purpose of this letter is to report non-engineering related comments that are to be addressed. My comments follow:

Zoning

1. **Section 350-48(o)(2)(E)(iii)(1)(a) (Codified Ordinance)** – Indented parking, i.e., creating parking spaces by indenting the curb line or right-of-way of a street or by traversing said curb line is hereby prohibited.

The previous plan reviewed December 12, 2022, showed Buchman Street as a private drive (plan dated November 17, 2022). The current plan indicates a public road is now proposed with indented parking. A variance may be required.

Fire Inspector

1. The Fire Inspector reported no comments. The Fire Inspector reports that the Public Safety Commission in conjunction with the Fire Chief made no comments to the plan.

Landscape and Shade Trees

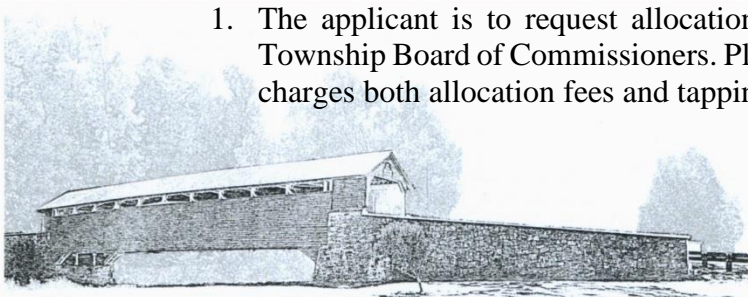
1. The Landscape and Shade Tree Commission is scheduled to review the plan at its November 20, 2023 meeting. It appears that the comments from their November 21, 2022 review have been addressed.

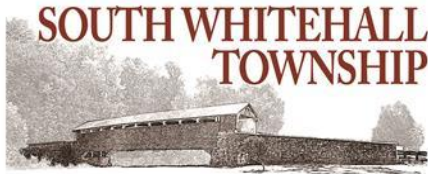
Open Space and Recreation

1. At their January 9, 2023 meeting, the Parks and Recreation Board determined that the plan is acceptable.

Water & Sewer

1. The applicant is to request allocations for water and sewer from the South Whitehall Township Board of Commissioners. Please be aware that the Board of Commissioners now charges both allocation fees and tapping (connection) fees. The applicant must address all





water and sewer service issues, and obtain all approvals deemed necessary by the South Whitehall Township Board of Commissioners. You are advised to contact the Township Operations Manager Herb Bender, as soon as practicable, to learn of, or confirm any or all of:

- a. The amount of any water and/or sewer *allocation fees*. The fees shall be calculated by the Township Water and Sewer Engineer and provided on the “Will Serve” letter. The fee for the allocation(s) will be due prior to plan recording;
 - b. The amount of any water and/or sewer *connection fees*. The fees shall be calculated by the Township Water and Sewer Engineer and provided on the “Will Serve” letter. The fees are due at or before the building permit is to be issued;
 - c. The amount of any *contributions* that would cover the cost of extending the water and/or sewer system so that it can serve your development.
2. The applicant is to contact the PA Department of Environmental Protection to determine what Sewage Facility Planning requirements are to be met for this development.

Legal and Other

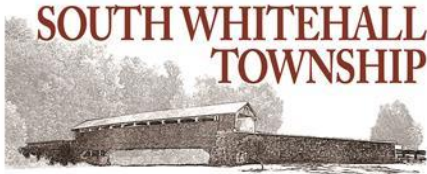
1. The Township Solicitor and Township Engineer may want to comment upon the legal requirements of the MS4 program with regard to any private stormwater management facilities.

Waiver and Deferral Request Commentary

1. No waivers or deferrals requested.

Official Map & Comprehensive Plan

1. The Official Map depicts the subject parcel as underlain by karst geology.
2. The Comprehensive Plan envisions the tract within a Neighborhood Residential Land Use Type. The goal of Neighborhood Residential is to:
 - Encourage housing types to address the needs of all income levels
 - Support opportunities for local-serving small business development where appropriate
 - Evaluate pedestrian safety and connectivity
 - Encourage walkability within neighborhoods and to other land use types
 - Consider traffic calming and congestion relief where possible
 - And utilize streetscaping, facades, and beautification techniques to create sense of place and preserve community character.
 - Neighborhood Residential Land Use supports Open Space, Agriculture, Conservation Subdivision, Small Lot Residential, Multi-Family Residential, Neighborhood Center and Mixed-Residential place types.



Your plan has been removed from the November 16, 2023 Planning Commission agenda at the request of the applicant. A completed Waiver From The Time Limitation To Review The Plan form shall be submitted to the Township by December 20, 2023. Should the applicant fail to submit the completed form, the Board of Commissioners will likely vote to deny the plan at their December 20, 2023 meeting.

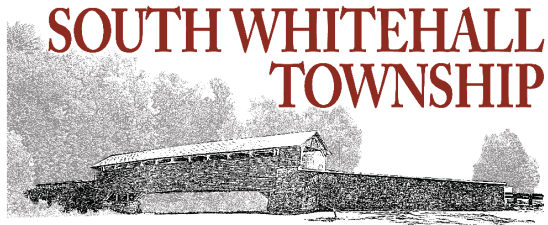
Please note that, effective January 1, 2024, the Planning Commission meeting date will change to the *second* Thursday of the month. Effective December 1, 2023, the submission deadline for initial plan submissions will be the *first* Thursday of the month, the submission deadline for resubmissions will be the *second* Thursday of the month, and minor revisions to plan reviewed at the Planning Commission meeting may be accepted up to *seven days after the meeting* with the agreement of staff.

If you have any questions, please call.

Sincerely,

Gregg R. Adams, Planner
Community Development Department

cc: T. Petrucci D. Manhardt L. Harrier H. Bender
J. Frantz J. Alderfer, Esq. J. Zator, Esq S. Pidcock
A. Tallarida J. Engelhardt, Langan J. Preston, Esq R. Brooks
File #2017-101



MEMORANDUM

TO: Planning Commission
FROM: Laura Harrier, Zoning Officer
DATE: November 10, 2023
SUBJECT: Ridge Farm - Major Subdivision 2017-101
Plan Dated October 26, 2023
COPIES: D. Manhardt, G. Adams, J. Alderfer, S. Pidcock, J. Frantz, Applicant

Phase 1-C proposal consists of approximately 6.8 acres and proposes 34 twin units.

Section 350-48(o)(2)(E)(iii)(1)(a) (Codified Ordinance) – Indented parking, i.e., creating parking spaces by indenting the curb line or right-of-way of a street or by traversing said curb line is hereby prohibited.

The previous plan reviewed December 12, 2022, showed Buchman Street as a private drive (plan dated November 17, 2022). The current plan indicates a public road is now proposed with indented parking. A variance may be required.

Laura Harrier, Zoning Officer
Community Development

Gregg R. Adams

From: John G. Frantz
Sent: Monday, October 30, 2023 1:40 PM
To: Gregg R. Adams
Subject: Ridge Farm Final Plan Phase 1C - 2017-101

Gregg,

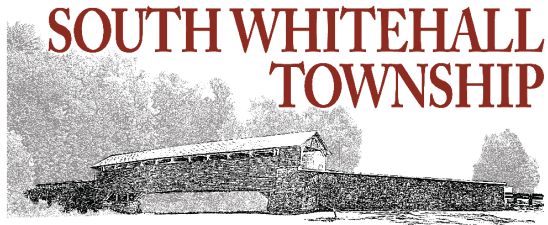
I have no comments to the plan.

John G. Frantz, CFEI, BCO

Fire Marshal, Building Code Official
South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104-1699
610-398-0401 (office)
610-398-1068 (fax)
www.southwhitehall.com



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MEMORANDUM

TO: Planning Commission
FROM: Gregg R. Adams, Planner
DATE: November 21, 2022
SUBJECT: Subdivision Plan Review
Ridge Farm Final Plan Phase 1C
Major Plan 2017-101
Plan dated November 17, 2022

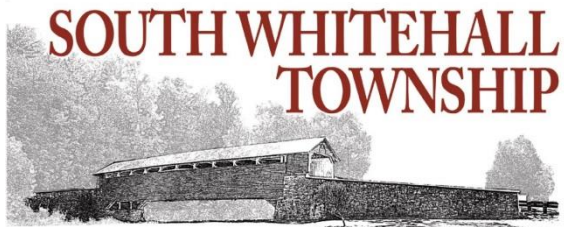
COPIES: Landscape and Shade Tree Commission, D. Manhardt, A. Tallarida,
J. Alderfer, Esq., S. Pidcock, Applicant

At their November 21, 2022 meeting, the Landscape and Shade Tree Commission reviewed the above-mentioned plan and recommended the following:

The trees along the southern right-of-way of Gristmill Lane shall be spaced at intervals of 40-45 feet. The Commission also recommends that street trees be placed in the right-of-way of Buchman Street where possible.

Respectfully submitted,

Gregg R. Adams, Planner
Community Development Department



MEMORANDUM

TO: Planning Commission
FROM: Gregg Adams, Planner
DATE: January 26, 2023
SUBJECT: Subdivision Plan Review
Ridge Farm Final Plan Phase 1C
Major Plan 2017-101
Plan Dated November 17, 2022
COPIES: Parks and Recreation Board, T. Petrucci, L. Matula, D. Manhardt,
J. Alderfer, S. Pidcock, A. Tallarida, Applicant

At their January 9, 2023 meeting, the Parks and Recreation Board reviewed the plan and determined the following:

That the plan is acceptable.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Gregg Adams", is written over a horizontal line.

Gregg Adams, Planner
Community Development Department

PROJECT NARRATIVE
Ridge Farm Community

March 18, 2020

Last Revised November 17, 2022

OVERVIEW

The Proposed Ridge Farm TND Site is located at the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. The site extends north to Huckleberry Road and includes a parcel on the west side of Cedar Crest Boulevard.

A portion of the Ridge Farms project is outside the TND zoning that we will refer to in this document as the Non-TND Site. The Proposed Ridge Farm Non-TND Site is located north of the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. This part of the site is entirely on the western side of Cedar Crest Boulevard and extends north of the Cedar Crest Boulevard and Huckleberry Road intersection.

The TND project site is composed of six (6) parcels totaling 138.34 acres. The Non-TND project site is composed of seven (7) parcels totaling 62.70 acres. The site exists as a ridge of land extending east west through the property. The top of the ridge has gentle slopes at 5-8 percent. The ridge side slopes are generally 15 to 25 percent. The section of land fronting on Walbert Road has gentle slopes of 3 to 8 percent, where the most intensive development is planned. The current use of the ground is predominantly agricultural.

Kay Walbert LLC is the Applicant (Owner) for the proposed community. The site program includes single family units, twins, apartments, a TND Cluster development and some limited village mixed-use apartments over retail. The proposed site is fronted by four existing roadways, which are as follows: PennDOT S.R. 1019 (North Cedar Crest Boulevard) to the east and west, PennDOT S.R. 1006 (Walbert Avenue) to the south, Township road (Huckleberry Road) to the north and south, and Township road (Yellowstone Road) to the west of North Cedar Crest Boulevard. The proposed TND site area includes six (6) existing parcels owned by Kay Walbert LLC, as shown in Table 1 below.

Table 1: Summary of Existing Parcel Owners and Gross Acreage

Owner	Parcel Number	Gross Acreage
Kay Walbert LLC	548746422139	111.18
Kay Walbert LLC	548767544734	4.72
Kay Walbert LLC	548767273685	1.51
Kay Walbert LLC	548725550358	8.58*
Kay Walbert LLC	548737014729	0.25
Kay Walbert LLC	548757625489	12.10

*Note: For parcel 548725550358 the TND boundary includes 8.58 acres of the overall 31.96-acre tract.

PROJECT NARRATIVE
Ridge Farm Community

March 18, 2020

Last Revised November 17, 2022

The proposed Non-TND site area includes seven (7) existing parcels as shown in Table 2 below.

Table 2: Summary of Existing Parcel Owners and Gross Acreage

Owner	Parcel Number	Gross Acreage
Kay Walbert LLC	548727343134	15.98
Fred J. Jandl	548727303984	0.41
Kay Walbert LLC	548726571146	13.67
Jandl Land Company	548726323076	6.69
Jandl Land Company	548726413932	2.26
Lawrence E. & Alice E. Ritter	548726730450	0.31
Kay Walbert LLC	548725550358	23.38*

*Note: For parcel 548725550358 the Non-TND boundary includes 23.38 acres of the overall 31.96-acre tract.

This community will be served by public water and sanitary sewer systems.

The Ridge Farm TND section was planned and designed according to the main tenets of Smart Growth and the guidelines of the TND- Residential Cluster Overlay District. Three features of the Ridge Farm Plan assure positive development and long-term quality for the resident and the Township:

1. Major park areas for common and Active open space, easily accessible from and central to residential neighborhoods.
2. Village retail areas easily walkable from residential neighborhoods.
3. A diversity of housing choices: a variety of small lot Singles, Twin Homes and, Apartments.

The site plan proposes a Traditional Neighborhood Design, featuring tree lines streets with sidewalks linking the residents to village shops, restaurants, and pocket parks, all within easy walking distance.

PROJECT NARRATIVE
Ridge Farm Community

March 18, 2020

Last Revised November 17, 2022

TND Zoning:

The entire TND community is located on the township’s Innovative Overlay District Map and is within the TND–Residential Cluster Overlay District. The underlying zoning for the site area is R-10 on approximately 44 acres of the site fronting on Walbert Ave. with 84-acres zoned R-2 and a section of R-4. Approximately 8.5 ac., zoned R-4, is located on the west corner of Cedar Crest Blvd.

The plan complies with the requirements of the Zoning Ordinance April 1, 2019, the Subdivision and Land Development Ordinance April 1, 2019, and Appendix C -General Manual of Written and Graphic Design Standards.

Ridge Farmland Development Program:

LAND USE	NUMBER OF UNITS / SQ. FT.
TND Market Rate Single Family Homes	68
TND Market Rate Twin Homes	40
TND Age Restricted Single Family Homes	88
TND Age Restricted Twin Homes	82
TND East Apartments	308
TND West Apartments / Condominiums	60
TND Restaurant Village Commercial Area	17,200
TND Medical Office Village Commercial Area	30,000
TND Retail Village Commercial Area	20,000
TND Market Rate Twin Homes (Buchman Street Access)	34
TND Apartments within Commercial Village	100
AREA OVERVIEW	
TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT	
TND Residential Cluster Site Area	138.340 AC.
Total TND Units	780
Commercial Mixed Use Area	12.455 AC.
Open Space	38.183 AC
Active Open Space	13.311 AC
Village Non-Residential Lot Coverage	73.76%

There are 780 Total Units.

- 156 units (20%) Single Family
- 156 units (20%) Twin Homes
- 468 units (60%) Apartment Units

PROJECT NARRATIVE

Ridge Farm Community

March 18, 2020

Last Revised November 17, 2022

Development Intensity Option:

The TND-Cluster Residential Zone grants base level zoning to R-4 level, based on some of the land is zoned R-2. Two 2-Density Credits are proposed to obtain R-10 level. The Development option proposed within the TND-Residential Cluster zone is a Residential community with approximately 10% of the total TND land area as Commercial.

Density credit table to achieve R-10 level follow:

TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT DEVELOPMENT INTENSITY CREDIT CALCULATION			
The purpose of this table is to show that with 2 density credits the TND portion of this project can follow the bulk criteria for Zoning district R-10 High Density Residential, an increase from R-4 Medium Density Residential.			
OPEN SPACE:			
For each additional 5% of the gross tract area beyond the minimum percentage of gross tract area required dedicated for open space. One-half Density Credit may be permitted above the Base Density.			
	AREA (SQ. FT.)	AREA (ACRES)	CREDITS
Required Open Space:	1,178,101 SF.	27.045 AC.	19.6%
Provided Open Space:	1,662,932 SF.	38.176 AC.	27.6%
Percentage above Required:			8.0%
0.5 Density Credit for every 5% above Required:			0.5 CREDIT
ALLEY ACCESS:			
For each twenty-five (25) percent of Dwelling units not required to have Alley access that are provided with Alleys. One-half Density Credit may be permitted above the Base Density.			
ALLEY UNITS	NUMBER OF UNITS	PERCENTAGE	CREDITS
Single Detached and Twins	87		
Apartments	368		
Total Alley Units	455	58%	
Total TND Units	780		1 CREDITS
PUBLIC BUS SHELTER:			
For each public bus shelter provided within the development in coordination with the local transportation authority. One-half Density Credit may be permitted above the Base Density.			
TYPE OF SHELTER	NUMBER OF BUS SHELTERS		CREDITS
Public Bus Shelter	1		0.5 CREDIT
TOAL DENSITY CREDITS:			2.0 CREDITS

The Development option table for Residential community with Commercial village as well as the total provided Open Space and Active Open Space follow:

RESIDENTIAL CLUSTER DEVELOPMENT OPTIONS TABLE RESIDENTIAL WITH COMMERCIAL COMPONENT (DEVELOPMENT OPTION #2)		
ITEM	REQUIRED / PERMITTED	PROPOSED
Minimum Tract Size:	50.0 AC.	138.340 AC
Increase in Development Intensity: Increase Development Intensity 1 Level or to R-4, whichever is greater:	Increased to R-4, with added Density Bonuses allows for an increase to R-10	R-10, See TND - Residential Cluster Overlay Development Intensity Table
Minimum % of the Tract to be Open Space: 15% plus 0.5% for every 1% of the gross tract area developed as commercial	19.55%	27.60%
Minimum % of the Tract to be Active Open Space: 5% plus 0.5% for every 1% of the gross tract area developed as commercial	9.55%	9.56%
Maximum % of the Tract to be Gross Area for Commercial Uses:	10%	9.1%

Note: Please refer to the TND - Residential Cluster Overlay Development Intensity Table and the Open Space Calculation tables for further calculations in support of the required and proposed information provided.

PROJECT NARRATIVE

Ridge Farm Community

March 18, 2020

Last Revised November 17, 2022

TND Open Space:

The provided total Open Space is 27.60% or 38.183 acres of site area. The provided Active Open Space area is 13.311 acres or 9.62% of total site area. The Active Open Space is centrally located within the neighborhoods, and greater than 50% of the Active Open is in the form of Greens, Squares or, Plazas. A number of amenities are proposed within the different Active Open Space locations including; walkways, trails, gazebos, pavilions, playground equipment, club house recreation facilities, hardscape plaza areas, seating areas, and bike racks. The majority of the Open Space and Active Open Space provided as part of TND community will be owned and maintained by the Home Owners Association. The Active Open Space areas located in the Commercial Mixed Use portion of the site is offered to South Whitehall Township for dedication.

REQUIRED OPEN SPACE CALCULATIONS			
TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT (RESIDENTIAL WITH COMMERCIAL COMPONENT)			
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	REQUIRED / PERMITTED PERCENTAGES
TND RESIDENTIAL CLUSTER SITE AREA	6,026,090	138.340	
ACTIVE OPEN SPACE REQUIRED ⁽²⁾	575,492	13.211	9.55%
OPEN SPACE REQUIRED ⁽¹⁾	1,178,101	27.045	19.55%
MAXIMUM OPEN SPACE WITHIN FLOODWAY / WETLANDS / STEEP SLOPES IN EXCESS OF 25%	706,860	16.227	60%

PROVIDED OPEN SPACE CALCULATIONS			
TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT (RESIDENTIAL WITH COMMERCIAL COMPONENT)			
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	PROVIDED PERCENTAGES
COMMERCIAL MIXED USE AREA ^(1,2)	542,548	12.455	9.1%
OPEN SPACE	1,083,436	24.872	17.98%
ACTIVE OPEN SPACE	579,816	13.311	9.62%
TOTAL OPEN SPACE	1,663,252	38.183	27.60%
OPEN SPACE WITHIN FLOODWAY / WETLANDS / STEEP SLOPES IN EXCESS OF 25% ³	224,804	5.161	13.52%

NOTES:

1. Minimum percentage of Tract to be Open Space 15% plus 0.5% for every 1% of gross tract area developed as commercial.
2. Minimum percentage of Tract to be Active Open Space 5% plus 0.5% for every 1% of gross tract area developed as commercial.
3. All open space areas in this calculation are within steep slopes in excess of 25%. There are no known floodways or wetlands on-site.

OPEN SPACE				
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	AMENITY	OWNER
A	415,832	9.546	Trails	Homeowner's Association
B	95,761	2.198	None	Homeowner's Association
C	147,283	3.381	Trails	Homeowner's Association
D	129,386	2.970	Trails	Homeowner's Association
E	6,167	0.142	None	Homeowner's Association
F	108,697	2.495	None	Homeowner's Association
G	20,627	0.474	None	Homeowner's Association
H	46,218	1.061	None	Homeowner's Association
I	13,982	0.321	None	Homeowner's Association
J	11,000	0.253	Trails	Homeowner's Association
K	5,400	0.124	Trails	Homeowner's Association
L	5,400	0.124	Trails	Homeowner's Association
M	12,903	0.296	Rain Garden	Homeowner's Association
N	18,699	0.429	Trails	Homeowner's Association
O	46,081	1.058	Trails, Benches	Homeowner's Association
Open Space Total	1,083,436 SF.	24.872 Ac.		

NOTES:

1. Open Space areas do not include areas less than 500 SF.
2. Open Space areas include existing street ultimate right-of-way areas along portions of North Cedar Crest Blvd and Walbert Ave.
3. The 50' wide mobility easement connecting the eastern residential area to the commercial area is not included in the open space calculations.

PROJECT NARRATIVE

Ridge Farm Community

March 18, 2020

Last Revised November 17, 2022

Active Open Space Table Listing Amenities Provided.

ACTIVE OPEN SPACE				
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	AMENITY	OWNER
ACTIVE O.S. #1 (Green or Square with seating area or Plaza)	157,157	3.608	Clubhouse, Pavilion, Pickle Ball, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #2 (Green or Square with seating area or Plaza)	42,156	0.968	Gazebo, Clubhouse, Play Equipment, Pool, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #3 (Green or Square with seating area or Plaza)	42,962	0.986	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #4 (Green or Square with seating area or Plaza)	74,313	1.706	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #5 (Green or Square with seating area or Plaza)	9,131	0.210	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #6 (Green or Square with seating area or Plaza)	74,178	1.703	Fountain, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #7 (Green or Square with seating area or Plaza)	40,930	0.940	Pavilion, Benches, Bike Rack Trails	Homeowner's Association
ACTIVE O.S. #8 (Green or Square with seating area or Plaza)	50,684	1.164	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association
ACTIVE O.S. #9 (Green or Square with seating area or Plaza)	43,567	1.0 AC.	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association
ACTIVE O.S. #10 (Green or Square with seating area or Plaza)	12,210	0.280	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #11 (Green or Square with seating area or Plaza)	32,528	0.747	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
Active Open Space Total	579,816 SF.	13.311 Ac.		

NOTES:

1. Active Open Space areas include existing street ultimate right-of-way areas, up to 10 feet to proposed roadway improvements.
2. Active Open Space areas have a maximum grade of 5%.
3. All Active Open Space areas, 100%, will be Village Greens or Squares having seating areas and Plazas with the amenities listed above.

Non-TND Open Space Summary:

NON-TND OPEN SPACE					
AREA DESIGNATION	AREA	BASIN AREA	AREA SQUARE FEET	AREA ACRES	OWNER
RR-2 LOT A	267,422 SF.	43,142 SF.	224,280 SF.	5.149 AC.	Homeowner's Association
R-2/R-4 LOT B	140,940 SF.	17,161 SF.	123,779 SF.	2.842 AC.	Homeowner's Association
R-4 LOT C	8,387 SF.	N/A	8,387 SF.	0.193 AC.	Homeowner's Association
OPEN SPACE TOTAL			356,446 SF.	8.183 AC.	

Pedestrian Connectivity:

All areas of the community are pedestrian accessible. The Pedestrian Plan illustrates an interconnected network of sidewalks and trails which connect all areas of the community. The Trails and sidewalks are located within the streetscape, Open Space and Active Open Space. This plan includes a 8' wide pedestrian/ bike trail along both Cedar Crest Blvd. and Walbert Ave. which provide linkage to the broader community.

Residential

This TND community contains three different unit types; single family, twins, and apartments intermingled on the site. There is an age restricted section of the single family and twins. All buildings have the front facade located at the Build-to Line as measured from the 60' wide Ultimate Right Of Way. Street frontage single family and twins units have a 10' Build To Line for the front façade with a 10' recessed garage. The single family detached lot widths vary by 5' for every three consecutive lots. The minimum lot sizes are: 6,000 SF for singles lots and, 4,800 SF for twin lots.

PROJECT NARRATIVE

Ridge Farm Community

March 18, 2020

Last Revised November 17, 2022

TND - RESIDENTIAL CLUSTER DEVELOPMENT		
AREA AND BULK REGULATIONS AND DESIGN STANDARDS TABLE		
ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:		
R-10 High Density Residential		
Dwelling Type:	Single Detached / Twin	Single Detached / Twin
Minimum Lot Area per Use:	6,000 SF. / 4,800 SF.	≥ 6,000 SF. / ≥ 4,800 SF.
Minimum Frontage:	50 FT / 40 FT	≥ 50 FT / ≥ 40 FT
Build to Line (TND requirement):	10 FT - 15 FT	10 FT - 15 FT
Minimum Sides to Lot Lines:	8 FT / 10 FT	≥ 8 FT / ≥ 10 FT
Minimum Rear to Lot Lines:	25 FT	≥ 25 FT
Maximum Units per Building:	1 Unit / 2 Units	1 Unit / 2 Units
Minimum Height (TND requirement):	20 FT	≥ 20 FT
Maximum Height of Building Structure:	35 FT	≤ 35 FT
Dwelling Type:	Apartment / Condo Buildings	Apartment / Condo Buildings
Maximum Dwelling units per Gross Acre:	10 UNITS	See Apartment Increase Credit Tables
Build to Line (TND requirement):	10 FT - 15 FT	10 FT - 15 FT
Minimum Sides to Lot Lines:	20 FT	≥ 20 FT
Minimum Rear to Lot Lines:	30 FT	≥ 30 FT
Maximum Units per Building:	16 UNITS	See Apartment Increase Credit Tables
Maximum Height of Building Structure:	35 FT	See Apartment Increase Credit Tables
NON-RESIDENTIAL USES:		
N-C Neighborhood Commercial / TND Residential Cluster		
Use Type:	Mixed Use Building / Retail / Restaurant / Medical Office	Mixed Use Building / Retail / Restaurant / Medical Office
Maximum Individual Use:²	5,000 SF.	≤ 5,000 SF.
Build to Line (TND requirement):	5 FT - 15 FT	5 FT - 15 FT
Minimum Height (TND requirement):	2 Stories or 20 FT	2 Stories or ≥ 20 FT
Maximum Height of Building Structure (TND requirement):	4 Stories or 60 FT (along aerial roads)	4 Stories or ≤ 60 FT (along aerial roads)
Minimum Building Separation on same lot:	20 FT	≥ 20 FT
Max. Non-Res. Building Footprint:		
3 stories or 45 FT in height or less:	6,500 SF.	≤ 6,500 SF.
greater than 3 stories or 45 FT in height:	20,000 SF.	≤ 20,000 SF.
Maximum Lot Coverage (TND requirement):	75%	73.76%

Notes:

1. TND requirements were taken from South Whitehall Township Zoning Code Section 350-31(f)(2).
2. Medical Offices will have separate uses, no greater than 5,000 SF for each office.

Residential Parking Table:

TND RESIDENTIAL PARKING CALCULATIONS				
BUILDING TYPE	DWELLING UNITS	PARKING REQUIREMENT	REQUIRED SPACES	PROPOSED SPACES
Single Detached Dwelling ¹	156	2 Spaces / D.U.	312	312
Twins ¹	156	2 Spaces / D.U.	312	312
On-Street Parking ⁴				234
Apartment Area #1 East	308	2.25 Spaces / D.U. ²	693	712
Apartment Area #2 West	60	2.25 Spaces / D.U. ^{2,3}	135	142
Number of Apartment parking areas	4 Areas	1 Large space for parking areas with 50 or more spaces	4	4

NOTES:

1. Each TND single family and twin unit will have a 2 car garage, 2 garage spaces per unit will be provided. Additional on-street parking spaces are provided throughout the market rate and age restricted development areas. These on-street parking spaces are not needed to meet the required parking calculation.
2. The required apartment parking is 2 spaces for each dwelling unit and an additional 0.25 spaces per unit for overflow parking.
3. Apartment Area #2 West units include 1 assigned driveway space and 1 garage space for each unit. Overflow parking spaces are provided around the perimeter of Active Open Space #12.
4. On-Street parking listed does not include parking spaces designated for mail pick up at cluster mailbox locations.

TND CLUBHOUSE PARKING CALCULATIONS				
PROPOSED USE	BUILDING SIZE (SF)	PARKING REQUIREMENT	REQUIRED SPACES	PROPOSED SPACES
Clubhouse A ¹ (1 Story)	5,000	1 Space / 300 SF of Office	46	46
Clubhouse B ¹ (1 Story)	5,000	1 Space / 50 SF of meeting room	46	46

NOTES:

1. Each clubhouse will have a 2,000 SF meeting room area and an office area of 600 SF. The remaining area will be lobby / marketing display space.
2. Clubhouse parking lots are not counted towards open space.

PROJECT NARRATIVE
Ridge Farm Community
 March 18, 2020
 Last Revised November 17, 2022

Non-TND Zoning Tables:

RR-2 RURAL RESIDENTIAL-2		
LOT AVERAGING DEVELOPMENT OPTION		
ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Single Detached Dwelling Unit	Single Detached Dwelling Unit
Minimum Eligible Lot Area:	5 AC.	15.933 AC.
Density: Total Area / 80,000 SF.	694,024 SF. / 80,000 SF. = 8.7	8 Units
Minimum Lot Area:	43,560 SF.	≥ 43,560 SF.
Minimum Frontage:	75 FT	160 FT
Minimum Front Yard:	35 FT	35 FT
Minimum Side Yard:	15 FT	15 FT
Minimum Rear Yard:	50 FT	50 FT
Maximum Building Height:	35 FT	35 FT
Parking Requirement:	2 Spaces / D.U.	16 SPACES
NOTES:		
1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.		

RR RURAL RESIDENTIAL AND AGRICULTURAL		
ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Single Detached Dwelling	Single Detached Dwelling
Tract Area:	N/A	13.666 AC.
Minimum Lot Area Per Use:	1 AC.	≥ 1 AC.
Minimum Frontage:	160 FT	160 FT
Minimum Front Yard:	50 FT	50 FT
Minimum Side Yard:	15 FT	15 FT
Minimum Rear Yard:	50 FT	50 FT
Maximum Building Height:	40 FT	40 FT
Parking Requirement:¹	2 Spaces / D.U.	18 SPACES
NOTES:		
1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.		

R-2 RURAL LOW DENSITY RESIDENTIAL		
ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Single Detached Dwelling	Single Detached Dwelling
Tract Area:	N/A	9.767 AC.
Minimum Lot Area Per Use:	20,000 SF.	≥ 20,000 SF.
Minimum Frontage:	125 FT	125 FT
Minimum Front Yard:	35 FT	35 FT
Minimum Side Yard:	25 FT	25 FT
Minimum Rear Yard:	40 FT	40 FT
Maximum Building Height:	40 FT	40 FT
Parking Requirement:¹	2 Spaces / D.U.	18 SPACES
NOTES:		
1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.		

R-4 MEDIUM DENSITY RESIDENTIAL		
ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Twin	Twin
Tract Area:	N/A	23.19 AC.
Minimum Lot Area Per Use:	8,400 SF.	≥ 8,400 SF.
Minimum Frontage:¹	70 FT / 42 FT along cul-de-sac lot	70 FT / 47 FT along cul-de-sac
Minimum Front Yard:	25 FT	25 FT
Minimum Side Yard:	10 FT	10 FT
Minimum Rear Yard:	30 FT	30 FT
Maximum Building Height:	35 FT	35 FT
Parking Requirement:²	2 Spaces / D.U.	128 SPACES
NOTES:		
1. Zoning Section 350-42-(i)(3)(l) Frontage along cul-de-sac Lots may be satisfied at the standard front building or Use setback line, provided the length of the ROW line equals at least 60% of the required frontage.		
2. Each Twin unit will have a 2 car garage, 2 garage spaces per unit will be provided.		

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Community Clubhouse:

Two community recreation buildings are proposed. One club, 5000 sf, for the Single Family and Twin homes, and One club, 5000 sf, for the apartments.

Commercial / Mixed-Use Village:

The Build to Line for the Non-Residential / Mixed Use buildings is 5-15 feet. A maximum of 25% of the linear frontage of an individual building facade, located within the Commercial Area, may be offset from the Build-to Line by 4 to 20 feet in order to provide visual diversity, architectural enhancements, or open space in the form of pedestrian gathering areas or plaza. Buildings Located on corners will be placed along Build-to Lines, unless a Plaza, Green, or Square is located at the same street corner. All parking along adjacent to the Main Street will be provided with a 4' high screen wall placed at the Build To Line.

The Mixed-Use Buildings are 3 to 4 stories, with 46' to 55' building height. Mixed Use buildings will have ground floor retail and restaurants with 2 to 3 stories of apartments above. The medical office building is 3 stories with a building height of 46'. The medical office building will be a focal point building in the village. The medical office building and mixed use building will not have greater than 5,000 sf of a single user. Over 50% of the buildings in the Main Street Environment have second floor usable area for apartments. Single-use retail and restaurant buildings will have a minimum building height of 20 feet.

Commercial / Mixed Use Parking Table:

TND NON-RESIDENTIAL PARKING CALCULATIONS					
Mixed Use / Village Commercial Area:			REQUIRED SPACES	PROPOSED SPACES	
Apartments as part of a Mixed Use Building	100	2.25 Spaces / D.U. ¹	225	225	
Retail / Restaurant Mixed Use Building #1 (1st Floor)	6,940 SF.	1 Space / 225 SF of GFA ²	28		
Retail / Restaurant Mixed Use Building #2 (1st Floor)	6,940 SF.		28		
Retail Mixed Use Building #3 (1st Floor)	6,660 SF.		27		
Retail Mixed Use Building #4 (1st Floor)	6,660 SF.		27		
Restaurant A (1 Story)	5,000 SF.		20		
Restaurant B (1 Story)	5,000 SF.		20		
Medical Office (3 Stories, 30,000 SF Usable Office Space)	30,000 SF.			134	
Sub Total:	67,200 SF.			299	299
Total Mixed Use / Village Commercial:			524	524	

NOTES:

1. The required apartment parking is 2 spaces for each dwelling unit and an additional 0.25 spaces per unit for overflow parking.
2. The required shopping center parking is 1 space for each 225 square feet of gross floor area.

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Commercial / Mixed Use Coverage:

MIXED USE VILLAGE COMMERCIAL AREA IMPERVIOUS CALCULATIONS			
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	PERCENTAGES
COMMERCIAL MIXED USE AREA	542,548	12.455	
MAXIMUM IMPERVIOUS PERMITTED			75.0%
PERVIOUS AREAS:	142,354 SF.	3.268	
TOTAL IMPERVIOUS:	400,194 SF.	9.187	73.76%

TND Street Plan:

The streets and alleys will be owned and maintained by the Homeowners Association.

Residential Streetscape:

The residential local streets will have a 50' wide street right-of-way and 60' wide ultimate right-of-way to define Build To Lines. On street parallel parking is located on one side of the street. The Streetscape is defined by buildings located along the Build-to Line. The typical Residential Streetscape width is 80' wide per appendix "C". A 5' wide sidewalk is located on both sides of the street. A 4.5' to 5.5' grass strip is provided between the sidewalk and the curb for street trees. Visual diversity along the street is obtained by providing a variety of architecture, mixing housing types, and varying the lot width by 5' every three lots. Block intermingling, having two unit types within a block length is proposed for 58% of the residential street.

Alleys:

Single Family and Twin units taking access from alleys will have garages setback a minimum of 4 feet from the alley right-of-way. These alleys have a 18' wide right-of-way and a 16' wide cartway. Apartment alleys are 24' wide with 90 deg. parking and adjacent dedicated carports.

Main Street

The Main Streetscape width is 85-95 feet as defined within Appendix "C". The Main Street will provide on-street 60 degree angled parking and make up 21% of the total parking provided within the Commercial Area. The majority of parking is off street and located in the rear of buildings.

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Apartment Density Credits:

There are two apartment areas. Apartment area #1 is located on the east side of Cedar Crest Blvd. Apartment area #2 is located on the west side of Cedar Crest Blvd. The credit requirements for each area to achieve building height, units per acre, and units per building are outlined in the table below.

Apartment Credits for Apartment Area #1:

APARTMENT BUILDING - #1 AREA EAST			
DENSITY INCREASE CREDIT CALCULATION			
The purpose of this table is to show that with the 6 total density credits achieved that the maximum R-10 Apartment building density can increase from 10 dwelling units per acres to 11 dwelling units per acre (1 credit required). And that the maximum R-10 Apartment building height can increase from 35 feet to 55 feet (2 credits required). And that the maximum R-10 Apartment units per building can increase from 16 units to 28 units (3 density credits required).			
ITEM	AREA (SQ. FT.)	AREA (ACRES)	CREDITS
Apartment Area (#1 Area East)	1,254,870 SF.	28.808 AC.	
Apartments Proposed	308 UNITS		
OPEN SPACE:			
Permitted Density BEFORE credit is applied (10 units per acre)	288 UNITS		
Permitted Density AFTER credit is applied (11 units per acre)	317 UNITS		
Required Open Space:	250,974 SF.	5.762 AC.	20.0%
Provided Open Space: ¹	502,557 SF.	11.537 AC.	40.0%
Percentage above Required:			20.0%
0.5 Density Credit for every 5% above Required:			2.0 CREDITS
CARPORTS:			
Apartment Units Proposed:	308 UNITS		
Provided Carport Spaces:	308 CARPORT SPACES		100.0%
0.5 Density Credit for each 25% Carport Spaces Per Unit:			2.0 CREDITS
ASSIGNED GARAGES:			
Apartment Units Proposed:	308 UNITS		
Provided assigned garage spaces:	162 GARAGE SPACES		52.6%
0.5 Density Credit for each 15% of units with assigned garage space:			1.5 CREDITS
CLUB HOUSE:			
Number of Clubhouses Proposed:	1 CLUBHOUSE		
0.5 Density Credit for 5,000 SF. Clubhouse:			0.5 CREDIT
TOAL DENSITY CREDITS:			6.0 CREDITS
Notes:			
1. The provided open space area listed does not include Open Space Basin #1, Open Space Basin #2 or Open Space Basin #3 areas.			

Apartment Credits for Apartment Area #2:

APARTMENT BUILDING - #2 AREA WEST			
DENSITY INCREASE CREDIT CALCULATION			
The purpose of this table is to show that with the 3 total density credits achieved (only 2 needed) that the maximum R-10 Apartment building height can increase from 35 feet to 45 feet (1 credit required). And that the maximum R-10 Apartment units per building can increase from 16 units to 18 units (1 density credit required).			
ASSIGNED GARAGES:			
Apartment Units Proposed:	60 UNITS		
Provided assigned garage spaces:	60 GARAGE SPACES		100.0%
0.5 Density Credit for each 15% of units with assigned garage space:			3.0 CREDITS
TOAL DENSITY CREDITS:			3.0 CREDITS

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Walbert Ave and Cedar Crest Blvd. Streetscape Pedestrian / Bike Trail:

The Plan will include pedestrian friendly streetscape improvements along frontage sections of Cedar Crest Boulevard and Walbert Avenue. This will include an 8' wide pedestrian / bike path, street trees, shrub or perennial meadow plantings, and raingardens. Stone identity columns are located at the corner intersection of Walbert Ave. and Cedar Crest Blvd.; and project entrance with identity signage.

Phase 1A Description:

The Proposed Ridge Farm – Phase 1A is located at the northeastern corner of the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. The portion of land included in Phase 1A is located within the TND portion of the project. This phase, which is a total of 9.37 acres, is located on one (1) parcel totaling 111.18 acres. The western most portion of this phase bordering Cedar Crest Boulevard slopes up in the northern direction at approximately 6 percent. The eastern portion of the phase is relatively flat to gently sloping from Walbert Avenue to the northern boundary line of the phase. The current use of the parcel is predominantly agricultural.

Kay Walbert LLC is the Applicant (Owner) for the proposed parcel. Phase 1A includes a three story medical office building with a 15,000 square foot building footprint along with parking and various other improvements. This phase includes the installation of storm sewer facilities including conveyance systems and storm water best management practices. Since the site will be served by public sewer and water this phase includes the installation of the appropriate facilities for this portion of the overall site. There will also be pedestrian and bike paths installed in Phase 1A that will connect with futures phases to help with accessibility for pedestrians to move freely throughout the future community.

Phase 1B Description:

The Proposed Ridge Farm – Phase 1B continues the projects Phase 1 improvements and is located in South Whitehall Township at the northwest corner of Cedar Crest Boulevard and Walbert Avenue. Phase 1B is roughly 13.2 acres and is located on a consolidated 53.17 acre parcel. This phase is located within the R-4 Medium Density Residential (+/- 5.2 acres) and TND (+/- 8.0 acres) zoning districts. The Phase 1B improvements include 5 apartment buildings, 14 twin units, an existing building to remain along with parking, 2 infiltration basins, 3 infiltration trenches, associated conveyance systems and various other improvements.

Phase 1C Description:

The Proposed Ridge Farm – Phase 1C continues the projects Phase 1 improvements and is located in South Whitehall Township west of the Fernwood subdivision. Phase 1C is roughly 6.8 acres and is located on a consolidated 123.0 acre parcel. This phase is located within the R-4 Medium Density Residential and TND zoning district. The Phase 1C improvements include 34 twin units, 1 infiltration basin, associated conveyance systems, an active open space area and various other improvements.

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