RIDGE FARM FINAL PLAN PHASE 1C MAJOR PLAN 2017-101

ATTACHMENTS

- 1. Memorandum
- 2. Site Plan
- 3. Township Engineer Review dated November 8, 2023
- 4. Township Water and Sewer Engineer Review dated November 7, 2023
- 5. Township Geotechnical Consultant Reviews dated November 9, 2023
- 6. Township Lighting Consultant Review dated November 11, 2023
- 7. Public Works Department Review dated November 9, 2023
- 8. Community Development Department Review dated November 10, 2023
- 9. Zoning Officer Review dated November 10, 2023
- 10. Fire Marshal Review dated October 30, 2023
- 11. Landscape and Shade Tree Commission Review dated November 21, 2022
- 12. Parks and Recreation Board Review dated January 26, 2023
- 13. Applicant Correspondence
 - A. Project Narrative dated November 17, 2022

TO: PLANNING COMMISSION

FROM: GREGG R. ADAMS, PLANNER

SUBJECT: RIDGE FARM FINAL PLAN PHASE 1C

MAJOR PLAN 2017-101

REQUEST FOR FINAL PLAN REVIEW

DATE: NOVEMBER 10, 2023

COPIES: BOARD OF COMMISSIONERS, T. PETRUCCI, H. BENDER,

D. MANHARDT, L. HARRIER, J. ZATOR, ESQ., J. ALDERFER, ESQ, S. PIDCOCK, A. TALLARIDA, APPLICANT, FILE 2017-101

LOCATION AND INTENT:

An application to develop the property located at PIN 548746422139 (located directly west of the Buchman Street/Roosevelt Street intersection and directly north and northwest of the Keneseth Israel Cemetery). The plan proposes 34 two-unit dwelling units (17 pairs of twins); Granary Lane, Gristmill Lane and the continuation of Buchman Street; Active Open Space 5; and Basin 8 and associated stormwater management facilities on an approximately 6.8-acre portion of the 123-acre tract. The property is zoned R-4 Medium Density Residential and TND-Residential Cluster Overlay District and is being developed as a TND-Residential Cluster Overlay. Kay Walbert LLC is the equitable owner and applicant.

PREVIOUS TOWNSHIP CONSIDERATION:

At their December 15, 2022 meeting, the Planning Commission reviewed and took under advisement Major Plan 2017-101 Ridge Farm Final Plan Phase 1C.

At their November 3, 2021 meeting, the Board of Commissioners approved the preliminary plan for Major Plan 2017-101 Ridge Farm.

At their October 21, 2021 meeting, the Planning Commission reviewed and recommended conditional preliminary plan approval of Major Plan 2017-101 Ridge Farm to the Board of Commissioners.

At their September 16, June 17 and February 23, 2021 meetings, and at their September 30, August 24, July 16 and May 21, 2020 meetings, the Planning Commission reviewed and took under advisement Ridge Farm Preliminary Plan 2017-101.

The Board of Commissioners, on November 20, 2019, approved Conditional Use 2017-601 Ridge Farm subject to the applicant complying with the following conditions:

- 1. That the applicant addresses to the satisfaction of the Township Engineer, the comments of the Township Engineer, as contained in his review letters dated July 31, 2019 and September 13, 2019.
- 2. That the applicant addresses to the satisfaction of the Township TND Design Consultant, the comments of Mr. Tom Comitta, as contained in his review letter dated July 11, 2019.

- 3. That the applicant addresses to the satisfaction of the Zoning Officer, the comments of Miss Laura Harrier, as contained in her review letter dated October 25, 2019, 2019.
- 4. That the applicant addresses to the satisfaction of PENNDOT, the preparation of a complete Traffic Impact Study consistent with the plan submitted and supporting the traffic conclusions presented by the developer's engineer, and the design, permitting, and construction of the improvements identified in the July 25, 2019 email from Rob Hoffman to Brian Boyer and of which Brian Boyer emailed his concurrence on July 31, 2019.
- 5. That the applicant design and construct the course of travel within the "Mobility Easement" to be an emergency access route between the residential area and the commercial village, with appropriate access control measures at either terminus, the design of which shall be reviewed and approved by the Township. Should a pedestrian and/or bicycle trail be put in place within the "Mobility Easement", rest areas for elderly or handicapped individuals along the easement shall be included, the design and construction of which shall be reviewed and approved by the Township. Further, the "Mobility Easement" shall be of sufficient size to allow a dedication of the "Mobility Easement" as a Township street of similar specifications as the one depicted on the Ridge Farm Sketch Plan last revised November 26, 2018, should the Township desire such a dedication in the future.

The Planning Commission reviewed the application at the following meetings: May 18, 2017; February 15, 2018; September 11, 2018; October 16, 2018; September 16, 2019; and October 30, 2019.

On August 6, 2014, the Board of Commissioners, through Ordinance 985, readopted the South Whitehall Township Zoning Ordinance and Map, which included new regulations for Traditional Neighborhood Development and designated a number of overlay districts within the Township for such developments. The tract includes a TND Residential Cluster Overlay District.

REVIEWING AGENCIES COMMENTS:

- A. <u>Township Engineer</u> The comments of the Township Engineer are contained in Mr. Anthony Tallarida's review dated November 8, 2023. Mr. Tallarida is not recommending engineering approval at this time. His comments pertain to relevant preliminary plan approval conditions, Buchman Street improvements, accessibility, Phasing Plan revisions, retaining walls, stormwater, traffic, and outside agency approvals.
- **B.** Township Water & Sewer Engineer The comments of the Township Water and Sewer Engineer are contained in Mr. Jason Newhard's review dated November 7, 2023. His comments pertain to plan detail.
- **C.** <u>Township Geotechnical Consultant</u> The comments of the Geotechnical Consultant are contained in Mr. Chris Taylor's review dated November 9, 2023. His comments pertain to retaining wall details and plan detail.
- **D.** <u>Township Lighting Consultant</u> The comments of the Lighting Consultant are contained in Mr. Corey Trumbower's review dated November 11, 2023. His comments pertain to inadequate street lighting.
- **E.** <u>Township TND Consultant</u> The comments of the Township TND Consultant have not been received at the time of this writing.
- **F.** <u>Public Works Department</u> The comments of the Public Works are contained in Manager Herb Bender's review dated November 9, 2023. Mr. Bender's comments pertain to fire flow, paving moratorium and road restoration.
- **G.** <u>Public Safety Committee</u> –The Public Safety Commission reviewed the plan at its December 6, 2022 meeting and made no comments to the plan.
- **H.** <u>Landscape and Shade Tree Commission</u> The Landscape and Shade Tree Commission is scheduled to review the plan at their November 30, 2023 meeting.
- **I.** Parks and Recreation Board —The Parks and Recreation Board reviewed the plan at its January 9, 2023 meeting and determined that the plan is acceptable.
- **J.** <u>Lehigh Valley Planning Commission</u> The comments from the Lehigh Valley Planning Commission are applicable for the preliminary plan. No additional review is required for the final plan submission.
- **K.** <u>Lehigh County Conservation District</u> The comments of the Lehigh County Conservation District have not been received at the time of this writing.
- **L.** <u>Pennsylvania Department of Transportation</u> PennDOT is currently reviewing the applicant's Highway Occupancy Permit plans.
- M. <u>Pennsylvania Department of Environmental Protection</u> The applicant is to obtain approvals from the PA Department of Environmental Protection for NPDES Permits and Sewage Facilities Planning Module Exemption.
- N. <u>Community Development Department</u> The Department's technical review is dated November 11, 2023 and provides comments pertaining to zoning, street trees, Open

Space, water and sewer service, MS4, and Comprehensive Plan and Official Map consistency.

COMMUNITY DEVELOPMENT DEPARTMENT RECOMMENDATION:

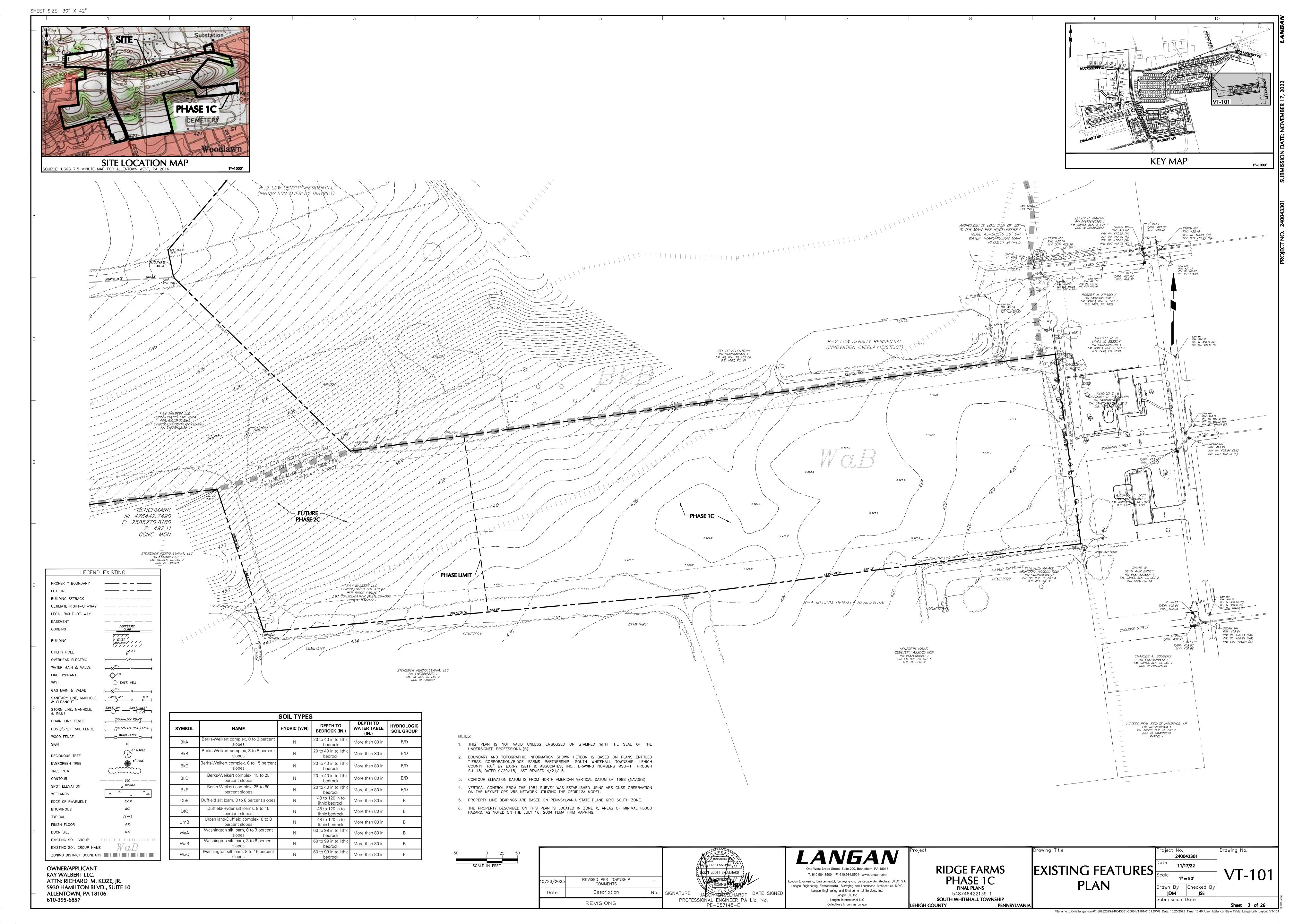
The Department recommends that the Planning Commission take the plan under advisement to afford the applicant the time necessary to address the reviewing agencies' comments. Our recommendation is contingent upon the applicant granting the Township a waiver from the timeframe in which to act upon the plan.

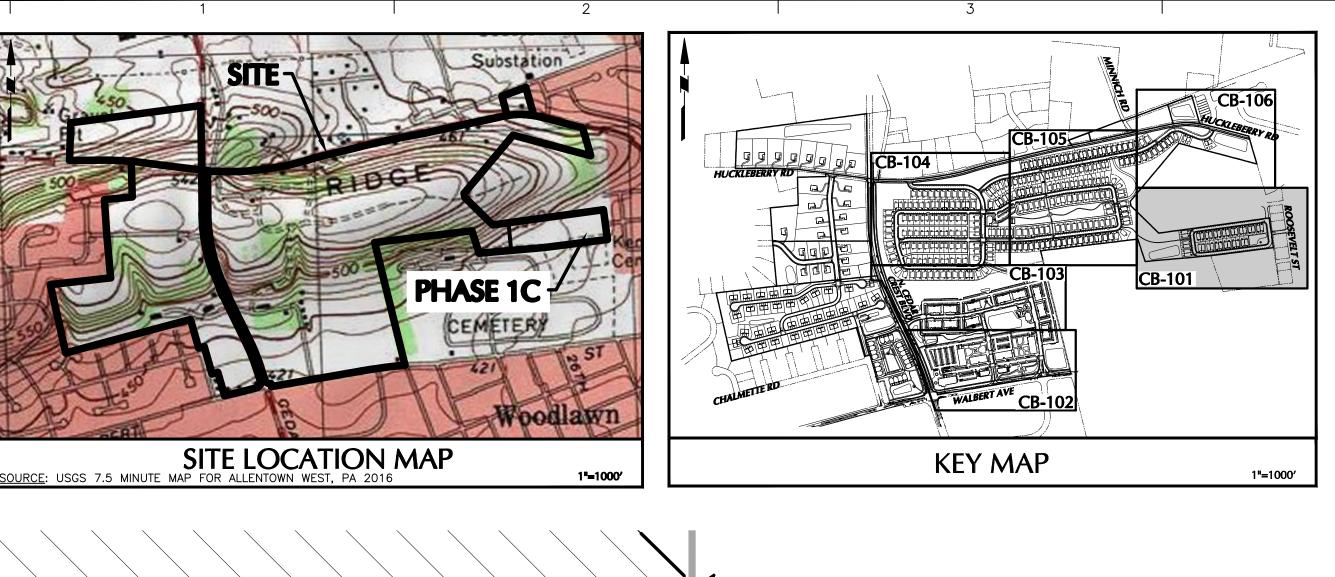
Planning Commission deadline date to act on the plan:

December 31, 2023

Board of Commissioners deadline date to act on the plan:

December 31, 2023





	CURVE TABLE							
CURVE	RADIUS	ARC LENTGH	DELTA	CHORD BEARING	CHORD LENGTH			
C500	50.00'	78.54'	90°00'00"	N37°10'11"E	70.71			
C501	50.00'	76.11	87°12'39"	N51°26'09"W	68.97'			
C502	50.00'	78.84'	90°20'51"	S37°30'16"W	70.92'			
C503	24.00'	37.77'	90°09'40"	N52°44'59"W	33.99'			
C504	34.00'	53.41'	90°00'00"	S37°10'11"W	48.08'			
C505	34.00'	52.00'	87°37'22"	S51°38'25"E	47.08'			
C506	984.00'	24.52'	1°25'39"	N84°14'42"E	24.51'			
C507	984.00'	24.52'	1°25'39"	N84°14'42"E	24.51'			
C508	984.00'	14.65'	0°51'11"	N83°06'17"E	14.65'			
C509	34.00'	53.61'	90°20'51"	N37°30'16"E	48.23'			
C510	74.00'	116.24	90°00'00"	S37°10'11"W	104.65			
C511	74.00'	85.69'	66°20'42"	S48°59'50"W	80.98'			
C512	74.00'	30.55'	23°39'18"	S03°59'50"W	30.34'			
C513	74.00'	112.64'	87°12'39"	S51°26'09"E	102.07			
C514	74.00'	20.53'	15°53'44"	S15°46'41"E	20.46			
C515	74.00'	92.11'	71°18'55"	S59°23'01"E	86.28'			
C516	1024.00'	40.76'	2°16'50"	N83°49'06"E	40.76'			
C517	74.00'	116.69'	90°20'51"	N37°30'16"E	104.97			

S66°16'27"W_

TW-69

6,865 SF.

0.158 AC.

TOWNSHIP REVIEW NOTE:
THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES. WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS. COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR

CITY OF ALLENTOWN

PHASE 1C-

5,021 SF. 0.115 AC.

4,864 SF __ 0.112 ACJ

MONUMENT

(TYP.)

1 05 -PHASE 1C AREA SUBJECT TO-TND OPEN SPACE DEED RESTRICTION AREA #2 (CROSS HATCHED AREA) 4,645,786 SF. 106.653 AC. KAY WALBERT LLC CONSOLIDATED LOT AREA RER RIDGE FARMS 。 S OT CONSOLIDATION PLAN CB-002 PIN 548746422139 ZONING DISTRICT BOUNDARY S TW-74 6,461 SF. 0.148 AC. 5,068,285 SF. 116.352 AC. 4,950 SF. 0.114 AC. **FUTURE** TW-71 4,950 SF. PHASE 2C 0.138 AC. STONEMOR PENNSYLVANIA, LLC PIN 548755972371 1 T.M. G8, BLK. 10, LOT 7 DOC. ID 7308941 4,964 SF.

CONSOLIDATED LOT AREA

RER RIDGE FARMS

CONSOLIDATION RLAN CB-Q02

N84°57'31"E 685.97'

STONEMOR PENNSYLVANIA, LLC

PIN 548755972371 1 T.M. G8, BLK. 10, LOT 7 DOC. ID 7308941

PIN 548766493444 1
T.M. G8, BLK. 10, LOT 8B
D.B. 1083, PG. 61 ZONING DISTRICT -45' ULTIMATE RIGHT-OF-WAY BOUNDARY . ≥ SIGHT DISTANCE ₹15 MPH AASHTO TW-68 7,413 SF. 0.170 AC. 4,860 SF. ≥ 0.112 AC 4,860 SF\≤ SNOW DROP-OFF — TND AREA EASEMENT LOT O PH-1C #1 22,995 SF. 0.528 AC. 450 ŠF MONUMENTS -- CENTER LINE N84°57'31"E 94.85 C506 CEMETERY ASSOCIATION

R-4 MEDIUM DENSITY RESIDENTIAL

R-2 LOW DENSITY RESIDENTIAL

(INNOVATION OVERLAY DISTRICT)

APPLICANTS CERTIFICATION:

I HEREBY CERTIFY THAT; A. THE APPLICANT IS THE OWNER, EQUITABLE OWNER OR HAS AN OPTION OF CONDITIONAL CONTRACT OF SALE ON THE LAND PROPOSED TO BE SUBDIVIDED OR DEVELOPED, THAT NO LITIGATION OR LIENS EXIST ON OR ARE PENDING AGAINST THE SITE, THAT THE PLAN HAS BEEN PROCESSED WITH THE APPLICANT'S FREE CONSENT.

B. THE APPLICANT CERTIFIES THAT HE WILL PROPERLY GRADE ALL LOTS TO PROVIDE ADEQUATE SURFACE DRAINAGE SO THAT NO LOW SPOTS OF WATER POCKETS CREATE A NUISANCE AND THAT BE WILL PLACE PERMANENT CONCRETE REFERENCE MONUMENTS TO GRADE AS NOTED ON THE PLAN UPON COMPLETION OF GRADING.

C. THE APPLICANT ALSO ACKNOWLEDGES THAT FOLLOWING APPROVAL OF THIS PLAN, PLAN CHANGES MAY BE REQUIRED TO ADDRESS THE COMMENTS AND REGULATIONS OF OUTSIDE AGENCIES RESPONSIBLE TO REVIEW ANY ASPECT OF THE PROJECT REFLECTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO POST CONSTRUCTION STORMWATER MANAGEMENT AND NPDES PERMIT REGULATIONS. IN THE EVENT OF CHANGES TO THE PLAN FOLLOWING APPROVAL (WHETHER OR NOT THE PLAN HAS BEEN RECORDED), THE APPLICANT SHALL SUBMIT THE REVISED PLAN TO THE TOWNSHIP FOR REVIEW BEFORE THE APPLICANT MAY MOVE FORWARD WITH CONSTRUCTION ACTIVITIES PURSUANT TO THE REVISED PLAN (WHETHER OR NOT THE PLAN HAS BEEN RECORDED).

RICHARD M. KOZE, JR. (MANAGING MEMBER) KAY WALBERT LLC

___ MY COMMISSION EXPIRES: ____ (NOTARY PUBLIC OR OTHER OFFICER)

SURVEYOR CERTIFICATION: I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E), HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY TO BE CORRECT IN ALL ITS DETAILS AND THAT THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON NOVEMBER 19, 2021, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST AS SHOWN, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT. THE REQUIRED AND PROPOSED

N82°18'45"E

ACCESS EASEMENT ' 9,606 SF. 0.2205 AC.

S82°10'11"W_

SIGHT DISTANCE -

15 MPH AASHTO

TIMOTHY J. SHERIDAN PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

RIGHT-OF-WAY AREAS SHOWN ARE EXCLUDED FROM THIS CERTIFICATION.

SURVEYOR CERTIFICATION: I, SHAUN F. HIGGINS, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-051088-E), HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION TO BE CORRECT IN ALL ITS DETAILS.

SHAUN F. HIGGINS PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-051088-E

ENGINEER'S CERTIFICATION: I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____

I HEREBY CERTIFY THE PLAN TO BE CORRECT IN ALL ITS DETAILS AND THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND ZONING ORDINANCE.

JASON S. ENGELHARDT PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

LEHIGH COUNTY

RECORDING INFORMATION RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, LEHIGH COUNTY, PENNSYLVANIA IN

PENNSYLVANIA

OWNERS CERTIFICATE: ON THIS, THE _____ DAY OF _____, 20___, BEFORE ME, THE UNDERSIGNED OFFICER,

DAVID & BETH ANN ERNEY

T.M. G8NE3, BLK. 10, LOT 2 D.B. 1326, PG. 48

RICHARD M. KOZE, JR. (MANAGING MEMBER) KAY WALBERT LLC

PIN 548776185705 1 T.M. G8NE3, BLK. 2, LOT 7 DOC. ID 2013032017

DAWES ST.

PIN 548776271592 1 T.M. G8NE3, BLK. 4, LOT 1 D.B. 1469, PG. 1082

MICHAEL R. &

PIN 548776262796 1 T.M. G8NE3, BLK. 4, LOT 2 D.B. 1499, PG. 1030

SNOW DROP-OFF AREA EASEMENT PH-1C #2

RONALD S. & ROSEMARY G. WASHBURN PIN 548776254818 1 T.M. G8NE3, BLK. 4, LOT 3 D.B. 1571, PG. 580

P.O.B. -BUCHMAN STREET

BUCHMAN STREET R.O.W. AREA 1 —DEDICATED TO SOUTH

WHITEHALL TOWNSHIP

NO7°40'09"W

312₁66'

PIN 548766819241 1 T.M. G8, BLK. 10, LOT 4 D.B. 467, PG. 2

R.O.W. AREA 1

" R.O.W.

ACCESS EASEMENT 1

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW. WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

(NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION: I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

RICHARD M. KOZE, JR. (MANAGING MEMBER) KAY WALBERT LLC

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION: RECOMMENDED FOR APPROVAL ______ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION

(MONTH DAY YEAR)

__ MY COMMISSION EXPIRES: _____

_ (SECRETARY)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS: ___ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TOWNSHIP

LEHIGH VALLEY PLANNING COMMISSION:

(MONTH DAY YEAR)

BY LEHIGH VALLEY PLANNING COMMISSION.

240043301 $1^{u} = 50'$

Filename: c:\bms\langan-pw-01\d0282625\240043301-0508-CB101-0101.dwg Date: 10/25/2023 Time: 16:49 User: ktalarico Style Table: Langan.stb Layout: CB-101

rawn By Checked By JDM JSE Submission Date

1. SEE SITE PLAN SHEET CS-101 FOR NOTES.

PROPOSED FIRE HYDRANT

	LEGEN	1D	
SITE S	SYMBOLS	GRADING S	YMBOLS
EXISTING CURB LINE =		EXISTING CONTOUR	
EXISTING MONUMENT		PROPOSED CONTOUR	360
EXISTING PROPERTY LINE -		EXISTING SPOT ELEVATION	imes 360.3
PROPOSED BUILDING LINE		PROPOSED SPOT ELEVATION	× 360.3
PROPERTY LINE		SOILS SYME	30LS
PROPOSED LOT LINE (WITH PIN MARKER)		SOILS BOUNDARY	
PROPOSED LOT LINE		SOIL TYPE	UudB
(WITH CONCRETE REFERENCE MONUMENTS)		TREELINE	~~~~~
BUILDING SETBACK LINE -			
PROPOSED UTILITY EASEMENT -			
STORMWATER BMP AREA			
_	<u>—</u>		
SIGN RETAINING WALL	<u> </u>		
BASIN LIMITS -			
ACCESSIBLE ROUTE			
	UTILITY SYME	30LS	
EXISTING STORM SEWER		EXISTING SANITARY SEWE	R MANHOLE S
EXISTING WATER MAIN	W	EXISTING FIRE HYDRANT	,
PROPOSED STORM SEWER		EXISTING CATCH BASIN	
PROPOSED SANITARY SEWER		EXISTING WATER VALVE	WV
PROPOSED SANITARY SEWER FORCE I	=: :::		\bowtie
PROPOSED WATER MAIN	———UW———	EXISTING MANHOLE	()
PROPOSED GAS MAIN	G		

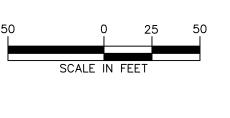
REQUIRED RIGHT-OF-WAY TO BE

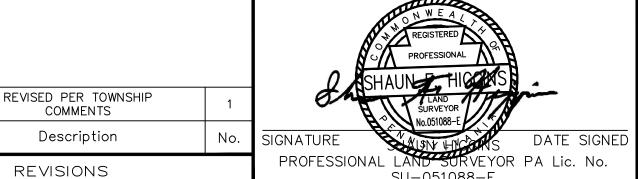
DEEDED TO THE COMMONWEALTH

PHASE 1C AREA SUBJECT TO TND

OPEN SPACE DEED RESTRICTION

OWNER/APPLICANT KAY WALBERT LLC. **ATTN: RICK KOZE** 5930 HAMILTON BLVD., SUITE 10 ALLENTOWN, PA 18106 610-395-6857





COMMENTS

Description

REVISIONS

T: 610.984.8500 F: 610.984.8501 www.langan.com ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S. Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C Langan Engineering and Environmental Services, Inc. Langan CT, Inc.

Langan International LLC

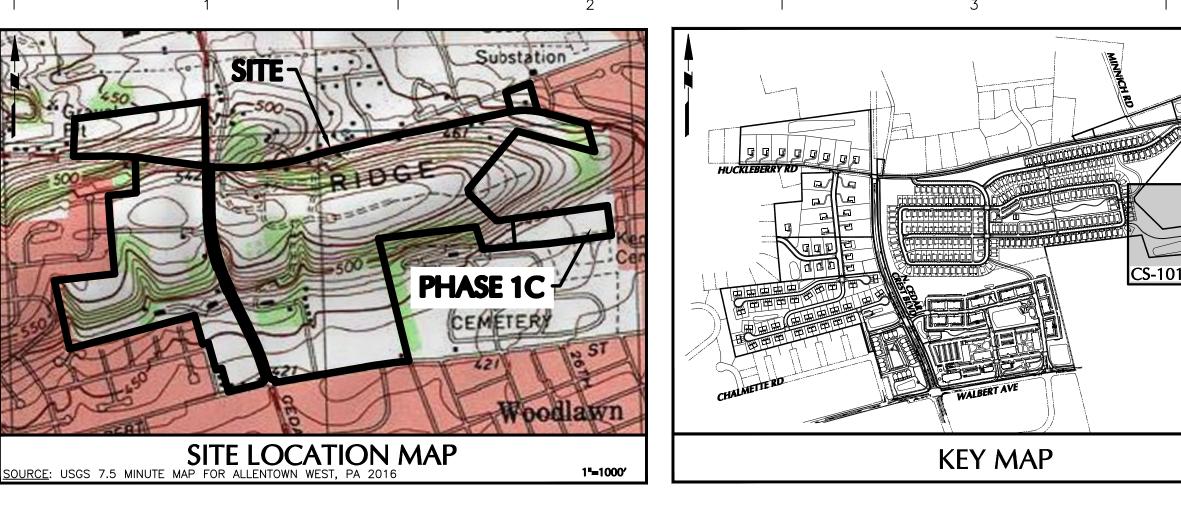
Collectively known as Langan

RIDGE FARMS PHASE 1C 548746422139 1 SOUTH WHITEHALL TOWNSHIP

SUBDIVISION PLAN

CB-101

___ (TOWNSHIP ENGINEER)



GENERAL NOTES: THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).

THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS AS SHOWN HEREIN.

PHASE 1C SUBJECT PROPERTY CONSISTS OF TAX PARCEL IDENTIFICATION NUMBER 548746422139 1. THE OVERALL RIDGE FARM PROJECT PROPERTY CONSISTS TAX PARCEL IDENTIFICATION NUMBERS; 548727343134 1, 548726571146 1, 54872550358 1, 548737014729 1, 54872550358 1, 548767273685 1, 548767544734 1, 548757625489-1, 548727303984-1, 548726323076-1, 548726413932-1.

BOUNDARY SHOWN IS FROM A FIELD SURVEY BY BARRY ISETT AND ASSOCIATES, DATED AUGUST 2, 2017, LAST REVISED JANUARY 9, 2018. ITOUR LINES SHOWN ARE FROM A SURVEY, FLOWN ON APRIL 12, 2014, BY AERO-METRIC, AND DRAWINGS DATED JUNE 13, 2014 AND HORIZONTAL DATUM IS BASED ON THE SURVEY PLAN SET PREPARED BY BARRY ISETT, NAMED "SURVEY PLAN", DATED 09/25/15, LAST REVISED VERTICAL DATUM NAVD8 PHASE 1C PROPOSED SUBDIVISION BASED ON RIDGE FARMS LOT CONSOLIDATION PLAN, DRAWING NUMBER CB-002, DATED 1/21/21 LAST

AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS 9. IT IS IMPERATIVE THAT UTILITY COMPANIES BE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-242-1776 TO ORDER 10. CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM IF ANY SPECIFIC SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL NFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SPECIFIC SITE WORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF THE SUBJECT PROPERTIES LIE WITHIN A ZONE X - OTHER AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN AS EFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; ON THE FLOOD INSURANCE RATE MAPS IDENTIFIED AS COMMUNITY PAN

NO CERTIFICATION IS MADE BY THE UNDERSIGNED AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS

NO. 231 OF 340, EFFECTIVE REVISION DATE JULY 16, 2004 AND MAP NUMBER 42077C0231 F AND COMMUNITY PANEL NO. 232 OF 340, EFFECTIVE REVISION DATE JULY 16, 2004 AND MAP NUMBER 42077C0232 F.
THESE PLANS ARE IN CONFORMANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, STORM NAGEMENT ORDINANCE AND ZONING ORDINANCE, UNLESS A WAIVER OR VARIANCE HAS BEEN GRANTED AS NOTED HERON MONUMENTS SHALL BE PLACED AT PROPOSED LOCATIONS ON THE PLANS. LOT PINS SHALL BE PLACED AT BEGINNING AND ENDING OF ALL CURVES, INTERSECTIONS, CHANGES IN DIRECTION OF ALL LOT LINES AND AT ALL LOT CORNERS. WHERE CONCRETE MONUMENTS ARE REQUIRED AT SUCH LOCATIONS, NO LOT PINS SHALL BE SET. 15. PLEASE REFER TO OPEN SPACE PLAN SHEET CS-300 FOR OWNERSHIP INFORMATION (RIDGE FARMS OVERALL PROJECT LAND DEVELOPMENT PLAN SET, LAST REVISED 9/23/21).

16. ALL STORMWATER MANAGEMENT FACILITIES WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION EXCEPT FOR FACILITIES WITHIN PUBLIC RIGHT-OF-WAYS WHICH WILL BE OWNED AND MAINTAINED BY SOUTH WHITEHALL TOWNSHIP. ALL STORMWATER MANAGEMENT FACILITIES ARE A PERMANENT PART OF THE DEVELOPMENT AND SHALL NOT BE REMOVED, ALTERED, OR MODIFIED WITHOUT PRIOR APPROVAL FROM SOUTH WHITEHALL TOWNSHIP. NO REGULATED EARTH DISTURBANCE ACTIVITY WITHIN THE TOWNSHIP SHALL COMMENCE UNTIL APPROVAL OF THE BMP OPERATIONS AND MAINTENANCE PLAN WHICH DESCRIBES HOW THE PERMANENT STORMWATER BMPS WILL BE PROPERLY OPERATED AND MAINTAINED. THIS PLAN NEEDS TO BE RECORDED BY THE OWNER OF THE LAND UPON WHICH THE BMP IS LOCATED. LOTS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER. WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP AUTHORITY'S STANDAR

TO THE PLUMBING CODE CURRENTLY IN EFFECT IN THE TOWNSHIP AT THE TIME OF CONSTRUCTION. STORMWATER INTERCONNECTIONS WITH THE SANITARY SEWER SYSTEM SHALL NOT BE PERMITTED. ALL SANITARY SEWER EASEMENTS ARE TO BE PROVIDED IN THE NAME OF SOUTH WHITEHALL TOWNSHIP AND SHALL REMAIN LEVEL AND FREE OF FENCES, TREES, SHRUBS, AND OTHER OBSTRUCTIONS. 25. ALL SANITARY SEWERS TO BE DEDICATED TO SWTA SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP STANDARDS FOR IMPROVEMENTS CONSTRUCTION AND D.E.P. REQUIREMENTS. 26. WITH RESPECT TO ANY LAND OF A SUBDIVISION OR LAND DEVELOPMENT TO BE CONVEYED OR GRANTED BY DEED OF DEDICATION OR DEFID OF ASSMENT TO SOUTH WHITEHALL TOWNSHIP FOR ANY DETENTION POND, OR FOR ANY RECREATION OR OPEN SPACE AREAS, NO EASEMENTS OR RIGHTS OF WAY OF ANY KIND, INCLUDING THOSE REQUIRED BY PUBLIC OR PRIVATE UTILITIES, SHALL BE GRANTED BY THE LAND OWNER OR APPLICANT TO ANY PERSON OR ENTITY OTHER THAN SOUTH WHITEHALL TOWNSHIP. ANY GRANTS OF EASEMENTS OR OTHER RIGHTS OF LAND OR ANY MODIFICATIONS TO THE QUALITY OF TITLE OF THE LAND MADE SUBSEQUENT TO THE BOARD COMMISSIONERS' APPROVAL OF SUCH

WATER DISTRIBUTION SYSTEM SPECIFICATIONS AND DETAILS, CURRENT EDITION, AS WELL AS THE PA DEP REGULATIONS AND AWWA

22. ALL SANITARY SEWERS NOT TO BE DEDICATED TO THE TOWNSHIP, INCLUDING BUT NOT LIMITED TO LATERAL CONNECTIONS, SHALL CONFORM

THE TOWNSHIP ENGINEER MAY REQUIRE INDIVIDUAL ON-LOT GRADING PLANS AT BUILDING PERMIT STAGE. . ACTUAL UNIT WILL BE INCLUDED ON PLOT PLAN FOR BUILDING PERMIT.

A BLANKET EASEMENT FOR MUNICIPAL STORMWATER INSPECTION AND MAINTENANCE SHALL BE PROVIDED ACROSS THE ENTIRE OPEN SPACE ALL CURB RAMPS SHALL MEET CURRENT PENNDOT STANDARDS. ALL CURB RAMPS REQUIRE BRICK RED DETECTABLE WARNING SURFACE WHEN INSTALLED.
PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY, PERMITS MUST BE OBTAINED FROM SOUTH WHITEHALL TOWNSHIP OR PENNDOT

BY SUBMISSION OF THESE PLANS THE ENGINEER ON RECORD CERTIFIES THAT THESE PLANS ARE IN CONFORMANCE WITH SOUTH WHITEHALL 35. PLEASE REFER TO THE RIDGE FARMS DEVELOPMENT ROAD/ALLEY OWNERSHIP TABLE ON SHEET CS-100 FOR ROADWAY OWNERSHIP INFORMATION. (RIDGE FARMS OVERALL PROJECT LAND DEVELOPMENT PLAN SET, LAST REVISED 9/23/21). 36. THE BUILDING FOOTPRINTS SHOWN ON THESE PLANS ARE FOR PLANNING PURPOSES AND WILL BE MODIFIED IN THE PLOT PLAN PHASE PRIOR 37 A RIANKET STORMWATER CONVEYANCE EASEMENT IS PROPOSED OVER THE SUBJECT PROPERTY TO BENEFIT THE HOMEOWNERS RIGHT TO INSPECT AND MAINTAIN THE STORMWATER CONVEYANCE SYSTEM IF THE HOMEOWNERS ASSOCIATION FAILS TO PROPERLY BB. BETAINING WALL FENCING TYPE AND MATERIAL SHALL BE COORDINATED WITH BETAINING WALL MANUFACTURER SEE SHEET CS-100 FOR ROADWAY OWNERSHIP/DEDICATION TABLE. (RIDGE FARMS OVERALL PROJECT LAND DEVELOPMENT PLAN SET, LAST

41. THE DESIGN AND DETAILS (INCLUDING CALCULATIONS AND WALL PROFILES) OF THE RETAINING WALLS, CERTIFIED BY AN ENGINEER XPERIENCED IN THE DESIGN OF RETAINING WALLS AND LICENSED IN THE STATE OF PENNSYLVANIA, SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL. BUILDING PERMITS, AS APPLICABLE, SHALL BE OBTAINED PRIOR TO WALL CONSTRUCTION.

THE LOCATION OF THE EXISTING UTILITIES HAVE NOT BEEN REVIEWED BY THE PIDCOCK COMPANY, THE TOWNSHIP, OR THE SPOTTS, STEVENS AND MCCOY COMPANY. IT IS ACKNOWLEDGED THAT SIGNIFICANT EFFORTS TO RESOLVE UTILITY CONFLICTS, INCLUDING BUT NOT NECESSARILY LIMITED TO REDESIGN, CONSTRUCTION DELAYS, UTILITY RELOCATIONS, ETC., MAY RESULT IF CONFLICTS WITH EXISTING UTILITIES AR 43. WITHIN THE TND PORTION OF THE SITE, SIDEWALKS WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER OR THE HOMOWNERS ASSOCIATION (HOA). A BLANKET EASEMENT SHALL BE PROPOSED OVER THE SIDEWALKS ALLOWING THE PROPERTY OWNER OR THE HOA RIGHTS TO MAINTAIN SIDEWALKS AS NECESSARY 44. BUILDING PERMITS ARE REQUIRED BY THE PAUCC, SECTION 403.21.iii FOR WALLS GREATER THAN 4 FEET IN HEIGHT. THE DETAILS OF 1 PROPOSED VEHICLE GUIDE RAIL AND SUPPORTING FOUNDATION SHOULD COMPLY WITH THE DESIGN, DIMENSIONAL, AND LOADING REQUIREMENTS OF 2009 INTERNATIONAL BUILDING CODE (2009 IBC) SECTION 1607.7.3. 45. CALCULATIONS AND SHOP DRAWINGS PREPARED BY THE RETAINING WALL MANUFACTURER'S ENGINEER TO SHOW COMPLIANCE WITH REQUIRED DESIGN STANDARDS. THE CALCULATIONS AND SHOP DRAWINGS SUBMITTED MUST BE SIGNED AND SEALED BY THE ENGINEER RESPONSIBLE FOR THEIR PREPARATION AND MUST BE ANNOTATED BY THE DEVELOPER'S ENGINEER TO INDICATE THAT THEY HAVE ROVED" THE CALCULATIONS AND SHOP DRAWINGS AS BEING IN COMPLIANCE WITH THE PROJECT DESIGN INTENT AND THE TOWI STANDARDS. THE CALCULATIONS SHOULD INCLUDE CONSIDERATION OF SURCHARGE PRESSURE RESULTING FROM VEHICLES. FOUNDATIONS OF RETAINING WALLS ABOVE THE WALL IN QUESTION, AND FROM BUILDING FOUNDATIONS (AS APPLICABLE 46. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 508.6 OF THE PA MUNICIPALITIES PLANNING CODE, KNOWN AS THE STATE HIGHWAY LAW," BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED A BUILDING PERMIT IS REQUIRED FOR LIGHT POLE FOUNDATIONS PRIOR TO INSTALLATION

REFER TO THE FOLLOWING GEOLOGIC AND SOILS REPORTS ASSOCIATED WITH THE PROJECT THAT EVALUATE THE PRESENCE/ABSENCE OF GROUND FEATURES. REPORT TITLED "INFILTRATION TEST & SITE INVESTIGATION REPORT FOR: KAY RIDGE, LLC. RIDGE FARMS" BY J. ROCKWOOD & ASSOCIATES, INC. DATED MARCH 13, 2020. "SUPPLEMENTAL INFILTRATION & SITE INVESTIGATION REPORT FOR: KAY RIDGE, LLC. RIDGE FARMS" BY J. ROCKWOOD & ASSOCIATES, INC. DATED JANUARY 15, 2021. SIGHT DISTANCE EASEMENTS SHALL BE PLACED OVER LOTS WHERE SIGHT DISTANCE TRIANGLES EXTEND OVER PRIVATE LOTS. THERE SHALL B NO OBSTRUCTION OF VISION BETWEEN A HEIGHT OF TWO FEET AND 10 FEET ABOVE THE CENTER LINE GRADE OF THE STREET WITHIN THE SIGHT DISTANCE EASEMENTS, AREAS WITHIN THESE EASEMENTS SHALL BE GRADED AS NECESSARY AND KEPT CLEAR OF ANY BUILDINGS ANTINGS, OR OTHER OBSTRUCTIONS, WITH THE EXCEPTION OF ITEMS REQUIRED BY A GOVERNMENTAL OR QUASI-GOVERNMENTAL ENTI OR PUBLIC UTILITY, SUCH AS, BUT NOT LIMITED TO, TRAFFIC SIGNAGE, UTILITY POLES, ETC HIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING, STREET BEING INTERSECTED (STREET "B" IN THE DIAGRAM) IS AN ARTERIAL STREET, WITH REGARD TO THE BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER RIGHT-IN/RIGHT-OUT DRIVEWAY ONTO WALBERT AVENUE, IS HEREBY WAIVED. ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING

THE REQUIREMENT OF SECTION 312-35(b)(3)(A)(viii)(1)(B)(ii) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND

THE APPLICANT IS RESPONSIBLE FOR JOINING THE PA ONE CALL SYSTEM AND IS RESPONSIBLE FOR THE MARKING OF ALL UNDERGROUND

(A) TOTAL ACREAGE OF TRACT = 123.0143 AC. (CONSOLIDATED LOT CONTAINING PHASE 1C) TOTAL ACREAGE OF PHASE 1C = 6.860 AC.

OWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR.

61. ALL PUBLIC IMPROVEMENTS ARE ANTICIPATED TO BE COMPLETED BY 12/2028.

EXISTING MONUMENT

UTILITIES PRIOR TO THE UTILITIES BEING FORMALLY ACCEPTED BY AND DEDICATED TO THE TOWNSHIP.

(B) NUMBER OF LOTS PROPOSED = 38 LOTS (FOR LOT AREAS SEE SHEETS CB-101) LINEAR FEET OF NEW STREETS = 2,370 LF (INCLUDES 135 LF OF EMERGENCY ACCESS AND 191 LF OF BUCHMAN STREET) D) TYPE OF WATER SYSTEM = PUBLIC WATER (F) ZONING DISTRICT AND DIMENSIONAL REQUIREMENTS COMPARED TO PROPOSED = SEE SUPPLEMENTAL PLAN SHEET GI-003 G) NONRESIDENTIAL LOT TW-EX-1W AND PARCEL INTENDED USE = TO BE DETERMINED

(H) PARCEL IDENTIFICATION NUMBER FROM COUNTY RECORDS = 548746422139 1 (PARCEL CONTAINING PHASE 1C) (G) ALL SITE INFORMATION THAT IS REQUIRED UNDER ZONING ORDINANCE = SEE SUPPLEMENTAL PLAN SHEET GI-003 53. A BLANKET EASEMENT WILL BE PROVIDED FOR ALL STREET TREES. STREET TREES WILL BE MAINTAINED BY THE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION (HOA). THE TOWNSHIP WILL HAVE THE RIGHT BUT NOT THE RESPONSIBILITY TO ACCESS & MAINTAIN THE STREET TREES IF THE PROPERTY OWNER OR HOA FAILS TO DO SO. 54. THE TOWNSHIP HAS THE RIGHT TO ENFORCE THE SPEED LIMIT ON ALL PRIVATE ROADS WHICH ARE TO BE MAINTAINED BY THE HOA.
 55. REFER TO THE FOLLOWING GEOLOGIC AND SOILS REPORTS ASSOCIATED WITH THE PROJECT THAT EVALUATE THE PRESENCE/ABSENCE OF

GROUND FEATURES. REPORT TITLED "INFILTRATION TEST & SITE INVESTIGATION REPORT FOR: KAY RIDGE, LLC. RIDGE FARMS" BY J. ROCKWOOD & ASSOCIATES, INC. DATED MARCH 13, 2020. "SUPPLEMENTAL INFILTRATION & SITE INVESTIGATION REPORT FOR: KAY RIDGE, LLC. RIDGE CONDITION THAT THE TOWNSHIP GEOTECHNICAL ENGINEER REVIEW AND APPROVE THE PLAN. FARMS" BY J. ROCKWOOD & ASSOCIATES, INC. DATED JANUARY 15, 2021. AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. THE LIMITS OF PUBLIC/PRIVATE OWNERSHIP ARE THE TOWNSHIP AND/OR PENNDOT IGHT OF WAY ALONG NORTH CEDAR CREST BOULEVARD AND WALBERT AVENUE (S.R. 1006). THE HOMEOWNER'S ASSOCIATION OWNS AND

WAIVED FOR ALL BASINS PROPOSED WITHIN THE PROJECT, EXCEPT FOR BASINS #4 AND #6, TO ALLOW A 3-FOOT MAINTAINS THE PIPE FROM THE SITE UP TO THE FIRST STRUCTURE IN THE PENNDOT RIGHT-OF-WAY OTWITHSTANDING ANY PROVISIONS OF THE TOWNSHIP STORMWATER MANAGEMENT PLAN, INCLUDING EXEMPTION AND WAIVER APPROVED BY THE TOWNSHIP GEOTECHNICAL CONSULTANT. PROVISIONS ANY LANDOWNER AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT

MUNICIPALITY TO BE ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND. BY SUBMITTING AN APPLICATION UNDER THE TOWNSHIP STORMWATER MANAGEMENT PLAN, THE DEVELOPER HEREBY AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE MUNICIPALITY AND ALL ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DEMANDS, CAUSES

THE CENTERLINE OF AN INTERSECTION IS AN ARTERIAL STREET, WITH REGARD THE ROAD

WITH REGARD TO THE CONTROL OF THE TOWNSHIP IN THE DIAGRAM) IS AN ARTERIAL STREET, WITH REGARD THE ROAD

WITH REGARD THE ROAD TH OF ACTION OR SUITS WHICH ARISE OUT OF OR RELATE TO THE REVIEW, APPROVAL, CONSTRUCTION OR OBSERVATION OF THE DEVELOPER'S I/HUCKLEBERRY ROAD INTERSECTION, IS HEREBY WAIVED. HANGES TO OFF-SITE RUNOFF RESULTING FROM THIS DEVELOPMENT INCLUDING, BUT NOT LIMITED TO, CHANGES IN ACT 167 WATERSHED AND THE EASTERN ROAD H CUL-DE-SAC IS HEREBY WAIVED. AND SUBAREA BOUNDARIES, POST-DEVELOPMENT RATES AND/OF VOLUMES OF RUNOFF, AND ON-SITE OR OFF-SITE IMPROVEMENTS WHICH MAY AFFECT FLOW RATES AND VOLUMES WITHIN THE WATERSHED, ARE REGIONAL MATTERS NOT REVIEWED BY THE TOWNSHIP STAFF AND

AIVERS GRANTED BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TOWNSHIP ON NOVEMBER 3, 2021 THE REQUIREMENT OF SECTION 312-35(A)(6)(E)(I) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE TO REQUIRE THE CENTERI INE OF AN INTERSECTING STREET BE OFFSET A MINIMUM DISTANCE OF EIGHT-HUNDRED (800) FEET IF THE

THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S)
AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND
FEET HORIZONTAL IN AREAS OF EARTH EXCAVATION OR EARTH FILL IS HEREBY WAIVED ON THE CONDITION THAT THE ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL

TOWNSHIP GEOTECHNICAL CONSULTANT REVIEW AND APPROVE THE PLAN AND THAT ADDITIONAL PLANTINGS BE PLACED ON COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE THE REQUIREMENT OF SECTION 312-35(B)(3)(B)(I) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO THE REQUIREMENT FOR ARTERIAL STREETS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ARTERIAL STREET CROSS SECTION WITHIN THE TOWNSHIP STANDARD CONSTRUCTION DOCUMENTS (LATEST REVISION) WITH REGARD TO HUCKLEBERRY ROAD WEST OF CEDAR CREST BOULEVARD IS HEREBY DEFERRED IN FAVOR OF THE IMPROVEMENTS SHOWN

ON THE LANGAN ENGINEERING PLAN SET ENTITLED "RIDGE FARM" DATED AND LAST REVISED MARCH 18, 2020, SUBJECT TO THE APPLICANT: DEDICATING A FORTY (40) FOOT HALF- WIDTH RIGHT-OF-WAY ALONG THE FRONTAGE OF THEIR PROPERTIES FRONTING HUCKLEBERRY ROAD AS PRESENTED, CONSTRUCTING A FORTY (40) FOOT CARTWAY AS PRESENTED, INSTALLING CURBING AS PRESENTED. INSTALLING SIDEWALK AND STREET TREES ALONG THE NORTHERN RIGHT-OF-WAY OF HUCKLEBERRY ROAD AS PRESENTED (THE SIDEWALK TO BE INSTALLED PER THE ARTERIAL STREET CROSS SECTION), INSTALLING STREET TREES ALONG THE SOUTHERN RIGHT-OF-WAY OF HUCKLEBERRY ROAD AS PRESENTED. AND INSTALLING SIDEWALK ALONG THE SOUTHERN RIGHT-OF-WAY OF HUCKLEBERRY ROAD BETWEEN CEDAR CREST BOULEVARD AND ROAD I PER THE ARTERIAL STREET CROSS SECTION. THE REQUIREMENT OF SECTION 312-39(D)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AS IT PERTAINS TO THE REQUIREMENT TO PROVIDE A MINIMUM 2 PERCENT SLOPE ACROSS THE BASIN FLOOR BE WAIVED FOR ALL BASINS PROPOSED WITHIN THE PROJECT TO ALLOW A ZERO PERCENT SLOPE ACROSS THE BASIN FLOOR IS HEREBY WAIVED ON THE

THE REQUIREMENT OF SECTION 312-39(D)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AS IT PERTAINS TO THE REQUIREMENT TO PROVIDE A MAXIMUM 4-FOOT HORIZONTAL TO 1-FOOT VERTICAL SLOPE SIDE WALL *IS HEREBY* HORIZONTAL TO 1-FOOT VERTICAL SLOPE SIDE WALL, ON THE CONDITION THAT THE BASIN DESIGNS BE REVIEWED AND STORMWATER RUNOFF CHARACTERISTICS SHALL IMPLEMENT SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT INJURY TO THE REQUIREMENT OF SECTION 312-39(D)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AS IT PERTAINS TO HEALTH, SAFETY OR OTHER PROPERTY, SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REQUIRED TO MANAGE THE RATE VOLUME. THE REQUIREMENT FOR SHALL I OW WATER DEPTHS (I ESS THAN 30") FOR BASINS 1A 1B 2 3 4 5 6 7A 8 9 AND 10 IS DIRECTION AND QUALITY OF RESULTING STORMWATER RUNOFF IN A MANNER WHICH OTHERWISE ADEQUATELY PROTECTS HEALTH AND

HEREBY WAIVED ON THE CONDITION THAT THE ABOVE-NOTED PONDS DEWATER TO A DEPTH NOT EXCEEDING 30" WITHIN 24 58. MUNICIPALITY BEVIEW AND APPROVAL OF THE DRAINAGE PLAN, OR THE SUBSEQUENT OBSERVATION AND APPROVAL OF STORMWATER

HOURS AFTER THE END OF THE RAIN EVENT FOR A 100-YEAR STORM, AND THAT SIX-FOOT ANTI-CLIMB FENCING BE PROVIDED. MANAGEMENT FACILITIES, SHALL NOT CONSTITUTE LAND DEVELOPMENT ON BEHALF OF OR BY THE MUNICIPALITY OR OTHERWISE CAUSE THE THE REQUIREMENT OF SECTION 312-35(A)(6)(F)(I) OF THE SURDIVISION AND LAND DEVELOPMENT ORDINANCE TO REQUIRE

THE REQUIREMENT OF SECTION 312-35(B)(2)(B)(III) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF, TOWNSHIP ENGINEER, AND TOWNSHIP SOLICITOR FOR CONSISTENCY ONLY WITH TOWNSHIP REGULATIONS AND ORDINANCES RELATING TO DESIGN REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT FACILITIES (SPECIFICALLY STORMWATER BEST MANAGEMENT PRACTICES AND ON-SITE STORMWATER COLLECTION AND CONVEYANCE FACILITIES). ANY

Active Open Space & Open Space Total

5930 HAMILTON BLVD., SUITE 10

OWNER/APPLICANT

ALLENTOWN, PA 18106

KAY WALBERT LLC.

ATTN: RICK KOZE

610-395-6857

CURVES BE LOWERED TO 15 M.P.H.

______360_____

GRADING SYMBOLS

ANTS AND ARE FOR REVIEW AND APPROVAL BY THE LVPC. SIMILARLY, THE TOWNSHIP STAFF AND CONSULTANTS HAVE NOT THE REQUIREMENT FOR HORIZONTAL CURVES TO MAINTAIN A MINIMUM CENTERLINE RADIUS OF ONE HUNDRED FIFTY (150) REVIEWED FACILITIES WITHIN AND RELATED TO THE STATE HIGHWAYS AND PROPERTY AND WILL RELY ON PENNDOT'S REVIEW OF THE FEFT AND A MINIMUM TANGENT OF ONE HUNDRED (100) FEFT RETWEEN REVERSE CURVES AND RETWEEN A CURVE AND A STORMWATER MANAGEMENT FACILITIES PROPOSED IN THE STATE HIGHWAY RIGHTS-OF-WAY AND PROPERTY FOR DETERMINING STREET INTERSECTION, WITH REGARD TO THE TWO CURVES ON ROAD I, IS HEREBY WAIVED TO PERMIT A MINIMUM CONFORMANCE WITH REQUIREMENTS AND ADEQUACY OF THOSE FACILITIES. THE TOWNSHIP STAFF, TOWNSHIP ENGINEER, AND TOWNSHIP SOLICITOR HAVE NOT INDEPENDENTLY REVIEWED, AND MAKE NO REPRESENTATION AS TO THE REQUIREMENTS FOR, OR ADEQUACY OF, ANY FACILITY TO BE REVIEWED BY LVPC AND/OR PENNDOT, NOR OF ANY OFF-SITE PROJECT STORMWATER IMPACT. INTERSECTION OF 77 FEET (AS SHOWN ON THE PLAN) ON THE CONDITION THAT THE SPEED LIMIT IN THE AREA OF THE

THE REQUIREMENT OF SECTION 312-36(C)(4)(B)(III) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE REQUIRING THAT A 150-FOOT SEPARATION DISTANCE BETWEEN A NON-RESIDENTIAL DRIVEWAY AND A STREET INTERSECTION CONTAINING ONLY LOCAL STREETS, WITH REGARD TO THE JERAS OFFICE/BARN BUILDING DRIVEWAY, *IS HEREBY WAIVED* ON THE CONDITION THAT THE PLAN BE REVISED TO SHOW THE DRIVEWAY ENTERING ONTO ROAD H NO LESS THAN 105 FEET FROM THE INTERSECTION OF ROAD H AND YELLOWSTONE ROAD.

DEED RESTRICTION NOTES

OVERLAY DISTRICT REGULATIONS.

APPROVED NOVEMBER 3, 2021

APPROVED JANUARY 27, 2022

DEED RESTRICTION NOTES:

THE APPLICANT SHALL RESTRICT, BY DEED RESTRICTION OR SIMILAR INSTRUMENT APPROVED BY THE TOWNSHIP

PHASE OR SUB-PHASE IS RECORDED. NO FINAL PLAN SHALL BE PERMITTED TO BE RECORDED IF SAID FINAL PLAN WILL CAUSE THE PORTION OF THE RIDGE FARM TRACT PROPOSED TO BE DEVELOPED UNDER THE TND

SOLICITOR'S OFFICE, THE PROPERTY UNDER THE REMAINING UNCONSTRUCTED PHASES (OR UNCONSTRUCTED

SUB-PHASES WITHIN THE PHASE IN WHICH ACTIVE CONSTRUCTION IS APPROVED) TO REMAIN OPEN SPACE IN

PERPETUITY, TO BE MAINTAINED BY THE HOA, UNTIL SUCH TIME THAT THE FINAL PLAN FOR THE PARTICULAR

RESIDENTIAL CLUSTER OVERLAY AS A WHOLE TO NO LONGER COMPLY WITH THE TND RESIDENTIAL CLUSTER

LEHIGH VALLEY PLANNING COMMISSION (LVPC) ACT 167 CONSISTENCY. APPROVED DECEMBER 3, 2021

EROSION AND SEDIMENT CONTROL PERMIT FROM LEHIGH COUNTY CONSERVATION DISTRICT

SEWAGE PLANNING MODULE APPROVAL. APPROVED APRIL 15, 2022

LEHGH AND NORTHAMPTON TRANSPORTATION AUTHORITY (LANTA

THE APPLICANT SHALL RESTRICT, BY DEED RESTRICTION OR SIMILAR INSTRUMENT APPROVED BY THE TOWNSHIP SOLICITOR'S OFFICE, THE PROPERTY UNDER THE

PHASE IN WHICH ACTIVE CONSTRUCTION IS APPROVED) TO REMAIN OPEN SPACE IN

PERPETUITY. TO BE MAINTAINED BY THE HOA. UNTIL SUCH TIME THAT THE FINAL PLAN

FOR THE PARTICULAR PHASE OR SUB-PHASE IS RECORDED. NO FINAL PLAN SHALL BE

PERMITTED TO BE RECORDED IF SAID FINAL PLAN WILL CAUSE THE PORTION OF THE RIDGE FARM TRACT PROPOSED TO BE DEVELOPED UNDER THE TND RESIDENTIAL

REMAINING UNCONSTRUCTED PHASES (OR UNCONSTRUCTED SUB-PHASES WITHIN THE

(WQG-02) PERMIT FOR THE LOW PRESSURE SEWER SYSTEM

HIGHWAY OCCUPANCY PERMIT FROM PennDOT

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. APPROVED DECEMBER 8, 2021

"SOUTH WHITEHALL TOWNSHIP AUTHORITY" APPROVAL OF WATER MAIN AND SANITARY SEWER EXTENSION.

PADEP WATER QUALITY MANAGEMENT GENERAL PERMIT FOR SEWER EXTENSIONS AND PUMP STATIONS

THE REQUIREMENT OF SECTION 312-35(B)(3)(A)(I) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO THE REQUIREMENT TO INSTALL CURBING (SPECIFICALLY ALONG WALBERT AVENUE AND CEDAR CREST BOULEVARD) IS HEREBY DEFERRED IN FAVOR OF THE IMPROVEMENTS SHOWN ON THE LANGAN ENGINEERING PLAN SET ENTITLED "RIDGE M" DATED AND LAST REVISED MARCH 18, 2020, ON THE CONDITION THAT CURBING BE ADDED TO THE EAST SIDE OF CEDAR CREST BOULEVARD TO ENSURE A CONTINUOUS CURBLINE BETWEEN WALBERT AVENUE AND HUCKLEBERRY ROAD AND THAT CURBING BE REQUIRED ALONG THE FRONTAGES OF HUCKLEBERRY ROAD AND FOCHT AVENUE AT 2523 HUCKLEBERRY ROAD. IF THE SCHOOL BUS STOP PROPOSED ALONG HUCKLEBERRY ROAD SHOULD BE LOCATED IN AN AREA FOR WHICH CURB AND/OR SIDEWALK HAS BEEN DEFERRED BY THE BOARD, THE APPLICANT MUST COME BACK TO THE BOARD OF COMMISSIONERS FOR RECONSIDERATION AS TO WHETHER THAT DEFERRAL IS STILL APPROPRIATE; THE BOARD SHALL, AT THAT TIME HAVE THE RIGHT TO REVOKE THE DEFERRAL AND REQUIRE INSTALLATION OF SUCH IMPROVEMENTS THE REQUIREMENT OF SECTION 312-35(B)(3)(A)(II) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO THE REQUIREMENT TO INSTALL SIDEWALKS (SPECIFICALLY ALONG WALBERT AVENUE AND CEDAR CREST BOULEVARD) IS HEREBY WAIVED IN FAVOR OF THE IMPROVEMENTS SHOWN ON THE LANGAN ENGINEERING PLAN SET ENTITLED "RIDGE FARM" DATED AND LAST REVISED MARCH 18, 2020, ON THE CONDITION THAT THE BIKE PATH ALONG WALBERT AVENUE (BOTH EAST AND WEST OF CEDAR CREST BOULEVARD) BE CONSTRUCTED IN CONCRETE RATHER THAN ASPHALT, THAT SIDEWALK BE REQUIRED ALONG THE FRONTAGES OF HUCKLEBERRY ROAD AND FOCHT AVENUE AT 2523 HUCKLEBERRY ROAD, AND THAT THE BIKE/PEDESTRIAN PATHS ALONG WALBERT AVENUE AND CEDAR CREST BOULEVARD LOCATED ON PRIVATE PROPERTY BE PLACED WITHIN A BIKE/PEDESTRIAN EASEMENT THAT ENSURES PUBLIC ACCESS, PLACES THE MAINTENANCE RESPONSIBILITIES ON THE PROPERTY OWNER OR HOMEOWNER'S ASSOCIATION, AND GUARANTEES THE TOWNSHIP THE RIGHT, BUT NOT OBLIGATION, TO MAINTAIN THE PATH AT THE EXPENSE OF THE PROPERTY OWNER OR HOMEOWNER'S ASSOCIATION. IF THE SCHOOL BUS STOP PROPOSED ALONG HUCKLEBERRY ROAD SHOULD BE LOCATED IN AN AREA FOR WHICH CURB AND/OR SIDEWALK HAS BEEN DEFERRED BY THE BOARD, THE APPLICANT MUST COME BACK TO THE BOARD OF COMMISSIONERS FOR RECONSIDERATION AS TO WHETHER THAT DEFERRAL IS STILL APPROPRIATE; THE BOARD SHALL, AT THAT TIME HAVE THE RIGHT TO REVOKE THE DEFERRAL AND REQUIRE INSTALLATION OF SUCH THE REQUIREMENT OF SECTION 312-35(B)(3)(A)(VIII) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING

TO THE REQUIREMENT TO CONSTRUCT THE STREET IN ACCORDANCE WITH SOUTH WHITEHALL TOWNSHIP STREET CONSTRUCTION STANDARDS (SPECIFICALLY WALBERT AVENUE AND CEDAR CREST BOULEVARD) *IS HEREBY DEFERRED* IN FAVOR OF THE IMPROVEMENTS SHOWN ON THE LANGAN ENGINEERING PLAN SET ENTITLED "RIDGE FARM" DATED AND LAST THE REQUIREMENT OF SECTION 312-40(C) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO THE

Area (SF) 2,857 2,857 2,857 2,857

REQUIREMENT TO INSTALL STREET TREES (SPECIFICALLY ALONG WALBERT AVENUE AND CEDAR CREST BOULEVARD) IS HEREBY WAIVED IN FAVOR OF THE IMPROVEMENTS SHOWN ON THE LANGAN ENGINEERING PLAN SET ENTITLED "RIDGE FARM" DATED AND LAST REVISED MARCH 18, 2020, ON THE CONDITION THAT THE STREET TREES ALONG WALBERT AVENUE AND CEDAR CREST BOULEVARD LOCATED ON PRIVATE PROPERTY BE PLACED WITHIN A BIKE/PEDESTRIAN EASEMENT THAT PLACES THE MAINTENANCE RESPONSIBILITIES. ON THE PROPERTY OWNER OR HOMEOWNER'S ASSOCIATION AND GUARANTEES THE TOWNSHIP THE RIGHT, BUT NOT OBLIGATION, TO MAINTAIN THE TREES AT THE EXPENSE OF THE PROPERTY OWNER OR HOMEOWNER'S ASSOCIATION. IN ADDITION, THE ORDINANCE AND/OR PLAN APPROVAL OBLIGATION FOR MAINTAINING AND REPLACING STREET TREES ALSO SHALL APPLY TO THE TREES BEING PLACED WITHIN THE BIKE/PEDESTRIAN EASEMENT.

PHASE 1A 1B & 1C TND OPEN SPACE AREA IN SQ. FT. AREA IN ACRES AREA DESIGNATION OWNER 12,903 SF. 0.296 AC. Phase 1A OPEN SPACE AREA M Rain Garden Phase 1A ACTIVE O.S. #6 (Green or Square with seating area or Plaza) 74,178 SF. 1.703 AC. Fountain, Benches, Bike Rack, Trails Phase 1A ACTIVE O.S. #7 (Green or Square with seating area or Plaza) Phase 1A ACTIVE O.S. #8 (Green or Square with seating area or Plaza) Phase 1A ACTIVE O.S. #9 (Green or Square with seating area or Plaza) Phase 1B ACTIVE O.S. #3 (Green or Square with seating area or Plaza) Phase 1B ACTIVE O.S. #4 (Green or Square with seating area or Plaza) Homeowner's Association Phase 1C ACTIVE O.S. #4 (Green or Square with seating area or Plaza) 7.394 SF. 0.170 AC Gazebo, Benches, Bike Rack, Trails Homeowner's Associatior TND OPEN SPACE DEED RESTRICTION AREA #22 4 645 786 SF 106,653 AC Homeowner's Association TND OPEN SPACE DEED RESTRICTION AREA #31 48,290 SF. 1.1086 AC.

113.982 Ac. 1. TND Open Space Deed Restriction Areas as shown on a plan entitled "Ridge Farms, Lot Consolidation (RECORD PLAN)" dated 1/21/2021, last revised 9/21/2022, Sheet No. CB-002, recorded

4,965,044 SF.

2. Remaining TND Open Space Deed Restriction Area after excluding Phase 1C improvements. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE

in the office of the recorder of deeds, Lehigh County, PA on 12/14/2022 Instrument No. 2022040857.

LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO. NO CERTIFICATION IS MADE B' LANGAN AS TO THE ACCURACY OR COMPLETENESS OF THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776

PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

Max % of tract to be Gross

2,857

2,857

2,857

2,861

2,859

2,693

2,692

2,857

2,900

3,177

TW-46

TW-49

TW-50

TW-51

TW-52

TW-53

TW-54

TW-55

TW-56

TW-57

TW-58

TW-59

TW-60

TW-61

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TW-63

TW-64

TW-65

TW-66

TW-67

TW-68

TW-69

TW-70

TW-71

TW-72

TW-73

TW-74

REVISED PER TOWNSHIP

COMMENTS

Description

REVISIONS

0/26/2023

Date

TW-47

T: 610.984.8500 F: 610.984.8501 www.langan.com ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S. Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C Langan Engineering and Environmental Services, Inc.

Langan CT, Inc.

Langan International LLC

Collectively known as Langan

RIDGE FARMS PHASE 1C FINAL PLANS 548746422139 1 **SOUTH WHITEHALL TOWNSHIP**

SITE PLAN

(RECORD PLAN) ubmission Date

Drawing No. 240043301 1" = 50' ıwn By | Checked B[,]

Filename: C:\bms\langan-pw-01\d0282625\240043301-0508-CS101-0101.DWG Date: 10/26/2023 Time: 09:14 User: ilaluz Style Table: Langan.stb Layout: CS-10

CLUSTER OVERLAY AS A WHOLE TO NO LONGER COMPLY WITH THE TND RESIDENTIAL EDGE OF PAVEMENT TO REMAIN CLUSTER OVERLAY DISTRICT REGULATIONS. COLLAPSIBLE BOLLARDS SPEED LIMIT \$IGN FOR ACCESS CONTROL EMERGENCY ACCESS SIGN LEGEND COUNT SIGHT DISTANCE -25 MPH AASHTO CLUSTER MAILBOX UNITS -SERVICING 34 UNIT MICHAFI R. & (TYP.) R-2 LOW DENSITY RESIDENTIAL FLEXIBLE DELINEATOR BARRIERS AND PIN 548776262796 • (2) RESERVED PARKING (CUSTOM, 12"X18") (INNOVATION OVERLAY DISTRICT) PAVEMENT HATCHING CITY OF ALLENTOWN 6" FULL REVEAL CURB ADJACENT TO -D.B. 1499, PG, 1030 SNOW DROP-OFF AREA ■ (3) STREET SIGN (D3-1, VAR. X 8") RETAINING WALL #7- DEPRESSED CURB AND SIDEWALK T.M. G8, BLK. 10, LOT 8B D.B. 1083, PG. 61 SIDEWALK (TYP.) \EASEMENT PH-1C #2 WITH 4' HIGH FENCE SIDEWALK TRANSITION -♠ ⟨4⟩ SPEED LIMIT (R2−1, 24"X30") **ZONING DISTRICT** AREA (TYP.) - 40' WIDE DEPRESSED SAW CUT LINE FOR -SEE TWIN DRIVEWAY CURB FOR WASHBURN PROPOSED FULL DEPTH **BOUNDARY** PEDESTRIAN CROSSING (W11-2, 30"X30") MAPRON DETAIL ON ACCESS ARROW PLAQUE (W16-7P, 24"X12") RESTORATION PAVEMENT SEE PAVEMENT PLAN SPEED LIMIT SIGN ♦ NO PARKING (R7-1, 12"X18") SAW CUT LINE FOR -SHEET CS-201 5' WIDE ─ WITH 4' HIGH FENCE PROPOSED PAVEMENT RONALD S SIDEWALK (TYP.) d de Mail Pick-UP ONLY (CUSTOM, 12"X18") DEPRESSED CURB -ROSEMARY G. WASHBURN LIMIT OF AT DRIVEWAYS (TYP.) PROPOSED T.M. G8NE3, BLK 4, LOT 3 D.B. 1571, P.G. 580 TIE INTO EXISTING FLEXIBLE DELINEATOR BARRIERS -RESTORATION AREA EASEMENT SIGHT DISTANCE DE LE OF PAVEMENT PAVEMENT PH-1C \#1 450 S **APPROXIMAT** LOCATION OF ZONING **DISTRICT BOUNDARY** LIMIT OF RELOCATE RESTORATION EXISTING PAVEMENT UTILITY POLE SEE SHEET CU-101 PARALLEL SPACES /SPEED LIMIT SIGN.—⊸ REMOVE SECTION OF -TW-73 4' WIDE ASPHALT - PROPOSED BUCHMAN ' HIGH ANTI-CLIMB FENCE -WALKING PATH (SEE DETAIL ON SHEET **BASIN #8** CS-502) PROPOSED EDGE OF PAVEMENT PAVEMENT 13,106 SF. 5' CURB TAPER CROSSWALK 0.301 AC. TW-72 BIKE RACK-NAND BENCHES (TYP.) _SEE DETAIL SHEET, PROPOSED PAVEMENT PIN 548746422139 TW-7 SIGHT DISTANCE FLEXIBLE DELINEATOR BARRIFRS AND LIMIT OF 10' WIDE ASPHAL PAVEMENT HATCHING WALKING PATH FOR FUTUR - DEPRESSED CURB SPEED/ELIMPT/SIGN PHASE CONNECTION BETH ANN ERNEY AT DRIVEWAYS (TYP.) - ACTIVE OPEN SPACE #5 CEMETERY T.M. G8NE3. BLK. 10. LOT 2 7,394 SF. 0.170 AC. SIDEWALK (TYP.) EXCLUDING BASIN #8 TW-69 AREA (TYP.) R-4 MEDIUM DENSITY RESIDENTIAL SEE TWIN DRIVEWAY BARRIFRS AND PARKING SPACE APRON DETAIL ON PAVEMENT HATCHING SHEET CS-501 3' WIDE CONCRETE SERVICE WALK KENESETH ISRAEL CEMETERY ASSOCIATION PIN 548766819241 CEMETERY CEMETERY SURVEYOR CERTIFICATION: APPLICANTS CERTIFICATION: I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE I HEREBY CERTIFY THAT; COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E), HEREBY CERTIFY THAT THE STONEMOR PENNSYLVANIA, LLC <u>DWNERS CERTIFICATE:</u> A. THE APPLICANT IS THE OWNER, EQUITABLE OWNER OR HAS AN OPTION OF CONDITIONAL OUTBOUND BOUNDARY INFORMATION AND SURVEY TO BE CORRECT IN ALL ITS DETAILS AND PIN 548755972371 THAT THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR ON THIS, THE _____ DAY OF ______, 20___, BEFORE ME, THE UNDERSIGNED OFFICER, CONTRACT OF SALE ON THE LAND PROPOSED TO BE SUBDIVIDED OR DEVELOPED, THAT NO BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND LITIGATION OR LIENS EXIST ON OR ARE PENDING AGAINST THE SITE, THAT THE PLAN HAS SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE BEEN PROCESSED WITH THE APPLICANT'S FREE CONSENT. PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON NOVEMBER 19, 2021, THAT THIS PLAN

APPROVED WAIVERS:

ADOPTED NOVEMBER 27, 2018.

\$312-36(A)(1)(A): BLOCK LENGTH. THE LENGTH OF BLOCKS SHALL NOT EXCEED TWELVE HUNDRED (1,200) FEET NOR BE LESS THAN FIVE HUNDRED (500) FEET MEASURED FROM

BE THREE HUNDRED (300) FEET. A MINIMUM TANGENT OF ONE HUNDRED (100) FEET SHALL BE REQUIRED BETWEEN REVERSE CURVES AND BETWEEN A CURVE AND STREET

§312-35(B)(2)(C)): PRIVATE STREETS. A CARTWAY WIDTH LESS THAN THIRTY-SIX (36) FEET MAY BE APPROVED BY THE PLANNING COMMISSION AND/OR BOARD OF COMMISSIONERS PROVIDED THAT ALL OTHER ENGINEERING REQUIREMENTS ARE COMPLIED WITH.

A WAIVER WAS GRANTED FROM THIS SECTION AS THE MAJORITY OF THE LOCAL PRIVATE ROADWAYS WITHIN THE PROJECT ARE PROPOSED AS 28 FEET WIDTH WITH A

4. \$312-35(A)(6)(E)(II): CENTERLINES OF INTERSECTING STREETS. TWO STREETS INTERSECTING A THIRD STREET FROM OPPOSITE SIDES SHALL EITHER INTERSECT WITH A COMMON CENTERLINE, OR THEIR CENTERLINES SHALL BE OFFSET A MINIMUM DISTANCE OF: 800 FEET, IF THE MAIN STREET IS AN ARTERIAL STREET. 400 FEET, IF THE MAIN STREET IS A

A WAIVER WAS GRANTED FROM THIS SECTION TO ALLOW A MINIMUM INTERSECTION SEPARATION ALONG A COLLECTOR ROADWAY OF APPROXIMATELY 200 FEET. A WAIVER

2. §312-35(B)(3)(A)(V): HORIZONTAL CURVES. THE MINIMUM CENTERLINE RADII FOR LOCAL STREETS SHALL BE ONE HUNDRED FIFTY (150) FEET, AND OF ALL OTHER STREETS SHALL

A WAIVER WAS GRANTED TO ALLOW INCREASED BLOCKS LENGTHS AND BLOCK LENGTHS LESS THAN THE REQUIRED.

A WAIVER WAS GRANTED TO ALLOW FOR REDUCED HORIZONTAL CURVES AND TANGENTS AS SHOWN ON THE PLANS.

RIGHT-OF-WAY OF 50 FEET (AND ULTIMATE RIGHT-OF-WAY OF 60 FEET).

COLLECTOR STREET. 150 FEET, IF THE MAIN STREET IS A LOCAL STREET OR AN ALLEY.

WAS GRANTED FOR ALLEY TO STREET INTERSECTIONS OF ROUGHLY 140 FEET.

15% + 0.5% for every 1% of the gross tract area 2,857 Open Space Total developed as commercial 2,857 Gross Tract Area = 138.34 Ac. 113.982 Ac. 2,857 Min.% of the Tract to be Area Developed as Commercial = 9.37 Ac.¹ divided by 138.34 Ac. 2,857 Open Space % of Tract Developed as Commercial = 6.8% 82.4% 2,857 Required Open Space = 2,857 $15\% + (0.5 \times 7) = 18.5\%$ 2,857 Phase 1A Active Open Space areas 2,857 (#6, #7, #8, #9) = 3.063 Ac.2,857 Phase 1B Active Open Space areas 5% + 0.5% for every 1% of the gross tract area 2,857 (#3, #4) = 2.692 Ac.developed as commercial 2,857 Phase 1C Active Open Space area 2.857 (#5) = 0.170 Ac. 2,857 Gross Tract Area = 138.34 Ac. Min.% of the Tract to be 2,857 % of Tract Developed as Commercial = 6.8% 5.838 Ac. of the 107.762 Ac. total Active Open Space 2,857 Required Active Open Space = deed restricted open space 2,857 5% + (0.5 X 7) = 8.5% will be considered Active OS 3,037 meeting this requirement 2,877 2,857

> Area for Commercial Uses 1. Phase 1A area proposed developed as Commercial. 2. Proposed Phase 1A & Phase 1B open space areas are taken from the 1A & 1B Land Development Plans.

B. THE APPLICANT CERTIFIES THAT HE WILL PROPERLY GRADE ALL LOTS TO PROVIDE

GRADE AS NOTED ON THE PLAN UPON COMPLETION OF GRADING.

(WHETHER OR NOT THE PLAN HAS BEEN RECORDED).

RICHARD M. KOZE, JR. (MANAGING MEMBER)

(NOTARY PUBLIC OR OTHER OFFICER)

PHASE 1C OPEN SPACE CALCULATION

DEVELOPMENT OPTION: RESIDENTIAL WITH COMMERCIAL COMPONENT

KAY WALBERT LLO

ADEQUATE SURFACE DRAINAGE SO THAT NO LOW SPOTS OF WATER POCKETS CREATE A

NUISANCE AND THAT BE WILL PLACE PERMANENT CONCRETE REFERENCE MONUMENTS TO

CHANGES MAY BE REQUIRED TO ADDRESS THE COMMENTS AND REGULATIONS OF OUTSIDE

PLAN, INCLUDING BUT NOT LIMITED TO POST CONSTRUCTION STORMWATER MANAGEMENT AND

AGENCIES RESPONSIBLE TO REVIEW ANY ASPECT OF THE PROJECT REFLECTED ON THIS

APPROVAL (WHETHER OR NOT THE PLAN HAS BEEN RECORDED), THE APPLICANT SHALL

SUBMIT THE REVISED PLAN TO THE TOWNSHIP FOR REVIEW BEFORE THE APPLICANT MAY

_ MY COMMISSION EXPIRES: _____

NPDES PERMIT REGULATIONS. IN THE EVENT OF CHANGES TO THE PLAN FOLLOWING

MOVE FORWARD WITH CONSTRUCTION ACTIVITIES PURSUANT TO THE REVISED PLAN

C. THE APPLICANT ALSO ACKNOWLEDGES THAT FOLLOWING APPROVAL OF THIS PLAN, PLAN

JASON S. ENGELHARDT 5.925 Ac. + 5.838 Ac. = 11.763 Ac PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E 11.763 Ac. / 138.34 Ac = 8.5% RECORDING INFORMATION 9.37 Ac. / 138.34 = 6.8%

LEHIGH COUNTY

RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, LEHIGH COUNTY, PENNSYLVANIA IN

PENNSYLVANIA

REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST AS SHOWN, AND THAT

I, SHAUN F. HIGGINS, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH

OF PENNSYLVANIA (P.L.S. NO. SU-051088-E), HEREBY CERTIFY THAT THE PROPOSED

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN

HEREBY CERTIFY THE PLAN TO BE CORRECT IN ALL ITS DETAILS AND THAT IT HAS BEEN

PREPARED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND LAND

ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT. THE REQUIRED AND PROPOSED

RIGHT-OF-WAY AREAS SHOWN ARE EXCLUDED FROM THIS CERTIFICATION.

TIMOTHY J. SHERIDAN

PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

SHAUN F. HIGGINS

PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-051088-E

TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____

DEVELOPMENT ORDINANCE AND ZONING ORDINANCE.

SUBDIVISION TO BE CORRECT IN ALL ITS DETAILS.

SURVEYOR CERTIFICATION:

ENGINEER'S CERTIFICATION:

I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE. RICHARD M. KOZE, JR. (MANAGING MEMBER) KAY WALBERT LLC APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION: RECOMMENDED FOR APPROVAL ______ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR) COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A

RICHARD M. KOZE, JR. (MANAGING MEMBER)

(NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:

DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

KAY WALBERT LLC

PHASE 1C PARKING CALCULATIONS

2 Spaces / D.U

PIN 548776185705

T.M. G8NE3, BLK. 2, LOT

EDGE OF PAVEMEN

(TYP.) _{ROBERT W. KRASELY}

T.M. G8NE3, BLK. 4, LOT

UTILITY POLE GUY WIRE

REQUIRED SPACES PROPOSED SPACES

DWELLING UNITS PARKING REQUIREMENT

2. On-Street parking listed does not inloude parking spaces designated for mail pick up at cluster mailbox location.

BUILDING TYPE

1. Each Twin unit will have a 2 car garage, 2 garage spaces per unit will be provided

On-Street Parkir

ACCESS EASEMENT

TIE INTO EXISTING

COLLAPSIBLE BOLLARDS -

FOR ACCESS CONTROL

EDGE OF PAVEMENT

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS: ____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TOWNSHIP

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/

OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND

__ MY COMMISSION EXPIRES: _____

(TOWNSHIP ENGINEER

LEHIGH VALLEY PLANNING COMMISSION BY LEHIGH VALLEY PLANNING COMMISSION

(MONTH DAY YEAR)

PLANNER

CS-101

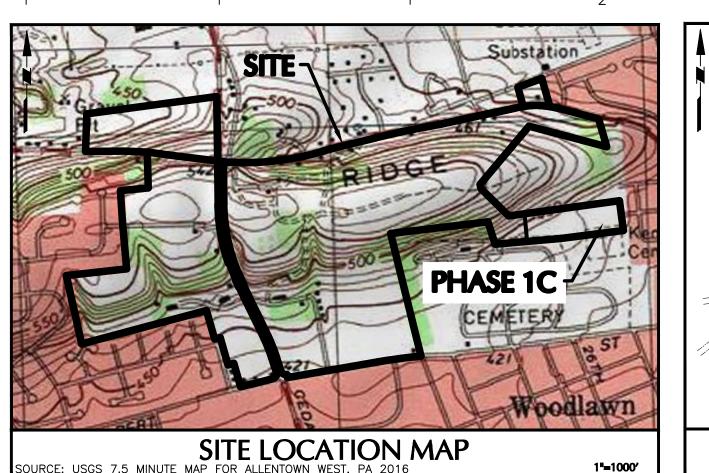
Sheet 10 of 26

EXISTING PROPERTY LINE EXISTING SPOT ELEVATION imes 360.3 × 360.3 PROPOSED BUILDING LINE PROPOSED SPOT ELEVATION PROPERTY LINE PROPOSED LOT LINE (WITH PIN MARKER) —— SOILS BOUNDARY UudB (WITH CONCRETE REFERENCE BUILDING SETBACK LINE PROPOSED UTILITY EASEMENT _____ STORMWATER BMP AREA CONCRETE SIDEWALK • RETAINING WALL BASIN LIMITS ACCESSIBLE ROUTE •••••• EXISTING SANITARY SEWER MANHOLE EXISTING STORM SEWER EXISTING WATER MAIN EXISTING FIRE HYDRAN PROPOSED STORM SEWER EXISTING CATCH BASIN PROPOSED SANITARY SEWER EXISTING WATER VALVE PROPOSED SANITARY SEWER FORCE MAIN _____UFM_____ PROPOSED WATER MAIN EXISTING MANHOLE -----UW-----PROPOSED GAS MAIN ———G ——— EXISTING ELECTRIC POLE _____T&F____ PROPOSED TELEPHONE AND ELECTRIC PROPOSED FIRE HYDRANT

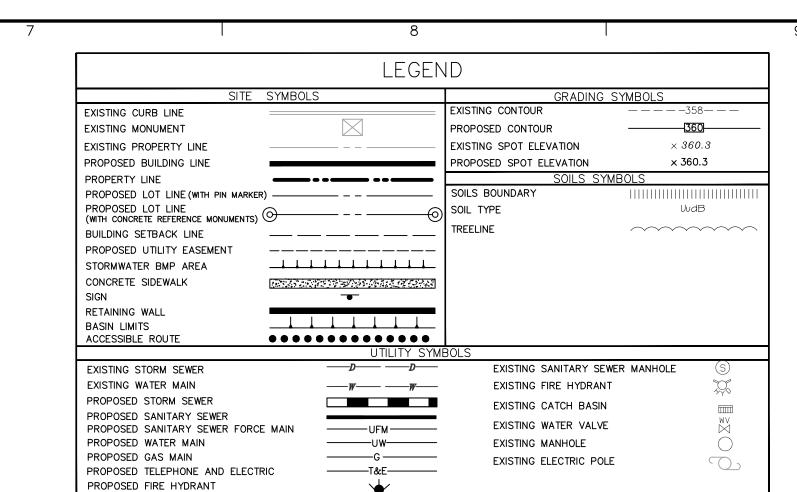
LEGEND

XISTING CONTOUR

PROPOSED CONTOUR



KEY MAP 1"=1000'



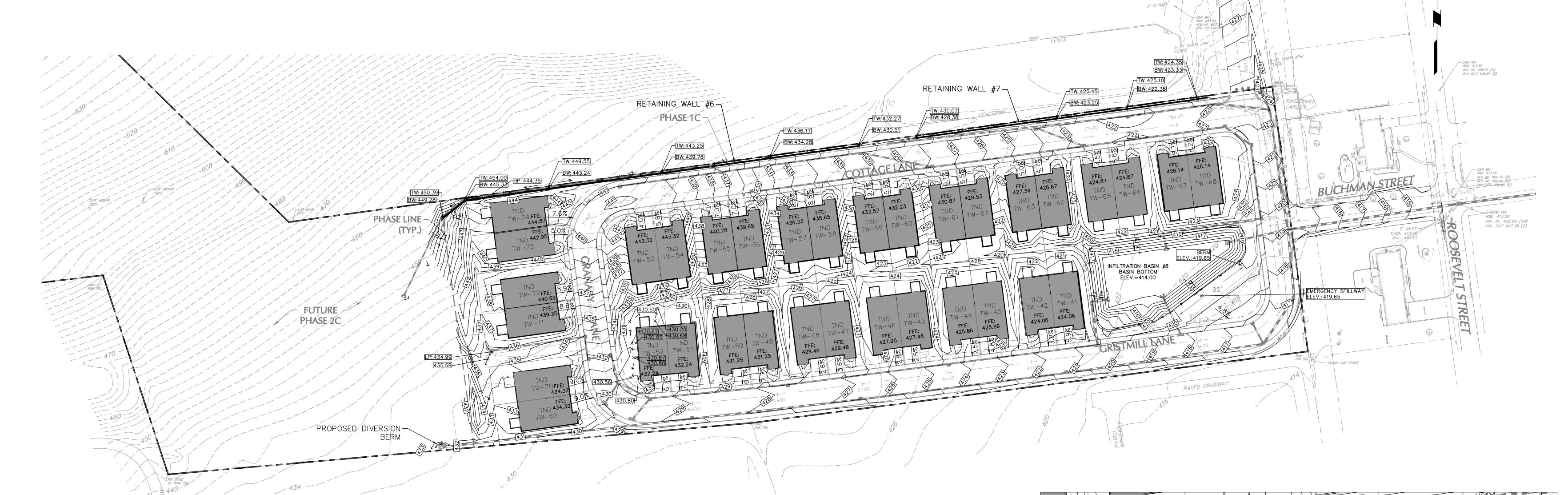
INV. IN: 417.99 (S) INV. IN: 417.82 (W)

INV. OUT 416.73 (E)

APPROXIMATE LOCATION OF 30"-WATER MAIN PER HUCKLEBERRY RIDGE AS-BUILTS 30" DIP

WATER TRANSMISSION MAIN

PROJECT #17-65



GRADING AND DRAINAGE PLAN NOTES

HDPE = HIGH DENSITY POLYETHYLENE PIPE

BUILDING FOOTPRINT

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC WATER SERVICE, ELECTRICAL TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY COMPANIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES. PVC = POLYVINYL CHLORIDE PIPE
- RCP = REINFORCED CONCRETE PIPE STORM DRAINAGE PIPING TO UTILIZE WATER TIGHT JOINTS. COMPACTION CRITERIA FOR FILL PLACEMENT IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE OLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED
- BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA GIVEN FILL AREA PERCENT OF MAXIMUM
- PAVEMENT AND ROADWAYS SIDEWALKS LANDSCAPE AREAS SAME AS SURROUNDING AREA TRENCH BACKFILL
- FILL SHALL BE SPREAD IN A SERIES OF LAYERS, NOT EXCEEDING TWELVE (12) INCHES IN THICKNESS, AND BE COMPACTED BY A SHEEPSFOOT ROLLER OR OTHER METHOD ACCEPTABLE TO THE TOWNSHIP
- REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ONSITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE
- ALL CONCRETE, UNLESS OTHERWISE NOTED OR SPECIFIED BY REGULATORY AUTHORITIES, SHALL BE A MINIMUM OF 4,000 PSI. THE CONTRACTOR SHALL REVIEW THE STORM DRAINAGE CONNECTIONS TO THE INLETS, MANHOLES, ETC. AND PROVIDE THE APPROPRIATE BOX SIZE, MANHOLES SIZE, TOP PIECES, ETC. AS NECESSARY TO ACCOMMODATE THE PROPOSED INLET AND OUTLET PIPES.
- . CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE OWNER FOR ALL CATCH BASINS, MANHOLES, AND OTHER STORM AND SANITARY STRUCTURES.

 2. WALL ELEVATIONS SHOWN ON THIS PLAN ARE GIVEN AS SURFACE GRADES AT TOP AND BOTTOM OF WALL AND MAY NOT REPRESENT THE EXACT ELEVATION OF STRUCTURAL RETAINING WALL COMPONENTS (ABOVE AND BELOW GRADE) TO BE CONSTRUCTED.
- THE APPLICANT GRANTS TO THE TOWNSHIP, ITS SUCCESSORS AND ASSIGNS, AN ACCESS EASEMENT AND THE FULL RIGHT AND UNINTERRUPTED AUTHORITY, RIGHT, RIGHT-OF-WAY AND PRIVILEGE TO ENTER UPON ALL OF THE PROPERTY FOR THE PURPOSE OF INSPECTION OF THE SURFACE AND SUBSURFACE STORMWATER DRAINAGE FACILITIES AND BMPS ON THE PROPERTY. INCLUDING BUT NOT LIMITED TO THE STORM WATER BASINS, VEGETATED SWALES AND RELATED STORMWATER FACILITIES AS SHOWN ON THE PRELIMINARY PLANS. THE PROPERTY SHALL BE SUBJECT TO A RECORDED OPERATION AND MAINTENANCE AGREEMENT, WHICH SHALL INCLUDE PROVISIONS FOR A BLANKET ACCESS EASEMENT UPON ALL OF THE PROPERTY FOR THE PURPOSE OF INSPECTION, MAINTENANCE AND REPAIR. EXISTING SUBGRADE UNDER THE INFILTRATION BMPS SHALL NOT BE COMPACTED OR SUBJECT TO
- EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO THE PLACEMENT OF GEOTEXTILE AND STONE PRIOR TO CONSTRUCTION, INFILTRATION AREAS SHALL BE MARKED OFF IN THE FIELD. THE AREAS SHALL BE DELINEATED WITH CONSTRUCTION FENCING OR TAPE IN SUCH A MANNER AS TO PREVENT THE PARKING OR REPEATED MOVEMENT OF CONSTRUCTION EQUIPMENT ACROSS THE INFILTRATION AREAS. B. ALL STORM DRAINAGE FACILITIES AND CONSTRUCTION PROCEDURES SHALL CONFORM TO THE PENNDOT FORM 408 AND RC STANDARDS, LATEST EDITIONS.

INFILTRATION BMPs (I.E. GROUNDWATER AND/OR BEDROCK, ETC.), THE OWNER/ENGINEER AS WELL AS

. IF ANY UNFAVORABLE CONDITIONS ARE ENCOUNTERED DURING THE INSTALLATION OF THE

THE TOWNSHIP SHOULD BE NOTIFIED IMMEDIATELY.

- 18. PIPE LENGTHS PROVIDED ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE 9. ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY SOUTH WHITEHALL TOWNSHIP, AND A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE
- CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY. . STORM PIPES CANNOT ENTER OR EXIT AN INLET BOX FROM THE CORNER OF OF THE PRECAST BOX. IF THIS IS THE CASE, THEN A MODIFIED PRECAST BOX WOULD NEED TO BE USED FOR THAT PARTICULAR

. PRECAST CONCRETE ADJUSTMENT RINGS MUST BE USED TO ADJUST THE INLET GRATE OR MANHOLE

ALL MAINTENANCE OF THE STORMWATER MANAGEMENT BASINS SHALL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION AND SHALL INCLUDE BIANNUAL CLEANING OUT OF DEBRIS IN BASINS/PIPES OR OTHER MAINTENANCE AS NEEDED AND SPECIFIED BY SOUTH WHITEHALL TOWNSHIP. 3. THE ALTERATION. MODIFICATION. OBSTRUCTION AND/OR REMOVAL OF PERMANENT DRAINAGE SWALES OR STORMWATER MANAGEMENT FACILITIES ARE PROHIBITED. 24. ANY REVISION TO THE APPROVED STORMWATER MANAGEMENT PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED

RING. BRICKS WILL NOT BE ALLOWED TO ADJUST THE INLETS OR MANHOLES.

- 25. AN APPLICATION FOR A DRAINAGE PERMIT SHALL BE MADE COMMENSURATE WITH THE BUILDING PERMIT APPLICATION. 26. A BLANKET STORMWATER CONVEYANCE EASEMENT IS PROPOSED OVER THE SUBJECT PROPERTY TO BENEFIT THE HOMEOWNERS ASSOCIATION FOR MAINTENANCE PURPOSES. THIS BLANKET EASEMENT IS ALSO IN PLACE TO PROVIDE SOUTH WHITEHALL TOWNSHIP THE RIGHT TO INSPECT AND MAINTAIN THE STORMWATER CONVEYANCE SYSTEM IF THE HOMEOWNERS ASSOCIATION FAILS TO PROPERLY
- MAINTAIN THE SYSTEM 27. CALCULATIONS AND SHOP DRAWINGS PREPARED BY THE RETAINING WALL MANUFACTURER'S ENGINEER TO SHOW COMPLIANCE WITH REQUIRED DESIGN STANDARDS. THE CALCULATIONS AND SHOP DRAWINGS SUBMITTED MUST BE SIGNED AND SEALED BY THE ENGINEER RESPONSIBLE FOR THEIR PREPARATION AND MUST BE ANNOTATED BY THE DEVELOPER'S ENGINEER TO INDICATE THAT THEY HAVE "APPROVED" THE CALCULATIONS AND SHOP DRAWINGS AS BEING IN COMPLIANCE WITH THE PROJECT DESIGN INTENT AND THE TOWNSHIP STANDARDS. THE CALCULATIONS SHOULD INCLUDE CONSIDERATION OF SURCHARGE PRESSURE RESULTING FROM VEHICLES, FOUNDATIONS OF RETAINING
- WALLS ABOVE THE WALL IN QUESTION, AND FROM BUILDING FOUNDATIONS (AS APPLICABLE). ENGINEER AFTER EACH LAYER IS SPREAD. THE TOWNSHIP ENGINEER MAY REQUIRE COMPACTION TESTS

 28. SECURITY GRATES SHALL BE INSTALLED ON ALL HEADWALLS, ENDWALLS, JLVERTS WITH OPENINGS 15 INCHES OR GREATER IN ACCORDANCE WITH SOUTH WHITEHALL TOWNSHIP STANDARD CONSTRUCTION DOCUMENTS. PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION, INCLUDING CONCRETE 29. NOTWITHSTANDING ANY PROVISIONS OF THE TOWNSHIP STORMWATER MANAGEMENT PLAN, INCLUDING EXEMPTION AND WAIVER PROVISIONS, ANY LANDOWNER AND ANY PERSON ENGAGED IN THE SHALL IMPLEMENT SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT INJURY TO HEALTH

SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REQUIRED TO MANAGE THE RATE VOLUME, DIRECTION AND QUALITY OF RESULTING STORMWATER RUNOFF IN A MANNER WHICH OTHERWISE ADEQUATELY PROTECTS HEALTH AND PROPERTY FROM INJURY AND

30. MUNICIPALITY REVIEW AND APPROVAL OF THE DRAINAGE PLAN, OR THE SUBSEQUENT OBSERVATION AND APPROVAL OF STORMWATER MANAGEMENT FACILITIES, SHALL NOT CONSTITUTE LAND DEVELOPMENT ON BEHALF OF OR BY THE MUNICIPALITY OR OTHERWISE CAUSE THE MUNICIPALITY TO BE ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND. BY SUBMITTING AN APPLICATION UNDER THE TOWNSHIP STORMWATER MANAGEMENT PLAN, THE DEVELOPER HEREBY AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE MUNICIPALITY AND ALL ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DEMANDS, CAUSES OF ACTION OR SUITS WHICH ARISE OUT OF OR RELATE TO THE REVIEW, APPROVAL, CONSTRUCTION OR OBSERVATION OF THE DEVELOPER'S DRAINAGE PLAN AND STORMWATER MANAGEMENT FACILITIES. THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF, TOWNSHIP ENGINEER. AND TOWNSHIP SOLICITOR FOR CONSISTENCY ONLY WITH TOWNSHIP REGULATIONS AND ORDINANCES RELATING TO DESIGN REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT FACILITIES (SPECIFICALLY STORMWATER BEST MANAGEMENT PRACTICES AND ON-SITE STORMWATER COLLECTION AND CONVEYANCE FACILITIES). ANY CHANGES TO OFF-SITE RUNOFF RESULTING FROM THIS DEVELOPMENT INCLUDING, BUT NOT LIMITED TO, CHANGES IN ACT 167 WATERSHED AND SUBAREA BOUNDARIES, POST-DEVELOPMENT RATES AND/OR VOLUMES OF RUNOFF, AND ON-SITE OR OFF-SITE IMPROVEMENTS WHICH MAY AFFECT FLOW RATES AND VOLUMES WITHIN THE WATERSHED, ARE REGIONAL MATTERS NOT REVIEWED BY THE TOWNSHIP STAFF AND CONSULTANTS AND ARE FOR REVIEW AND APPROVAL BY HE LVPC. SIMILARLY, THE TOWNSHIP STAFF AND CONSULTANTS HAVE NOT REVIEWED FACILITIES WITHIN AND RELATED TO THE STATE HIGHWAYS AND PROPERTY AND WILL RELY ON PENNDOT'S REVIEW OF THE STORMWATER MANAGEMENT FACILITIES PROPOSED IN THE STATE HIGHWAY RIGHTS-OF-WAY AND PROPERTY FOR DETERMINING CONFORMANCE WITH REQUIREMENTS AND ADEQUACY OF THOSE

FACILITIES. THE TOWNSHIP STAFF, TOWNSHIP ENGINEER, AND TOWNSHIP SOLICITOR HAVE NOT

32. BMPS AND ASSOCIATED STRUCTURES ARE TO BE CONVERTED TO FINAL CONDITIONS AS THE

PRO IECT STORMWATER IMPACT

PROJECT PROGRESSES INTO FUTURE PHASES.

INDEPENDENTLY REVIEWED, AND MAKE NO REPRESENTATION AS TO THE REQUIREMENTS FOR, OR

ADEQUACY OF, ANY FACILITY TO BE REVIEWED BY LVPC AND/OR PENNDOT, NOR OF ANY OFF-SITE

OWNER/APPLICANT KAY WALBERT LLC. ATTN: RICK KOZE 5930 HAMILTON BLVD., SUITE 10 ALLENTOWN, PA 18106 610-395-6857

0/26/2023

Date



Drawing No. 240043301 $1^{u} = 50'$ rawn By | Checked By JDM^{*} JSE

SCALE 1" = 20'

LANGAN rawing Title RIDGE FARMS
PHASE 1C
FINAL PLANS CG-101 **GRADING PLAN** T: 610.984.8500 F: 610.984.8501 www.langan.com ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. Langan Engineering and Environmental Services, Inc. 548746422139 1 Langan CT, Inc. SOUTH WHITEHALL TOWNSHIP ubmission Date Langan International LLC PE-057145-E Collectively known as Langan LEHIGH COUNTY **PENNSYLVANIA** Filename: c:\bms\langan-pw-01\d0282625\240043301-0508-CG101-0101.DWG Date: 10/25/2023 Time: 16:51 User: ktalarico Style Table: Langan.stb Layout: CG-101

BASIN 8 INSET

EMERGENCY SPILLWAY

INF/LTRATION BASIN #8

BASIN BOTTOM

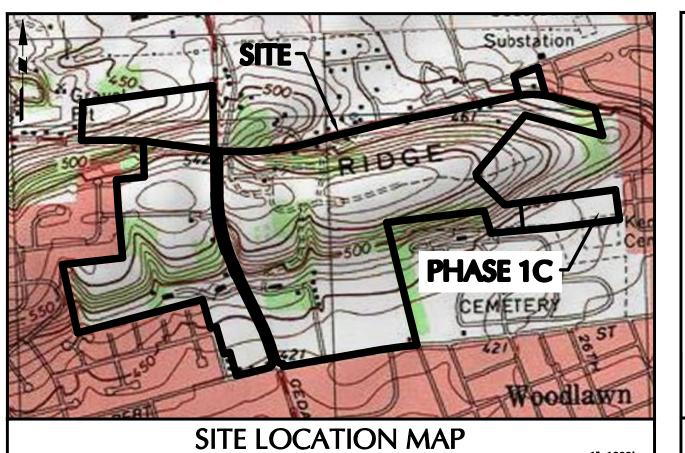
ELEV. = 414.00

BASIN ACCESS GATE

BOTTOM WIDTH: 951

ELEV.: 419.65

ELEV.: 419.65



1"=1000"

UTILITY NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST '2 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.

2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.

- 3. THE LOCATION OF THE EXISTING GAS MAINS ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
- 4. THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
- 5. ALL GAS WORK AND OTHER ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
- 6. ALL ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS. MIN. DEPTH OF COVER OVER ELECTRIC, GAS, AND CABLE SHALL BE 2 FT.
- 7. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 8. ALL UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS REQUIRED BY PROVIDER.
- 9. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF UTILITIES WITH APPROVED BUILDING PLANS.
- 10. ALL METERS, VALVES, ETC. MUST BE RECESSED TYPE AND HEAVY TRAFFIC RATED. 11. THE CONTRACTOR SHALL COORDINATE THE WATER WORK WITH SOUTH WHITEHALL TOWNSHIP.
- 12. A MINIMUM TEN (10) FOOT HORIZONTAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND STORM SEWER. A MINIMUM EIGHTEEN (18) INCHES VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND ALL OTHER UTILITIES.
- 13. ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4 FEET FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION. 14. PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 10 FT BETWEEN SANITARY SEWER MAINS AND WATER MAINS. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND ALL
- AND CONCRETE CURBS. A MINIMUM DISTANCE OF 10 FT SHALL BE PROVIDED BETWEEN NEW WATER AND SEWER SERVICE LINES AND LIGHT POLES, TREES ETC. 15. ALL WATER MAIN FITTINGS SHALL BE PROVIDED WITH THRUST BLOCKING. REFER TO DETAILS FOR THRUST BLOCK DETAILS AND FITTING SCHEDULES.

OTHER UTILITIES. PROVIDE A 5 FT. MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS

- 16. ALL FIRE HYDRANTS AND VALVES SHALL OPEN RIGHT (CLOCKWISE).
- 17. DIP = DUCTILE IRON PIPE PVC = POLYVINYL CHLORIDE
- 18. WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AS WELL AS THE SOUTH WHITEHALL TOWNSHIP STANDARDS AND SPECIFICATIONS, AND IS SUBJECT TO INSPECTION BY SOUTH WHITEHALL TOWNSHIP AND ITS ENGINEER. SOUTH WHITEHALL TOWNSHIP WILL BE RESPONSIBLE FOR THE APPROVAL OF ALL MATERIALS IN CONNECTION WITH THE WATER MAIN.
- 19. SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AS WELL AS THE SOUTH WHITEHALL TOWNSHIP STANDARDS AND SPECIFICATIONS, AND IS SUBJECT TO INSPECTION BY SOUTH WHITEHALL TOWNSHIP AND ITS ENGINEER. SOUTH WHITEHALL TOWNSHIP WILL BE RESPONSIBLE FOR THE APPROVAL OF ALL MATERIALS IN CONNECTION WITH THE SANITARY SEWER. 20. ALL SANITARY SEWER LINES SHALL BE SDR-35 PVC AND ALL LATERALS SHALL BE SCHEDULE 40 PVC.
- EXCEPT AS NOTED. ALL SANITARY LINES AND LATERALS SHALL BE BEDDED TO MEET MANUFACTURER'S SPECIFICATIONS AND/OR APPROVAL OF SOUTH WHITEHALL TOWNSHIP, WHICHEVER IS MORE RESTRICTIVE. 21. ALL SANITARY SEWER MANHOLES PROPOSED TO BE INSTALLED WITHIN ANY EASEMENT SHALL BE INSTALLED WITH WATERTIGHT FRAMES AND COVERS. ANY MANHOLE TO BE INSTALLED OUTSIDE OF PAVED AREAS SHALL BE INSTALLED A MINIMUM OF 12" ABOVE FINISH GRADE.
- 22. WHEN A NEW SANITARY LINE IS CONSTRUCTED AND TIED INTO AN ACTIVE MANHOLE, THE NEW LINE WILL BE PLUGGED AND REMAIN PLUGGED UNTIL ALL TESTING HAS BEEN COMPLETED BY THE DEVELOPER AND APPROVED BY A SOUTH WHITEHALL TOWNSHIP INSPECTOR OR REPRESENTATIVE.
- 23. LOCATOR TAPE SHALL BE INSTALLED ABOVE ALL SANITARY SEWER MAIN LOCATED IN UNPAVED AREAS, AND ABOVE ALL LOW PRESSURE SANITARY SEWER MAIN AND LATERALS WITHIN THE TOWNSHIP RIGHT-OF-WAY. 24. THE LOCATIONS OF EXISTING UTILITIES ARE NOT THE RESPONSIBILITY AND HAVE NOT BEEN REVIEWED BY THE PIDCOCK COMPANY, THE TOWNSHIP OR THE SPOTTS, STEVENS AND MCCOY COMPANY. 25. ALL WATER METERS SHALL BE NEPTUNE MACH 10 WITH RADIO READS.

UTILITY TRENCH EXCAVATION GUIDELINES:

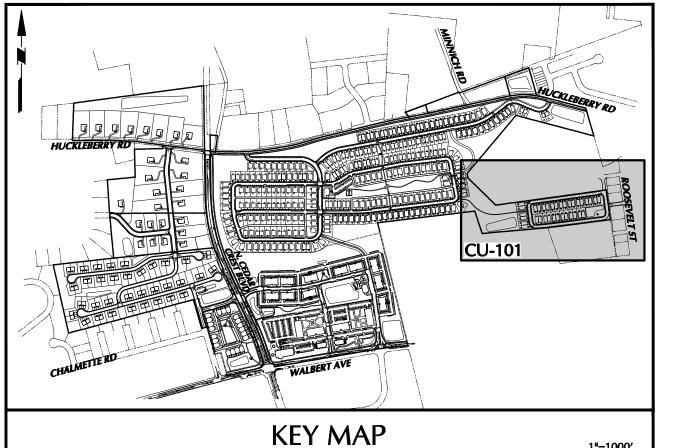
1) CONSTRUCTION REQUIREMENTS a) WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS. a) LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. b) ALL DISTURBED AREAS ARE TO BE RESTORED AND STABILIZED WITHIN TWENTY (20) DAYS IN ACCORDANCE WITH THE

STABILIZATION METHODS APPLICABLE TO THE AREA OF

DISTURBANCE (I.E. SWALES WITH LINER, ROAD WITH BASE COARSE

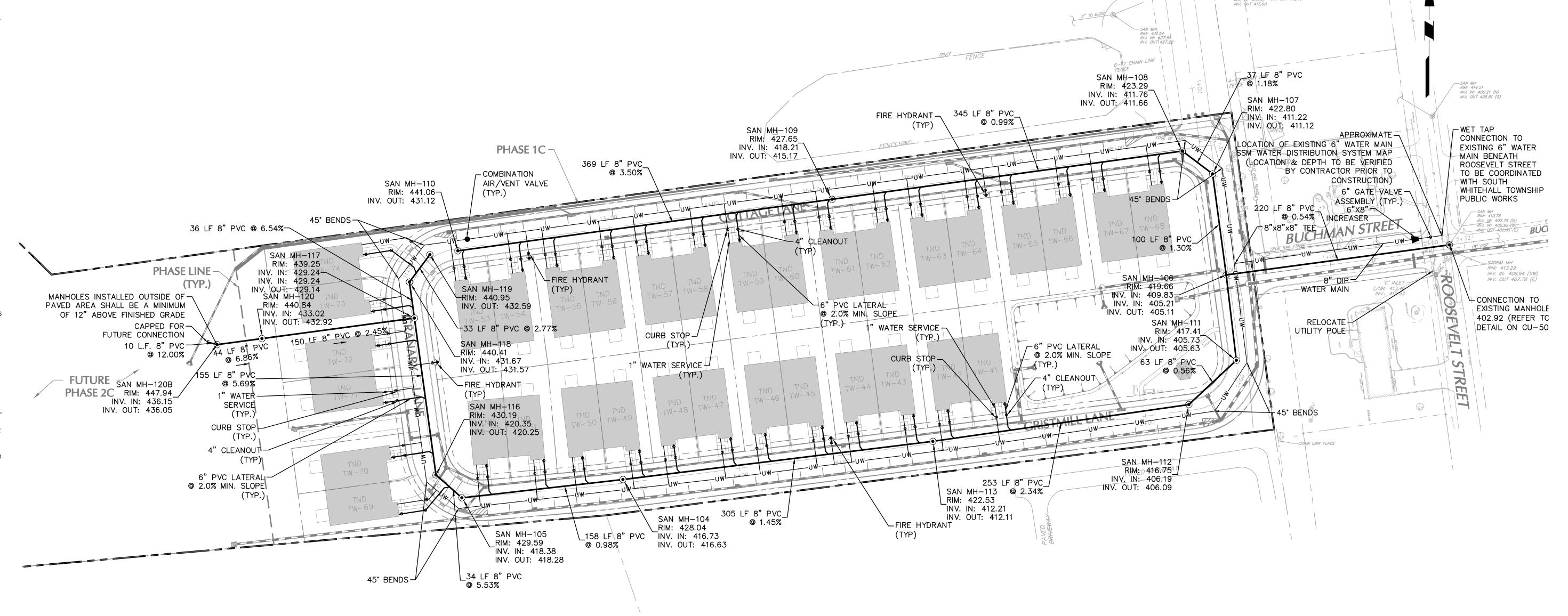
AND ETC.) 2)EXCEPTIONS — IN CERTAIN CASES TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED IN THESE CASES, ALL OF THE REQUIREMENTS LISTED UNDER ITEM 1 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS: a) DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.

3) IF DAILY BACKFILLING IS DELAYED. THE DISTURBED AREA WILL BE GRADED TO FINAL HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED IN MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT



1"=1000'

LEGE	ND	
SITE SYMBOLS	GRADING S	YMBOLS
EXISTING CURB LINE	EXISTING CONTOUR	— — — — — — — — — — — — — — — — — — —
EXISTING MONUMENT	PROPOSED CONTOUR	360
EXISTING PROPERTY LINE	EXISTING SPOT ELEVATION	× 360.3
PROPOSED BUILDING LINE	PROPOSED SPOT ELEVATION	× 360.3
PROPERTY LINE	SOILS SYM	BOLS
PROPOSED LOT LINE (WITH PIN MARKER) —	SOILS BOUNDARY	
PROPOSED LOT LINE (WITH CONCRETE REFERENCE MONIMENTS)	SOIL TYPE	UudB
(WITH CONCRETE REFERENCE MONUMENTS)	TREELINE	~~~~~
PROPOSED UTILITY EASEMENT ————————		
STORMWATER BMP AREA		
CONCRETE SIDEWALK		
SIGN		
RETAINING WALL	ı 	
BASIN LIMITS		
ACCESSIBLE ROUTE	APOL C	
EXISTING STORM SEWER ———————————————————————————————————	MBOLS - EXISTING SANITARY SEWE	R MANHOLE (S)
EXISTING WATER MAIN	- EXISTING FIRE HYDRANT	_
PROPOSED STORM SEWER	•	X
PROPOSED SANITARY SEWER	EXISTING CATCH BASIN	
PROPOSED SANITARY SEWER FORCE MAIN ————————————————————————————————————	EXISTING WATER VALVE	₩V
PROPOSED WATER MAIN ——UW——	EXISTING MANHOLE	
PROPOSED GAS MAIN ————————————————————————————————————	EXISTING ELECTRIC POLE	
PROPOSED TELEPHONE AND ELECTRIC ————————————————————————————————————	-	
PROPOSED FIRE HYDRANT		



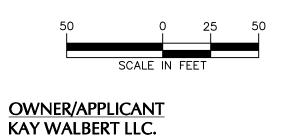
ACT 287 AS AMENDED

IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 287 (AS AMENDED) AND TO CONTRACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION. PENNSYLVANIA ONE CALL 1-800-242-1776



THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO. NO CERTIFICATION IS MADE BY LANGAN AS TO THE ACCURACY OR COMPLETENESS OF THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A

UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776



5930 HAMILTON BLVD., SUITE 10

ATTN: RICK KOZE

610-395-6857

ALLENTOWN, PA 18106

			PROFESSIONAL AT JASON SCOTT ENGELHARDT
10/26/2023	REVISED PER TOWNSHIP COMMENTS	1	PEOS7145E
Date	Description	No.	SIGNATURE JASON ENGELHARDT DATE SIGNED
	REVISIONS		PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

LANGAN T: 610.984.8500 F: 610.984.8501 www.langan.com angan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S. Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. Langan Engineering and Environmental Services, Inc. Langan CT, Inc.

> Langan International LLC Collectively known as Langan

RIDGE FARMS PHASE 1C **FINAL PLANS** 548746422139 1 SOUTH WHITEHALL TOWNSHIP

PENNSYLVANIA

LEHIGH COUNTY

APPROXIMATE LOCATION OF 30"-

WATER MAIN PER HUCKLEBERRY

RIDGE AS-BUILTS 30" DIP

PROJECT #17-65

WATER TRANSMISSION MAIN

UTILITY PLAN

rawing Title

/— STORM MH RIM: 420.48

INV. IN: 417.99 (S)

INV. IN: 417.82 (W)

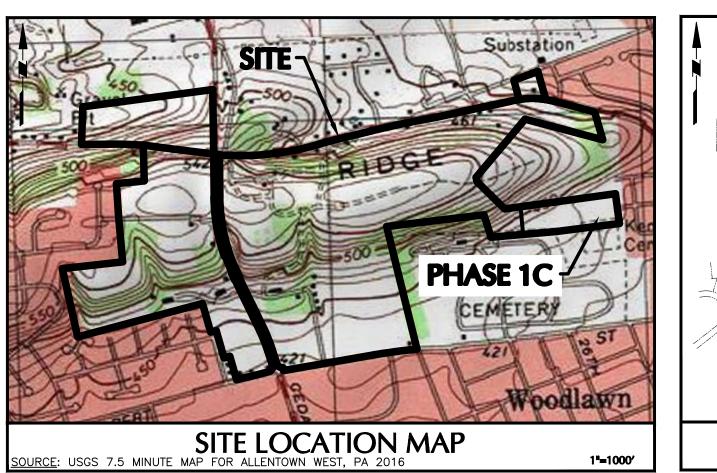
INV. IN: 416.96 (W)

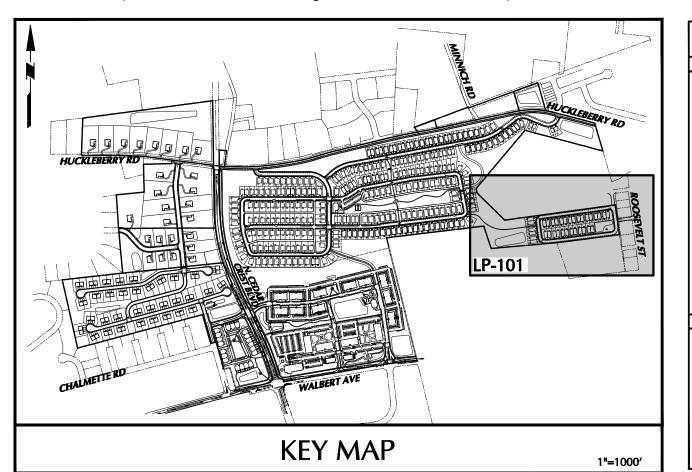
INV. OUT 416.73 (E)

Drawing No. 240043301 11/17/22 CU-101 1'' = 50'rawn By |Checked By JDM[°] JSE ubmission Date

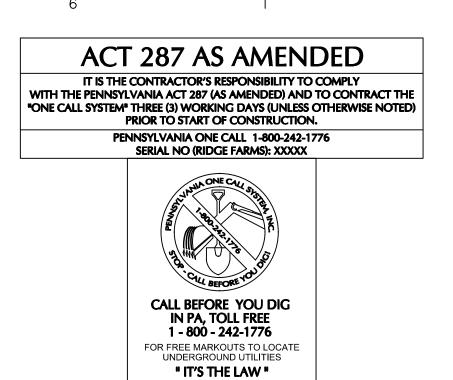
Filename: c:\bms\langan-pw-01\d0282625\240043301-0508-CU101-0101.DWG Date: 10/25/2023 Time: 16:53 User: ktalarico Style Table: Langan.stb Layout: CU-10

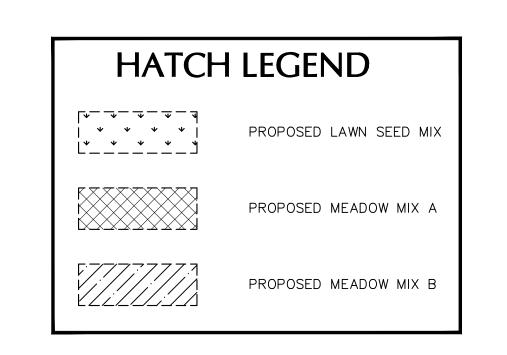
Sheet 19 of 26





SITE SYMBOLS)	GRADING SYM	MBOLS
EXISTING CURB LINE		EXISTING CONTOUR -	— — — — — — — — — — — — — — — — — — —
EXISTING MONUMENT		PROPOSED CONTOUR -	<u> 360</u>
EXISTING PROPERTY LINE		EXISTING SPOT ELEVATION	× 360.3
PROPOSED BUILDING LINE		PROPOSED SPOT ELEVATION	× 360.3
PROPERTY LINE		SOILS SYMBO	LS
PROPOSED LOT LINE (WITH PIN MARKER) -		SOILS BOUNDARY	
PROPOSED LOT LINE (WITH CONCRETE REFERENCE MONUMENTS)	<u> </u>	SOIL TYPE	UudB
BUILDING SETBACK LINE		TREELINE	~~~~~
PROPOSED UTILITY EASEMENT			
STORMWATER BMP AREA			
CONCRETE SIDEWALK			
SIGN	•		
RETAINING WALL			
BASIN LIMITS			
ACCESSIBLE ROUTE	UTILITY SYM	I BOLS	
EXISTING STORM SEWER		EXISTING SANITARY SEWER	MANHOLE (S)
EXISTING WATER MAIN	w	EXISTING FIRE HYDRANT	***
PROPOSED STORM SEWER		EXISTING CATCH BASIN	· ·
PROPOSED SANITARY SEWER			WV
PROPOSED SANITARY SEWER FORCE MAIN	——UFM———	EXISTING WATER VALVE	\bowtie
PROPOSED WATER MAIN	UW	EXISTING MANHOLE	
PROPOSED GAS MAIN	G		







KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHA	E TREE(S)			-		
QA	40	QUERCUS RUBRA	RED OAK	2 1/2-3" CAL.	B+B -	_
TA	14	TILIA AMERICANA	AMERICAN BASSWOOD	2 1/2-3" CAL.	B+B -	_

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

ZONING DISTRICT (SOUTH WHITEHALL TOWNSHIP): TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT DISTRICT						
ITEM Shade Trees	REQUIRED	PROPOSED	PROVIDED	COMPLIES	ORDINANCE SECTIO (PAGE)	
Street Trees	Uniformly spaced at every 30' - 40'	2,024 LF roadway / 40' = 51 street trees	54 street trees provided	YES ¹	SALDO §312-40	

NOTES:

1. REFER TO SHEET LP-501 FOR LANDSCAPE NOTES AND DETAILS.

50 	0	25 	50
S	CALE IN F	EET	
OWNER/A KAY WALI ATTN: RIC 5930 HAN ALLENTO' 610-395-6	BERT LLO K KOZE MILTON WN, PA	C. E BLVD.,	SUITE 10

THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE
LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE
LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE
SURFACE OF THE EARTH THAT CAN BE REASONABLY
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THE ACTUAL LOCATION OF ANY UNDERGROUND
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PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A
UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776

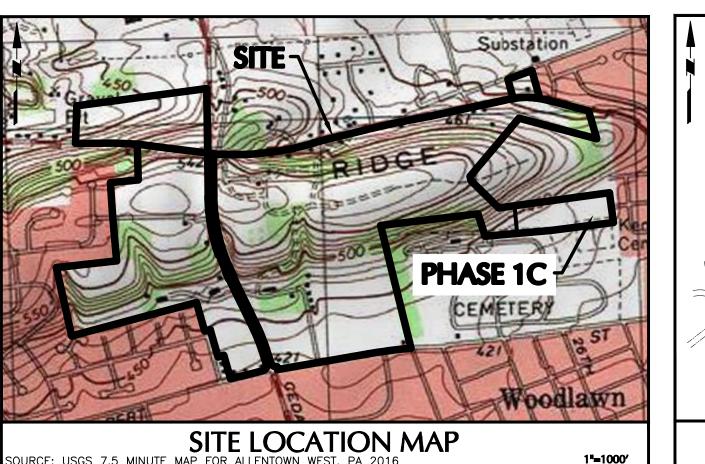
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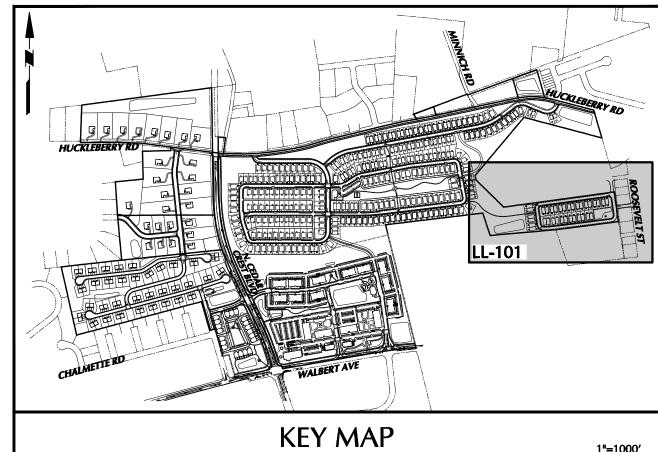


RIDGE FA PHASE FINAL PLAI 548746422	1C
SOUTH WHITEHALL	TOWNSHIP
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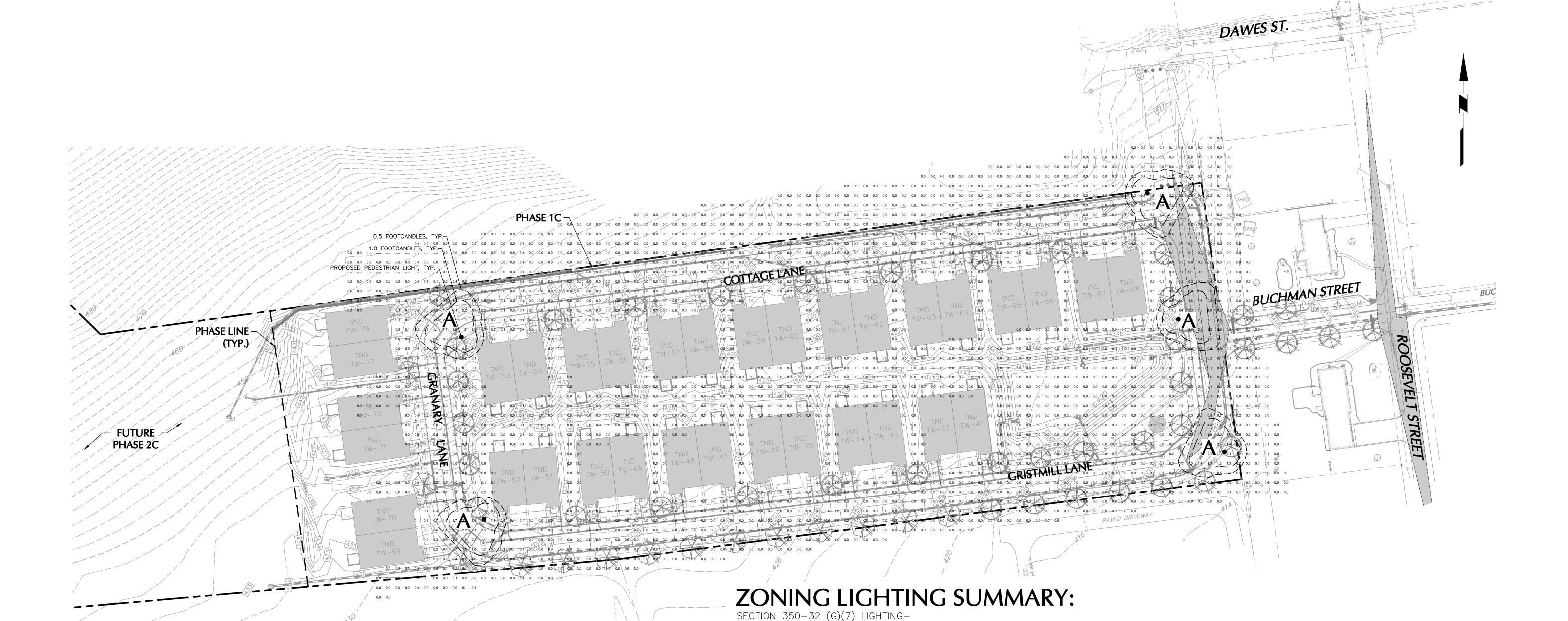
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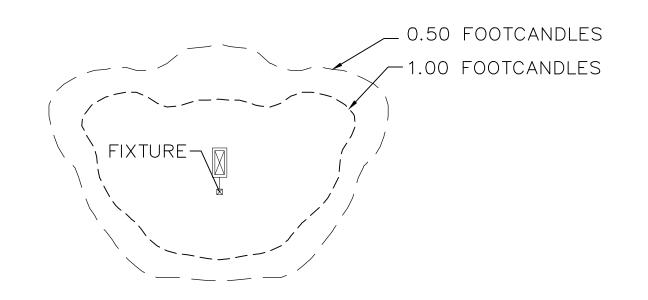


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	•	Α	5	SELUX	BETA LANTERN LED	POST TOP PEDESTRIAN LIGHT; COLOR — BLACK	16'	64W LED	TYPE IV DISTRIBUTION	6,396	0.90	BLL-R4-1-5G700- 30-BL-UNV	SELUX	STRAIGHT STEEL POLE	16'	AT535-16-BL

1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES. 2. ALL MOUNTING METHODS, CONDUITS, WIRING AND THE SUPPLY OF THE CORRECT ELECTRICAL POWER IN ACCORDANCE WITH ALL LOCAL CODES IS THE RESPONSIBILITY OF THE INSTALLER.

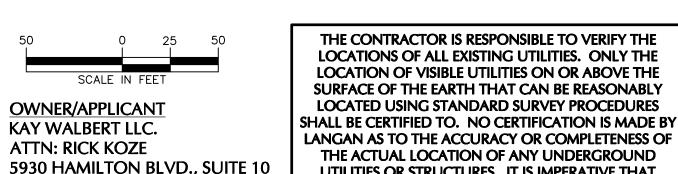


PHOTOMETRIC LIGHTING TEMPLATE:



NOTE: THE PHOTOMETRIC TEMPLATE REPRESENTS LIGHT THROW FOR EACH INDIVIDUAL FIXTURE AND DOES NOT REPRESENT LIGHT

•••••• EXISTING SANITARY SEWER MANHOLE EXISTING FIRE HYDRANT EXISTING CATCH BASIN WITH THE PENNSYLVANIA ACT 287 (AS AMENDED) AND TO CONTRACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) EXISTING WATER VALVE _____UFM_____ EXISTING MANHOLE _____UW____ ———G ——— EXISTING ELECTRIC POLE -----T&E-----



LEGEND

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PROPOSED GAS MAIN

PROPOSED SANITARY SEWER

PROPOSED SANITARY SEWER FORCE MAIN

PROPOSED TELEPHONE AND ELECTRIC

ALLENTOWN, PA 18106

610-395-6857

EXISTING WATER MAIN

BASIN LIMITS

UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A

UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776



" IT'S THE LAW "

ACT 287 AS AMENDED

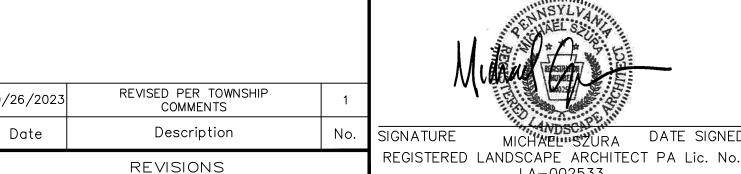
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY

PRIOR TO START OF CONSTRUCTION.

PENNSYLVANIA ONE CALL 1-800-242-1776

SERIAL NO (RIDGE FARMS): XXXXX

NOTES: REFER TO SHEET LL-501 FOR LIGHTING NOTES AND DETAILS.



T: 610.984.8500 F: 610.984.8501 www.langan.com ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. Langan Engineering and Environmental Services, Inc.

Langan International LLC

Collectively known as Langan

LOCATED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENCES.

SECTION 350-42 (I) ILLUMINATION OF PRIVATE STREETS AND DRIVEWAYS-

REQUIREMENT APPLIES TO POLE-MOUNTED AND WALL-MOUNTED LUMINARIES.

ILLUMINATION LEVELS SHALL EXTEND SUFFICIENTLY INTO SURROUNDING PROPERTIES.

BETWEEN SUNSET AND SUNRISE WHEN THE USE IS IN OPERATION.

SUCH LIGHTING SHALL BE DESIGNED AND LOCATED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENCES

RIDGE FARMS PHASE 1C **FINAL PLANS** 548746422139 1 SOUTH WHITEHALL TOWNSHIP

LEHIGH COUNTY

(A) ALL STREETS, OFF—STREET PARKING AREAS, AND AREAS OF INTENSIVE PEDESTRIAN USE SHALL BE ADEQUATELY LIGHTED. ALL SUCH LIGHTING SHALL BE DESIGNED AND

(C) ALL LIGHTING FACILITIES WILL BE INSTALLED BY THE DEVELOPER AT THE DEVELOPERS EXPENSE AFTER WHICH THEY SHALL BE DEDICATED TO SOUTH WHITEHALL TOWNSHIP.

(1) ALL PRIVATE STREETS AND DRIVEWAYS, EXCEPT FOR THOSE SERVICING THREE (3) OR FEWER DWELLING UNITS, SHALL BE ILLUMINATED ADEQUATELY DURING THE HOURS

(4) LUMINAIRE MOUNTING HEIGHT, DEFINED AS THE HEIGHT ABOVE GRADE TO THE BOTTOM OF THE FIXTURE, SHALL NOT EXCEED 20'0"IN AREAS WHERE THE FIXTURE IS WITHIN 300-FEET OF A RESIDENTIAL PROPERTY. THE HEIGHT SHALL NOT EXCEED 30'0"IN ALL OTHER AREAS, EXCEPT THOSE SPECIFICALLY ALLOWED FOR ILLUMINATION OF RECREATION

(5) SUBMISSIONS TO THE TOWNSHIP ENGINEER FOR REVIEW AND RECOMMENDATION, AND APPROVAL BY THE TOWNSHIP, SHALL INCLUDE A GENERAL LAYOUT OF THE SITE INDICATING

PARKING AND DRIVE AREAS, LOCATIONS OF ALL LIGHTING FIXTURES, EITHER ISO FOOTCANDLE CURVE LAYOUTS OR POINT—BY—POINT LEVEL INDICATION, CATALOG INFORMATION FOR

THE FIXTURE AND POLE USED, MOUNTING HEIGHTS FOR FIXTURES, AND A FOUNDATION DETAIL FOR THE POLE. THE SITE PLAN SHALL ALSO DEFINE THE SURROUNDING PROPERTIES

(7) IT SHALL BE NOTED THAT ADDITIONAL APPROVAL BY THE PENNSYLVANIA POWER AND LIGHT (PPL) IS REQUIRED FOR PPL INSTALLATION, BUT TOWNSHIP APPROVAL SHALL NOT

INDICATING THE ZONING DESIGNATION. IN ORDER TO DETERMINE THAT SPILL LIGHT DOES NOT EXCEED THE LEVEL INDICATED IN SUBSECTION (F), THE CALCULATION GRID FOR

(6) THE ILLUMINATION LEVEL SHALL NOT EXCEED .5 HORIZONTAL FOOT—CANDLES ON ANY ADJOINING LOT THAT IS RESIDENTIALLY ZONED OR CONTAINS A RESIDENTIAL USE.

LIGHTING PLAN

Drawing No. 240043301 1" = 50'rawn By | Checked By

BÉ CONTINGENT UPON APPROVAL BY PPL.

PENNSYLVANIA

LL-101 Submission Date

Filename: c:\bms\langan-pw-01\d0282625\240043301-0508-LL101-0101.DWG Date: 10/25/2023 Time: 16:59 User: ktalarico Style Table: Langan.stb Layout: LL-10

Sheet 25 of 26

THE PIDCOCK COMPANY

CIVIL ENGINEERING AND LAND PLANNING ARCHITECTURE

LAND SURVEYING

Oxford Drive at Fish Hatchery Road

2451 Parkwood Drive Allentown, Pennsylvania 18103-9608

Telephone: 610-791-2252
Telefacsimile: 610-791-1256
E-mail: info@pidcockcompany.com
Website: www.pidcockcompany.com

Established 1924 J. Scott Pidcock, P.E., R.A.

Bruce E. Anderson, P.E., LEED AP Brian A. Dillman, P.E. Ronald J. Gawlik, P.E. Brian E. Harman, P.E., PTOE James A. Rothdeutsch, P.E., LEED AP John R. Russek, Jr., P.E. Brent C. Tucker, P.E.

Douglas E. Haberbosch, P.E. William G. Kmetz, P.L.S. Jeffrey R. Matyus John M. McRoberts, P.E. Brent D. Shriver, P.E. Todd L. Sonntag, R.A., LEED AP Anthony F. Tallarida, P.E. Ryan R. Troutman, P.E.

G. Edwin Pidcock, P.E., P.L.S. 1924-1967 John S. Pidcock, P.E., P.L.S. 1954-1999 Ralph M. Pidcock, P.L.S. 1952-2000 (Retired)

MEMORANDUM

TO: Mr. Gregg R. Adams via e-mail

Planner, Community Development Department

South Whitehall Township

FROM: Mr. Anthony F. Tallarida, PE

Manager, Municipal Engineering Services

SUBJECT: South Whitehall Township

Ridge Farms

Major Subdivision #2017-101 Phase 1C Final Plan Review

DATE: November 8, 2023

COPIES: Mr. Thomas R. Petrucci, MPA

Township Manager

South Whitehall Township

Mr. David Manhardt, AICP

Director of Community Development

South Whitehall Township

Mr. Herb Bender

Director of Township Operations

South Whitehall Township

Mr. Mike Elias

Public Works Utility and MS4 Program Coordinator

South Whitehall Township

Ms. Tracy J.B. Fehnel Insurance Administrator & Executive Assistant South Whitehall Township

Ms. Laura M. Harrier, BCO Building Code Official/Zoning Officer South Whitehall Township

Mr. John G. Frantz, CFEI, BCO Fire Marshal, Building Code Official South Whitehall Township

Joseph A. Zator, II, Esq. South Whitehall Township Solicitor Zator Law

Jennifer R. Alderfer, Esq. Assistant South Whitehall Township Solicitor Zator Law

Mr. Christopher A. Taylor, PG Senior Geologist Hanover Engineering Associates, Inc.

Mr. Richard M. Koze, Jr. President Kay Builders, Inc.

Mr. Jason S. Engelhardt, P.E., LEED AP Principal Langan Engineering

Mr. Robert L. Hoffman, P.E., PTOE Regional Manager Traffic Planning and Design, Inc.

(all via e-mail)

Mr. J. Scott Pidcock, PE, RA, Township Engineer

REPORT:

South Whitehall Township Ordinances:

Zoning Ordinance (ZO)

Subdivision and Land Development Ordinance (SALDO)

Stormwater Management Plan (SMP)

See attached list for documents reviewed.

Proposal:

6.8± acres to be developed on the northeast portion of the site in proximity to Buchman Street in the Traditional Neighborhood Development (TND) section of the site Development.

Development consists of:

34 Twins (TND);

1 infiltration basin;

0.53± acres of Active Open Space;

2,400± linear feet of private streets (including a 135± feet emergency access to Dawes Street); and

Connection to Buchman Street.

Public Water and Sewer;

Overall Conditional Use approval was granted on November 20, 2020; and

Overall Preliminary Plan approval granted by the Board of Commissioners, November 3, 2021.

Waivers/Deferrals Granted:

See Waiver Resolution 2018-62; and

See Overall Preliminary Plan Approval Resolution 2021-50.

Recommendation:

Engineering approval is not recommended at this time.

jfw/laf

Enclosures

THE PIDCOCK COMPANY

South Whitehall Township Ridge Farms Major Subdivision #2017-101 Phase 1C Final Plan Review

November 8, 2023

REVIEW COMMENTS

A. Planning

- 1. All outstanding comments listed in the Draft Overall Preliminary Plan Resolution that do not relate to the scope of this Plan are still applicable and will be required to be addressed as appropriate during future phases of the development; and
- 2. Provide documentation to the satisfaction of the Township Solicitor that the Access Easement 1 has been obtained, Condition of Approval (COA) Item 28. Additionally, provide applicable legal descriptions and associated title plans, SALDO §312-27(a)(3).

B. General

- Clarify the Twin Unit Sidewalk and Driveway Apron Detail (Sheet CS-501) to reflect the proposed configuration of the two adjoining units. Also, revise the grading along the sidewalk at the driveway to reflect any grade changes. Discuss the driveway apron configuration with the Township Department of Public Works (DPW) and address any comments to their satisfaction;
- 2. We note the following regarding the improvements to the Buchman Street Area:
 - a. There are concerns with the impact construction vehicles may have on the existing roadway network (e.g., pavement structure degradation) in the neighborhood accessing the Buchman Street construction area. Pre- and Post-Development pavement evaluations in the existing neighborhood may be necessary. Consideration should be given to prohibiting construction traffic through this area. The DPW should be contacted to determine the limits of pavement evaluations;
 - b. Confirm with the Township Staff and DPW the limits of pavement restoration to the existing roadways resulting from the proposed off-site work;
 - Obtain any easements for work proposed outside the property/right-of-way limits (e.g., grading on the north side of Buchman Street on the Washburn Property); and
 - d. The DPW should review and ultimately accept the location of the proposed snow drop-off area easements.
- 3. We note the following survey related comments:
 - a. List rights-of-way and easements proposed to be dedicated to the Township in a comprehensive table, SALDO §312-12(b)(25) and §312-12(b)(26); and

- b. Confirm the status/use of Lots TND Lot U and TND Lot V. Completely define these lots with metes and bounds, SALDO §312-14(b)(3).
- 4. The Township's Accessibility Code Official may have additional review comments during building permitting. We recommend contacting the Code Official to confirm the above comments and any other applicable accessibility requirements. Review with the Code Official the details of the ramps;
- 5. The ownership of Buchman Street (public or private) should be determined, as we note additional waivers may be needed if it remains a proposed public street;
- 6. The Township should confirm the acceptability of the Phasing revisions shown on the supplemental sheets of the Preliminary Set (Sheet CS-200), SALDO §312-12(b)(35); and
- 7. We note the following relating to the proposed retaining walls:
 - a. Provide details of the fence and retaining wall(s) which should ultimately be reviewed and approved by the Township Building Code Official prior to construction;
 - b. We note that the proposed retaining walls are in close proximity to the site's storm sewerage systems. Impacts of the drainage systems on wall anchoring systems should be confirmed by the Design Engineer subject to the review of the Township Geotechnical Consultant (TGC); and
 - c. Retaining Walls #6 and #7 are shown in close proximity to the property boundaries. Show any geogrid or tie back limits and confirm any impacts related to the storm sewerage system, subject to the review of the TGC. In the event geogrid or constructions limits extend onto adjacent property(ies), easement(s) should be obtained as necessary.

C. Stormwater Management

- 1. Additional detail should be provided to show swale grading, depth of swale compared to depth in channel at property line, as well as more detail regarding pipe flow, collection, etc.;
- 2. It appears that a portion of the area upstream of Wall #6 as well as some area west of the proposed improvements will be redirected to the downstream property. It should be shown that the downstream flow path is sufficient to accept the proposed runoff and that the downstream property owner agrees to accept any increase in runoff, SMP §296-9.D;
- 3. Verify the crest elevation of the outlet control structure of Basin #8 to provide consistency between the Plans and the Report, SALDO §312-39(a)(7)(B);
- 4. Provide additional water quality volume calculations for POA-7, SMP §296-12.B(1);
- 5. Provide justification for the Infiltration Basin inputs (e.g., volume routed to BMP, infiltration area, etc.) provided in the DEP Worksheet calculations, SALDO §312-39(a)(7)(B);

- 6. Confirm Network J calculations for the 100-year storm to show the intended runoff will ultimately be conveyed to Basin #8 if any surcharge in the system occurs, SMP §296-14.S;
- 7. Confirm the top and invert elevations for EX-CB-17 as shown on the Plans. We note that the proposed grate elevation on the Plan will conflict with the 24" RCP invert elevation:
- 8. Provide swale calculations for the rear yard swale to Infiltration Basin #8. We note, the swale is extremely shallow adjacent to TW-62 and it should be shown to convey flow with freeboard without encroaching on the house/foundation;
- 9. We defer to the Township Geotechnical Consultant to review the acceptability of Swale #11 and Swale #12 as PCSM BMPs with infiltration capacities;
- 10. The Impervious Area Chart for each lot on the Plans appears to include only what is shown on the Plans. We suggest an additional allowance for each lot for future improvements (e.g., patio, walkways, shed, etc.) be provided; and
- 11. A BMP Operations and Maintenance Plan, describing the proposed procedures, identifying the person responsible, and noting any applicable easements, should be provided, SMP §296-28 and §296-30. The Plan should include a statement, signed by the property owner, acknowledging that stormwater BMPs are fixtures that cannot be altered or removed without approval by the Township, SMP §296-29. Additionally, an Operations and Maintenance Agreement should be executed for the proposed stormwater BMPs, SMP §296-32.

D. Traffic

- 1. We have reviewed the Phase 1C Supplemental Traffic Analysis Report provided by TPD and dated October 23, 2023. The trip generation provided in the report is consistent with the previously approved Traffic Study for the Ridge Farm Overall Preliminary Plan. The report states that Phase 1C (34 Residential Townhouse Units) would generate 22 AM, 25 PM, and 52 Saturday peak hour trips, with a portion of those trips (15 AM, 16 PM, and 33 Saturday) utilizing the Cedar Crest Boulevard & Walbert Avenue intersection. The traffic described for Phase 1C constitutes approximately 0.6% AM, 0.5% PM, and 1.6% Saturday peak hour trips through this intersection. An analysis for this intersection was not provided in the report. Based on the Report, Phase 1C traffic will utilize the Cedar Crest corridor from Orefield Road to the Route 22 interchange. The applicant has not proposed any additional roadway improvements to accompany Phase 1C, beyond what is already committed to for Phase 1A and Phase 1B;
- All curb ramps within the development should be designed based on PennDOT standards. We note a Preliminary design is provided to show feasibility of the ramps and a complete design is required prior to construction;
- 3. Revise the Crosswalk Markings Detail (Sheet CS-503) so the curb reveal is flush with the pavement (1/2-inch reveal noted); and
- 4. Provide details for the pavement marking for the parallel parking (including spaces and hatching).

E. Policy and Information

- 1. We defer to the TGC to review all geotechnical aspects of the design including, but not limited to, the sinkhole mitigation details, site retaining wall installations/designs, etc.;
- 2. We defer to the Township Electrical Consultant to review the proposed site lighting. The Design Engineer should confirm that the proposed light standard foundations will be adequate to support the proposed light standards;
- 3. Confirm all copies of outside agencies required permits and approvals have been provided to the Township. Also, list the approval dates of each permits on the List of Other Required Approvals or Permits;
- 4. Address any comments from the Public Safety Committee and the Shade Tree Commission to their satisfaction. Provide easements as necessary for street trees that are located outside the street right-of-way, Draft Overall Preliminary Plan Resolution Item 26;
- 5. Matters pertaining to the design of water distribution and sanitary sewerage systems should be directed to the DPW. We have not reviewed these designs;
- 6. The school bus routes and stop locations proposed in the development should be reviewed with, and approved by, the Parkland School District, SALDO §312-12(a)(15); and
- 7. Upon submission of plans for recording, all Statements and Certifications shall be signed and sealed/notarized as applicable, SALDO §312-14(b)(2).

The comments noted above are the result of our engineering review. We have not reviewed items associated with legal, zoning, geotechnical, lighting, water/sanitary sewerage systems, environmental, frontage streetscape improvements, building code, public safety, and other non-engineering issues, which should be reviewed by the appropriate Township Staff and Consultants.

South Whitehall Township Ridge Farms Major Subdivision #2017-101 Phase 1C Final Plan Review

List of Plans and Supplemental Information Prepared by Langan Engineering and dated or last revised October 26, 2023 (except as noted)

- 1. Cover Sheet, Sheet 1 of 26;
- 2. Aerial Map, Sheet 2 of 26 (cursory review only);
- 3. Existing Features Plan, Sheet 3 of 26 (cursory review only);
- 4. Subdivision Plan (6 sheets), Sheets 4 through 9 of 26;
- 5. Site Plan, Sheet 10 of 26;
- 6. Pavement Plan, Sheet 11 of 26;
- 7. Fire Truck Turn Plan, Sheet 12 of 26;
- 8. Delivery Truck Turn Plan, Sheet 13 of 26;
- 9. Grading Plan, Sheet 14 of 26;
- 10. Drainage Plan, Sheet 15 of 26;
- 11. Post Construction Stormwater Management Plan (Record Plan), Sheet 16 of 26;
- 12. Drainage Details, Sheets 17 and 18 of 26;
- 13. Utility Plan, Sheet 19 of 26 (water and sanitary sewer information not reviewed);
- 14. Roadway & Utility Profiles, Sheets 20 through 22 of 26;
- 15. Landscape Plan, Sheet 23 of 26 (cursory review only);
- 16. Landscaping Note and Detail, Sheet 24 of 26 (cursory review only);
- 17. Lighting Plan, Sheets 25 of 26 (cursory review only);
- 18. Lighting Notes and Details, Sheet 26 of 26 (cursory review only);
- 19. Sheets from Preliminary Plan Submission:
 - a. Project Calculation Summary Plan (Record Plan), Sheet 3 of 151, last revised September 23, 2021;
 - b. Phasing Plan, Sheet 39 of 151, last revised November 17, 2022;
 - c. TND Open Space Plan, Sheet 42 of 151, last revised September 23, 2021;
 - d. Site Details, Sheets 58 and 59 of 151, last revised July 21, 2022;
 - e. Drainage Details, Sheets 84 and 85 of 151, last revised September 23, 2021; and

Spotts, Stevens and McCoy

Roma Corporate Center, Suite 106 1605 N. Cedar Crest Blvd. > Allentown PA 18104 610.849.9700 > F. 610.621.2001> SSMGROUP.COM



November 7, 2023

Mr. Gregg Adams, Planner South Whitehall Township 4444 Walbert Avenue Allentown PA 18104

Re: Ridge Farms Development Land Development #2017-101 Review of Phase 1C SSM File 103400.0098

Dear Mr. Adams:

This correspondence is provided as a review of the Preliminary Land Development Plan submitted for the above referenced project revised on 10/26/23. This phase is for 34 residential units adjacent to the Grandview Cemetery. We have the following comments regarding the water and sanitary sewer utilities:

General Comments

1. **Utility Plan CU-101 Sheet 19 of 26** - Add to Utility Notes - Where required to install the waterline deeper to avoid conflict with other utilities, deflect the waterline

with the use of 45-degree bends and return to 4 feet of cover. Water valves shall be placed at depths no greater than 4 feet. [SWT Construction Standards - Laying and Construction of Pipe. Page B-27]

2. **Utility Plan CU-101 Sheet 19 of 26** – Add to Note 13 – No water line should be deeper than 6ft.

Water Comments

- 1. **Utility Plan CU-101 Sheet 19 of 26** Near station 0+00 at the 8" Water main tee located on Gristmill Lane, Cottage Lane and Buchman Street add three 8" water valves. [one valve on the north side of 8" tee Cottage Lane and one 8" valve on the south side of the 8" tee Gristmill Lane and one 8" valve on the east side of 8" tee Buchman Street.
- 2. **Utility Plan CU-101 Sheet 19 of 62** Add two water main street valves one north and one south of the fire hydrant tee located on Granary Lane. This area is near station 10+00.
- 3. **Utility Plan CU-101 Sheet 19 of 62** Add water sample station on Granary Lane near Fire Hydrant. This area is near station 10+00.

Sanitary Sewer Comments

1. Phase 1C planning module submission will be required.



Sincerely, Spotts, Stevens and McCoy

Jason M. Newhard, CCM, LO Manager, Construction Mgt. Services Water and Wastewater Engineering jason.newhard@ssmgroup.com

Jum m new

cc: SWT, PW Dept.

252 Brodhead Road • Suite 100 • Bethlehem, PA 18017-8944 Phone: 610.691.5644 • Fax: 610.691.6968 • HanoverEng.com

November 9, 2023

Mr. Gregg Adams, Planner South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104-1699 RE: Geotechnical Review of Provided Documents Ridge Farms Major Subdivision #2017-101 South Whitehall Township, Lehigh County, Pennsylvania Hanover Project SWT19-11(002)

Dear Mr. Adams:

Hanover Engineering (Hanover) has reviewed the information received on October 27, 2023 via electronic submission. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following:

- 1. Letter referenced as "Geotechnical Review of Provided Documents Response", prepared by Langan, dated October 26, 2023.
- 2. Report referenced as "Phase 1C Stormwater Memo", prepared by Langan, dated November 17, 2022, revised October 26, 2023.
- 3. Engineering plan set entitled "Ridge Farms Phase 1C", Sheets 1 of 26 through 26 of 26 inclusive, prepared by Langan, dated November 17, 2022, revised October 26, 2023.

Based on our review and according to the Subdivision and Land Development Review Application, it is our understanding that the subject property formerly existed as eleven (11) separate tax parcels containing numerous existing improvements, including multiple dwellings, barns, other outbuildings, and access driveways. The entire subject property is approximately two hundred (200) acres in size. The existing water and sewerage service to the various structures is not specified on the engineering plans. We further understand that the property is proposed to be subdivided into a total of four hundred and two (402) residential lots and five (5) non-residential lots. Of the residential lots, one hundred eighty-two (182) are proposed to contain single family dwellings and two hundred twenty (220) are proposed to contain semi-detached dwellings (twins). In addition, four hundred sixty-eight (468) multi-family units (apartments) are proposed. The non-residential lots are proposed to contain two (2) restaurants, a medical office building, and four (4) mixed use buildings. All lots are proposed to be served by public water and public sanitary sewer, along with appurtenant paved accessways, parking areas, stormwater collection and conveyance systems, and stormwater management facilities.

This is a second submission for Phase 1C. We offer the following review of comments as issued in our letter dated December 2, 2022, repeated below in italics, and any new comments generated by this submission:

1. We note that retaining walls are proposed. Details/specifications/calculations for all retaining walls shall be submitted to the Township for review and approval before issuance of a building permit. This requirement is contained in Note 41 on Sheet 10.

The consultant has acknowledged this comment in his response letter, stating that details and calculations will be submitted following land development plan approval but prior to construction.

We note that a 12" Retaining Wall underdrain is now proposed. The consultant shall provide plan view details and cross section details that show fully the horizontal and vertical relationship between Retaining Walls 6 and 7, the underdrain(s), storm sewer runs/structures, Swale 12, and all other proposed features in the immediate vicinity along with the property boundary. Per a previous comment from The Pidcock Company, include all structural elements of the retaining walls such as geogrid and tie backs.

2. Quantify the proposed grades in the northwest corner of the site, behind Units 73 and 74. If grades are proposed to be steeper than three feet (3') horizontal to one foot (1') vertical (3:1), provide additional plantings per the condition of the waiver from SALDO Section 312-35(b)(3)(A)(viii)(1)(B)(ii). See notes on Sheet 10 regarding waiver condition.

The consultant has responded that labels have been added to the grading plan to show that the proposed grades do not exceed 3:1. Labels have been added in two (2) places in this area. However, there are other locations that appear steeper than the areas labeled. These include along the west side of Swale 11 and immediately west of Inlet CB-I-14C.

3. Quantify the sidewall slopes for Basin 8 and confirm that they are not steeper than three feet (3') horizontal to one foot (1') vertical (3:1) to demonstrate compliance with the condition of the waiver from SALDO Section 312-39(D)(2). See notes on Sheet 10 regarding waiver conditions.

This comment has been adequately addressed.

4. Provide a scaled blow up of Basin 8 with existing and proposed contour values clearly labeled.

This comment has been adequately addressed.

5. The proposed slope of zero percent (0%) across the floor of Basin 8 is hereby approved in accordance with the condition of the waiver from SALDO Section 312-39(D)(2). See notes on Sheet 10 regarding waiver conditions.

This comment was informational with no response required.

New Comments (November 9, 2023)

6. It is noted that Swale 11 is now additionally labeled as "BMP #3 – Vegetated Swale" and that Swale 12 is now additionally labeled as "BMP #2 – Vegetated Swale". Clarify if infiltration is proposed at these locations and, if so, provide justification for the infiltration rates utilized for design.

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING

Christopher A. Taylor, PG

cat:cat/sas

\$:\Projects\Municipal\SWhitehallTownship\Sw119-11(002)-RidgeFarm#2017-101\Docs\2023-11-09-SWT Geotech, Ridge Farm# #2017-101 geotech rev cmt ltr 2 Ph 1C.doc

cc: Mr. Dave Manhardt, Director of Community Development (via email)

Mr. Herb Bender, Public Works Department Superintendent (via email)

Mr. Anthony Tallarida, PE, The Pidcock Company (via email)

Mr. Mark Gnall, PE, The Pidcock Company (via email)

Mr. Rick Koze, Kay Walbert, LLC

Mr. Jason Engelhardt, PE, Langan



1005 W. LEHIGH STREET
BETHLEHEM, PA 18018
P 610.694.8020
F 610.694.0838
WWW.SNYDERHOFFMAN.COM

November 11, 2023

South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104-1699

Attn: Mr. Gregg Adams

Re: Ridge Farms Phase 1C –Land Development Plans - Site Lighting Review

Dear Mr. Adams:

I have reviewed the Information submitted for the project at 1429 Eck Road in the Township. The following plan was submitted containing the lighting information:

- Sheet LL-101, dated November 17, 2022 and last revised 10/26/2023
- Sheet LL-501, dated November 17, 2022 and last revised 10/26/2023

The plan as submitted does not conform to the latest Township Ordinance, namely:

(1) Sheet LL-101 shows zero readable light along Cottage Lane, Granary Lane, and Gristmill Lane. The township shall determine if these streets are required to comply with township ordinance 350-42.i.2 and 350-42.i.3 pertaining to illumination of private streets and driveways which requires that private streets be illuminated to IES standards.

Please feel free to contact me if you have any questions.

Very Truly Yours,

Corey Trumbower

Snyder Hoffman Associates, Inc.

Mr. Gregg Adams / South Whitehall Township Project Name July 16, 2019 Page 2 of 2

ce: Mark J. Gnall, P.E., Anthony Tallarida, P.E. – The Pidcock Company Laura M. Harrier – SWT, Lynn A. LaBarre - SWT



INTEROFFICE MEMORANDUM

To: Dave Manhardt, director of Community Development

FROM: HERB BENDER, PUBLIC WORKS MANAGER

DATE: NOVEMBER 9, 2023

SUBJECT: RIDGE FARMS FINAL PLAN 1C

MAJOR PLAN 2017-101

The Public Works Dept. reviewed the above project and has the following comments:

- 1. We are concerned that you will not have adequate fire flow with the 6" water line proposed. Our records indicate a 12" line on Dawes St. that may be able to meet the demand.
- 2. Also note that the roads in that development for proposed water have recently been paved and are under a 5-year moratorium, which can only be lifted by the South Whitehall Township BOC.
- 3. Road restoration will need to follow the South Whitehall Township Paving Ordinance.

SOUTH WHITEHALL TOWNSHIP

4444 Walbert Avenue, Allentown, PA 18104-1699 www.southwhitehall.com • (610) 398-0401

November 10, 2023

Kay Walbert LLC 5930 Hamilton Boulevard, Suite 10 Allentown, PA 18106

Re: Ridge Farms Final Plan Phase 1C Major Subdivision 2017-101 Request for Final Plan Review

Dear Mr. Koze:

The purpose of this letter is to report non-engineering related comments that are to be addressed. My comments follow:

Zoning

1. <u>Section 350-48(o)(2)(E)(iii)(1)(a) (Codified Ordinance)</u> – Indented parking, i.e., creating parking spaces by indenting the curb line or right-of-way of a street or by traversing said curb line is hereby prohibited.

The previous plan reviewed December 12, 2022, showed Buchman Street as a private drive (plan dated November 17, 2022). The current plan indicates a public road is now proposed with indented parking. A variance may be required.

Fire Inspector

1. The Fire Inspector reported no comments. The Fire Inspector reports that the Public Safety Commission in conjunction with the Fire Chief made no comments to the plan.

Landscape and Shade Trees

1. The Landscape and Shade Tree Commission is scheduled to review the plan at its November 20, 2023 meeting. It appears that the comments from their November 21, 2022 review have been addressed.

Open Space and Recreation

1. At their January 9, 2023 meeting, the Parks and Recreation Board determined that the plan is acceptable.

Water & Sewer

1. The applicant is to request allocations for water and sewer from the South Whitehall Township Board of Commissioners. Please be aware that the Board of Commissioners now charges both allocation fees and tapping (connection) fees. The applicant must address all



water and sewer service issues, and obtain all approvals deemed necessary by the South Whitehall Township Board of Commissioners. You are advised to contact the Township Operations Manager Herb Bender, as soon as practicable, to learn of, or confirm any or all of:

- a. The amount of any water and/or sewer *allocation fees*. The fees shall be calculated by the Township Water and Sewer Engineer and provided on the "Will Serve" letter. The fee for the allocation(s) will be due prior to plan recording;
- b. The amount of any water and/or sewer *connection fees*. The fees shall be calculated by the Township Water and Sewer Engineer and provided on the "Will Serve" letter. The fees are due at or before the building permit is to be issued;
- c. The amount of any *contributions* that would cover the cost of extending the water and/or sewer system so that it can serve your development.
- 2. The applicant is to contact the PA Department of Environmental Protection to determine what Sewage Facility Planning requirements are to be met for this development.

Legal and Other

1. The Township Solicitor and Township Engineer may want to comment upon the legal requirements of the MS4 program with regard to any private stormwater management facilities.

Waiver and Deferral Request Commentary

1. No waivers or deferrals requested.

Official Map & Comprehensive Plan

- 1. The Official Map depicts the subject parcel as underlain by karst geology.
- 2. The Comprehensive Plan envisions the tract within a Neighborhood Residential Land Use Type. The goal of Neighborhood Residential is to:
 - Encourage housing types to address the needs of all income levels
 - Support opportunities for local-serving small business development where appropriate
 - Evaluate pedestrian safety and connectivity
 - Encourage walkability within neighborhoods and to other land use types
 - Consider traffic calming and congestion relief where possible
 - And utilize streetscaping, facades, and beautification techniques to create sense of place and preserve community character.
 - Neighborhood Residential Land Use supports Open Space, Agriculture, Conservation Subdivision, Small Lot Residential, Multi-Family Residential, Neighborhood Center and Mixed-Residential place types.



Your plan has been removed from the November 16, 2023 Planning Commission agenda at the request of the applicant. A completed Waiver From The Time Limitation To Review The Plan form shall be submitted to the Township by December 20, 2023. Should the applicant fail to submit the completed form, the Board of Commissioners will likely vote to deny the plan at their December 20, 2023 meeting.

Please note that, effective January 1, 2024, the Planning Commission meeting date will change to the second Thursday of the month. Effective December 1, 2023, the submission deadline for initial plan submissions will be the first Thursday of the month, the submission deadline for resubmissions will be the second Thursday of the month, and minor revisions to plan reviewed at the Planning Commission meeting may be accepted up to seven days after the meeting with the agreement of staff.

If you have any questions, please call.

Sincerely,

Gregg R. Adams, Planner

Community Development Department

T. Petrucci cc:

J. Frantz

A. Tallarida File #2017-101 D. Manhardt

L. Harrier

J. Alderfer, Esq.

J. Engelhardt, Langan

J. Zator, Esq J. Preston, Esq H. Bender S. Pidcock

R. Brooks



MEMORANDUM

To: Planning Commission

FROM: Laura Harrier, Zoning Officer

DATE: November 10, 2023

SUBJECT: Ridge Farm - Major Subdivision 2017-101

Plan Dated October 26, 2023

COPIES: D. Manhardt, G. Adams, J. Alderfer, S. Pidcock, J. Frantz, Applicant

Phase 1-C proposal consists of approximately 6.8 acres and proposes 34 twin units.

<u>Section 350-48(o)(2)(E)(iii)(1)(a) (Codified Ordinance)</u> – Indented parking, i.e., creating parking spaces by indenting the curb line or right-of-way of a street or by traversing said curb line is hereby prohibited.

The previous plan reviewed December 12, 2022, showed Buchman Street as a private drive (plan dated November 17, 2022). The current plan indicates a public road is now proposed with indented parking. A variance may be required.

Laura Harrier, Zoning Officer Community Development

Gregg R. Adams

From: John G. Frantz

Sent: Monday, October 30, 2023 1:40 PM

To: Gregg R. Adams

Subject: Ridge Farm Final Plan Phase 1C - 2017-101

Gregg,

I have no comments to the plan.

John G. Frantz, CFEI, BCO

Fire Marshal, Building Code Official South Whitehall Township 4444 Walbert Avenue Allentown PA 18104-1699 610-398-0401 (office) 610-398-1068 (fax) www.southwhitehall.com



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MEMORANDUM

To: Planning Commission

From: Gregg R. Adams, Planner

DATE: November 21, 2022

Subject: Subdivision Plan Review

Ridge Farm Final Plan Phase 1C

Major Plan 2017-101

Plan dated November 17, 2022

COPIES: Landscape and Shade Tree Commission, D. Manhardt, A. Tallarida,

J. Alderfer, Esq., S. Pidcock, Applicant

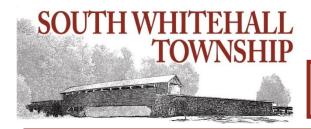
At their November 21, 2022 meeting, the Landscape and Shade Tree Commission reviewed the above-mentioned plan and recommended the following:

The trees along the southern right-of-way of Gristmill Lane shall be spaced at intervals of 40-45 feet. The Commission also recommends that street trees be placed in the right-of-way of Buchman Street where possible.

Respectfully submitted,

Gregg R. Adams, Planner

Community Development Department



MEMORANDUM

To: Planning Commission

From: Gregg Adams, Planner

DATE: January 26, 2023

Subject: Subdivision Plan Review

Ridge Farm Final Plan Phase 1C

Major Plan 2017-101

Plan Dated November 17, 2022

COPIES: Parks and Recreation Board, T. Petrucci, L. Matula, D. Manhardt,

J. Alderfer, S. Pidcock, A. Tallarida, Applicant

At their January 9, 2023 meeting, the Parks and Recreation Board reviewed the plan and determined the following:

That the plan is acceptable.

Respectfully submitted,

Gregg Adams, Planner

Community Development Department

PROJECT NARRATIVE Ridge Farm Community

March 18, 2020 Last Revised November 17, 2022

OVERVIEW

The Proposed Ridge Farm TND Site is located at the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. The site extends north to Huckleberry Road and includes a parcel on the west side of Cedar Crest Boulevard.

A portion of the Ridge Farms project is outside the TND zoning that we will refer to in this document as the Non-TND Site. The Proposed Ridge Farm Non-TND Site is located north of the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. This part of the site is entirely on the western side of Cedar Crest Boulevard and extends north of the Cedar Crest Boulevard and Huckleberry Road intersection.

The TND project site is composed of six (6) parcels totaling 138.34 acres. The Non-TND project site is composed of seven (7) parcels totaling 62.70 acres. The site exists as a ridge of land extending east west through the property. The top of the ridge has gentle slopes at 5-8 percent. The ridge side slopes are generally 15 to 25 percent. The section of land fronting on Walbert Road has gentle slopes of 3 to 8 percent, where the most intensive development is planned. The current use of the ground is predominantly agricultural.

Kay Walbert LLC is the Applicant (Owner) for the proposed community. The site program includes single family units, twins, apartments, a TND Cluster development and some limited village mixed-use apartments over retail. The proposed site is fronted by four existing roadways, which are as follows: PennDOT S.R. 1019 (North Cedar Crest Boulevard) to the east and west, PennDOT S.R. 1006 (Walbert Avenue) to the south, Township road (Huckleberry Road) to the north and south, and Township road (Yellowstone Road) to the west of North Cedar Crest Boulevard. The proposed TND site area includes six (6) existing parcels owned by Kay Walbert LLC, as shown in Table 1 below.

Table 1: Summary of Existing Parcel Owners and Gross Acreage

2010 11 Carrier C 2010 11 G. Carrier Ca								
Owner	Parcel Number	Gross Acreage						
Kay Walbert LLC	548746422139	111.18						
Kay Walbert LLC	548767544734	4.72						
Kay Walbert LLC	548767273685	1.51						
Kay Walbert LLC	548725550358	8.58*						
Kay Walbert LLC	548737014729	0.25						
Kay Walbert LLC	548757625489	12.10						

*Note: For parcel 548725550358 the TND boundary includes 8.58 acres of the overall 31.96-acre tract.

March 18, 2020 Last Revised November 17, 2022

The proposed Non-TND site area includes seven (7) existing parcels as shown in Table 2 below.

Table 2: Summary of Existing Parcel Owners and Gross Acreage

Owner	Parcel Number	Gross Acreage
Kay Walbert LLC	548727343134	15.98
Fred J. Jaindl	548727303984	0.41
Kay Walbert LLC	548726571146	13.67
Jaindl Land Company	548726323076	6.69
Jaindl Land Company	548726413932	2.26
Lawrence E. & Alice E. Ritter	548726730450	0.31
Kay Walbert LLC	548725550358	23.38*

^{*}Note: For parcel 548725550358 the Non-TND boundary includes 23.38 acres of the overall 31.96-acre tract.

This community will be served by public water and sanitary sewer systems.

The Ridge Farm TND section was planned and designed according to the main tenets of Smart Growth and the guidelines of the TND- Residential Cluster Overlay District. Three features of the Ridge Farm Plan assure positive development and long-term quality for the resident and the Township:

- 1. Major park areas for common and Active open space, easily accessible from and central to residential neighborhoods.
- 2. Village retail areas easily walkable from residential neighborhoods.
- 3. A diversity of housing choices: a variety of small lot Singles, Twin Homes and, Apartments.

The site plan proposes a Traditional Neighborhood Design, featuring tree lines streets with sidewalks linking the residents to village shops, restaurants, and pocket parks, all within easy walking distance.

March 18, 2020 Last Revised November 17, 2022

TND Zoning:

The entire TND community is located on the township's Innovative Overlay District Map and is within the TND–Residential Cluster Overlay District. The underlying zoning for the site area is R-10 on approximately 44 acres of the site fronting on Walbert Ave. with 84-acres zoned R-2 and a section of R-4. Approximately 8.5 ac., zoned R-4, is located on the west corner of Cedar Crest Blvd.

The plan complies with the requirements of the Zoning Ordinance April 1, 2019, the Subdivision and Land Development Ordinance April 1, 2019, and Appendix C -General Manual of Written and Graphic Design Standards.

Ridge Farmland Development Program:

LAND USE	NUMBER OF UNITS / SQ. FT.
TND Market Rate Single Family Homes	68
TND Market Rate Twin Homes	40
TND Age Restricted Single Family Homes	88
TND Age Restricted Twin Homes	82
TND East Apartments	308
TND West Apartments / Condominiums	60
TND Restaurant Village Commercial Area	17,200
TND Medical Office Village Commercial Area	30,000
TND Retail Village Commercial Area	20,000
TND Market Rate Twin Homes (Buchman Street Access)	34
TND Apartments within Commercial Village	100

AREA OVERVIEW			
TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT			
TND Residential Cluster Site Area	138.340 AC.		
Total TND Units	780		
Commercial Mixed Use Area	12.455 AC.		
Open Space	38.183 AC		
Active Open Space	13.311 AC		
Village Non-Residential Lot Coverage	73.76%		

There are 780 Total Units.

156 units (20%) Single Family 156 units (20%) Twin Homes 468 units (60%) Apartment Units

March 18, 2020 Last Revised November 17, 2022

Development Intensity Option:

The TND-Cluster Residential Zone grants base level zoning to R-4 level, based on some of the land is zoned R-2. Two 2-Density Credits are proposed to obtain R-10 level. The Development option proposed within the TND-Residential Cluster zone is a Residential community with approximately 10% of the total TND land area as Commercial.

Density credit table to achieve R-10 level follow:

TND - RESIDENTIAL CLUS	TER OVERLAY DISTRICT		
DEVELOPMENT INTENSIT	Y CREDIT CALCULATION		
The purpose of this table is to show that with 2 density credits the TND portion of t	his project can follow the bulk crite	ria for Zoning district R-	10 High Density
Residential, an increase from R-4 Medium Density Residential.		-	
OPEN S	SPACE:		
For each additional 5% of the gross tract area beyond the minimum percentage o	f gross tract area required dedicat	ed for open space.	
One-half Density Credit may be permitted above the Base Density.			
	AREA (SQ. FT.)	AREA (ACRES)	CREDITS
Required Open Space:	1,178,101 SF.	27.045 AC.	19.6%
Provided Open Space:	1,662,932 SF.	38.176 AC.	27.6%
Percentage above Required:			8.0%
0.5 Density Credit for every 5% above Required:			0.5 CREDIT
ALLEY A For each twenty-five (25) percent of Dwelling units not required to have Alley acco One-half Density Credit may be permitted above the Base Density.			
ALLEY UNITS	NUMBER OF UNITS	PERCENTAGE	CREDITS
Single Detached and Twins	87		
Apartments	368		
Total Alley Units	455	58%	
Total TND Units	780		1 CREDITS
PUBLIC BUS	S SHELTER:		
For each public bus shelter provided within the development in coordination with the	ne local transportation authority.		
One-half Density Credit may be permitted above the Base Density.			
TYPE OF SHELTER	NUMBER OF BUS SHELTERS		CREDITS
Public Bus Shelter	1		0.5 CREDIT

The Development option table for Residential community with Commercial village as well as the total provided Open Space and Active Open Space follow:

RESIDENTIAL CL	USTER DEVELOPMENT OPTIONS TABL	.E				
RESIDENTIAL WITH COMMERCIAL COMPONENT (DEVELOPMENT OPTION #2)						
ITEM	REQUIRED / PERMITTED	PROPOSED				
Minimum Tract Size:	50.0 AC.	138.340 AC				
Increase in Development Intensity:						
Increase Development Intensity 1 Level or to R-4, whichever is greater:	Increased to R-4, with added Density Bonuses allows for an increase to R-10	R-10, See TND - Residential Cluster Overlay Development Intensity Table				
Minimum % of the Tract to be Open Space:						
15% plus 0.5% for every 1% of the gross tract area developed as commercial	19.55%	27.60%				
Minimum % of the Tract to be Active Open Space:						
5% plus 0.5% for every 1% of the gross tract area developed as commercial	9.55%	9.56%				
Maximum % of the Tract to be Gross Area for Commercial Uses:	10%	9.1%				

Note: Please refer to the TND - Residential Cluster Overlay Development Intensity Table and the Open Space Calculation tables for further calculations in support of the required and proposed information provided.

March 18, 2020

Last Revised November 17, 2022

TND Open Space:

The provided total Open Space is 27.60% or 38.183 acres of site area. The provided Active Open Space area is 13.311 acres or 9.62% of total site area. The Active Open Space is centrally located within the neighborhoods, and greater than 50% of the Active Open is in the form of Greens, Squares or, Plazas. A number of amenities are proposed within the different Active Open Space locations including; walkways, trails, gazebos, pavilions, playground equipment, club house recreation facilities, hardscape plaza areas, seating areas, and bike racks. The majority of the Open Space and Active Open Space provided as part of TND community will be owned and maintained by the Home Owners Association. The Active Open Space areas located in the Commercial Mixed Use portion of the site is offered to South Whitehall Township for dedication.

REQUIRED OPEN SPACE CALCULATIONS TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT (RESIDENTIAL WITH COMMERCIAL COMPONENT)				
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	REQUIRED / PERMITTED PERCENTAGES	
TND RESIDENTIAL CLUSTER SITE AREA	6,026,090	138.340		
ACTIVE OPEN SPACE REQUIRED(2)	575,492	13.211	9.55%	
OPEN SPACE REQUIRED ⁽¹⁾	1,178,101	27.045	19.55%	
MAXIMUM OPEN SPACE WITHIN FLOODWAY / WETLANDS / STEEP SLOPES IN EXCESS OF 25%	706,860	16.227	60%	

PROVIDED OPEN SPACE CALCULATIONS TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT (RESIDENTIAL WITH COMMERCIAL COMPONENT)						
AREA DESIGNATION AREA IN SQ. FT. AREA IN ACRES PROVIDED PERCENTAGES						
COMMERCIAL MIXED USE AREA ^(1,2)	542,548	12.455	9.1%			
OPEN SPACE	1,083,436	24.872	17.98%			
ACTIVE OPEN SPACE	579,816	13.311	9.62%			
TOTAL OPEN SPACE	1,663,252	38.183	27.60%			
OPEN SPACE WITHIN FLOODWAY / WETLANDS / STEEP SLOPES IN EXCESS OF 25% ³	224,804	5.161	13.52%			

NOTES:

- 1. Minimum percentage of Tract to be Open Space 15% plus 0.5% for every 1% of gross tract area developed as commercial.
- 2. Minimum percentage of Tract to be Active Open Space 5% plus 0.5% for every 1% of gross tract area developed as commercial.
- 3. All open space areas in this calculation are within steep slopes in excess of 25%. There are no known floodways or wetlands on-site.

OPEN SPACE						
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	AMENITY	OWNER		
A	415,832	9.546	Trails	Homeowner's Association		
В	95,761	2.198	None	Homeowner's Association		
С	147,283	3.381	Trails	Homeowner's Association		
D	129,386	2.970	Trails	Homeowner's Association		
E	6,167	0.142	None	Homeowner's Association		
F	108,697	2.495	None	Homeowner's Association		
G	20,627	0.474	None	Homeowner's Association		
Н	46,218	1.061	None	Homeowner's Association		
I	13,982	0.321	None	Homeowner's Association		
J	11,000	0.253	Trails	Homeowner's Association		
K	5,400	0.124	Trails	Homeowner's Association		
L	5,400	0.124	Trails	Homeowner's Association		
M	12,903	0.296	Rain Garden	Homeowner's Association		
N	18,699	0.429	Trails	Homeowner's Association		
0	46,081	1.058	Trails, Benches	Homeowner's Association		
Open Space Total	1,083,436 SF.	24.872 Ac.				

NOTES:

- Open Space areas do not include areas less than 500 SF.
- 2. Open Space areas include existing street ultimate right-of-way areas along portions of North Cedar Crest Blvd and Walbert Ave.
- 3. The 50' wide mobility easement connecting the eastern residential area to the commercial area is not included in the open space calculations.

March 18, 2020 Last Revised November 17, 2022

Active Open Space Table Listing Amenities Provided.

ACTIVE OPEN SPACE						
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	AMENITY	OWNER		
ACTIVE O.S. #1 (Green or Square with seating area or Plaza)	157,157	3.608	Clubhouse, Pavilion, Pickle Ball, Benches, Bike Rack, Trails	Homeowner's Association		
ACTIVE O.S. #2 (Green or Square with seating area or Plaza)	42,156	0.968	Gazebo, Clubhouse, Play Equipment, Pool, Benches, Bike Rack, Trails	Homeowner's Association		
ACTIVE O.S. #3 (Green or Square with seating area or Plaza)	42,962	0.986	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association		
ACTIVE O.S. #4 (Green or Square with seating area or Plaza)	74,313	1.706	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association		
ACTIVE O.S. #5 (Green or Square with seating area or Plaza)	9,131	0.210	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association		
ACTIVE O.S. #6 (Green or Square with seating area or Plaza)	74,178	1.703	Fountain, Benches, Bike Rack, Trails	Homeowner's Association		
ACTIVE O.S. #7 (Green or Square with seating area or Plaza)	40,930	0.940	Pavilion, Benches, Bike Rack Trails	Homeowner's Association		
ACTIVE O.S. #8 (Green or Square with seating area or Plaza)	50,684	1.164	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association		
ACTIVE O.S. #9 (Green or Square with seating area or Plaza)	43,567	1.0 AC.	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association		
ACTIVE O.S. #10 (Green or Square with seating area or Plaza)	12,210	0.280	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association		
ACTIVE O.S. #11 (Green or Square with seating area or Plaza)	32,528	0.747	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association		
Active Open Space Total	579,816 SF.	13.311 Ac.				

NOTES:

- 1. Active Open Space areas include existing street ultimate right-of-way areas, up to 10 feet to proposed roadway improvements.
- 2. Active Open Space areas have a maximum grade of 5%.
- 3. All Active Open Space areas, 100%, will be Village Greens or Squares having seating areas and Plazas with the amenities listed above.

Non-TND Open Space Summary:

NON-TND OPEN SPACE						
AREA DESIGNATION	AREA	BASIN AREA	AREA SQUARE FEET	AREA ACRES	OWNER	
RR-2 LOT A	267,422 SF.	43,142 SF.	224,280 SF.	5.149 AC.	Homeowner's Association	
R-2/R-4 LOT B	140,940 SF.	17,161 SF.	123,779 SF.	2.842 AC.	Homeowner's Association	
R-4 LOT C	8,387 SF.	N/A	8,387 SF.	0.193 AC.	Homeowner's Association	
OPEN SPACE TOTAL			356,446 SF.	8.183 AC.		

Pedestrian Connectivity:

All areas of the community are pedestrian accessible. The Pedestrian Plan illustrates an interconnected network of sidewalks and trails which connect all areas of the community. The Trails and sidewalks are located within the streetscape, Open Space and Active Open Space. This plan includes a 8' wide pedestrian/ bike trail along both Cedar Crest Blvd. and Walbert Ave. which provide linkage to the broader community.

Residential

This TND community contains three different unit types; single family, twins, and apartments intermingled on the site. There is an age restricted section of the single family and twins. All buildings have the front facade located at the Build-to Line as measured from the 60' wide Ultimate Right Of Way. Street frontage single family and twins units have a 10' Build To Line for the front façade with a 10' recessed garage. The single family detached lot widths vary by 5' for every three consecutive lots. The minimum lot sizes are: 6,000 SF for singles lots and, 4,800 SF for twin lots.

PROJECT NARRATIVE

Ridge Farm Community

March 18, 2020

Last Revised November 17, 2022

	IDENTIAL CLUSTER DEVELOPMENT GULATIONS AND DESIGN STANDARD	S TARI E
ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:		
R-10 High Density Residential		
Dwelling Type:	Single Detached / Twin	Single Detached / Twin
Minimum Lot Area per Use:	6,000 SF. / 4,800 SF.	≥ 6,000 SF. / ≥ 4,800 SF.
Minimum Frontage:	50 FT / 40 FT	≥ 50 FT / ≥ 40 FT
Build to Line (TND requirement):	10 FT - 15 FT	10 FT - 15 FT
Minimum Sides to Lot Lines:	8 FT / 10 FT	≥ 8 FT / ≥ 10 FT
Minimum Rear to Lot Lines:	25 FT	≥ 25 FT
Maximum Units per Building:	1 Unit / 2 Units	1 Unit / 2 Units
Minimum Height (TND requirement):	20 FT	≥ 20 FT
Maximum Height of Building Structure:	35 FT	≤ 35 FT
Dwelling Type:	Apartment / Condo Buildings	Apartment / Condo Buildings
Maximum Dwelling units per Gross Acre:	10 UNITS	See Apartment Increase Credit Tables
Build to Line (TND requirement):	10 FT - 15 FT	10 FT - 15 FT
Minimum Sides to Lot Lines:	20 FT	≥ 20 FT
Minimum Rear to Lot Lines:	30 FT	≥ 30 FT
Maximum Units per Building:	16 UNITS	See Apartment Increase Credit Tables
Maximum Height of Building Structure:	35 FT	See Apartment Increase Credit Tables
NON-RESIDENTIAL USES:		
N-C Neighborhood Commercial / TND Residential Cluster		
Use Type:	Mixed Use Building / Retail / Restaurant / Medical Office	Mixed Use Building / Retail / Restaurant / Medical Office
Maximum Individual Use: ²	5,000 SF.	≤ 5,000 SF.
Build to Line (TND requirement):	5 FT - 15 FT	5 FT - 15 FT
Minimum Height (TND requirement):	2 Stories or 20 FT	2 Stories or ≥ 20 FT
Maximum Height of Building Structure (TND requirement):	4 Stories or 60 FT (along aerial roads)	4 Stories or ≤ 60 FT (along aerial roads)
Minimum Building Separation on same lot:	20 FT	≥ 20 FT
Max. Non-Res. Building Footprint:		
3 stories or 45 FT in height or less:	6,500 SF.	≤ 6,500 SF.
greater than 3 stories or 45 FT in height:	20,000 SF.	≤ 20,000 SF.
Maximum Lot Coverage (TND requirement):	75%	73.76%

- 1. TND requirements were taken from South Whitehall Township Zoning Code Section 350-31(f)(2).
- 2. Medical Offices will have separate uses, no greater than 5,000 SF for each office.

Residential Parking Table:

TND RESIDENTIAL PARKING CALCULATIONS						
BUILDING TYPE	DWELLING UNITS	PARKING REQUIREMENT	REQUIRED SPACES	PROPOSED SPACES		
Single Detached Dwelling ^{1.}	156	2 Spaces / D.U.	312	312		
Twins ¹	156	2 Spaces / D.U.	312	312		
On-Street Parking ⁴				234		
Apartment Area #1 East	308	2.25 Spaces / D.U. ²	693	712		
Apartment Area #2 West	60	2.25 Spaces / D.U. ^{2,3}	135	142		
Number of Apartment parking areas	4 Areas	1 Large space for parking areas with 50 or more spaces	4	4		

NOTES:

- 1. Each TND single family and twin unit will have a 2 car garage, 2 garage spaces per unit will be provided. Additional on-street parking spaces are provided throughout the market rate and age restricted development areas. These on-street parking spaces are not needed to meet the required parking calculation.
- 2. The required apartment parking is 2 spaces for each dwelling unit and an additional 0.25 spaces per unit for overflow parking.
- 3. Apartment Area #2 West units include 1 assigned driveway space and 1 garage space for each unit. Overflow parking spaces are provided around the perimeter of Active Open Space #12.
- 4. On-Street parking listed does not include parking spaces designated for mail pick up at cluster mailbox locations.

TND CLUBHOUSE PARKING CALCULATIONS					
PROPOSED USE	BUILDING SIZE (SF)	PARKING REQUIREMENT	REQUIRED SPACES	PROPOSED SPACES	
Clubhouse A ¹ (1 Story)	5,000	1 Space / 300 SF of Office	46	46	
Clubhouse B ¹ (1 Story)	5,000	1 Space / 50 SF of meeting room	46	46	

- 1. Each clubhouse will have a 2,000 SF meeting room area and an office area of 600 SF. The remaining area will be lobby / marketing display space.
- 2. Clubhouse parking lots are not counted towards open space.

March 18, 2020 Last Revised November 17, 2022

Non-TND Zoning Tables:

LOT AVERAGING DEVELOPMENT OPTION			
ITEM	REQUIRED / PERMITTED	PROPOSED	
RESIDENTIAL USES:	Single Detached Dwelling Unit	Single Detached Dwelling Unit	
Minimum Eligible Lot Area:	5 AC.	15.933 AC.	
Density: Total Area / 80,000 SF.	694,024 SF. / 80,000 SF. = 8.7	8 Units	
Minimum Lot Area:	43,560 SF.	≥ 43,560 SF.	
Minimum Frontage:	75 FT	160 FT	
Minimum Front Yard:	35 FT	35 FT	
Minimum Side Yard:	15 FT	15 FT	
Minimum Rear Yard:	50 FT	50 FT	
Maximum Building Height:	35 FT	35 FT	
Parking Requirement:	2 Spaces / D.U.	16 SPACES	

1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.

RR RURAL RESIDENTIAL AND AGRICULTURAL			
ITEM	REQUIRED / PERMITTED	PROPOSED	
RESIDENTIAL USES:	Single Detached Dwelling	Single Detached Dwelling	
Tract Area:	N/A	13.666 AC.	
Minimum Lot Area Per Use:	1 AC.	≥ 1 AC.	
Minimum Frontage:	160 FT	160 FT	
Minimum Front Yard:	50 FT	50 FT	
Minimum Side Yard:	15 FT	15 FT	
Minimum Rear Yard:	50 FT	50 FT	
Maximum Building Height:	40 FT	40 FT	
Parking Requirement: ¹	2 Spaces / D.U.	18 SPACES	

NOTES:

Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.

ITEM	REQUIRED / PERMITTED	PROPOSED
	REGUINED / I ENWITTED	T NOT GOLD
RESIDENTIAL USES:	Single Detached Dwelling	Single Detached Dwelling
Tract Area:	N/A	9.767 AC.
Minimum Lot Area Per Use:	20,000 SF.	≥ 20,000 SF.
Minimum Frontage:	125 FT	125 FT
Minimum Front Yard:	35 FT	35 FT
Minimum Side Yard:	25 FT	25 FT
Minimum Rear Yard:	40 FT	40 FT
Maximum Building Height:	40 FT	40 FT
Parking Requirement: ¹	2 Spaces / D.U.	18 SPACES

1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.

	R-4 MEDIUM DENSITY RESIDENTIAL			
REQUIRED / PERMITTED	PROPOSED			
Twin	Twin			
N/A	23.19 AC.			
8,400 SF.	≥ 8,400 SF.			
70 FT / 42 FT along cul-de-sac lot	70 FT / 47 FT along cul-de-sac			
25 FT	25 FT			
10 FT	10 FT			
30 FT	30 FT			
35 FT	35 FT			
2 Spaces / D.U.	128 SPACES			
	Twin N/A 8,400 SF. 70 FT / 42 FT along cul-de-sac lot 25 FT 10 FT 30 FT 35 FT			

- NOTES:

 1. Zoning Section 350-42-(i)(3)(i) Frontage along cul-de-sac Lots may be satisfied at the standard front building or Use setback line, provided the length of the ROW line equals at least 60% of the required frontage.

 2. Each Twin unit will have a 2 car garage, 2 garage spaces per unit will be provided.

March 18, 2020

Last Revised November 17, 2022

Community Clubhouse:

Two community recreation buildings are proposed. One club, 5000 sf, for the Single Family and Twin homes, and One club, 5000 sf, for the apartments.

Commercial / Mixed-Use Village:

The Build to Line for the Non-Residential / Mixed Use buildings is 5-15 feet. A maximum of 25% of the linear frontage of an individual building facade, located within the Commercial Area, may be offset from the Build-to Line by 4 to 20 feet in order to provide visual diversity, architectural enhancements, or open space in the form of pedestrian gathering areas or plaza. Buildings Located on corners will be placed along Build-to Lines, unless a Plaza, Green, or Square is located at the same street corner. All parking along adjacent to the Main Street will be provided with a 4' high screen wall placed at the Build To Line.

The Mixed-Use Buildings are 3 to 4 stories, with 46' to 55' building height. Mixed Use buildings will have ground floor retail and restaurants with 2 to 3 stories of apartments above. The medical office building is 3 stories with a building height of 46'. The medical office building will be a focal point building in the village. The medical office building and mixed use building will not have greater than 5,000 sf of a single user. Over 50% of the buildings in the Main Street Environment have second floor usable area for apartments. Single-use retail and restaurant buildings will have a minimum building height of 20 feet.

Commercial / Mixed Use Parking Table:

TND NON-RESIDENTIAL PARKING CALCULATIONS				
Mixed Use / Village Commercial Area:			REQUIRED SPACES	PROPOSED SPACES
Apartments as part of a Mixed Use Building	100	2.25 Spaces / D.U. ¹	225	225
Retail / Restaurant Mixed Use Building #1 (1st Floor)	6,940 SF.		28	
Retail / Restaurant Mixed Use Building #2 (1st Floor)	6,940 SF.	7	28	
Retail Mixed Use Building #3 (1st Floor)	6,660 SF.	1	27	
Retail Mixed Use Building #4 (1st Floor)	6,660 SF.	1 Space / 225 SF of GFA ²	27	
Restaurant A (1 Story)	5,000 SF.	1	20	
Restaurant B (1 Story)	5,000 SF.	1	20	
Medical Office (3 Stories, 30,000 SF Usable Office Space)	30,000 SF.	1	134	
Sub Total:	67,200 SF.		299	299
Total Mixed Use / Village Commercial:			524	524

NOTES:

^{1.} The required apartment parking is 2 spaces for each dwelling unit and an additional 0.25 spaces per unit for overflow parking.

^{2.} The required shopping center parking is 1 space for each 225 square feet of gross floor area.

March 18, 2020

Last Revised November 17, 2022

Commercial / Mixed Use Coverage:

MIXED USE VILLAGE COMMERCIAL AREA				
IMPERVIOUS CALCULATIONS				
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	PERCENTAGES	
COMMERCIAL MIXED USE AREA	542,548	12.455		
MAXIMUM IMPERVIOUS PERMITTED			75.0%	
PERVIOUS AREAS:	142,354 SF.	3.268		
TOTAL IMPERVIOUS:	400,194 SF.	9.187	73.76%	

TND Street Plan:

The streets and alleys will be owned and maintained by the Homeowners Association.

Residential Streetscape:

The residential local streets will have a 50' wide street right-of-way and 60' wide ultimate right-of-way to define Build To Lines. On street parallel parking is located on one side of the street. The Streetscape is defined by buildings located along the Build-to Line. The typical Residential Streetscape width is 80' wide per appendix "C". A 5' wide sidewalk is located on both sides of the street. A 4.5' to 5.5' grass strip is provided between the sidewalk and the curb for street trees. Visual diversity along the street is obtained by providing a variety of architecture, mixing housing types, and varying the lot width by 5' every three lots. Block intermingling, having two unit types within a block length is proposed for 58% of the residential street.

Alleys:

Single Family and Twin units taking access from alleys will have garages setback a minimum of 4 feet from the alley right-of-way. These alleys have a 18' wide right-of-way and a 16' wide cartway. Apartment alleys are 24' wide with 90 deg. parking and adjacent dedicated carports.

Main Street

The Main Streetscape width is 85-95 feet as defined within Appendix "C". The Main Street will provide onstreet 60 degree angled parking and make up 21% of the total parking provided within the Commercial Area. The majority of parking is off street and located in the rear of buildings.

March 18, 2020 Last Revised November 17, 2022

Apartment Density Credits:

There are two apartment areas. Apartment area #1 is located on the east side of Cedar Crest Blvd. Apartment area #2 is located on the west side of Cedar crest Blvd. The credit requirements for each area to achieve building height, units per acre, and units per building are outlined in the table below.

Apartment Credits for Apartment Area #1:

APARTMENT E	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
	BUILDING - #1 AREA E	AST	
DENSITY INCREA	ASE CREDIT CALCUL	ATION	
The purpose of this table is to show that with the 6 total density credits ac	hieved that the maximum R-1	10 Apartment building dens	ity can increase from 10 dwelling
units per acres to 11 dwelling units per acre (1 credit required). And that the	ne maximum R-10 Apartment	building height can increase	se from 35 feet to 55 feet
2 credits required). And that the maximum R-10 Apartment units per build	ling can increase from 16 unit	ts to 28 units (3 density cre	edits required).
ITEM	AREA (SQ. FT.)	AREA (ACRES)	CREDITS
Apartment Area (#1 Area East)	1,254,870 SF.	28.808 AC.	
Apartments Proposed	308 L	INITS	
Permitted Density BEFORE credit is applied (10 units per acre)	288 L	INITS	
Permitted Density AFTER credit is applied (11 units per acre)	317 L		
0	PEN SPACE:		
Required Open Space:	250,974 SF.	5.762 AC.	20.0%
Provided Open Space: ¹	502,557 SF.	11.537 AC.	40.0%
Percentage above Required:			20.0%
0.5 Density Credit for every 5% above Required:			2.0 CREDITS
C	CARPORTS:		
Apartment Units Proposed:	308 L	INITS	
Provided Carport Spaces:	308 CARPORT SPACES		100.0%
0.5 Density Credit for each 25% Carport Spaces Per Unit:			2.0 CREDITS
ASSIG	GNED GARAGES:		
Apartment Units Proposed:	308 UNITS		
Provided assigned garage spaces:	162 GARAGE SPACES		52.6%
0.5 Density Credit for each 15% of units with assigned garage space:			1.5 CREDITS
C	LUB HOUSE:		
Number of Clubhouses Prpoposed:	1 CLUB	HOUSE	
0.5 Density Credit for 5,000 SF. Clubhouse:			0.5 CREDIT
TOAL DENSITY CREDITS:			6.0 CREDITS
Notes:			

Apartment Credits for Apartment Area #2:

APARTMENT BU	ILDING - #2 AREA WEST		
DENSITY INCREASE	SE CREDIT CALCULATION		
The purpose of this table is to show that with the 3 total density credits achieved	(only 2 needed) that the maximum R-10 Apartme	ent building height can increase	
from 35 feet to 45 feet (1 credit required). And that the maximum R-10 Apartment units per building can increase from 16 units to 18 units (1 density credit required).			
ASSIGN	IED GARAGES:		
Apartment Units Proposed:	60 UNITS		
Provided assigned garage spaces:	60 GARAGE SPACES	100.0%	
0.5 Density Credit for each 15% of units with assigned garage space: 3.0 CREDIT			
TOAL DENSITY CREDITS:		3.0 CREDITS	

March 18, 2020 Last Revised November 17, 2022

Walbert Ave and Cedar Crest Blvd. Streetscape Pedestrian / Bike Trail:

The Plan will include pedestrian friendly streetscape improvements along frontage sections of Cedar Crest Boulevard and Walbert Avenue. This will include an 8' wide pedestrian / bike path, street trees, shrub or perennial meadow plantings, and raingardens. Stone identity columns are located at the corner intersection of Walbert Ave. and Cedar Crest Blvd.; and project entrance with identity signage.

Phase 1A Description:

The Proposed Ridge Farm – Phase 1A is located at the northeastern corner of the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. The portion of land included in Phase 1A is located within the TND portion of the project. This phase, which is a total of 9.37 acres, is located on one (1) parcel totaling 111.18 acres. The western most portion of this phase bordering Cedar Crest Boulevard slopes up in the northern direction at approximately 6 percent. The eastern portion of the phase is relatively flat to gently sloping from Walbert Avenue to the northern boundary line of the phase. The current use of the parcel is predominantly agricultural.

Kay Walbert LLC is the Applicant (Owner) for the proposed parcel. Phase 1A includes a three story medical office building with a 15,000 square foot building footprint along with parking and various other improvements. This phase includes the installation of storm sewer facilities including conveyance systems and storm water best management practices. Since the site will be served by public sewer and water this phase includes the installation of the appropriate facilities for this portion of the overall site. There will also be pedestrian and bike paths installed in Phase 1A that will connect with futures phases to help with accessibility for pedestrians to move freely throughout the future community.

Phase 1B Description:

The Proposed Ridge Farm – Phase 1B continues the projects Phase 1 improvements and is located in South Whitehall Township at the northwest corner of Cedar Crest Boulevard and Walbert Avenue. Phase 1B is roughly 13.2 acres and is located on a consolidated 53.17 acre parcel. This phase is located within the R-4 Medium Density Residential (+/- 5.2 acres) and TND (+/- 8.0 acres) zoning districts. The Phase 1B improvements include 5 apartment buildings, 14 twin units, an existing building to remain along with parking, 2 infiltration basins, 3 infiltration trenches, associated conveyance systems and various other improvements.

Phase 1C Description:

The Proposed Ridge Farm – Phase 1C continues the projects Phase 1 improvements and is located in South Whitehall Township west of the Fernwood subdivision. Phase 1C is roughly 6.8 acres and is located on a consolidated 123.0 acre parcel. This phase is located within the R-4 Medium Density Residential and TND zoning district. The Phase 1C improvements include 34 twin units, 1 infiltration basin, associated conveyance systems, an active open space area and various other improvements.

March 18, 2020 Last Revised November 17, 2022

CONSULTANTS

The Planning Consultant is:

Fred Jackson, PLA Jackson Land Planning, LLC

321 Valley View Rd. King of Prussia, PA 19406

Phone: 848-919-4810

Email: jacksonplanning@outlook.com

The Engineering Consultant is:

Jason Engelhardt, PE

Langan Engineering and Environmental Services

One West Broad Street, Suite 200

Bethlehem, PA 18018 Phone: 610-984-8500

Email: jengelhardt@langan.com