RIDGE FARM FINAL PLAN PHASE 1B MAJOR PLAN 2017-101

ATTACHMENTS

- 1. Memorandum
- 2. Site Plan
- 3. Township Engineer Review dated April 12, 2023
- 4. Township Water and Sewer Engineer Review dated April 10, 2023
- 5. Township Water and Sewer Engineer Phase 1 Allocation and Tapping Letter dated February 2, 2023
- 6. Township Geotechnical Consultant Reviews dated March 30, 2023
- 7. Township Lighting Consultant Review dated March 21, 2023
- 8. Township TND Consultant Review dated April 13, 2023
- 9. Public Works Department Review dated February 3, 2023
- 10. Community Development Department Review dated April 14, 2023
- 11. Public Safety Commission Review dated April 14, 2023
- 12. Landscape and Shade Tree Commission Review dated July 29, 2022
- 13. Parks and Recreation Board Review dated May 19, 2022
- 14. PENNDOT Phase 1 HOPs
- 15. PA DEP NPDES Permit PAC390159
- **16. Applicant Correspondence:**
 - A. Project Narrative dated April 20, 2022
 - **B.** Chalmette Road Traffic Calming Exhibit

TO: PLANNING COMMISSION

FROM: GREGG R. ADAMS, PLANNER

SUBJECT: RIDGE FARM FINAL PLAN PHASE 1B

MAJOR PLAN 2017-101

REQUEST FOR FINAL PLAN REVIEW

DATE: APRIL 14, 2023

COPIES: BOARD OF COMMISSIONERS, T. PETRUCCI, D. MANHARDT, L. HARRIER,

J. ZATOR, ESQ., J. ALDERFER, ESQ, S. PIDCOCK, A. TALLARIDA,

APPLICANT, FILE 2017-101

LOCATION AND INTENT:

An application to develop the properties located at 1802 North Cedar Crest Boulevard (the northwest corner of the Walbert Avenue/Cedar Crest Boulevard intersection). The plan proposes 5 apartment buildings containing a total of 6 units; 14 two-unit dwelling units (7 pairs of twins); the continuation of Yellowstone Road, Road M and its intersection with Cedar Crest Boulevard, and a portion of Road H; and Basins 3 and 4 and associated stormwater management facilities on a 13.2-acre portion of the 31.9644-acre tract. The property is zoned R-10 and TND-Residential Cluster Overlay District and is being developed as a TND-Residential Cluster Overlay. Kay Walbert LLC is the equitable owner and applicant.

PREVIOUS TOWNSHIP CONSIDERATION:

At their February 16, 2023, and August 18 and May 24, 2022 meetings, the Planning Commission reviewed and took under advisement Major Plan 2017-101 Ridge Farm Final Plan Phase 1B.

At their April 6, 2022 meeting, the Board of Commissioners, through Resolution 2022-48, approved Ridge Farm Final Plan Phase 1A.

At their November 3, 2021 meeting, the Board of Commissioners approved the preliminary plan for Major Plan 2017-101 Ridge Farm.

At their October 21, 2021 meeting, the Planning Commission reviewed and recommended conditional preliminary plan approval of Major Plan 2017-101 Ridge Farm to the Board of Commissioners.

At their September 16, June 17 and February 23, 2021 meetings, and at their September 30, August 24, July 16 and May 21, 2020 meetings, the Planning Commission reviewed and took under advisement Ridge Farm Preliminary Plan 2017-101.

The Board of Commissioners, on November 20, 2019, approved Conditional Use 2017-601 Ridge Farm subject to the applicant complying with the following conditions:

- 1. That the applicant addresses to the satisfaction of the Township Engineer, the comments of the Township Engineer, as contained in his review letters dated July 31, 2019 and September 13, 2019.
- That the applicant addresses to the satisfaction of the Township TND Design Consultant, the comments of Mr. Tom Comitta, as contained in his review letter dated July 11, 2019.
- 3. That the applicant addresses to the satisfaction of the Zoning Officer, the comments of Miss Laura Harrier, as contained in her review letter dated October 25, 2019, 2019.
- 4. That the applicant addresses to the satisfaction of PENNDOT, the preparation of a complete Traffic Impact Study consistent with the plan submitted and supporting the traffic conclusions presented by the developer's engineer, and the design, permitting, and construction of the improvements identified in the July 25, 2019 email from Rob Hoffman to Brian Boyer and of which Brian Boyer emailed his concurrence on July 31, 2019.
- 5. That the applicant design and construct the course of travel within the "Mobility Easement" to be an emergency access route between the residential area and the commercial village, with appropriate access control measures at either terminus, the design of which shall be reviewed and approved by the Township. Should a pedestrian and/or bicycle trail be put in place within the "Mobility Easement", rest areas for elderly or handicapped individuals along the easement shall be included, the design and construction of which shall be reviewed and approved by the Township. Further, the "Mobility Easement" shall be of sufficient size to allow a dedication of the "Mobility Easement" as a Township street of similar specifications as the one depicted on the Ridge Farm Sketch Plan last revised November 26, 2018, should the Township desire such a dedication in the future.

The Planning Commission reviewed the application at the following meetings: May 18, 2017; February 15, 2018; September 11, 2018; October 16, 2018; September 16, 2019; and October 30, 2019.

On August 6, 2014, the Board of Commissioners, through Ordinance 985, readopted the South Whitehall Township Zoning Ordinance and Map, which included new regulations for Traditional Neighborhood Development and designated a number of overlay districts within the Township for such developments. The tract includes a TND Residential Cluster Overlay District.

REVIEWING AGENCIES COMMENTS:

- A. <u>Township Engineer</u> The comments of the Township Engineer are contained in Mr. Anthony Tallarida's review dated April 12, 2023. Mr. Tallarida is not recommending engineering approval at this time. His comments pertain to relevant preliminary plan approval conditions, plan detail, accessibility, stormwater management, traffic, and outside agency approvals.
- **B.** <u>Township Water & Sewer Engineer</u> The comments of the Township Water and Sewer Engineer are contained in Mr. Jason Newhard's review dated April 10, 2023. His comments pertain to existing water lines and plan detail.
- **C.** <u>Township Geotechnical Consultant</u> The comments of the Geotechnical Consultant are contained in Mr. Chris Taylor's review dated March 30, 2023. His comments pertain to Infiltration Trench Calculations.
- **D.** <u>Township Lighting Consultant</u> The comments of the Lighting Consultant are contained in Mr. Corey Trumbower's review dated March 21, 2023. He reports that the plan is consistent with the Township Lighting Ordinance.
- E. <u>Township TND Consultant</u> The comments of the Township TND Consultant are contained in Mr. Thomas Comitta's review dated April 13, 2023. His comments pertain to architectural review, and plan detail.
- **F.** <u>Public Works Department</u> The comments of the Public Works Department are contained in Mr. Herb Bender's review dated February 3, 2023. His comments pertain to water line locations, water meter specifications, water valve location, apartment metering plan, apartment sprinkler requirements, and stormwater management facilities' ownership.
- **G.** <u>Public Safety Committee</u> —The Public Safety Commission reviewed the plan at its March 6, 2023 meeting and reported a safe space for a school bus stop should be reserved at the Yellowstone Road/Walbert Avenue intersection.
- **H.** <u>Landscape and Shade Tree Commission</u> The Landscape and Shade Tree Commission reviewed the plan at its July 25, 2022 meeting and reported that the plan is acceptable.
- **I.** Parks and Recreation Board –The Parks and Recreation Board reviewed the plan at its May 9, 2022 meeting and determined the following:
 - 1. That the applicant works with Township staff to set up a tour of the JERAS Barn for the Parks and Rec Board and applicable staff.
 - 2. That the Open Space proposed in the area of the apartment buildings need not be available to the Township for scheduling events due to its small size.
 - 3. That the plan is acceptable.
- J. <u>Lehigh Valley Planning Commission</u> The comments from the Lehigh Valley Planning Commission are applicable for the preliminary plan. No additional review is required for the final plan submission.

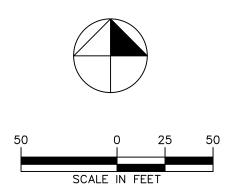
- **K.** <u>Pennsylvania Department of Transportation</u> PennDOT has issued Highway Occupancy Permits for Phase 1 A.
- **L.** <u>Pennsylvania Department of Environmental Protection</u> On January 27, 2022, PA DEP issued NPDES Permit PAC390159 for Phase 1.
- M. <u>Community Development Department</u> The Department's technical review is dated April 14, 2023 and provides comments pertaining to zoning, public safety-related comments, open space and recreation, MS4 requirements, and Official Map and Comprehensive Plan consistency.

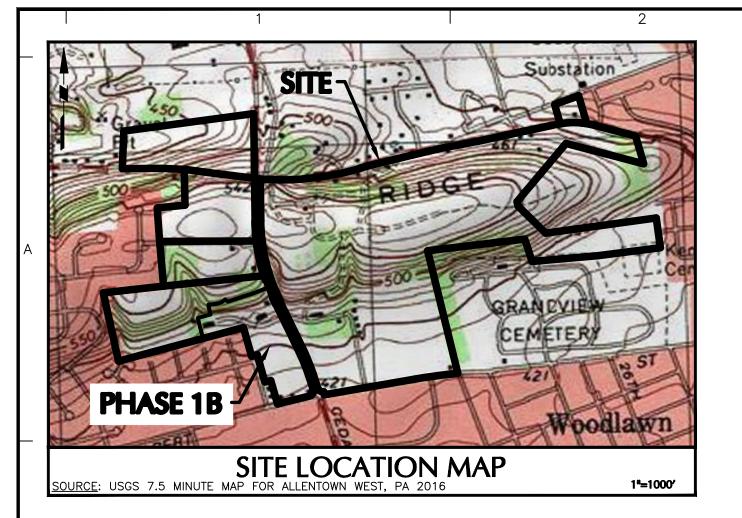
COMMUNITY DEVELOPMENT DEPARTMENT RECOMMENDATION:

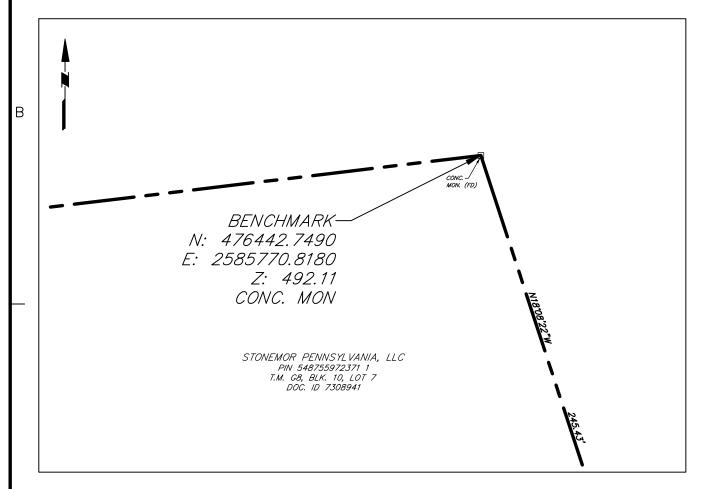
The Department recommends that the Planning Commission take the plan under advisement to afford the applicant the time necessary to address the reviewing agencies' comments. Our recommendation is contingent upon the applicant granting the Township a waiver from the timeframe in which to act upon the plan.

Planning Commission deadline date to act on the plan: May 31, 2023
Board of Commissioners deadline date to act on the plan: May 31, 2023









BENCHMARK INSET

LEGEND	EXISTING
PROPERTY BOUNDARY	
LOT LINE	
BUILDING SETBACK	
ULTIMATE RIGHT-OF-WAY	
LEGAL RIGHT-OF-WAY	
EASEMENT	
CURBING	DEPRESSED CURB
BUILDING	EXIST. BUILDING
UTILITY POLE	Ø ^{UP.}
OVERHEAD ELECTRIC	\O/E\
WATER MAIN & VALVE	\$ <u>₩. V.</u>
FIRE HYDRANT	· F.H.
WELL	EXIST. WELL
GAS MAIN & VALVE	5—⊗ <u>G. V.</u>
SANITARY LINE, MANHOLE, & CLEANOUT	EXIST. MH
STORM LINE, MANHOLE, & INLET	EXIST. MH EXIST. INLET
CHAIN-LINK FENCE	\X CHAIN-LINK FENCE X
POST/SPLIT RAIL FENCE	SOST/SPLIT RAIL FENCE
WOOD FENCE	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
SIGN	٥
DECIDUOUS TREE	6" MAPLE
EVERGREEN TREE	** 6" PINE
TREE ROW	
_	

____ ___ 590 ____ ___ x 590.53

E.O.P.

(TYP.)

	SOIL TYPES								
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP				
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D				
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D				
BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D				
BkD	Berks-Weikert complex, 15 to 25 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D				
BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D				
DbB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	В				
DfC	Duffield-Ryder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	В				
UmB	Urban land-Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	В				
WaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	В				
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	В				
WaC	Washington silt loam, 8 to 15 percent	N	60 to 99 in to lithic	More than 80 in	В				

OWNER/APPLICANT KAY WALBERT LLC. ATTN: RICHARD M. KOZE, JR. 5930 HAMILTON BLVD., SUITE 10 ALLENTOWN, PA 18106 610-395-6857

CONTOUR

WETLANDS

BITUMINOUS TYPICAL

FINISH FLOOR DOOR SILL

EXISTING SOIL GROUP

EXISTING SOIL GROUP NAME

SPOT ELEVATION

EDGE OF PAVEMENT

ENDWALL INV.: 456.87 TESTATES PLAN) SHED AND THE PROPERTY OF THE PLAN OF TH	MEDIUM DENSITY RESIDENTIAL IT IS REPORTED THAT THE EXISTING WATER LINE SERVICES THE EXISTING BUILDINGS ON SITE. CONTRACTOR TO VERIFY LOCATION OF EXISTING WATER SERVICES PRIOR TO CONSTRUCTION CHALMETTE ROAD CHALMETTE ROAD	W.V. 2458.9 W.V. 2458.9	PHASE 1B CRORS KAY WALBERT LLC FIN 549725350358 1 TAL BE BLK 8, 107 15 DOOL IN 7978560 DOOL IN 7978560 DOOL IN 7978560 DOOL IN 7978560 A30 428	DI-34 TIPPLE-LINE DESTINATION MALES OF THE PROPERTY OF THE PRO	770'40' R=700'40' R=1935.08' L=235.79' CHD=N2130'46'W 23604' WH-12 SLOW MOINING VEHICLES 48'48' WY-00': 425.42 NY-00': 425.42
S NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE PROFESSIONAL(S). D TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON PLANS ENTITLED ORATION/RIDGE FARMS PARTHERSHIP, SOUTH WHITEHALL TOWNSHIP, LEHIGH BY BARRY ISETT & ASSOCIATES, INC., DRAWING NUMBERS MSU-1 THROUGH 9/29/15, LAST REVISED 4/21/16. ATION DATUM IS FROM NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). IROL FROM THE 1984 SURVEY WAS ESTABLISHED USING VRS GNSS OBSERVATION ET GPS VRS NETWORK UTILIZING THE GEOID12A MODEL. E BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE GRID SOUTH ZONE. O DESCRIBED ON THIS PLAN IS LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD OTED ON THE JULY 16, 2004 FEMA FIRM MAPPING. 3.1-19-23 REVISED PER TOWNSHIP COMMENTS 2. 7-21-22 REVISED PER TOWNSHIP COMMENTS 1. Date Description No. REVISIONS	R-4 MEDIUM DE REGISTIRED REG	DONALD & LINNE MY PERSON PIN 548734183029 1 T.M. GSSW2, BLK. 4, LOT 1 DOC. ID 2009014562 IV. OUT. 425.62 IV. W.ET IV.: 419.66 OURET STRUCTURE IV.: 419.66 One West Broad Street, Suite 200, Bethlehem, PA 18018 T: 610.984.8500 F: 610.984.8501 www.langan.com Longan Engineering, Environmental, Surveying and Londscape Architecture, D.P.C. S.A. Longan Engineering, Environmental, Surveying and Londscape Architecture, D.P.C. Longan Engineering and Environmental Services, Inc. Longan International LLC	WELLING WELLING WELLING WELLING WELLING RESTRICT ON CONC. WALLBOX ORAVEL WALLBOX ORAVEL WALLBOX WALLB	BARN **423.5 CHO.=S622'30' W 178.67 GARAGE WUP, UP, UP, UP, UP, UP, UP, UP, UP, UP,	C: NOLET 100 NOT RASS 24 % 20 Re-55.00' L= 78.23 1 Re-55.00' L= 78.20' Re-55.00' Re-55.00' L= 78.20' Re-55.00' Re-55.00' Re-55.00' Re-56.00' Re-56

BENCHMARK
INSET

1"=1000′

KEY MAP

NOTE	<u>'S:</u>
1.	THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL UNDERSIGNED PROFESSIONAL(S).
2.	BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON PLANS "JERAS CORPORATION/RIDGE FARMS PARTNERSHIP, SOUTH WHITEHALL TOWNSHIP, COUNTY, PA." BY BARRY ISETT & ASSOCIATES, INC., DRAWING NUMBERS MSU-1 SU-48, DATED 9/29/15, LAST REVISED 4/21/16.
3.	CONTOUR ELEVATION DATUM IS FROM NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV
4.	VERTICAL CONTROL FROM THE 1984 SURVEY WAS ESTABLISHED USING VRS GNSS OBSION THE KEYNET GPS VRS NETWORK UTILIZING THE GEOID12A MODEL.

5. PROPERTY LINE BEAL

6. THE PROPERTY DESC HAZARD, AS NOTED (

LEGEND EXISTING CURB LINE EXISTING MONUMENT ROPOSED CONTOUR EXISTING PROPERTY LINE XISTING SPOT ELEVATION $\times 360.3$ OPOSED SPOT ELEVATION × 360.3 PROPOSED BUILDING LIN PROPERTY LINE PROPOSED LOT LINE (WITH PIN MARKER) — — — — — — PROPOSED LOT LINE UudB (WITH CONCRETE REFERENCE MONUMENTS) ~~~~ BUILDING SETBACK LINE PROPOSED UTILITY EASEMENT STORMWATER BMP AREA CONCRETE SIDEWALK BETANDERS FRANKS FRANKLISTER • RETAINING WALI BASIN LIMITS ACCESSIBLE ROUTE ••••••

_____UFM____

EXISTING SANITARY SEWER MANHOLE

HOP SIGN LEGEND (BY OTHERS)

EXISTING FIRE HYDRAN

EXISTING CATCH BASIN

EXISTING WATER VALVE

EXISTING ELECTRIC POLE

EXISTING MANHOLE

 \bullet (A) STOP (R1-1, 30"X30")

B ALL TRAFFIC MUST TURN RIGHT (R3-7-1R, 30"X30")

(E) KEEP RIGHT (R4−7, 24"X30")

 $\P(F)$ DO NOT ENTER (R5-1, 30"X30")

(G) RIGHT TURN (R3-5R, 30"X36")

• (I) LEFT TURN (R3-5L, 30"X36")

(R7-203-1, 18"x24")

(H) STRAIGHT-THROUGH (R3-5A, 30"X36")

(J) SNOW EMERGENCY ROUTE NO PARKING

(C) OBJECT MARKER (OM1-3, 18"X18")

(D) CENTER LANE ONLY (R3-9B, 24"X36")

PROPOSED WATER MAIN ----UW-----PROPOSED GAS MAIN _____G ____ PROPOSED TELEPHONE AND ELECTRIC -----T&E-----PROPOSED FIRE HYDRANT $| \bullet | \langle 1 \rangle$ STOP (R1-1, 30"X30") ACCESSIBLE PARKING (R7-8, 12"X18")

EXISTING STORM SEWER

PROPOSED STORM SEWER

PROPOSED SANITARY SEWER

PROPOSED SANITARY SEWER FORCE MAIN

EXISTING WATER MAIN

RESERVED PARKING PENALTIES SIGN (R7-8F, 12"X18'

■ (3) STREET SIGN (D3-1, VAR. X 8") ● 〈4〉 SPEED LIMIT (R2-1, 24"X30") PEDESTRIAN CROSSING (W11-2, 30"X30") ARROW PLAQUE (W16-7P, 24"X12")

● ⟨8⟩ NO PARKING (R7-1, 12"X18")

■ 8A NO PARKING HERE TO CORNER (R7-11, 12"X18") ■ (8B) NO PARKING THIS SIDE OF STREET (R7-13, 12"X18")

• ③ NO OUTLET (W14-2, 30"X30") NO LEFT TURN (R3-2, 24"X24")
TRUCK LENGTH 55' (R3-102P, 24"X24")

MAIL PICK-UP ONLY (CUSTOM, 12"X18") ACCESSIBLE PARKING (R7-8, 12"X18") ∜9> VAN ACCESSIBLE SIGN (R7−8P, 12"X6") RESERVED PARKING PENALTIES SIGN (R7-8F, 12"X18")

DEED RESTRICTION NOTES:

THE APPLICANT SHALL RESTRICT, BY DEED RESTRICTION OR SIMILAR INSTRUMENT APPROVED BY THE TOWNSHIP SOLICITOR'S OFFICE, THE PROPERTY UNDER THE REMAINING UNCONSTRUCTED PHASES (OR UNCONSTRUCTED SUB-PHASES WITHIN THE PHASE IN WHICH ACTIVE CONSTRUCTION IS APPROVED) TO REMAIN OPEN SPACE IN PERPETUITY, TO BE MAINTAINED BY THE HOA, UNTIL SUCH TIME THAT THE FINAL PLAN FOR THE PARTICULAR PHASE OR SUB-PHASE IS RECORDED NO FINAL PLAN SHALL BE PERMITTED TO BE RECORDED IF SAID FINAL PLAN WILL CAUSE THE PORTION OF THE RIDGE FARM TRACT PROPOSED TO BE DEVELOPED UNDER THE TND RESIDENTIAL CLUSTER OVERLAY AS A WHOLE TO NO LONGER COMPLY WITH THE TND RESIDENTIAL CLUSTER OVERLAY DISTRICT REGULATIONS.

EHIGH VALLEY PLANNING COMMISSION (LVPC) ACT 167 CONSISTENCY. APPROVED DECEMBER 3, 2021 2. ATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. APPROVED DECEMBER 8, 2021 3. "SOUTH WHITEHALL TOWNSHIP AUTHORITY" APPROVAL OF WATER MAIN AND SANITARY SEWER EXTENSION. **APPROVED NOVEMBER 3, 2021** 4. EROSION AND SEDIMENT CONTROL PERMIT FROM LEHIGH COUNTY CONSERVATION DISTRICT.

5. SEWAGE PLANNING MODULE APPROVAL. **APPROVED APRIL 15, 2022** 6. PADEP WATER QUALITY MANAGEMENT GENERAL PERMIT FOR SEWER EXTENSIONS AND PUMP STATIONS (WQG-02) PERMIT FOR THE LOW PRESSURE SEWER SYSTEM

7. LEHGH AND NORTHAMPTON TRANSPORTATION AUTHORITY (LANTA) 8. HIGHWAY OCCUPANCY PERMIT FROM PennDOT

RIGHT-OF-WAY AREAS SHOWN ARE EXCLUDED FROM THIS CERTIFICATION.

APPROVED JANUARY 27, 2022

SURVEYOR CERTIFICATION: , TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E), HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY TO BE CORRECT IN ALL ITS DETAILS AND THAT THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON NOVEMBER 19, 2021, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST AS SHOWN, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT. THE REQUIRED AND PROPOSED

PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

SURVEYOR CERTIFICATION: I, SHAUN F. HIGGINS, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-051088-E), HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION TO BE CORRECT IN ALL ITS DETAILS.

SHAUN F. HIGGINS PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-051088-E

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON __

I HEREBY CERTIFY THE PLAN TO BE CORRECT IN ALL ITS DETAILS AND THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND ZONING ORDINANCE.

JASON S. ENGELHARDT PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

RECORDING INFORMATION RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, LEHIGH COUNTY, PENNSYLVANIA IN

INSTRUMENT No. ______, 20_____,

THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).

PHASE 1B SUBJECT PROPERTY CONSISTS OF TAX PARCEL IDENTIFICATION NUMBER 548725550358 1. THE OVERALL RIDGE FARM PROJECT CONSISTS TAX PARCEL IDENTIFICATION NUMBERS; 548727343134 1, 548726571146 1, 548725550358 1, 548737014729 1, 548746422139 548767273685 1, 548767544734 1, 548757625489-1, 548727303984-1, 548726323076-1, 548726413932-1. BOUNDARY SHOWN IS FROM A FIELD SURVEY BY BARRY ISETT AND ASSOCIATES, DATED AUGUST 2, 2017, LAST REVISED JANUARY 9, 2018, CONTOUR LINES SHOWN ARE FROM A SURVEY, FLOWN ON APRIL 12, 2014, BY ARRO-METRIC, AND DRAWINGS DATED JUNE 13, 2014 AND HORIZONTAL DATUM IS BASED ON THE SURVEY PLAN SET PREPARED BY BARRY ISETT, NAMED "SURVEY PLAN", DATED 09/25/15, LAST REVISED NO CERTIFICATION IS MADE BY THE UNDERSIGNED AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS

8. IT IS IMPERATIVE THAT UTILITY COMPANIES BE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-242-1776 TO ORDER CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE ISTRUCTION OF ANY SPECIFIC SITEWORK ITEM IF ANY SPECIFIC SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL INFORMATION REQUIRED FOR CONSTRUCT**I**ON AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHAL BE RESPONSIBLE FOR SPECIFIC SITE WORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND ADDRESSING WRITTEN REQUESTS FOR INFORMATION. E SUBJECT PROPERTIES LIE WITHIN A ZONE X - OTHER AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; ON THE FLOOD INSURANCE RATE MAPS IDENTIFIED AS COMMUNITY PANE NO. 231 OF 340, EFFECTIVE REVISION DATE JULY 16, 2004 AND MAP NUMBER 42077C0231 F AND COMMUNITY PANEL NO. 232 OF 340, EFFECTIVE REVISION DATE JULY 16, 2004 AND MAP NUMBER 42077C0232 F THESE PLANS ARE IN CONFORMANCE WITH THE SOUTH WHITEHALL TOWNSHIP SURDIVISION AND LAND DEVELOPMENT ORDINANCE STORM WATER MANAGEMENT ORDINANCE AND ZONING ORDINANCE, UNLESS A WAIVER OR VARIANCE HAS BEEN GRANTED AS NOTED HERON. MONUMENTS SHALL BE PLACED AT PROPOSED LOCATIONS ON THE PLANS LOT PINS SHALL BE PLACED AT BEGINNING AND ENDING OF ALL CURVES, INTERSECTIONS, CHANGES IN DIRECTION OF ALL LOT LINES AND AT LOT CORNERS, WHERE CONCRETE MONUMENTS ARE REQUIRED AT SUCH LOCATIONS, NO LOT PINS SHALL BE SET ASE REFER TO OPEN SPACE PLAN SHEET CS-300 FOR OWNERSHIP INFORMATION (RIDGE FARMS OVERALL PROJECT LAND DEVELOPMENT

PLAN SET, LAST REVISED 9/23/21). TER MANAGEMENT FACILITIES WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION EXCEPT FOR FACILITIES WITHIN PUBLIC RIGHT-OF-WAYS WHICH WILL BE OWNED AND MAINTAINED BY SOUTH WHITEHALL TOWNSHIP STORMWATER MANAGEMENT FACILITIES ARE A PERMANENT PART OF THE DEVELOPMENT AND SHALL NOT BE REMOVED, ALTERED, OR MODIFIED WITHOUT PRIOR APPROVAL FROM SOUTH WHITEHALL TOWNSHIP. NO REGULATED EARTH DISTURBANCE ACTIVITY WITHIN THE TOWNSHIP SHALL COMMENCE UNTIL APPROVAL OF THE BMP OPERATIONS AND MAINTENANCE PLAN WHICH DESCRIBES HOW THE PERMANENT STORMWATER BMPS WILL BE PROPERLY OPERATED AND MAINTAINED. THIS PLAN NEEDS TO BE RECORDED BY THE OWNER OF THE LAND UPON WHICH THE BMP IS LOCATED. ALL UTILITIES TO SERVE THE SUBDIVISION SHALL BE PLACED UNDERGROUND.

LOTS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER. THE PROPOSED WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP AUTHORITY'S STANDARD WATER DISTRIBUTION SYSTEM SPECIFICATIONS AND DETAILS, CURRENT EDITION, AS WELL AS THE PA DEP REGULATIONS AND AWWA ALL SANITARY SEWERS NOT TO BE DEDICATED TO THE TOWNSHIP INCLUDING BUT NOT LIMITED TO LATERAL CONNECTIONS. SHALL CONFORM O THE PLUMBING CODE CURRENTLY IN EFFECT IN THE TOWNSHIP AT THE TIME OF CONSTRUCTION STORMWATER INTERCONNECTIONS WITH THE SANITARY SEWER SYSTEM SHALL NOT BE PERMITTED SANITARY SEWER EASEMENTS ARE TO BE PROVIDED IN THE NAME OF SOUTH WHITEHALL TOWNSHIP AND SHALL REMAIN LEVEL AND FREE OF FENCES, TREES, SHRUBS, AND OTHER OBSTRUCTIONS ALL SANITARY SEWERS TO BE DEDICATED TO SWTA SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHII STANDARDS FOR IMPROVEMENTS CONSTRUCTION AND D.E.P. REQUIREMENTS RESPECT TO ANY LAND OF A SUBDIVISION OR LAND DEVELOPMENT TO BE CONVEYED OR GRANTED BY DEED OF DEDICATION OR DEED OF

OR RIGHTS OF WAY OF ANY KIND, INCLUDING THOSE REQUIRED BY PUBLIC OR PRIVATE UTILITIES, SHALL BE GRANTED BY THE LAND OWNER OR APPLICANT TO ANY PERSON OR ENTITY OTHER THAN SOUTH WHITEHALL TOWNSHIP. ANY GRANTS OF EASEMENTS OR OTHER RIGHTS OF LAND DR ANY MODIFICATIONS TO THE QUALITY OF TITLE OF THE LAND MADE SUBSEQUENT TO THE BOARD COMMISSIONERS' APPROVAL OF SUCH ELIMINARY PLAN SHALL BE NULL AND VOID THE TOWNSHIP ENGINEER MAY REQUIRE INDIVIDUAL ON-LOT GRADING PLANS AT BUILDING PERMIT STAGE. ACTUAL UNIT WILL BE INCLUDED ON PLOT PLAN FOR BUILDING PERMIT.

FASEMENT TO SOUTH WHITEHAU TOWNSHIP FOR ANY DETENTION POND, OR FOR ANY RECREATION OR OPEN SPACE AREAS, NO FASEMENTS

A BLANKET EASEMENT FOR MUNICIPAL STORMWATER INSPECTION AND MAINTENANCE SHALL BE PROVIDED ACROSS THE ENTIRE OPEN SPACE 29. ALL ZONING DISTRICT BOUNDARIES ARE APPROXIMATE AND BASED ON SOUTH WHITEHALL TOWNSHIPS ZONING MAP LAST REVISED JUNE 20, 30. ALL CURB RAMPS SHALL MEET CURRENT PENNDOT STANDARD

LL CURB RAMPS REQUIRE BRICK RED DETECTABLE WARNING SURFACE WHEN INSTALLED. PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY. PERMITS MUST BE OBTAINED FROM SOUTH WHITEHALL TOWNSHIP OR PENNDOT BY SUBMISSION OF THESE PLANS THE ENGINEER ON RECORD CERTIFIES THAT THESE PLANS ARE IN CONFORMANCE WITH SOUTH WHITEHALL NSHIP STORM WATER MANAGEMENT ORDINANCE. 34. PLEASE REFER TO THE RIDGE FARMS DEVELOPMENT ROAD/ALLEY OWNERSHIP TABLE ON SHEET CS-100 FOR ROADWAY OWNERSHIP INFORMATION. (RIDGE FARMS OVERALL PROJECT LAND DEVELOPMENT PLAN SET, LAST REVISED 9/23/2 35. THE BUILDING FOOTPRINTS SHOWN ON THESE PLANS ARE FOR PLANNING PURPOSES AND WILL BE MODIFIED IN THE PLOT PLAN PHASE PRIOR 36. A BLANKET STORMWATER CONVEYANCE EASEMENT IS PROPOSED OVER THE SUBJECT PROPERTY TO BENEFIT THE HOMEC ASSOCIATION FOR MAINTENANCE PURPOSES. THIS BLANKET EASEMENT IS ALSO IN PLACE TO PROVIDE SOUTH WHITEHALL TOWNSHIP TH RIGHT TO INSPECT AND MAINTAIN THE STORMWATER CONVEYANCE SYSTEM IF THE HOMEOWNERS ASSOCIATION FAILS TO PROPERLY

RETAINING WALL FENCING TYPE AND MATERIAL SHALL BE COORDINATED WITH RETAINING WALL MANUFACTURER. SEE SHEET CS-100 FOR ROADWAY OWNERSHIP/DEDICATION TABLE. (RIDGE FARMS OVERALL PROJECT LAND DEVELOPMENT PLAN SET, LAST 40. THE DESIGN AND DETAILS (INCLUDING CALCULATIONS AND WALL PROFILES) OF THE RETAINING WALLS, CERTIFIED BY AN ENGINEER experienced in the design of retaining walls and licensed in the state of Pennsylvania, shall be submitted to the TOWNSHIP FOR REVIEW AND APPROVAL, BUILDING PERMITS, AS APPLICABLE, SHALL BE OBTAINED PRIOR TO WALL CONSTRUCTION, THE LOCATION OF THE EXISTING UTILITIES HAVE NOT BEEN REVIEWED BY THE PIDCOCK COMPANY, THE TOWNSHIP, OR THE SPOTTS.

STEVENS AND MCCOY COMPANY, IT IS ACKNOWLEDGED THAT SIGNIFICANT EFFORTS TO RESOLVE UTILITY CONFLICTS, INCLUDING BUT

NOT NECESSARILY LIMITED TO REDESIGN, CONSTRUCTION DELAYS, UTILITY RELOCATIONS, ETC., MAY RESULT IF CONFLICTS WITH

VAIVERS GRANTED BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TOWNSHIP ON NOVEMBER 3, 2021:

EXISTING UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION.

THE REQUIREMENT OF SECTION 312-35(A)(6)(E)(I) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE TO REQUIRE THE CENTERLINE OF AN INTERSECTING STREET BE OFFSET A MINIMUM DISTANCE OF EIGHT-HUNDRED (800) FEET IF THE STREET BEING INTERSECTED (STREET "B" IN THE DIAGRAM) IS AN ARTERIAL STREET, WITH REGARD TO THE RIGHT-IN/RIGHT-OUT DRIVEWAY ONTO WALBERT AVENUE. IS HEREBY WAIVED

PERTAINING TO THE REQUIREMENT THAT GRADING BE DONE TO A MAXIMUM SLOPE OF ONE (1) FOOT VERTICAL TO THREE (3)

FEET HORIZONTAL IN AREAS OF EARTH EXCAVATION OR EARTH FILL IS HEREBY WAIVED ON THE CONDITION THAT THE TOWNSHIP

THE REQUIREMENT OF SECTION 312-35(b)(3)(A)(viii)(1)(B)(ii) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

GEOTECHNICAL CONSULTANT REVIEW AND APPROVE THE PLAN AND THAT ADDITIONAL PLANTINGS BE PLACED ON THE SLOPED AREA FOR THE PURPOSES OF SAFETY. THE REQUIREMENT OF SECTION 312-35(B)(3)(B)(I) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO THE REQUIREMENT FOR ARTERIAL STREETS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ARTERIAL STREET CROSS SECTION WITHIN THE TOWNSHIP STANDARD CONSTRUCTION DOCUMENTS (LATEST REVISION) WITH REGARD TO HUCKLEBERRY ROAD WEST OF CEDAR CREST BOULEVARD *IS HEREBY DEFERRED* IN FAVOR OF THE IMPROVEMENTS SHOWN ON THE LANGAN ENGINEERING PLAN SET ENTITLED "RIDGE FARM" DATED AND LAST REVISED MARCH 18, 2020, SUBJECT TO THE APPLICANT DEDICATING A FORTY (40) FOOT HAI F- WIDTH RIGHT-OF-WAY ALONG THE FRONTAGE OF THEIR PROPERTIES FRONTING HUCKLEBERRY ROAD AS PRESENTED. CONSTRUCTING A FORTY (40) FOOT CARTWAY AS PRESENTED. INSTALLING CURRING AS PRESENTED, INSTALLING SIDEWALK AND STREET TREES ALONG THE NORTHERN RIGHT-OF-WAY OF HUCKLEBERRY ROAD AS PRESENTED (THE SIDEWALK TO BE INSTALLED PER THE ARTERIAL STREET CROSS SECTION), INSTALLING STREET TREES ALONG THE SOUTHERN RIGHT-OF-WAY OF HUCKLEBERRY ROAD AS PRESENTED, AND INSTALLING SIDEWALK ALONG THE SOUTHERN RIGHT-OF-WAY OF HUCKLEBERRY ROAD BETWEEN CEDAR CREST BOULEVARD AND ROAD I PER THE ARTERIAL STREET CROSS

THE REQUIREMENT OF SECTION 312-39(D)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AS IT PERTAINS TO THE REQUIREMENT TO PROVIDE A MINIMUM 2 PERCENT SLOPE ACROSS THE BASIN FLOOR BE WAIVED FOR ALL BASINS PROPOSED WITHIN THE PROJECT TO ALLOW A ZERO PERCENT SLOPE ACROSS THE BASIN FLOOR *IS HEREBY WAIVED* ON THE CONDITION THAT THE TOWNSHIP GEOTECHNICAL ENGINEER REVIEW AND APPROVE THE PLAN. THE REQUIREMENT OF SECTION 312-39(D)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AS IT PERTAINS TO THE REQUIREMENT TO PROVIDE A MAXIMUM 4-FOOT HORIZONTAL TO 1-FOOT VERTICAL SLOPE SIDE WALL *IS HEREBY WAIVED* FOR ALL BASINS PROPOSED WITHIN THE PROJECT, EXCEPT FOR BASINS #4 AND #6, TO ALLOW A 3-FOOT HORIZONTAL TO 1-FOOT VERTICAL SLOPE SIDE WALL, ON THE CONDITION THAT THE BASIN DESIGNS BE REVIEWED AND APPROVED BY THE TOWNSHIP

THE REQUIREMENT OF SECTION 312-39(D)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AS IT PERTAINS TO THE REQUIREMENT FOR SHALLOW WATER DEPTHS (LESS THAN 30") FOR BASINS 1A, 1B, 2, 3, 4, 5, 6, 7A, 8, 9, AND 10, IS HEREBY WAIVED ON THE CONDITION THAT THE ABOVE-NOTED PONDS DEWATER TO A DEPTH NOT EXCEEDING 30" WITHIN 24 HOURS AFTER THE END OF THE RAIN EVENT FOR A 100-YEAR STORM, AND THAT SIX-FOOT ANTI-CLIMB FENCING BE PROVIDED. THE REQUIREMENT OF SECTION 312-35(A)(6)(E)(I) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE TO REQUIRE THE CENTERLINE OF AN INTERSECTING STREET BE OFFSET A MINIMUM DISTANCE OF EIGHT-HUNDRED (800) FEET IF THE STREET BEING INTERSECTED (STREET "B" IN THE DIAGRAM) IS AN ARTERIAL STREET, WITH REGARD THE ROAD I/HUCKLEBERRY ROAD INTERSECTION. IS HEREBY WAIVED

THE REQUIREMENT OF SECTION 312-35(B)(2)(B)(III) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO THE REQUIREMENT FOR CUL-DE-SAC STREETS HAVE A MINIMUM LENGTH OF 250 FEET (SUBJECT TO PENNDOT'S RECOMMENDATION TO QUALIFY FOR LIQUID FUELS REIMBURSEMENT) WITH REGARD TO THE EASTERN ROAD J CUL-DE-SAC AND THE EASTERN ROAD H CUL-DE-SAC IS HEREBY WAIVED. THE REQUIREMENT OF SECTION 312-35(B)(3)(A)(V) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO

THE REQUIREMENT FOR HORIZONTAL CURVES TO MAINTAIN A MINIMUM CENTERLINE RADIUS OF ONE HUNDRED FIFTY (150) FEET AND A MINIMUM TANGENT OF ONE HUNDRED (100) FEET BETWEEN REVERSE CURVES AND BETWEEN A CURVE AND A STREET INTERSECTION, WITH REGARD TO THE TWO CURVES ON ROAD I, IS HEREBY WAIVED TO PERMIT A MINIMUM CENTERLINE RADIUS OF A LOCAL STREET OF 100 FEET AND A MINIMUM TANGENT BETWEEN A CURVE AND STREET INTERSECTION OF 77 FEET (AS SHOWN ON THE PLAN) ON THE CONDITION THAT THE SPEED LIMIT IN THE AREA OF THE CURVES BE LOWERED TO 15 M.P.H.

THE REQUIREMENT OF SECTION 312-36(C)(4)(B)(III) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE REQUIRING THAT A 150-FOOT SEPARATION DISTANCE BETWEEN A NON-RESIDENTIAL DRIVEWAY AND A STREET INTERSECTION CONTAINING ONLY LOCAL STREETS. WITH REGARD TO THE JERAS OFFICE/BARN BUILDING DRIVEWAY. IS HEREBY WAIVED ON THE CONDITION THAT THE PLAN BE REVISED TO SHOW THE DRIVEWAY ENTERING ONTO ROAD H NO LESS THAN 105 FEET FROM THE INTERSECTION OF

__ MY COMMISSION EXPIRES: _____

_____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TOWNSHIP

ROAD H AND YELLOWSTONE ROAD.

_____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER,

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/

OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND

I. THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY

THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL

ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE

OWNERS CERTIFICATE:

KAY WALBERT LLC

RICHARD M. KOZE, JR. (MANAGING MEMBER)

(NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:

RICHARD M. KOZE, JR. (MANAGING MEMBER)

RECOMMENDED FOR APPROVAL _____

KAY WALBERT LLC

DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:

(MONTH DAY YEAR)

LEHIGH VALLEY PLANNING COMMISSION:

PLANNER

BY LEHIGH VALLEY PLANNING COMMISSION.

REVIEWED;

(MONTH DAY YEAR)

DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

BUILDING PERMITS ARE REQUIRED BY THE PAUCC, SECTION 403.21.IIIM FOR WALLS GREATER THAN 4 FEET IN HEIGHT. THE DETAILS OF THE PROPOSED VEHICLE GUIDE RAIL AND SUPPORTING FOUNDATION SHOULD COMPLY WITH THE DESIGN, DIMENSIONAL, AND LOADING REQUIREMENTS OF 2009 INTERNATIONAL BUILDING CODE (2009 IBC) SECTION 1607.7.3. CALCULATIONS AND SHOP DRAWINGS PREPARED BY THE RETAINING WALL MANUFACTURER'S ENGINEER TO SHOW COMPLIANCE WITH REQUIRED DESIGN STANDARDS. THE CALCULATIONS AND SHOP DRAWINGS SUBMITTED MUST BE SIGNED AND SEALED BY THE ENGINEER RESPONSIBLE FOR THEIR PREPARATION AND MUST BE ANNOTATED BY THE DEVELOPER'S ENGINEER TO INDICATE THAT THEY HAVE "APPROVED" THE CALCULATIONS AND SHOP DRAWINGS AS BEING IN COMPLIANCE WITH THE PROJECT DESIGN INTENT AND THE TOWNSHIP STANDARDS. THE CALCULATIONS SHOULD INCLUDE CONSIDERATION OF SURCHARGE PRESSURE RESULTING FROM VEHICLES, FOUNDATIONS OF RETAINING WALLS ABOVE THE WALL IN QUESTION, AND FROM BUILDING FOUNDATIONS (AS APPLICABLE A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 508.6 OF THE PA MUNICIPALITIES PLANNING CODE, KNOWN AS THE

THE APPLICANT IS RESPONSIBLE FOR JOINING THE PA ONE CALL SYSTEM AND IS RESPONSIBLE FOR THE MARKING OF ALL

"STATE HIGHWAY LAW." BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.

42 WITHIN THE TND PORTION OF THE SITE SIDEWALKS WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER OR THE HOMEOWNERS

RIGHTS TO MAINTAIN SIDEWALKS AS NECESSAR'S

SSOCIATION (HOA). A BLANKET EASEMENT SHALL BE PROPOSED OVER THE SIDEWALKS ALLOWING THE PROPERTY OWNER OF THE HOA

GROUND UTILITIES PRIOR TO THE UTILITIES BEING FORMALLY ACCEPTED BY AND DEDICATED TO THE TOWNSHIP. REFER TO THE FOLLOWING GEOLOGIC AND SOILS REPORTS ASSOCIATED WITH THE PROJECT THAT EVALUATE THE PRESENCE/ABSENCI F GROUND FEATURES. REPORT TITLED "INFILTRATION TEST & SITE INVESTIGATION REPORT FOR: KAY RIDGE, LLC. RIDGE FARMS" BY ι ROCKWOOD & ASSOCIATES, INC. DATED MARCH 13, 2020. "SUPPLEMENTAL INFILTRATION & SITE INVESTIGATION REPORT FOR: KAY RIDGE. .C. RIDGE FARMS" BY J. ROCKWOOD & ASSOCIATES, INC. DATED JANUARY 15, 2021. SIGHT DISTANCE EASEMENTS SHALL BE PLACED OVER LOTS WHERE SIGHT DISTANCE TRIANGLES EXTEND OVER PRIVATE LOTS. THE SHALL BE NO OBSTRUCTION OF VISION BETWEEN A HEIGHT OF TWO FEET AND 10 FEET ABOVE THE CENTER LINE GRADE OF THE STREET WITHIN THE SIGHT DISTANCE EASEMENTS. AREAS WITHIN THESE EASEMENTS SHALL BE GRADED AS NECESSARY AND KEPT CLEAR OF ANY BUILDINGS, PLANTINGS, OR OTHER OBSTRUCTIONS, WITH THE EXCEPTION OF ITEMS REQUIRED BY A GOVERNMENTAL OR QUASI-GOVERNMENTAL ENTITY OR PUBLIC UTILITY, SUCH AS, BUT NOT LIMITED TO, TRAFFIC SIGNAGE, UTILITY POLES, ETC. HIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFE AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND NANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS. SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTH SSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND. HAVE NOT BEEN INVESTIGATED OR REVIEWED BY TH ISHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESEN

THESE ISSUES. WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS. COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S OPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AN ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICA MPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND CATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF rd whose seal appears on this plan, and have not been independently confirmed or verified by the township, th INSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR. (A) TOTAL ACREAGE OF TRACT = 53.1700 AC. (CONSOLIDATED LOT CONTAINING PHASE 1B)

(C) LINEAR FEET OF NEW STREETS = 2,778 LF (INCLUDES 1,207 LF OF PROPOSED ALLEYS) (D) TYPE OF WATER SYSTEM = PUBLIC WATER TYPE OF SEWAGE DISPOSAL SYSTEM = PUBLIC SEWER ZONING DISTRICT AND DIMENSIONAL REQUIREMENTS COMPARED TO PROPOSED = SEE SUPPLEMENTAL PLAN SHEET GF003 (G) NONRESIDENTIAL LOT TW-EX-1W AND PARCEL INTENDED LISE - TO BE DETERMINED PARCEL IDENTIFICATION NUMBER FROM COUNTY RECORDS = 548725550358 1, 548727303984 1, 548726571146 1, 548726323076 1 548726730450 1 548726413932 1 (PARCELS TO BE CONSOLIDATED AS PART OF PHASE 1A OF THE PROJECT) (G) ALL SITE INFORMATION THAT IS REQUIRED UNDER ZONING ORDINANCE = SEE SUPPLEMENTAL PLAN SHEET GI-003 A BLANKET EASEMENT WILL BE PROVIDED FOR ALL STREET TREES. STREET TREES WILL BE MAINTAINED BY THE PROPERTY OWNER OR

TOTAL ACREAGE OF PHASE 1A 13.8 AC.
(B) NUMBER OF LOTS PROPOSED = 17 LOTS (FOR LOT AREAS SEE SHEETS CB-101 THROUGH CB-103)

TOWNSHIP HAS THE RIGHT TO ENFORCE THE SPEED LIMIT ON ALL PRIVATE ROADS WHICH ARE TO BE MAINTAINED BY THE HOA. REFER TO THE FOLLOWING GEOLOGIC AND SOILS REPORTS ASSOCIATED WITH THE PROJECT THAT EVALUATE THE PRESENCE/ABSENCE (GROUND FEATURES. REPORT TITLED "INFILTRATION TEST & SITE INVESTIGATION REPORT FOR: KAY RIDGE, LLC. RIDGE FARMS" BY J. ROCKWOOD & ASSOCIATES, INC. DATED MARCH 13, 2020. "SUPPLEMENTAL INFILTRATION & SITE INVESTIGATION REPORT FOR: KAY RIDGE, LLC. RIDGE FARMS' BY J. ROCKWOOD & ASSOCIATES, INC. DATED JANUARY 15, 2021.
ALL ONSITE STORMWATER MANAGEMENT FACILITIES, STORM DRAINAGE FACILITIES, STORMWATER BMP'S AND BASINS ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. THE LIMITS OF PUBLIC/PRIVATE OWNERSHIP ARE THE TOWNSHIP AND/OR PENNDOT RIGHT OF WAY ALONG NORTH CEDAR CREST BOULEVARD AND WALBERT AVENUE (S.R. 1006). THE HOMEOWNER'S ASSOCIATION OWNS AND MAINTAINS THE PIPE FROM THE SITE LIP TO THE FIRST STRUCTURE IN THE PENNDOT RIGHT OF WAY NOTWITHSTANDING ANY PROVISIONS OF THE TOWNSHIP STORMWATER MANAGEMENT PLAN, INCLUDING EXEMPTION AND WAIVER

TO HEALTH. SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REQUIRED TO MANAGE THE RATE VOLUME, DIRECTION AND QUALITY OF RESULTING STORMWATER RUNOFF IN A MANNER WHICH OTHERWISE ADEQUATELY PROTECTS HEALTH AND PROPERTY FROM INJURY AND DAMAGE. MUNICIPALITY REVIEW AND APPROVAL OF THE DRAINAGE PLAN, OR THE SUBSEQUENT OBSERVATION AND APPROVAL OF STORMWATER MANAGEMENT FACILITIES. SHALL NOT CONSTITUTE LAND DEVELOPMENT ON BEHALF OF OR BY THE MUNICIPALITY OR OTHERWISE CAUSE THE MUNICIPALITY TO BE ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND. BY SUBMITTING AN APPLICATION UNDER THE WNSHIP STORMWATER MANAGEMENT PLAN, THE DEVELOPER HEREBY AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE MUNICIPALITY AND ALL ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DEMANDS, CAUSES OF ACTION OR SUITS WHICH ARISE OUT OF OR RELATE TO THE REVIEW, APPROVAL, CONSTRUCTION OR OBSERVATION OF THE DEVELOPER'S DRAINAGE PLAN AND STORMWATER MANAGEMENT FACILITIES.
THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF, TOWNSHIP ENGINEER, AND TOWNSHIP SOLICITOR FOR CONSISTENCY ONLY WITH OWNSHIP REGULATIONS AND ORDINANCES RELATING TO DESIGN REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT FACILITIES

(SPECIFICALLY STORMWATER BEST MANAGEMENT PRACTICES AND ON-SITE STORMWATER COLLECTION AND CONVEYANCE FACILITIES). ANY ANGES TO OFF-SITE RUNOFE RESULTING FROM THIS DEVELOPMENT INCLUDING. BUT NOT LIMITED TO CHANGES IN ACT 167 WATERSHED AND SUBAREA BOUNDARIES, POST-DEVELOPMENT RATES AND/OR VOLUMES OF RUNOFF, AND ON-SITE OR OFF-SITE IMPROVEMENTS WHICH MAY AFFECT FLOW RATES AND VOLUMES WITHIN THE WATERSHED. ARE REGIONAL MATTERS NOT REVIEWED BY THE TOWNSHIP STAFF AND SULTANTS AND ARE FOR REVIEW AND APPROVAL BY THE LVPC. SIMILARLY, THE TOWNSHIP STAFF AND CONSULTANTS HAVE NO REVIEWED FACILITIES WITHIN AND RELATED TO THE STATE HIGHWAYS AND PROPERTY AND WILL RELY ON PENNDOT'S REVIEW OF TH ATER MANAGEMENT FACILITIES PROPOSED IN THE STATE HIGHWAY RIGHTS-OF-WAY AND PROPERTY FOR DETERMINING CONFORMANCE WITH REQUIREMENTS AND ADEQUACY OF THOSE FACILITIES. THE TOWNSHIP STAFF, TOWNSHIP ENGINEER, AND TOWNSHIP CITOR HAVE NOT INDEPENDENTLY REVIEWED, AND MAKE NO REPRESENTATION AS TO THE REQUIREMENTS FOR, OR ADEQUACY OF, ANY FACILITY TO BE REVIEWED BY LVPC AND/OR PENNDOT. NOR OF ANY OFF-SITE PROJECT STORMWATER IMPACT

LIST OF REFERENCE PLANS:

REES IF THE PROPERTY OWNER OF THE HOA FAILS TO DO SO.

PLEASE REFER TO THE FOLLOWING PLANS FOR ADDITIONAL INFORMATION: 1. RIDGE FARMS PHASE 1 POST CONSTRUCTION STORMWATER MANAGEMENT PLAN SET (FULL SET OF 9 SHEETS) DATED 06/01/2021 LAST REVISED 1/21/2022.

2. RIDGE FARMS PHASE 1 SOIL EROSION AND SEDIMENT CONTROL PLAN SET (FULL SET OF 17 PLANS)

MATCHLINE SEE SHEET CS-102

THE REQUIREMENT TO INSTALL CURBING (SPECIFICALLY ALONG WALBERT AVENUE AND CEDAR CREST BOULEVARD) IS HEREBY AND LAST REVISED MARCH 18, 2020, ON THE CONDITION THAT CURBING BE ADDED TO THE EAST SIDE OF CEDAR CREST BOULEVARD TO ENSURE A CONTINUOUS CURBLINE BETWEEN WALBERT AVENUE AND HUCKLEBERRY ROAD AND THAT CURBING BE REQUIRED ALONG THE FRONTAGES OF HUCKLEBERRY ROAD AND FOCHT AVENUE AT 2523 HUCKLEBERRY ROAD. IF THE SCHOOL BUS STOP PROPOSED ALONG HUCKLEBERRY ROAD SHOULD BE LOCATED IN AN AREA FOR WHICH CURB ND/OR SIDEWALK HAS BEEN DEFERRED BY THE BOARD. THE APPLICANT MUST COME BACK TO THE BOARD OF COMMISSIONERS FOR RECONSIDERATION AS TO WHETHER THAT DEFERRAL IS STILL APPROPRIATE; THE BOARD SHALL, AT THAT TIME HAVE THE RIGHT TO REVOKE THE DEFERRAL AND REQUIRE INSTALLATION OF SUCH IMPROVEMENTS THE REQUIREMENT OF SECTION 12-35(B)(3)(A)(II) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO THE REQUIREMENT TO INSTALL SIDEWALKS (SPECIFICALLY ALONG WALBERT AVENUE AND CEDAR CREST BOULEVARD) IS HEREBY WAIVED IN FAVOR OF HE IMPROVEMENTS SHOWN ON THE LANGAN ENGINEERING PLAN SET ENTITLED "RIDGE FARM" DATED AND LAST REVISED MARCH 18, 2020, ON THE CONDITION THAT THE BIKE PATH ALONG WALBERT AVENUE (BOTH EAST AND WEST OF CEDAR CREST BOULEVARD) BE CONSTRUCTED IN CONCRETE RATHER THAN ASPHALT, THAT SIDEWALK BE REQUIRED ALONG THE FRONTAGES. OF HUCKLEBERRY ROAD AND FOCHT AVENUE AT 2523 HUCKLEBERRY ROAD, AND THAT THE BIKE/PEDESTRIAN PATHS. ALONG WALBERT AVENUE AND CEDAR CREST BOULEVARD LOCATED ON PRIVATE PROPERTY BE PLACED WITHIN A BIKE/PEDESTRIAN EASEMENT THAT ENSURES PUBLIC ACCESS. PLACES THE MAINTENANCE RESPONSIBILITIES ON THE PROPERTY OWNER OR HOMEOWNER'S ASSOCIATION, AND GUARANTEES THE TOWNSHIP THE RIGHT, BUT NOT OBLIGATION, TO MAINTAIN THE PATH AT THE EXPENSE OF THE PROPERTY OWNER OR HOMEOWNER'S ASSOCIATION. IF THE SCHOOL BUS STOP PROPOSED ALONG HUCKLEBERRY ROAD SHOULD BE LOCATED IN AN AREA FOR WHICH CURB AND/OR SIDEWALK HAS BEEN DEFERRED BY THE BOARD. THE APPLICANT MUST COME BACK TO THE BOARD OF COMMISSIONERS FOR RECONSIDERATION AS TO WHETHER THAT DEFERRAL IS STILL APPROPRIATE; THE BOARD SHALL, AT THAT TIME HAVE THE RIGHT TO REVOKE THE DEFERRAL AND REQUIRE

THE REQUIREMENT OF SECTION 312-35(B)(3)(A)(VIII) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO THE REQUIREMENT TO CONSTRUCT THE STREET IN ACCORDANCE WITH SOUTH WHITEHALL TOWNSHIP STREET CONSTRUCTION STANDARDS (SPECIFICALLY WALBERT AVENUE AND CEDAR CREST BOULEVARD) IS HEREBY DEFERRED IN FAVOR OF THE IMPROVEMENTS SHOWN ON THE LANGAN ENGINEERING PLAN SET ENTITLED "RIDGE FARM" DATED AND LAST REVISED MARCH $18,\,$

BOULEVARD LOCATED ON PRIVATE PROPERTY BE PLACED WITHIN A BIKE/PEDESTRIAN FASEMENT THAT PLACES THE MAINTENANCE RESPONSIBILITIES ON THE PROPERTY OWNER OR HOMEOWNER'S ASSOCIATION AND GUARANTEES THE TOWNSHIP THE RIGHT. BUT — NOT OBLIGATION. TO MAINTAIN THE TREES AT THE EXPENSE OF THE PROPERTY OWNER OR

4. §312-35(A)(6)(E)(II): CENTERLINES OF INTERSECTING STREETS. TWO STREETS INTERSECTING A THIRD STREET FROM OPPOSITE SIDES SHALL EITHER INTERSECT WITH A COMMON CENTERLINE, OR THEIR CENTERLINES SHALL BE OFFSET A MINIMUM DISTANCE OF: 800 FEET, IF THE MAIN STREET IS AN ARTERIAL STREET. 400 FEET, IF THE MAIN STREET IS A COLLECTOR STREET. 150 FEET, IF THE MAIN STREET OR AN ALLEY. A WAIVER WAS GRANTED FROM THIS SECTION TO ALLOW A MINIMUM INTERSECTION SEPARATION ALONG A COLLECTOR ROADWAY OF APPROXIMATELY 200 FEET. A WAIVER WAS GRANTED FOR ALLEY TO STREET INTERSECTIONS OF ASSOCIATION (HOA). THE TOWNSHIP WILL HAVE THE RIGHT BUT NOT THE RESPONSIBILITY TO ACCESS & MAINTAIN THE STREE PROVISIONS, ANY LANDOWNER AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT ATER RUNOFF CHARACTERISTICS SHALL IMPLEMENT SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT INJUR

PROPOSED 7

FXISTING

CROSSWALKS

CURB RAMP TIES INTO

EXISTING SIDEWALK

8' WIDESET

PROPOSED -

TRANSFORMER

6' WIDE SIDEWALK -

SERVICING APARTMENT/CONDO

BUILDING UNITS 1 THROUGH 5

PARKING REQUIREMENT)

ARE NOT COUNTED TOWARDS THE

MAILBOX JUNITS

SIDEWALK

(TYP.)

R-4 MEDIUM DENSITY RESIDENTIAL

SEE H.O.P. PLANS BY TRAFFIC PLANNING AND

DESIGN FOR DETAILED

EXISTING STREET SIGN R1-1 STOP 30"X30

GC-1 GENERAL COMMERCIAL SPECIAL HEIGHT LIMITATION

ROADWAY IMPROVEMENTS

D3-1 STREET NAME "WALBERT AVE" 36"X6"

CURB MEETS

APPROVED WAIVERS ADOPTED NOVEMBER 27, 2018

2. §312-35(B)(3)(A)(V): HORIZONTAL CURVES. THE MINIMUM CENTERLINE RADII FOR LOCAL STREETS SHALL BE ONE HUNDRED FIFTY (150) FEET, AND OF ALL OTHER STREETS SHALL BE THREE HUNDRED (300) FEET. A MINIMUM TANGENT OF ONE

§312-35(B)(2)(C)): PRIVATE STREETS. A CARTWAY WIDTH LESS THAN THIRTY-SIX (36) FEET MAY BE APPROVED BY THE PLANNING COMMISSION AND/OR BOARD OF COMMISSIONERS PROVIDED THAT ALL OTHER ENGINEERING REQUIREMENTS

A WAIVER WAS GRANTED FROM THIS SECTION AS THE MAJORITY OF THE LOCAL PRIVATE ROADWAYS WITHIN THE PROJECT ARE PROPOSED AS 28 FEET WIDTH WITH A RIGHT-OF-WAY OF 50 FEET (AND ULTIMATE RIGHT-OF-WAY OF 60 FEET).

A WAIVER WAS GRANTED TO ALLOW INCREASED BLOCKS LENGTHS AND BLOCK LENGTHS LESS THAN THE REQUIRED.

HUNDRED (100) FEET SHALL BE REQUIRED BETWEEN REVERSE CURVES AND BETWEEN A CURVE AND STREET INTERSECTION.

A WAIVER WAS GRANTED TO ALLOW FOR REDUCED HORIZONTAL CURVES AND TANGENTS AS SHOWN ON THE PLANS.

THE REQUIREMENT OF SECTION 312-35(B)(3)(A)(I) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO

THE REQUIREMENT OF SECTION 312-40(C) OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE PERTAINING TO THE REQUIREMENT TO INSTALL STREET TREES (SPECIFICALLY ALONG WALBERT AVENUE AND CEDAR CREST BOULEVARD) IS HEREBY WAIVED IN FAVOR OF THE IMPROVEMENTS SHOWN ON THE LANGAN ENGINEERING PLAN SET ENTITLED "RIDGE FARM" DATED AND LAST REVISED MARCH 18, 2020, ON THE CONDITION THAT THE STREET TREES ALONG WALBERT AVENUE AND CEDAR CREST HOMEOWNER'S ASSOCIATION. IN ADDITION. THE ORDINANCE AND/OR PLAN APPROVAL OBLIGATION FOR MAINTAINING AND REPLACING STREET TREES ALSO SHALL APPLY TO THE TREES BEING PLACED WITHIN THE BIKE/PEDESTRIAN EASEMENT.

KEY MAP 1"=1000' **PHASE 1B PARKING CALCULATIONS** 2 Spaces / D. Apartment Area #2 West 2.25 Spaces / D.U. MAILBOX UNIT SERVICING LOTS TW-1W 🔪 Each Twin unit will have a 2 car garage, 2 garage spaces per unit will be provided HROUGH TW-6W, TW-29W´ 2. The required apartment parking is 2 spaces for each dwelling unit and an additional 0.25 spaces per unit for overflow parking. THROUGH TW-38W 3. A two car garage and two driveway spaces are provided for the end units of each apartment building, interior building units have a one car garage and one - FXISTING WALL TO REMAIN EXISTING FENCE ALONG TOP OF driveway space for a total of 140 garage and driveway spaces. An addition 22 overflow parking spaces are provided around the perimeter of Active Open Space #3. WALL TO BE ADJUSTED FOR 4. Mail pick up locations are not included in the proposed parking space total. WALL TO BE REMOVED FALL PROTECTION RIDGE FARMS PHASE 1B ENTRANCE WALL WITH SOUTH WHITEHALL TOWNSHIP AREA DEDICATION TABLE SQ. FT. ACRES 6' HIGH ANTI-CLIMB FENCE — 25 MPH AASHTO BIKE/PEDESTRIAN EASEMENT #4 FEMPORARY ACCESS EASEMENT PH-1B #1 STORMWATER EASEMENT PH-1B #1 0.1558 668 0.0153 Property Owner/Homeowner's Association SNOW DROP-OFF AREA PH-1B #1 25 MPH AASHTO Note: Bike/Pedestrian path maintenance responsibilities are the property owners or the Homeowner's Association. South Whitehall Township has the right, but not the obligation, to maintain the path at the expense of the property owner or HOA. **APARTMENT BUILDING - #2 AREA WEST** DENSITY INCREASE CREDIT CALCULATION purpose of this table is to show that with the 3.5 total density credits achieved (only 2 needed) that the maximu O Apartment building height can increase from 35 feet to 45 feet (1 credit required). And that the maximum R-10 ment units per building can increase from 16 units to 18 units (1 density credit required). **ASSIGNED GARAGES:** ded assigned garage space 70 GARAGE SPACES 3.5 CREDITS DAL DENSITY CREDITS: . A two car garage is proposed for the end units of each apartment building, Interior building units have a one car garage THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO. NO CERTIFICATION IS MADE BY LANGAN AS TO THE ACCURACY OR COMPLETENESS OF THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A SIDEWALK (TYP.) UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776 CURB RAMP

0.985 AC

WITH 4' HUGH

STAIRS —

FENCE 18/8\L.F.

-RETAININ∱G\WALL#1

RETAINING WALL #20

AS THIS SUBDIVISION OR LAND DEVELOPMENT HAS FRONTAGE ALONG, DRAINS TO OR OTHERWISE IMPACTS A STATE HIGHWAY, THE APPLICANT HAS SUBMITED THE PLAN TO THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) FOR REVIEW. COPIES OF ALL CORRESPONDENCE BETWEEN THE APPLICANT AND PENNDOT, AND ALL ISSUED PERMITS, WILL BE PROVIDED TO THE TOWNSHIP. IF PENNDOT DETERMINES THAT A HIGHWAY OCCUPANCY PERMIT IS NOT NECESSARY, THE APPLICANT SHALL OBTAIN SUCH DETERMINATION IN WRITING AND PROVIDE IT TO THE TOWNSHIP. THE APPLICANT, ITS SUCCESSORS AND ASSIGNS, SHALL INDEMNIFY, DEFEND, EXONERATE AND HOLD THE TOWNSHIP AND ITS BOARDS, COMMITTEES AND COMMISSIONS (INCLUDING THE INDIVIDUAL MEMBERS THEREOF), THEIR ELECTED AND APPOINTED OFFICERS AND OFFICIALS AND

THEIR EMPLOYEES, CONTRACTORS, OTHER PROFESSIONAL CONSULTANTS, ENGINEERS, SOLICITORS, MANAGERS, REPRESENTATIVES, ADVISORS, PREDECESSORS SUCCESSORS, AGENTS, INDEPENDENT CONTRACTORS, INSURERS AND ASSIGNS HARMLESS FROM ANY OBLIGATIONS OR LIABILITIES PERTAINING TO, RELATING TO, RESULTING FROM, CAUSED BY, ARISING OUT OF, SUSTAINED IN CONNECTION WITH OR IMPOSED BY PENNSYLVANIA DEPARTMENT OF TRANSPORTATION UPON THE TOWNSHIP BY VIRTUE OF (MAIL BOX ONLY PICK UP SPACES) ANY PERMITS REQUIRED IN CONNECTION WITH THE SUBDIVISION. IN THE EVENT THAT PENNDOT REQUIRES THE TOWNSHIP TO SIGN THE HIGHWAY OCCUPANCY PERMIT APPLICATION OR OTHER DOCUMENTS RELATIVE TO THE REQUIRED HIGHWAY OCCUPANCY PERMIT. THE TOWNSHIP SHALL RETAIN SOLE DISCRETION WHETHER TO SIGN THE APPLICATION OR OTHER DOCUMENTS. SHOULD THE TOWNSHIP ELECT TO SIGN THE APPLICATION AND/OR OTHER DOCUMENTS REQUIRED BY PENNDOT, THE APPLICANT SHALL ENTER INTO A RECORDABLE INDEMNIFICATION AGREEMENT IN A FORM ACCEPTABLE TO THE TOWNSHIP SOLICITOR WHICH, AMONG OTHER THINGS, WILL REQUIRE THAT THE APPLICANT, ITS SUCCESSORS AND ASSIGNS INDEMNIFY, DEFEND, EXONERATE AND HOLD THE TOWNSHIP AND ITS BOARDS, COMMITTEES AND COMMISSIONS (INCLUDING THE INDIVIDUAL MEMBERS THEREOF). THEIR ELECTED AND APPOINTED OFFICERS AND OFFICIALS AND THEIR EMPLOYEES. CONTRACTORS. OTHER PROFESSIONAL CONSULTANTS. ENGINEERS, SOLICITORS, MANAGERS, REPRESENTATIVES, ADVISORS, PREDECESSORS, SUCCESSORS, AGENTS, INDEPENDENT CONTRACTORS, INSURERS AND ASSIGNS

IARMLESS FROM ANY LIABILITY PERTAINING TO, RELATING TO, RESULTING FROM, CAUSED BY, ARISING OUT OF OR SUSTAINED IN CONNECTION WITH THE TOWNSHIP'S SIGNING THE APPLICATION AND/OR OTHER DOCUMENTS REQUIRED BY PENNDOT AND ANY OBLIGATION ASSUMED BY THE TOWNSHIP BY VIRTUE OF SIGNING THE APPLICATION AND/OR DOCUMENTS, THE TOWNSHIP SHALL ALSO RETAIN SOLE DISCRETION CONCERNING ACCEPTANCE OF ANY ROAD RIGHT-OF-WAY, IMPROVEMENTS, MAINTENANCE RESPONSIBILITIES, ETC., WHICH MAY BE IMPOSED BY PENNDOT RELATIVE TO IMPROVEMENTS CONTEMPLATED WITH A PENNDOT RIGHT-OF-WAY AND/OR EASEMENT.

AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	AMENITY	OWNER	
Phase 1A OPEN SPACE AREA M	12,903 SF.	0.296 AC.	Rain Garden	Homeowner's Association	
Phase 1A ACTIVE O.S. #6 (Green or Square with seating area or Plaza)	74,178 SF.	1.703 AC.	Fountain, Benches, Bike Rack, Trails	Homeowner's Association	
Phase 1A ACTIVE O.S. #7 (Green or Square with seating area or Plaza)	40,930 SF.	0.940 AC.	Pavilion, Benches, Bike Rack Trails	Homeowner's Association	
Phase 1A ACTIVE O.S. #8 (Green or Square with seating area or Plaza)	10,445 SF.	0.240 AC.	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association	
Phase 1A ACTIVE O.S. #9 (Green or Square with seating area or Plaza)	7,824 SF.	0.180 AC.	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association	
Phase 1B ACTIVE O.S. #3 (Green or Square with seating area or Plaza)	42,922 SF.	0.985 AC.	Pergola, Benches, Bike Rack, Plaza/Trails	Homeowner's Association	
Phase 1B ACTIVE O.S. #4 (Green or Square with seating area or Plaza)	74,372 SF.	1.707 AC.	Pergola, Benches, Bike Rack, Plaza/Trails	Homeowner's Association	
TND OPEN SPACE DEED RESTRICTION AREA #21	4,936,002 SF.	113.315 AC.	Deed Restricted Green Space	Homeowner's Association	
TND OPEN SPACE DEED RESTRICTION AREA #31	48,290 SF.	1.1086 AC.	Deed Restricted Green Space	Homeowner's Association	
Active Open Space & Open Space Total	5,247,866 SF.	120,474 Ac.			

in the office of the recorder of deeds, Lehigh County, PA on 12/14/2022 Instrument No. 2022040857.

	PHASE 1A & 1B OPEN SPACE CALCULATION DEVELOPMENT OPTION: RESIDENTIAL WITH COMMERCIAL COMPONENT					
EMBER)	Requirement	Required	Proposed			
	Minimum Tract Size	50 Ac.	138.34 Ac.			
WNSHIP PLANNING COMMISSION:		15% + 0.5% for every 1% of the gross tract area developed as commercial	Open Space Total			
		Gross Tract Area = 138.34 Ac.	120.474 Ac.			
BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION	Min.% of the Tract to be Open Space	Area Developed as Commercial = 9.37 Ac.	divided by 138.34 Ac.			
ITH DAY YEAR)		% of Tract Developed as Commercial = 6.8%	87.1%			
•		Required Open Space =				
4		15% + (0.5 x 7) = 18.5%				
(CHAIRMAN)			Phase 1A Active Open Space areas			
			(#6, #7, #8, #9) = 3.063 Ac.			
(SECRETARY)		5% + 0.5% for every 1% of the gross tract area	Phase 1B Active Open Space areas			
,		developed as commercial	(#3, #4) = 2.693 Ac.			
1122 AF AANNINGSANEDA		Gross Tract Area = 138.34 Ac.				
OARD OF COMMISSIONERS:		% of Tract Developed as Commercial = 6.8%	6.01 Ac. of the 114.424 Ac. total			
		Required Active Open Space =	deed restricted open space			
BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TOWNSHIP	Min.% of the Tract to be Active Open Space	5% + (0.5 X 7) = 8.5%	will be considered Active OS			
		· ,	meeting this requirement			
(222224)			j ,			
(PRESIDENT)						
			5.756 Ac. + 6.01 Ac. = 11.766 Ac.			
(SECRETARY)			11.766 Ac. / 138.34 Ac = 8.5%			
			11.760 AC. / 136.54 AC - 6.5%			
(TOWNOURD ENGINEED)	Max % of tract to be					
(TOWNSHIP ENGINEER)	Gross Area for Commercial Uses	10%	9.37 Ac. / 138.34 = 6.8%			
<u>DN:</u>						

3-16-23 | REVISED PER TOWNSHIP COMMENTS 1-19-23 | REVISED PER TOWNSHIP COMMENTS 7-21-22 | REVISED PER TOWNSHIP COMMENTS Date Description

REVISIONS

PE-057145-E

T: 610.984.8500 F: 610.984.8501 www.langan.com ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S. Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C

Langan CT, Inc.

Langan International LLC

Collectively known as Langan

-CURB MEETS

PAVEMENT

(TŶP.)

– SIGHT DISTANCE

25 MPH AASHT

RETAINING WALL #29

WITH 4 HIGH

ASPHALT TRAIL

MONUMENT

BIKE PEDESTRIAN -\EASEMENT #4

FENCE 248 L.

RIDGE FARMS PHASE 1B FINAL PLANS 548725550358 1 **SOUTH WHITEHALL TOWNSHIP**

REQUIRED RIGHT-OF-WAY LINE -

AY LINE DEEDED TO THE COMMONWEALTH

SITE PLAN

Drawing No. 240043301 04/20/22 1" = 50' IDM^{*} JE

RIDGE FARMS DEVELOPMENT PHASE 1B

(LF) Type

ELLOWSTOE ROAD 467 Private Homeowner's Association

EXISTING STREET SIGNS

14-1-2 INFORMATION ARROW 24"X12" R7-203-1 SNOW EMERGENCY

ROUTE NO PARKING 18"X24"

I-8 LIBRARY 24"X24"

KLINE CIRCLE 1,207 Private Homeowner's Association

ROAD/ALLEY OWNERSHIP TABLE

HARVEST WAY

CONTROL (L-S-R)

awn By | Checked By ubmission Date

Filename: c:\bms\langan-pw-01\d0174953\240043301-0507-CS101-0101.dwg Date: 3/16/2023 Time: 14:37 User: dmoyer Style Table: Langan.stb Layout: CS-10

8' WIDE

(TYP.)

CROSSWALK

OWNER/APPLICANT KAY WALBERT LLC. ATTN: RICK KOZE 5930 HAMILTON BLVD., SUITE 10 **ALLENTOWN, PA 18106** 610-395-6857

PROFESSIONAL ENGINEER PA Lic. No.

Langan Engineering and Environmental Services, Inc.

LEHIGH COUNTY

PENNSYLVANIA

SIDEWAŁK

24,444 SF.

_0.561AC.

CONCRETE

SIDEWALK

APARTMENT AREA

(#2 AREA WEST)

264,793 SF.

6.079 AC.

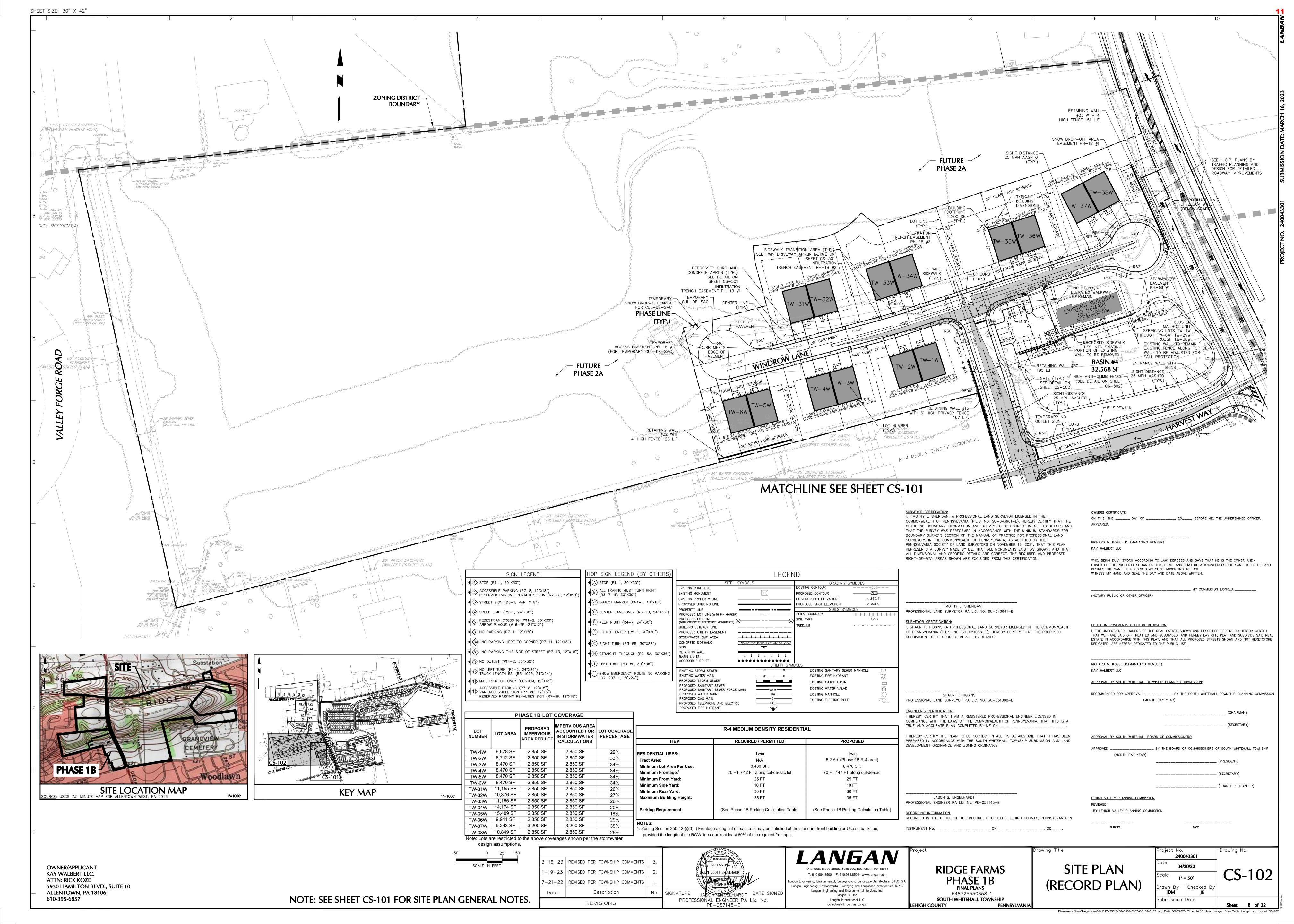
- 6' HIGH ANTI-CLIMB FENCE

(SEE DETAIL ON SHEET

OPEN SPACE #4

(CLUDING BASIN #3)

CS-101



-21-22 | REVISED PER TOWNSHIP COMMENTS

Description

REVISIONS

GNATURE

PROFESSIONAL ENGINEER PA Lic. No.

PE-057145-E

Date

ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A

FINAL PLANS

548725550358 1

PENNSYLVANIA

SOUTH WHITEHALL TOWNSHIP

LEHIGH COUNTY

rawn By | Checked By

JSE

KG

Filename: c:\bms\langan-pw-01\d0174953\240043301-0507-CG101-0101.DWG Date: 3/16/2023 Time: 14:39 User: dmoyer Style Table: Langan.stb Layout: CG-101

ubmission Date

Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.

Langan Engineering and Environmental Services, Inc.

Langan CT, Inc.

Langan International LLC

Collectively known as Langan

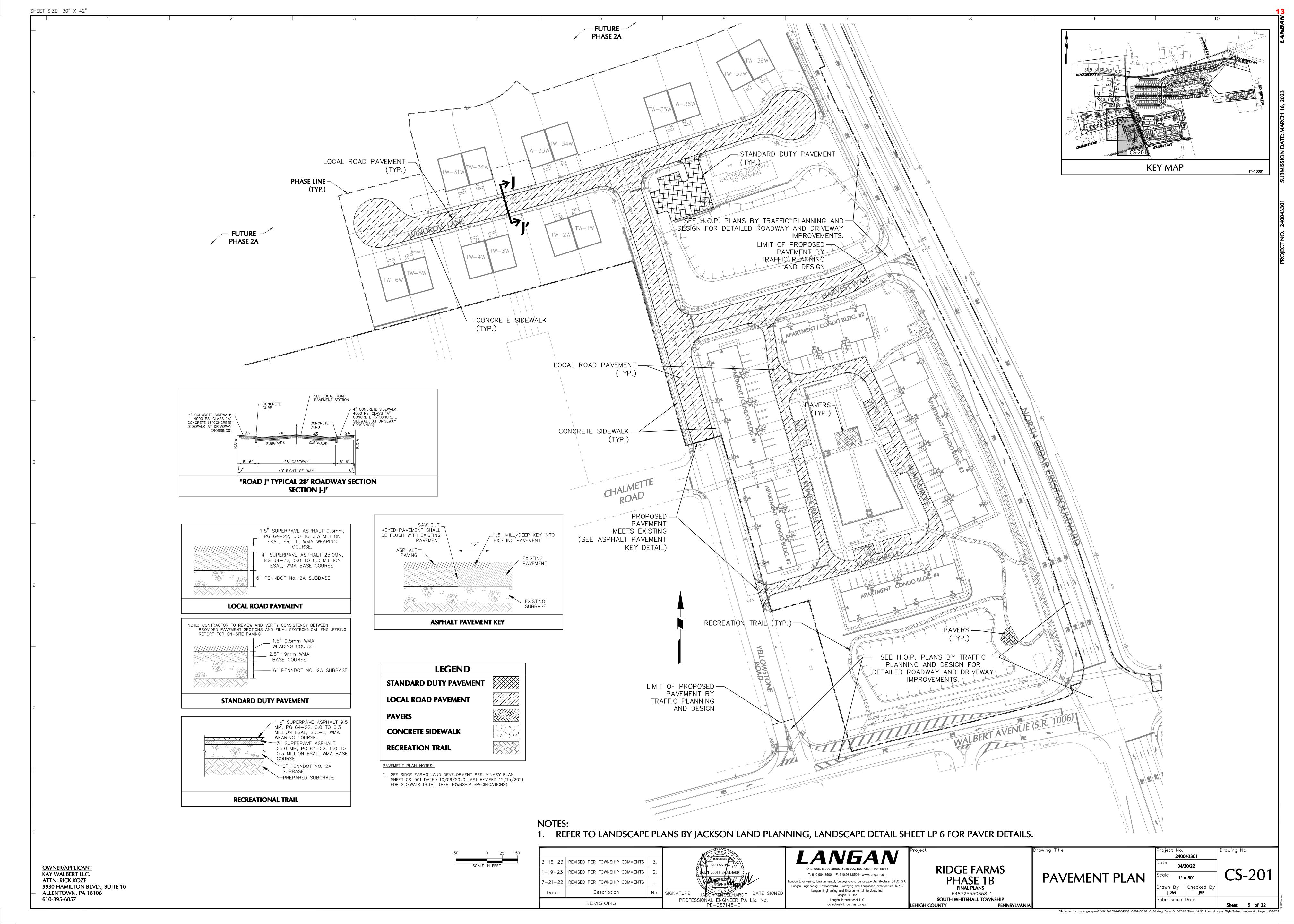
ATTN: RICHARD M. KOZE, JR. 5930 HAMILTON BLVD., SUITE 10 ALLENTOWN, PA 18106 610-395-6857

THE ACTUAL LOCATION OF ANY UNDERGROUND

PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A

UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776

UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT



UTILITY NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.

2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF

- 3. CONTRACTOR MUST REMOVE OLD PRIVATE 6" WATER LINE FROM YELLOW STONE CONNECTION POINT TO ALL EXISTING BUILDINGS.
- 4. CONTRACTOR MUST REMOVE OLD WATER SERVICE CONNECTION AND CAP AT SWT WATER MAIN ON SEQUOIA
- 5. ALL FIRE HYDRANTS BEING RELOCATED SHALL BE REPLACED WITH NEW FIRE HYDRANTS WITH CHECK VALVES (SEE SWT CONSTRUCTION STANDARD SWT-W-1).
- THE LOCATION OF THE EXISTING GAS MAINS ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
 THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
- 8. ALL GAS WORK AND OTHER ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.

9. ALL ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE

- WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS. MIN. DEPTH OF COVER OVER ELECTRIC, GAS, AND CABLE SHALL BE 2 FT.
- 10. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 11. ALL UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS REQUIRED BY PROVIDER.
- 12. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF UTILITIES WITH APPROVED BUILDING PLANS.
- 13. ALL METERS, VALVES, ETC. MUST BE RECESSED TYPE AND HEAVY TRAFFIC RATED.
- THE CONTRACTOR SHALL COORDINATE THE WATER WORK WITH SOUTH WHITEHALL TOWNSHIP.
 A MINIMUM TEN (10) FOOT HORIZONTAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND
- STORM SEWER. A MINIMUM EIGHTEEN (18) INCHES VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND ALL OTHER UTILITIES.

 16. ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4 FEET FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION.
- 17. PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 10 FT BETWEEN SANITARY SEWER MAINS AND WATER MAINS. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND ALL OTHER UTILITIES. PROVIDE A 5 FT. MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND CONCRETE CURBS. A MINIMUM DISTANCE OF 10 FT SHALL BE PROVIDED BETWEEN NEW WATER AND SEWER SERVICE LINES AND LIGHT POLES, TREES ETC.
- 18. ALL WATER MAIN FITTINGS SHALL BE PROVIDED WITH THRUST BLOCKING. REFER TO DETAILS FOR THRUST BLOCK DETAILS AND FITTING SCHEDULES.
- 19. ALL FIRE HYDRANTS AND VALVES SHALL OPEN RIGHT (CLOCKWISE).
- 20. DIP = DUCTILE IRON PIPE PVC = POLYVINYL CHLORIDE
- 21. WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AS WELL AS THE SOUTH WHITEHALL TOWNSHIP STANDARDS AND SPECIFICATIONS, AND IS SUBJECT TO INSPECTION BY SOUTH WHITEHALL TOWNSHIP AND ITS ENGINEER. SOUTH WHITEHALL TOWNSHIP WILL BE RESPONSIBLE FOR THE APPROVAL OF ALL MATERIALS IN CONNECTION WITH THE WATER MAIN.
- 22. SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AS WELL AS THE SOUTH WHITEHALL TOWNSHIP STANDARDS AND SPECIFICATIONS, AND IS SUBJECT TO INSPECTION BY SOUTH WHITEHALL TOWNSHIP AND ITS ENGINEER. SOUTH WHITEHALL TOWNSHIP WILL BE RESPONSIBLE FOR THE APPROVAL OF ALL MATERIALS IN CONNECTION WITH THE SANITARY SEWER.
- 23. ALL SANITARY SEWER LINES SHALL BE SDR—35 PVC AND ALL LATERALS SHALL BE SCHEDULE 40 PVC, EXCEPT AS NOTED. ALL SANITARY LINES AND LATERALS SHALL BE BEDDED TO MEET MANUFACTURER'S SPECIFICATIONS AND/OR APPROVAL OF SOUTH WHITEHALL TOWNSHIP, WHICHEVER IS MORE RESTRICTIVE.
- 24. ALL SANITARY SEWER MANHOLES PROPOSED TO BE INSTALLED WITHIN ANY EASEMENT SHALL BE INSTALLED WITH WATERTIGHT FRAMES AND COVERS. ANY MANHOLE TO BE INSTALLED OUTSIDE OF PAVED AREAS SHALL BE INSTALLED A MINIMUM OF 12" ABOVE FINISH GRADE.
 25. WHEN A NEW SANITARY LINE IS CONSTRUCTED AND TIED INTO AN ACTIVE MANHOLE, THE NEW LINE WILL BE PLUGGED AND REMAIN PLUGGED UNTIL ALL TESTING HAS BEEN COMPLETED BY THE DEVELOPER AND

APPROVED BY A SOUTH WHITEHALL TOWNSHIP INSPECTOR OR REPRESENTATIVE.

- 26. LOCATOR TAPE SHALL BE INSTALLED ABOVE ALL SANITARY SEWER MAIN LOCATED IN UNPAVED AREAS, AND ABOVE ALL LOW PRESSURE SANITARY SEWER MAIN AND LATERALS WITHIN THE TOWNSHIP RIGHT-OF-WAY.
- 27. LOW PRESSURE SANITARY FORCE MAINS MUST BE INSTALLED WITH A CONTINUOUS RISE TO AIR RELEASE VALVES INSTALLED AT HIGH POINTS.
- 28. A WATER EXTENSION / NEW MAIN IS ANTICIPATED TO BE REQUIRED FROM TANK TO SITE VIA RIDGE LANE. THE SCOPE OF THIS IMPROVEMENT IS AWAITING THE RESULTS OF A STUDY COORDINATED WITH THE SOUTH WHITEHHALL TOWNSHIP WATER AND SEWER ENGINEER.29. THE LOCATIONS OF EXISTING UTILITIES ARE NOT THE RESPONSIBILITY AND HAVE NOT BEEN REVIEWED BY
- THE PIDCOCK COMPANY, THE TOWNSHIP OR THE SPOTTS, STEVENS AND MCCOY COMPANY.

 30. ALL WATER METERS SHALL BE NEPTUNE MACH 10.

UTILITY TRENCH EXCAVATION GUIDELINES:

- 1) CONSTRUCTION REQUIREMENTS

 a) WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF
- CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.

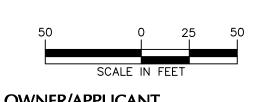
 a) LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN
- BE COMPLETED THE SAME DAY.

 b) ALL DISTURBED AREAS ARE TO BE RESTORED AND STABILIZED

 WITHIN TWENTY (20) DAYS IN ACCORDANCE WITH THE
- WITHIN TWENTY (20) DAYS IN ACCORDANCE WITH THE STABILIZATION METHODS APPLICABLE TO THE AREA OF DISTURBANCE (I.E. SWALES WITH LINER, ROAD WITH BASE COARSE AND ETC.)

 XCEPTIONS IN CERTAIN CASES TRENCHES CANNOT BE BACKFILLED
- 2) EXCEPTIONS IN CERTAIN CASES TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED IN THESE CASES, ALL OF THE REQUIREMENTS LISTED UNDER ITEM 1 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:
- a) DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
- WORKING DAY.

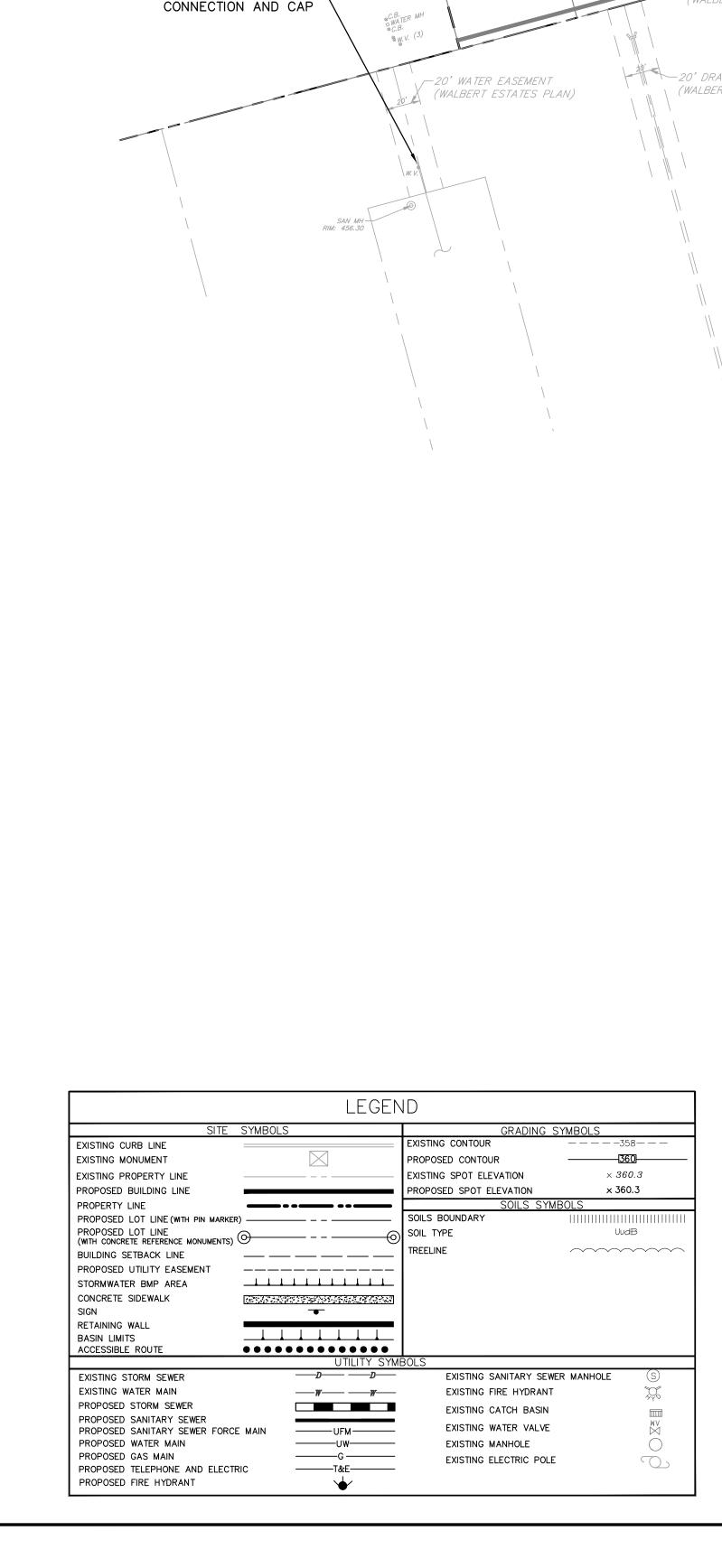
 3)IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED IN MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.



SCALE IN FEET

OWNER/APPLICANT
KAY WALBERT LLC.
ATTN: RICHARD M. KOZE, JR.
5930 HAMILTON BLVD., SUITE 10
ALLENTOWN, PA 18106
610-395-6857

THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO. NO CERTIFICATION IS MADE BY LANGAN AS TO THE ACCURACY OR COMPLETENESS OF THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776



FIRE HYDRANT

PHASE LINE -

RIM: 484.42

CAPPED FOR-

10 L.F. 8" PVC-

@ 3.41%

INV. IN: 468.39

FUTURE CONNECTION

EXISTING SERVICE -

INV. OUT: 468.28

AIR RELEASE AND PIT

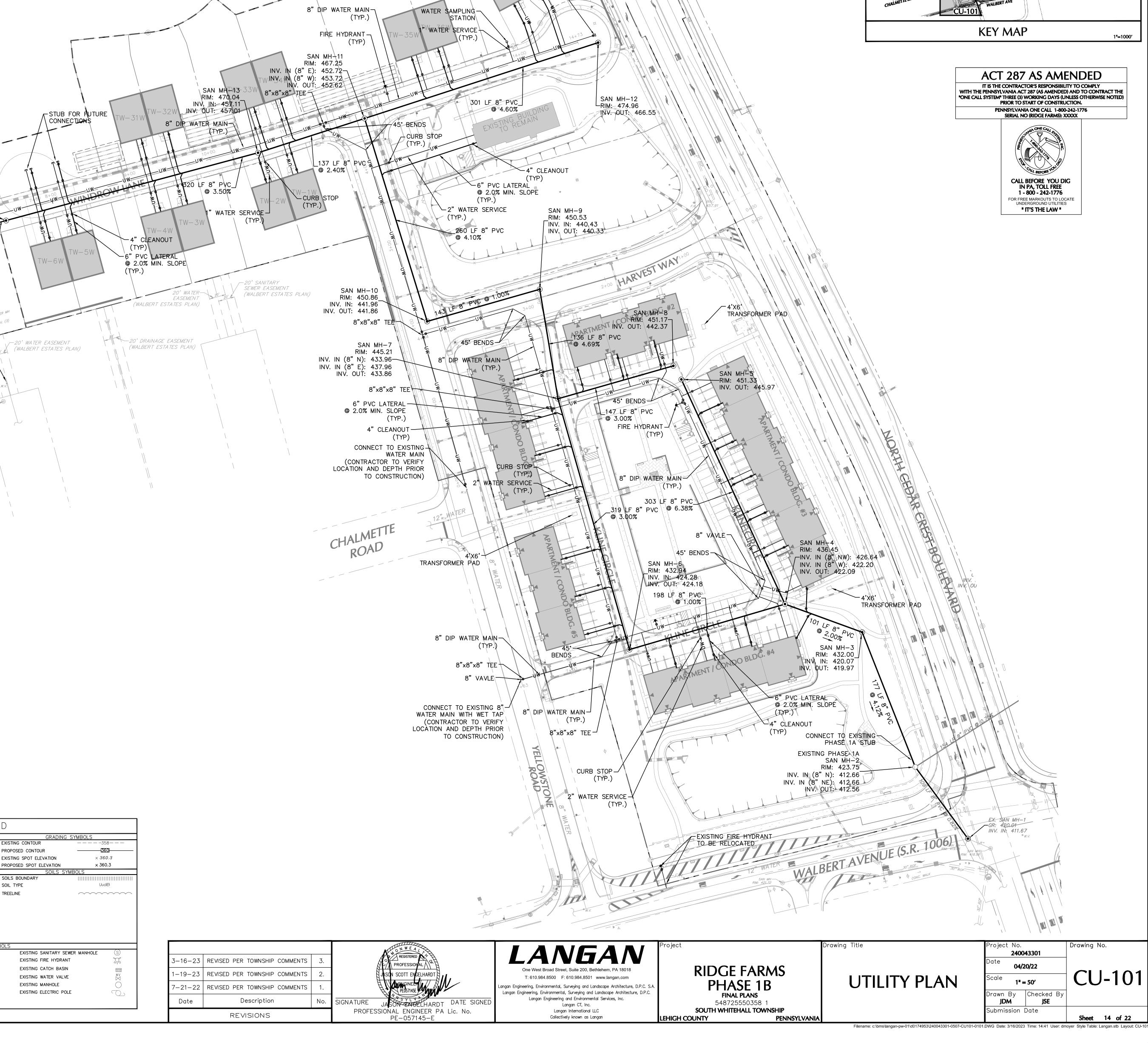
2" BLOWOFF -

VALVE & CAP

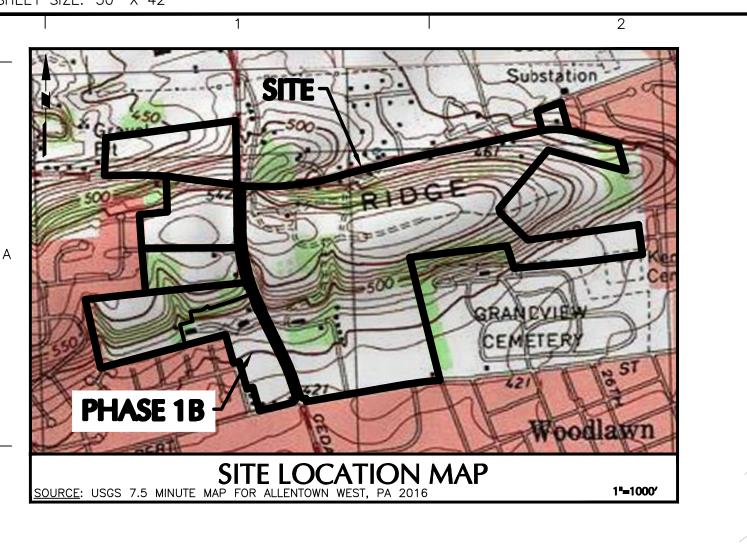
FOR FUTURE CONNECTION

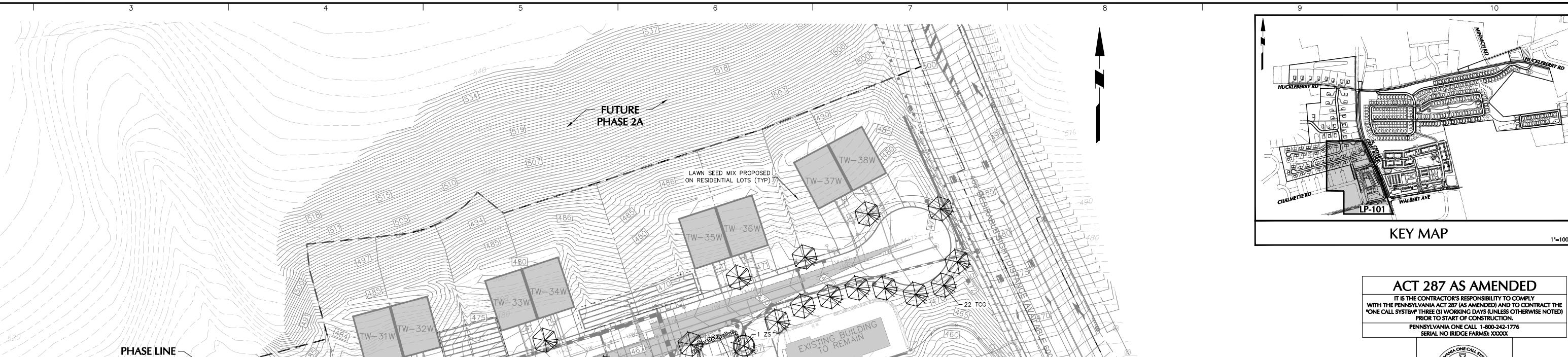
FUTURE

PHASE 2A



PHASE 2A





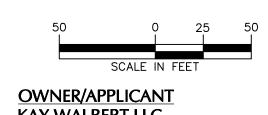
SEE DETAILED LANDSCAPE
INFORMATION ON PLAN SHEETS
PROVIDED BY JACKSON
LAND PLANNING

PL	PLANT SCHEDULE								
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS			
SHAD	SHADE TREE(S)								
QA	35	QUERCUS ALBA	WHITE OAK	2 1/2-3" CAL.	B+B	_			
TCG	37	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2-3" CAL.	B+B	_			
ZS	9	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2 1/2-3" CAL.	B+B	_			
EVER	GREEN TREE(S)								
ILC	32	ILEX CRENATA 'CHESAPEAKE'	CHESAPEAKE JAPANESE HOLLY	3-4'	B&B	_			
DECI	DUOUS SHRUB(S)								
SNS	10	SPIREA NIPPONICA 'SNOWMOUND'	SNOWMOUND NIPPON SPIREA	15-18"	CONTAINER	_			

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

NOTES:

- REFER TO LANDSCAPE PLANS BY JACKSON LAND PLANNING FOR DETAILED PLANTINGS, SCHEDULES AND PARKING LOT LANDSCAPING ORDINANCE COMPLIANCE INFORMATION.
- 2. REFER TO SHEET LP-501 FOR STREET TREE NOTES AND DETAILS.



THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO. NO CERTIFICATION IS MADE BY KAY WALBERT LLC. LANGAN AS TO THE ACCURACY OR COMPLETENESS OF ATTN: RICHARD M. KOZE, JR. THE ACTUAL LOCATION OF ANY UNDERGROUND 5930 HAMILTON BLVD., SUITE 10 UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT ALLENTOWN, PA 18106 610-395-6857 PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776

JASAL MANA			
AELS	3.	REVISED PER TOWNSHIP COMMENTS	5–16–23
MURIN	2.	REVISED PER TOWNSHIP COMMENTS	-19-23
Mozy	1.	REVISED PER TOWNSHIP COMMENTS	7-21-22
IGNATURE MICHAEL S	No.	Description	Date
REGISTERED LANDSCAPE A LA-0025		REVISIONS	

ARCHITECT PA Lic. No.

SEE DETAILED LANDSCAPE INFORMATION ON PLAN SHEETS PROVIDED BY JACKSON LAND PLANNING

LANGAN angan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.

Langan Engineering and Environmental Services, Inc. Langan CT, Inc. Langan International LLC

Collectively known as Langan

RIDGE FARMS PHASE 1B
FINAL PLANS
548725550358 1 SOUTH WHITEHALL TOWNSHIP LEHIGH COUNTY PENNSYLVANIA

NON-TND LANDSCAPE & STREET TREE **PLAN**

Submission Date

240043301 LP-101 1" = 50' Drawn By Checked By SPW NB

CALL BEFORE YOU DIG IN PA, TOLL FREE 1 - 800 - 242-1776

FOR FREE MARKOUTS TO LOCATE UNDERGROUND UTILITIES

" IT'S THE LAW "

Filename: c:\bms\langan-pw-01\d0174953\240043301-0507-LP101-0101.DWG Date: 3/16/2023 Time: 14:52 User: dmoyer Style Table: Langan.stb Layout: LP-101

			MPLIANCE TABLE		
	ZONING DISTRICT (SOU	TH WHITEHALL TOWNSHIP): TN	D - RESIDENTIAL CLUSTER OV	ERLAY DISTRI	CT DISTRICT
					ORDINANCE SECTION
ITEM Shade Trees	REQUIRED	PROPOSED	PROVIDED	COMPLIES	(PAGE)
Street Trees	Uniformly spaced at every 30' - 40'	3,453 LF roadway requires 87 street trees	79 street trees provided ¹	YES ¹	SALDO §312-40
Parking Lot Land	scape				
Trees	One shade tree for every 10 parking spaces	35 parking spaces requires 4 shade trees	4 shade trees provided ²	YES ²	SALDO §312-40

FUTURE

PHASE 2A

WALBERT AVENUE (S.R. 1006).

WALBERT AVENUE (S.R. 1006).

MAN MAY AND THE SECTION STORY OF THE SECTION OF THE S

MEMORANDUM

TO: Mr. Gregg R. Adams via e-mail

Planner, Community Development Department

South Whitehall Township

FROM: Mr. Anthony F. Tallarida, P.E.

Manager, Municipal Engineering Services

SUBJECT: South Whitehall Township

Ridge Farms

Major Subdivision #2017-101 Phase 1B Final Plan Review

DATE: April 12, 2023

COPIES: Mr. Thomas R. Petrucci, MPA

Township Manager

South Whitehall Township

Mr. David Manhardt, AICP

Director of Community Development

South Whitehall Township

Mr. Herb Bender

Director of Township Operations South Whitehall Township

Mr. Mike Elias

Public Works Utility and MS4 Program Coordinator

South Whitehall Township

Ms. Tracy J.B. Fehnel Insurance Administrator & Executive Assistant South Whitehall Township

Ms. Laura M. Harrier, BCO Building Code Official/Zoning Officer South Whitehall Township

Mr. John G. Frantz, CFEI, BCO Fire Marshal, Building Code Official South Whitehall Township

Joseph A. Zator, II, Esq. South Whitehall Township Solicitor Zator Law

Jennifer R. Alderfer, Esq. Assistant South Whitehall Township Solicitor Zator Law

Mr. Christopher A. Taylor, PG Senior Geologist Hanover Engineering Associates, Inc.

Mr. Richard M. Koze, Jr. President Kay Builders, Inc.

Mr. Jason S. Engelhardt, P.E., LEED AP Principal Langan Engineering

Mr. Robert L. Hoffman, P.E., PTOE Regional Manager Traffic Planning and Design, Inc.

(all via e-mail)

Mr. J. Scott Pidcock, P.E., R.A., Township Engineer

REPORT:

South Whitehall Township Ordinances:

Zoning Ordinance (ZO)

Subdivision and Land Development Ordinance (SALDO)

Stormwater Management Plan (SMP)

See attached list for documents reviewed.

Proposal:

 $13.2\pm$ acres to be developed on the northwest corner of the Walbert Avenue/Cedar Crest Boulevard intersection $-5.2\pm$ acres in the Traditional Neighborhood Development (TND) section of the site $-8\pm$ acres in the Traditional Development section of the site;

Development consists of:

Development consists of:

14 Twins (Traditional Development);

60-unit Apartment/Condominium (TND);

2 Rain Gardens;

2.7± acres of Active Open Space;

2,800± linear feet of private streets/alleys; and

Bike/Pedestrian Trails.

The Plan proposes considerable improvements within State Road rights-of-way, including road, signal, and drainage improvements;

Revisions from the prior Phase 1B plan submission include but are not limited to the following:

Removal of additional parking along the Windrow Lane eastern cul-de-sac;

Infiltration areas are shown in proximity to the twin dwelling units along Windrow Lane; and

Minor regrading of Phase 1B portion of the site.

Public Water and Sewer:

Overall Conditional Use approval was granted on November 20, 2020; and

Overall Preliminary Plan approval was granted by the Board of Commissioners on November 3, 2021.

Waivers/Deferrals Granted:

See Waiver Resolution 2018-62; and

See Overall Preliminary Plan Approval Resolution 2021-50.

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Engineering approval is not recommended at this time.

mjg/laf

Enclosures

South Whitehall Township Ridge Farms Major Subdivision #2017-101 Phase 1B Final Plan Review

April 12, 2023

REVIEW COMMENTS

A. Planning

- 1. All outstanding comments listed in the Draft Overall Preliminary Plan Resolution that do not relate to the scope of this Plan are still applicable and will be required to be addressed as appropriate during future phases of the development;
- 2. Obtain any PENNDOT Highway Occupancy Permits (HOPs) for the work within the State right-of-way, SALDO §312-12(a)(9); and
- 3. The infiltration trenches are shown across property lines and are shared by multiple units. The feasibility of this configuration should be discussed with the Township. Also, provide additional documentation regarding any restrictions (e.g., landscaping, fencing, etc.) that may limit future homeowners of improvements within the footprint of the Trenches, SMP §296-12.I(4)(b) and §296-12.I(4)(e).

B. General

- 1. The following are comments concerning accessibility on the Land Development Site Plans:
 - a. Grades of the accessible parking spaces on the east and west sides of Kline Circle between the edge of the parking spaces and Kline Circle exceed two percent. Please revise the grades;
 - b. The walk/ramp at the west end of the crosswalk at the northwest corner of Building 3 should not enter the driveway of the northern unit in Building 3; and
 - c. Based on the Engineer's response that there is no curb along Kline Circle, wheel stops should be provided between the parking spaces and sidewalk to prevent vehicles from projecting into the sidewalk and encroaching on the required width of the accessible route.

The Township's Accessibility Code Official may have additional review comments during building permitting. We recommend contacting the Code Official to confirm the above comments and any other applicable accessibility requirements;

- 2. List the intended use for the "Existing Building to Remain". Provide applicable parking calculations for this facility;
- 3. Check the landscaping for consistency between the Langan Land Development Landscape Plan (Sheet 19) and the Jackson Land Planning Landscape Plans;

- 4. The plans have been revised to show driveway base drains for Lots TW-5W and TW-6W connecting directly into the storm sewerage system in Windrow Lane (a private street). Confirm the hydraulic grade line in the street (in the full-build condition) will not surcharge the proposed base/trench drains; and
- 5. Additional drafting comments will be provided to the Design Engineer under separate cover.

C. Stormwater Management

- 1. We defer to the Township Geotechnical Consultant to review the location of Infiltration Trenches 1-1 through 1-3 as it relates to setback distances;
- 2. Confirm the size and invert elevation of the pipe connections to the Infiltration Trenches provided in the Storm Sewer Profiles (Sheet 18) to be consistent with the Pond Report information (provided in the Geotechnical Review Phase 1B Stormwater Memo Response letter, dated March 16, 2023). We note that the Infiltration Trench calculations and information should be provided to support the calculations in the Phase 1B Stormwater Memo;
- 3. Revise the proposed grading west of the property line for Lot TW-6W as it appears the upstream drainage area will be channelized and conveyed towards the existing residential homes, SMP §296-9.D;
- 4. Provide a Phase 1B Proposed Catch Basin Areas Map and tributary area runoff calculations to confirm the intended tributary area to each storm sewer inlet;
- 5. Provide 100-year storm calculations to determine the depth of runoff in each swale. Additionally, consider provisions for Swale 9 as less than 0.5-foot of freeboard during the 10-year storm event is provided to the ground elevations listed along TW-35W and TW-36W on Sheet 11; and
- 6. Ultimately, an Operations and Maintenance Agreement should be executed for the proposed stormwater BMPs, SMP §296-32.

D. Traffic

- 1. The Ridge Farm Phase 1B Supplemental Traffic Analysis (Traffic Analysis) is based on the following Ridge Farm assumptions:
 - a. Full occupation of the Phase 1A 30,000 SF MOB, with associated Phase 1A improvements;
 - b. Phase 1B development of 60 Apartment Units, 14 Townhouse Units, and the 7,000 SF Office Building;
 - c. Improvements to Walbert Avenue from Cedar Crest Boulevard west to Pond Road, consisting of the final proposed roadway improvements in this area, including the restriction of exiting left turns from Yellowstone Road onto Walbert Avenue, and signal timing revisions at the intersection of Cedar Crest Boulevard and Walbert Avenue; and
 - d. Construction of a temporary traffic signal at Walbert Avenue and Brandywine Road.

With the signal at Walbert Avenue and Brandywine Road, all movements are projected to operate at LOS C or better during the AM, PM, and Saturday peak hours. Note that queue lengths for southbound Brandywine Road are projected to be 115 feet, 128 feet, and 85 feet during the AM, PM, and Saturday peak hours, respectively. We observe about 105 feet of available storage between the anticipated stop bar and Valley Forge Road:

- 2. The Developer's Response Letter indicates that separate HOP Plans are not being prepared for the Phase 1B project, but that the improvements identified above will be completed in the sequence of construction for the overall HOP improvements. This will require issuance of the overall HOP to support the Phase 1B development. We recently received revised Overall HOP Plans for the Ridge Farms Project. Comments will be provided under separate cover;
- We note the following as it relates to the Chalmette Road Traffic Calming Improvements Plan (Sheet CS-103):
 - We continue to recommend the proposed crosswalks be aligned with the existing sidewalks along Redwood Court. If remaining as shown, remove the concrete between the sidewalk and curb at the existing crosswalk locations;
 - Identify the grades along the gutter and perpendicular to the curb for each crosswalk; and
 - Remove the proposed curbing along the sidewalk ramps and grade the adjacent grass areas.
- As acknowledged, provide detailed ADA curb ramp designs including spot elevations, distances between the spot elevations, and slope percentages for ramps within the right-of-way or sidewalk easement. These designs are to be provided prior to construction;
- A crosswalk is proposed on Harvest Way west of its intersection with Cedar Crest Boulevard. Consider re-orientation and signing similar to Kem Drive (Phase 1A) at its intersection with Walbert Avenue. Provide evidence of discussion with PENNDOT, as previous discussion and concern by South Whitehall Township led to the change of design at Kem Drive;
- As noted in our HOP review, connection of the sidewalk across the Person property is recommended to avoid pedestrians being directed to the gored area of Walbert Avenue which was previously intended to be a right turn lane. The Township should consider assisting in discussions with Person to facilitate this connection, as the Developer has indicated an unwillingness by Person to this point to allow this;
- Adjust the clear sight triangle for Kline Circle traffic looking west along Harvest Way so that the required sight distance is located within the cartway of Yellowstone Road – both north and south of the intersection with Harvest Way. This will likely require adjustment of the trees along the south side of Harvest Way between Yellowstone Road and Kline Circle to ensure Kline Circle motorists can see vehicles approaching northbound on Yellowstone Road. We note, subsequent conversations and sketches

- have been provided to show an acceptable sight distance. The plan set should be updated for all revisions; and
- 8. Provide justification for regulatory signing along Township Roadways to support the required Municipal ordinance modifications (All Speed Limit, Traffic Must Turn Right and Parking restrictions along Yellowstone Road).

E. Policy and Information

- 1. Once obtained, copies of all permits and approvals should be provided to the Township and our office;
- 2. Address any comments from the Public Safety Committee;
- 3. Matters pertaining to the design of water distribution and sanitary sewerage systems should be directed to the DPW. We have not reviewed these designs; and
- 4. Upon submission of plans for recording, all Statements and Certifications shall be signed and sealed/notarized as applicable, SALDO §312-14(b)(2).

The comments noted above are the result of our engineering review. We have not reviewed items associated with legal, zoning, geotechnical, lighting, water/sanitary sewerage systems, environmental, frontage streetscape improvements, building code, public safety, and other non-engineering issues, which should be reviewed by the appropriate Township Staff and Consultants.

South Whitehall Township Ridge Farms Major Subdivision #2017-101 Phase 1B Final Plan Review

List of Plans and Supplemental Information Prepared by Langan Engineering and dated or last revised March 16, 2023 (except as noted)

- 1. Cover Sheet, Sheet 1 of 22;
- 2. Aerial Map, Sheet 2 of 22 (cursory review only);
- 3. Existing Features Plan, Sheet 3 of 22 (cursory review only);
- 4. Subdivision Plan (3 sheets), Sheets 4 through 6 of 22;
- 5. Site Plan (2 sheets), Sheets 7 and 8 of 22;
- 6. Pavement Plan, Sheet 9 of 22;
- 7. Fire Truck Turn Plan, Sheet 10 of 22;
- 8. Grading Plan, Sheet 11 of 22;
- 9. Detailed Grading Plan, Sheet 12 of 22;
- 10. Drainage Plan, Sheet 13 of 22;
- 11. Utility Plan, Sheet 14 of 22 (water and sanitary sewer information not reviewed);
- 12. Roadway & Utility Profiles, Sheets 15 through 18 of 22;
- 13. Non-TND Landscape & Street Tree Plan, Sheet 19 of 22 (cursory review only);
- 14. Street Tree Notes and Details, Sheet 20 of 22 (cursory review only);
- 15. Lighting Plan, Sheets 21 of 22 (cursory review only);
- 16. Lighting Notes and Details, Sheet 22 of 22 (cursory review only);
- 17. Sheets from Preliminary Plan Submission:
 - a. Project Calculation Summary Plan (Record Plan), Sheet 3 of 151, last revised September 23, 2021;
 - b. Phasing Plan, Sheet 39 of 151, last revised November 17, 2022;
 - c. TND Open Space Plan, Sheet 42 of 151, last revised September 23, 2021 (cursory review only);
 - d. Site Details, Sheets 58 and 59 of 151, last revised January 19, 2023;
 - e. Site Details, Drawing CS-503, last revised January 19, 2023;
 - f. Drainage Details, Sheets 84 and 85 of 151, last revised September 23, 2021;

- g. Utility Details, Sheet 125 of 151, last revised September 23, 2021 (water and sanitary details not reviewed); and
- h. Utility Details, Sheets 126 and 127 of 151, last revised January 19, 2023 (water and sanitary details not reviewed).
- 18. Chalmette Road Traffic Calming Improvements, Sheet CS-103;
- 19. Soil Erosion and Sediment Control and Post Construction Stormwater Management Plan Sets, Sheets 1 through 26 of 26, last revised January 21, 2022 (cursory review only);
- 20. Landscape Plans, Sheets LP-1 through LP-11 of LP-11, prepared by Jackson Land Planning (cursory review only);
- 21. Stormwater Memo;
- 22. Phase 1B Supplemental Traffic Analysis, prepared by Traffic Planning and Design, Inc.;
- 23. Comment response letters (Township Staff, Township Geotechnical Consultant, Planning Consultant, and Township Engineer);
- 24. Letter of Transmittal; and
- 25. Legal Descriptions and closure reports for the following:
 - a. Bike/Pedestrian Easement #4;
 - b. Temporary Access Easement Ph-1B #1;
 - c. Stormwater Easement Ph-1B #1;
 - d. Snow Drop-off Area Easement Ph-1B #1;
 - e. Infiltration Trench Easement Ph-1B #1;
 - f. Infiltration Trench Easement Ph-1B #2;
 - g. Infiltration Trench Easement Ph-1B #3;
 - h. Harvest Way Right-of-Way;
 - i. Kline Circle Right-of-Way;
 - j. Windrow Lane Ph-1B Right-of-Way; and
 - k. Yellowstone Road Right-of-Way.

In addition, we have received the following information in support of the Application:

1. Subdivision & Land Development Review Application dated March 15, 2023.

Spotts, Stevens and McCoy

Roma Corporate Center, Suite 106 1605 N. Cedar Crest Blvd. > Allentown PA 18104 610.849.9700 > F. 610.621.2001> SSMGROUP.COM



April 10, 2023

Mr. Gregg Adams, Planner South Whitehall Township 4444 Walbert Avenue Allentown PA 18104

Re: Ridge Farms Development

Land Development #2017-101

Review of Phase 1B SSM File 110033.0001

Dear Mr. Adams:

This correspondence is provided as a review of the Preliminary Land Development Plan submitted for the above referenced project revised on March 16, 2023. The project is a mixed use land development located the intersection of Walbert Ave. and Cedar Crest Blvd. We have the following comments regarding the water and sanitary sewer utilities:

General Comments

1. Private 8" water line on Yellow Stone Road will conflict with any water main connections and construction North of Chalmette Road.

Water Comments

- 1. **Sheet 3 Drawing VT-101 Existing Features**: Must show private 8" water line from Yellow Stone Rd to all existing buildings.
- 2. Utility Plan CU-101 Sheet 14 of 22: Utility Note #26 Shall read Underground warning tape shall be installed a minimum of two feet above any pipe in the backfill of any mainline or lateral trench. Tape shall be alkali resistant, 4mils polyethylene, 4 inches minimum width, continuously printed with name or symbol of utility buried below, color coded as follows. Blue: Water system/Green: Sewer systems.
- 3. **Utility Plan CU-101 Sheet 14 of 22: Utility Trench Excavation Guidelines:** Add Note Utility Trench Excavation Shall be in accordance with South Whitehall Technical Specifications Water mains and Appurtenances/Sanitary Sewers and Appurtenances.
- 4. **Utility Plan CU-101 Sheet 14 of 22: Utility Note #3** Change wording [Old private 6" water line] New wording Old private 8" water line and appurtenances.

Sanitary Sewer Comments

1. No comment at this time.

Sincerely,

Spotts, Stevens and McCoy

Jason M. Newhard, CCM, LO Manage, Construction Mgt. Services

Environmental Engineering jason.newhard@ssmgroup.com

cc: SWT, PW

Spotts, Stevens and McCoy

Roma Corporate Center, Suite 106 1605 N. Cedar Crest Blvd. > Allentown PA 18104 610.849.9700 > F. 610.621.2001> SSMGROUP.COM



February 6, 2023

Gregg Adams, Planner South Whitehall Township 4444 Walbert Avenue Allentown PA 18104

Re: Ridge Farms Development

Land Development #2017-101

Review of Preliminary Plan Phase 1 B

SSM File 110033.0001

Dear Mr. Adams:

This correspondence is provided as a review of the Preliminary Land Development Plan submitted for the above referenced project revised on 01/19/2023. The project is a mixed-use land development located the intersection of Walbert Ave. and Cedar Crest Blvd. We have the following comments regarding the water and sanitary sewer utilities:

General Comments: Add to comments.

1. All of Jeras Corporation water lines to be removed. This equates to approximately 704' of 8" DIP plus fire hydrants.

Water Comments

1. **Sheet 3 Drawing VT-101 Existing Features**: Must show private 8" water line from Yellow Stone Rd to all Jeras Corp. existing buildings.

Sanitary Sewer Comments

1. No comment at this time.

Sincerely,

Spotts, Stevens and McCoy

Jason M. Newhard, CCM, LO

usun m Bene

Manager, Construction Management Services

Environmental Engineering

cc: SWT, PW

252 Brodhead Road • Suite 100 • Bethlehem, PA 18017-8944 Phone: 610.691.5644 • Fax: 610.691.6968 • HanoverEng.com

March 30, 2023

Mr. Gregg Adams, Planner South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104-1699 RE: Geotechnical Review of Provided Documents Ridge Farms Major Subdivision #2017-101 South Whitehall Township, Lehigh County, Pennsylvania Hanover Project SWT19-11(002)

Dear Mr. Adams:

Hanover Engineering (Hanover) has reviewed the information received on March 17, 2023 via electronic submission. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following:

- 1. Report referenced as "Phase 1B Stormwater Memo Ridge Farms Phase 1B", prepared by Langan, dated March 16, 2023.
- 2. Response letter referenced as "Ridge Farms Major Subdivision #2017-101Geotechnical Review Phase 1B Stormwater Memo Response", prepared by Langan, dated March 16, 2023.
- 3. Engineering plan set entitled "Soil Erosion and Sediment Control Plan", Sheet 1 of 26 through 26 of 26 inclusive, prepared by Langan, dated October 28, 2021, last revised December 30, 2021.
- 4. Engineering plan set entitled "Ridge Farms Phase 1B Final Land Development Plans", Sheets 1 of 22 through 22 of 22 inclusive, dated April 4, 2022, last revised March 16, 2023.

Based on our review and according to the Subdivision and Land Development Review Application, it is our understanding that the subject property currently exists as eleven (11) separate tax parcels containing numerous existing improvements, including multiple dwellings, barns, other outbuildings, and access driveways. The entire subject property is approximately two hundred (200) acres in size. The existing water and sewerage service to the various structures is not specified on the engineering plans. We further understand that the property is proposed to be subdivided into a total of four hundred and two (402) residential lots and five (5) non-residential lots. Of the residential lots, one hundred eighty-two (182) are proposed to contain single family dwellings and two hundred twenty (220) are proposed to contain semi-detached dwellings (twins). In addition, four hundred sixty-eight (468) multi-family units (apartments) are proposed. The non-residential lots are proposed to contain two (2) restaurants, a medical office building, and four (4) mixed use buildings. All lots are proposed

to be served by public water and public sanitary sewer, along with appurtenant paved accessways, parking areas, stormwater collection and conveyance systems, and stormwater management facilities.

This is a fourth submission of documents to this office for review for delineated Phase 1B. We offer the following review of comments issued in our letters of May 5, 2022, August 3, 2022, and February 6, 2023 (repeated below in italics and pertinent only to Phase 1B), and any new comments generated by this submission:

References to Chapter 296 pertain to Chapter 296, Stormwater Management, of the South Whitehall Township Code:

1. Chapter 296-12.G: The applicant shall document the bedrock type present on the site from published sources. Any apparent boundaries between carbonate and noncarbonate bedrock shall be verified through more detailed site evaluations by a qualified geotechnical professional. Provide reporting for the areas of Basins 3 and 4.

This comment has been adequately addressed.

2. Chapter 296-12.H: For each proposed regulated activity where an applicant intends to use infiltration BMPs, the applicant shall conduct a preliminary site investigation as outlined in Appendix G. This investigation shall be documented, and the resulting data provided in a report signed and sealed by a qualified geotechnical professional.

This comment has been adequately addressed.

3. Chapter 296-12.K: For infiltration areas that appear feasible based on the preliminary site investigation, the applicant shall conduct the additional site investigation and testing as outlined in Appendix G. The number and type of tests shall be in accordance with the density table in Appendix G. All items listed under Required Site Data and Site Information shall be provided in the report of this investigation. Provide a report that includes all required information and all testing conducted at Basins 3 and 4.

This comment has been adequately addressed.

4. In the Stormwater Memo, values for exfiltration are listed in the Pond Reports for Basins 3 and 4. Clarify the source of these figures.

This comment has been adequately addressed.

5. The bottom of basin elevations for Basins 3 and 4 are not consistent throughout the plan views and tables of the plan sets.

This comment has been adequately addressed.

6. The location and extent of Phase 1B shown on the Phasing Plan (Sheet 39 of 151) is not consistent with the information shown on other plan sheets and provided in the introduction of the Stormwater Memo.

This comment has been adequately addressed.

7. Provide details showing plan view and cross-sectional profiles specifically for Basins 3 and 4. Label the side slope grades.

This comment has been adequately addressed.

New Comments (February 6, 2023)

8. In the Stormwater Memo, Infiltration Trench Volume Reduction Calculations, confirm and document the source of the infiltration rate values for Infiltration Trenches 1-1, 1-2, and 1-3.

This comment has not been addressed. The source of the design infiltration rates shall be provided.

Regarding the plan sets, please address the following:

a. The infiltration trench locations are provided only on the Soil Erosion and Sediment Control plans.

They shall also be clearly depicted and labelled on the Land Development Plans.

This comment has been adequately addressed.

b. On Plan Sheet CG-501, Infiltration Trench Detail, provide specifications for the aggregate size and label the minimum aggregate dimensions under, above, and on the sides of the perforated pipes.

This comment has been adequately addressed.

c. On the Infiltration Trench Detail, provide dimensions for the swale (width, depth).

This comment has been adequately addressed.

d. Show a plan location of all sediment traps as indicated on the Infiltration Trench Detail for each trench. Clarify the construction of the sediment traps using details/notes/specifications and show how all runs of perforated piping will connect into them.

This comment has been adequately addressed.

e. The Infiltration Trench Detail indicates "outflow pipe to connect into proposed downstream drainage network". Show this connection for each trench on a plan view and provide all specifications (diameter, slope, material of construction, etc.) for the connecting pipe. Specify the point of connection to the drainage network.

This comment has been adequately addressed.

f. On Plan Sheet CG-503, Pond Report, for Infiltration Trenches 1-2 and 1-3, the width listed does not match other data in the plan set. Please revise this data and the calculated values as appropriate.

This comment has been adequately addressed.

- 9. Multiple retaining walls are proposed. The following issues shall be addressed:
 - a. Provide details/specifications/calculations for each retaining wall for review and approval.

The consultant has responded that the proposed wall details will be submitted for Township approval following land development plan approval but prior to construction. This comment has been adequately addressed.

b. Per a prior comment from The Pidcock Company, in some areas the proposed retaining walls are in close proximity to storm sewerage systems. Impacts on wall anchoring systems should be confirmed by the Design Engineer subject to review by this office.

The consultant has stated that the formal design will consider the wall anchoring system. This issue will be checked when design data is submitted for review. This comment has been adequately addressed.

c. Per a prior comment from the Pidcock Company, Retaining Walls #15 and #23 are close to property boundaries. Show the geogrid or tie back limits and obtain any easements required for construction activity on adjacent properties.

The consultant has stated that Wall #23 does not have any tie backs or geogrid proposed and that Wall #15, when formally designed, will not propose geogrid due to space/site constraints. This comment has been adequately addressed.

This submission has not generated any new comments.

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING

Christopher A. Taylor, PG,

cat:cat/sas

S:\Projects\Municipal\SWhitehallTownship\Swt19-11(002)-RidgeFarm#2017-101\Docs\2023-03-30-SWT Geotech, Ridge Farms #2017-101 geotech rev cmt ltr 13 (Ph 1B cmt ltr 4).doc

cc: Mr. Dave Manhardt, Director of Community Development (via email)

Mr. Herb Bender, Public Works Department Superintendent (via email)

Mr. Anthony Tallarida, PE, The Pidcock Company (via email)

Mr. Mark Gnall, PE, The Pidcock Company (via email)

Mr. Rick Koze, Kay Walbert, LLC

Mr. Jason Engelhardt, PE, Langan



1005 W. LEHIGH STREET

BETHLEHEM, PA 18018

P 610.694.8020

F 610.694.0838

WWW.SNYDERHOFFMAN.COM

March 21, 2023

South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104-1699

Attn: Mr. Gregg Adams

Re: Ridge Farms Phase 1B – Final Plans - Site Lighting Review

Dear Mr. Adams:

I have reviewed the information submitted for Ridge Farms Phase 1B located in the Township. The following information was submitted for review:

• Sheet LL-101 –Lighting Plan, dated April 20, 2022 and last updated July 21, 2022. The Plan was prepared by Langan Engineers and Environmental Services, Inc.

The plan as submitted conforms with the latest Township Lighting Ordinance.

Please feel free to contact me if you have any questions.

Very Truly Yours,

Corey Trumbower

Snyder Hoffman Associates, Inc.

cc: Mark J. Gnall, P.E., Anthony Tallarida, P.E. – The Pidcock Company, David Manhardt - SWT



<u>MEMORANDUM</u>

TO: South Whitehall Township Officials, Staff & Consultants

Ridge Farm Team

FROM: Thomas J. Comitta, AICP, CNU-A, RLA

Erin L. Gross, ACIP, RLA

DATE: August 11, 2022; September 6, 2022; January 30, 2023; **Updated: April 13, 2023**

SUBJECT: RIDGE FARMS – REVIEW COMMENTS:

FINAL LAND DEVELOPMENT PLANS PHASE 1B, DATED 3-16-23, AND LANDSCAPE PLANS, DATED 3-16-23; AND ARCHITECTURAL

ELEVATIONS AND RENDERINGS, DATED 7-12-21

Please note the enclosed Review Comments pertaining to the following items that we received on **March 17, 2023**, and previously, and a meeting pertaining to Architecture on July 27, 2022, including:

- + Ridge Farms Phase 1B: Final Land Development Plans (22 sheets), prepared by Langan, dated revised **3-16-23**:
- + Ridge Farm Phase 1B Landscape Plans (11 sheets), prepared by Jackson Land Planning, dated revised **3-16-23**;
- + Supplemental Plans (11 Sheets) Ridge Farms, prepared by Langan, dated revised 1-19-23;
- + Towns Over Flats REVISED Front Elevation and Renderings, prepared by Martin Architectural, dated July 12th, 2021; and
- + Response Letter to TCA Review Comments (1-30-2023), prepare by Langan, dated **3-16-23**.

These Review Comments also pertain to the:

+ Ridge Farm Manual of Design Standards and Development Guidelines dated 3-18-2020 (previously received with the Preliminary Plan).

Please call if there are any questions.



RIDGE FARMS – REVIEW COMMENTS: FINAL LAND DEVELOPMENT PLANS PHASE 1B, DATED 3-16-23, AND LANDSCAPE PLANS, DATED 3-16-23; AND ARCHITECTURAL ELEVATIONS AND RENDERINGS, DATED 7-12-21

August 11, 2022; September 6, 2022; January 30, 2023; Updated: April 13, 2023

Please note the Review Comments below pertaining to the documents listed in the cover Memorandum, relative to compliance with Appendix C of the South Whitehall Township Zoning Ordinance (SWT ZO), the Preliminary Plans dated 9-23-2021, and the Ridge Farm Manual of Design Standards and Development Guidelines (RF DS&DG) dated 3-18-2020.

New comments are in BOLD type, and previously resolved comments have been removed.

1. Overall Design and Layout

1.1. The overall design and layout for Phase 1B featuring the Apartment/Condo Buildings, Twin Dwellings, and Existing Building to Remain are **still** consistent with Appendix C, the Ridge Farm Manual of Design Standards and Development Guidelines (RF DS&DG), and the Preliminary Plans dated 9-23-2021.

2. Parking Locations

2.1. The proposed parking locations for Phase 1B are **still** consistent with Appendix C, the RF DS&DG, and the Preliminary Plans dated 9-23-2021.

3. Public Realm/TND Open Space, & TND Pedestrian Circulation

3.1. Please add Crosswalks to the Plans in order to create interconnected pedestrian circulation network.

Crosswalks are illustrated on Sheet CS-101. However, we believe that the Landscape Plans should be updated to include the proposed Crosswalks, in order to better convey the connections to the Plaza and Pedestrian Gathering Areas.

The Crosswalks have been added to the Landscape Plans. Therefore, this item is resolved.

4. Streets and Streetscapes

4.1. The proposed streets and streetscapes for Phase 1B are **still** consistent with Appendix C, RF DS&DG, and the Preliminary Plans dated 9-23-2021.



RIDGE FARMS – REVIEW COMMENTS: FINAL LAND DEVELOPMENT PLANS PHASE 1B, DATED 3-16-23, AND LANDSCAPE PLANS, DATED 3-16-23; AND ARCHITECTURAL ELEVATIONS AND RENDERINGS, DATED 7-12-21

August 11, 2022; September 6, 2022; January 30, 2023; Updated: April 13, 2023

5. Landscape Plan

5.1. Please provide detail enlargements of the four (4) gathering spaces, including: the one in the northern portion of the development between Infiltration Basin #3 and North Cedar Crest Boulevard; the one along North Center Crest Boulevard between proposed Apartment/Condo Buildings #2 and #3; the one located in the central green between the Apartment/Condo Buildings; and the one located in the southern portion of the central green, to the north of Alley HH.

Details for the four (4) gathering spaces are now included in the Landscape Plan set on Sheet LP 5. The detail for the Shade Pergola appears to include a bench. Please clarify how many benches will be incorporated beneath the proposed Shade Pergolas.

Please clarify the number of benches for each Shade Pergola on Sheets LP2, LP3, LP5, and LP6.

The Plans have been updated to indicate the number of benches proposed for each Shade Pergola. Therefore, this item is resolved.

6. Architectural Elevations and Renderings

6.1. TCA and the Township had a meeting with the Applicant pertaining to the proposed Architecture on July 27, 2022. Based upon the feedback received during that meeting, the Applicant is preparing revised Elevations.

Architectural Elevations and Renderings have been submitted. Please **still** note comments 6.2. through 6.6. relative to the submission.

- 6.2. We still believe that the Applicant was responsive to the comments and discussion during the 7-27-2022. However, please **still** note the following:
- 6.3. We consider the reduced amount of trim illustrated in the revised submission to be an improvement. However, please **still** consider changing the color of the trim from white to a light gray, tan, or other non-white color. We **still** believe that the white color "pops", and that a non-white color would create a more cohesive appearance for the proposed architecture.

The Applicant indicates that renderings will be updated to represent "light gray" trim. The updated renderings should still be provided.



RIDGE FARMS – REVIEW COMMENTS: FINAL LAND DEVELOPMENT PLANS PHASE 1B, DATED 3-16-23, AND LANDSCAPE PLANS, DATED 3-16-23; AND ARCHITECTURAL ELEVATIONS AND RENDERINGS, DATED 7-12-21

August 11, 2022; September 6, 2022; January 30, 2023; Updated: April 13, 2023

6.4. Instead of a flat roof over the center entrance, please **still** consider a mansard or an awning type roof to complement the standing seam metal roof components. While the left and right entrances have covers located under patio areas, the center entrance covering does not have a patio area above, and we **still** believe that an awning type roof over the entrance would improve the overall aesthetic.

The Applicant indicates that they believe the current renderings are more in tune with contemporary aesthetics requirements, and believe that the architecture of the region has been trending to cleaner lines and more straightforward detailing to accommodate newer energy codes and to allow for the ability to position mechanical equipment above ground. We still recommend that the Applicant comply with the Design Standards in their revised submission. In the meantime, please submit some articles or "white paper" that addresses regional architectural trends.

- 6.5. In addition to the Front Elevation, please **still** provide Side and Rear Elevations.
- 6.6. Please **still** provide a Materials and Colors Legend, and label the elevations with the corresponding materials.

The Applicant indicates that this was previously submitted to the Township. However, we have not yet seen the Materials Board. Please send digital versions.

7. Details

7.1. A Free Standing Entrance wall with Project Sign Details are provided on Landscape Details. However, please provide a Section or Elevation detail of the proposed Free Standing Entrance Sign that better illustrates the "L" configuration and depicts the location of the sign lettering.

A Sign Elevation has been added to the Landscape Details (Sheet LP 9). It appears that the Elevation depicted will be on the 18'-6" portion of the wall. Please clarify if there will be any signage on the 9' part of the "L".

The Applicant indicates that "THE RIDGE" will be displayed on the 18'-6" section of the L shaped sign, which is located on both sides of Harvest Way. In addition, the Applicant indicates that no additional sign lettering is proposed on the 9' section of the L shaped sign. Therefore, this item is resolved.



RIDGE FARMS – REVIEW COMMENTS: FINAL LAND DEVELOPMENT PLANS PHASE 1B, DATED 3-16-23, AND LANDSCAPE PLANS, DATED 3-16-23; AND ARCHITECTURAL ELEVATIONS AND RENDERINGS, DATED 7-12-21

August 11, 2022; September 6, 2022; January 30, 2023; Updated: April 13, 2023

7.2. Retaining walls are proposed along the north, west, south, and a portion of the east side of the proposed central green space. Please provide a detail (including the proposed material and color) of the proposed retaining wall so we can better understand the how the aesthetics of the retaining wall relates to the central green space and proposed amenities.

The Applicant indicates that the Developer is currently reviewing options for the proposed retaining walls in this location. The material and color of the retaining walls will be provided to the Township after it is chosen.

The Applicant indicates that the Developer proposes to use the Anchor Wall Vertica Retaining Wall System, and proposes to use the color Sable Blend (Gray). Details for the wall system and a photo of the block color have been provided.

Please include the cut sheet of the wall system into the Plan set.

Please call if there are any questions.



INTEROFFICE MEMORANDUM

To: Dave Manhardt, director of Community Development

FROM: HERB BENDER, PUBLIC WORKS MANAGER

DATE: FEBRUARY 3, 2023

SUBJECT: RIDGE FARMS FINAL PLAN PHASE 1B

MAJOR PLAN 2017 -101

The Public Works Dept. reviewed the above project and has the following comments:

- 1. All water mains to be to be located in Roadway.
- 2. All water meters to be Neptune Mach 10.
- 3. Place valve at SE corner of Kline in order to isolate, in case of leak.
- 4. What is the metering plan for the apartments?
- 5. Do the apartments need a sprinkler system? If so, a separate top will be required for fire.
- 6. All stormwater is to remain private.

SOUTH WHITEHALL TOWNSHIP³⁹

4444 Walbert Avenue, Allentown, PA 18104-1699 www.southwhitehall.com • (610) 398-0401

April 14, 2023

Kay Walbert LLC 5930 Hamilton Boulevard, Suite 10 Allentown, PA 18106

Re: Ridge Farms Final Plan Phase 1B
Major Subdivision #2017-101
Final Land Development Plan Review

Dear Mr. Koze:

The purpose of this letter is to report non-engineering related comments that are to be addressed. My comments follow:

Zoning

- 1. The Applicant shall address to the satisfaction of the Township the ongoing comments of Thomas Comitta Associates, Inc. Review letter dated January 30, 2023, has been addressed by Langan in their letter dated March 16, 2023, as it pertains to Phase 1B.
- 2. Section 350-48(o)(2)(E)(iv) Setbacks Required. For Parking Lots less than 8,000 square feet the setback from the Ultimate Right-of-Way Line is twenty-five (25) feet and the Side and Rear Setback from Lot Lines is fifteen (15) feet. Sheet CS-102 Site Plan shows a parking area adjacent to the existing building with a zero-setback line on Yellowstone Road and approximately eleven (11) feet on Windrow Lane where twenty-five (25) feet are required. Variances may be required. The Applicant has stated in their March 16, 2023 response letter that a variance will be requested. Zoning Hearing Board approval will be required prior to Land Development approval.
- 3. Section 350-48(o)(6) Office, Business and Professional. The existing building on-site is a lawful nonconforming Use and will remain during construction as an Office Use for the development. It should be discussed what the future of the office building will be post-development to determine the required parking spaces can be met so as not to create any parking nonconformities. Variances may be required for future Uses if not office space. Any Change in Use will require a building permit. The Applicant has acknowledged this comment but provided no future Use as of their response letter dated March 16, 2023.

Fire Inspector

The Fire Inspector reported no comments. The Fire Inspector reports that the Public Safety Commission made the additional recommendation that a safe area be provided for the school students to stand to wait for school buses near the intersection of Walbert Avenue and Yellowstone Road.



Open Space and Recreation

At their May 9, 2022 meeting, the Parks and Recreation Board reviewed the plan and determined the following:

- 1. That the applicant works with Township staff to set up a tour of the JERAS Barn for the Parks and Rec Board and applicable staff.
- 2. That the Open Space proposed in the area of the apartment buildings need not be available to the Township for scheduling events due to its small size.
- 3. That the plan is acceptable.

Legal and Other

The Township Solicitor and Township Engineer may want to comment upon the legal requirements of the MS4 program with regard to any private stormwater management facilities.

Waiver and Deferral Request Commentary

No waivers or deferrals requested.

Official Map & Comprehensive Plan

- 1. The Official Map depicts the subject parcel as underlain by karst geology south of the top of Huckleberry Ridge. Walbert Avenue and Cedar Crest Boulevard are minor arterial roads.
- 2. The Comprehensive Plan depicts this area is also under a Growth Opportunity Area and Walbert Avenue and Cedar Crest Boulevard are Enhanced Transportation Corridors.

Your plan is scheduled to be reviewed by the Planning Commission on Thursday April 20, 2023 at 7:30 p.m. in the Public Meeting Room of the Township Municipal Building located at 4444 Walbert Avenue, Allentown. The meeting will also be streamed live on the Township GoToMeeting platform. To access the meeting through your phone, dial 1-224-501-3412 and, when prompted, enter 757 430 189 to join the meeting. To access the meeting though your computer, go to https://global.gotomeeting.com/join/757430189.

If you have any questions, please call.

Sincerely,

Gregg R. Adams, Planner

Community Development Department

cc: D. Manhardt

T. Petrucci

L. Harrier

H. Bender

J. Frantz

J. Alderfer, Esq.

J. Zator, Esq

S. Pidcock

A. Tallarida

File #2017-101

J. Engelhardt, Langan

Page 2 of 2

J. Preston, Esq

R. Brooks

Gregg R. Adams

From: John G. Frantz

Sent: Friday, April 14, 2023 7:10 AM

To: Gregg R. Adams

Subject: Ridge Farm Final Plan Phase 1B 2017-101

Gregg,

The PSC made the additional recommendation that a safe area be provided for the school students to stand to wait for school buses near the intersection of Walbert Ave & Yellowstone Rd.

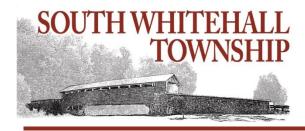
John G. Frantz, CFEI, BCO

Fire Marshal, Building Code Official South Whitehall Township 4444 Walbert Avenue Allentown PA 18104-1699 610-398-0401 (office) 610-398-1068 (fax)

www.southwhitehall.com



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MEMORANDUM

To: Planning Commission **From:** Gregg Adams, Planner

DATE: July 29, 2022

Subject: Landscaping Plan Review

Ridge Farm Final Plan Phase 1B

Major Plan 2021-105 Plan dated July 21, 2022

COPIES: Landscape and Shade Tree Commission, D. Manhardt, J. Alderfer, S.

Pidcock, Applicant

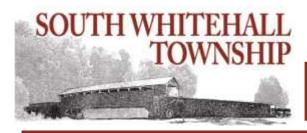
At their July 25, 2022 meeting, the Landscape and Shade Tree Commission reviewed the above-mentioned plan and recommended the following:

The plan is acceptable.

Respectfully submitted,

Gregg Adams, Planner

Community Development Department



MEMORANDUM

To: Planning Commission **From:** Gregg Adams, Planner

DATE: May 19, 2022

SUBJECT: Subdivision Plan Review

Ridge Farm Final Plan Phase 1B

Major Plan 2017-101

Plan Dated April 20, 2022

COPIES: Parks and Recreation Board, R. Cope, M. Kukitz, D. Manhardt,

J. Alderfer, S. Pidcock, Applicant

At their May 9, 2022 meeting, the Parks and Recreation Board reviewed the plan and determined the following:

- 1. That the applicant works with Township staff to set up a tour of the JERAS Barn for the Parks and Rec Board and applicable staff.
- 2. That the Open Space proposed in the area of the apartment buildings need not be available to the Township for scheduling events due to its small size..
- 3. That the plan is acceptable.

Respectfully submitted,

Gregg Adams, Planner

Community Development Department



Highway Occupancy Permit

Name and Address of Permittee: South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104	County: Lehigh	Issue Date: 11/16/2022
	County Contact No.: (610) 798-4294	Expiration Date: 11/16/2023
	Issuing District Office: 5-0	Application No.: 277526
,	District Contact No.: (610) 871-4167	Account No.:
	Municipalities: South Whitehall T Township	Permit Fee: \$ 0.00

Immediately upon completion of the work Permittee shall notify the permit office where application was made. Subject to all the conditions, agreements, restrictions, and regulations prescribed by the Pennsylvania Department of Transportation, (see in particular 67 Pa. Code, Chapter 212, 441 and 459 and State Highway Law, 36 P.S. Section 670 - 411, 420 and 421) and subject to the plans, special conditions, or restrictions herein set forth or attached hereto. This permit shall be located at the work site and shall be available for inspection by any police officer or Department representative.

Locati	on and Descri	ption of Work		Permit No.: 05061148
1 of 4	State Route #:	1006	641: Install Sub-surface Sewer Facility	
	Segment(s):	From 0040 To 0040		
	Offset(s):	From 3168 To 3206		
2 of 4	State Route #:	1019	641: Install Sub-surface	Sewer Facility
	Segment(s):	From 0080 To 0080		
	Offset(s):	From 0100 To 0126		
3 of 4	State Route #:	1006		
	Segment(s):	From 0040 To 0050		
	Offset(s):	From 3099 To 1606		
4 of 4	State Route #:	1019		
	Segment(s):	From 0070 To 0080		
	Offset(s):	From 1727 To 0778		

Perm	it Conditions	Permit No.: 05061148
1 of 22	CONTRACTOR MUST CONTACT PENNDOT'S DISTRICT PRI LEAST 5 WORK DAYS PRIOR TO ANY LANE CLOSURE AND FULL CLOSURE.	
2 of 22	AS-BUILT PLANS, IN A .PDF FORMAT, MAY BE REQUIRED THIS PERMIT, IF ANY CHANGES ARE MADE TO THE APPR	
3 of 22	ALL WORK ASSOCIATED WITH THIS PERMIT WILL BE PERMICALLY NO. 272003 IN THE NAME OF KAY WALBERT, LLC. ALL IN WILL BE CHARGED TO KAY WALBERT, LLC.	
4 of 22	MATERIAL CERTIFICATIONS MUST BE PROVIDED BY AN LISTED IN THE DEPARTMENT'S PUBLICATION 35 BULLET STRUCTURES WITHIN PENN DOT R/W.	
5 of 22	CONTACT LEHIGH COUNTY PERMIT OFFICE AT LEAST 3 VOF WORK AT 610-798-4294.	WORK DAYS PRIOR TO START



Permi	t Conditions	Permit No.: 05061148
6 of 22	NOTIFY THE TRAFFIC MANAGEMENT CENTER AT 610-871 LANE CLOSURES OR RESTRICTIONS, AND WHEN THE CLOREMOVED.	
7 of 22	AN INSPECTOR, WHEN AVAILABLE, WILL BE ASSIGNED OF INSPECTION BASIS. PERMITTEE WILL BE CHARGED ALL I BY THE DEPARTMENT.	
8 of 22	FACILITY MAY BE PLACED IN PAVEMENT OR SHOULDER BASE AND WEARING COURSES ARE OPENED BY SAW CU	
9 of 22	THIS PERMIT AUTHORIZES WORK ONLY IN DEPARTMENT	Г HIGHWAY RIGHT OF WAY.
10 of 22	2A COARSE AGGREGATE BACKFILL MATERIAL IS REQUING SECTION 459.8 (g)(2) AND SECTION 703.2 OF PUBLICATION	
11 of 22	THE PERMITTEE IS REQUIRED TO USE HOT MIX OR WARM TEMPORARY RESTORATION. COLD MIX WILL BE PERMIT THE DEPARTMENT. PERMITTEE MUST MAINTAIN A SMOOSUITABLE FOR DRIVING FOR THE DURATION OF THE TEM	TED AT THE DISCRETION OF OTH PAVEMENT SURFACE
12 of 22	BACKFILL COMPACTION TESTING IS REQUIRED A MINIM FOR OPENINGS LESS THAN OR EQUAL TO 500 TOTAL FEE SIDEWALK, THE PERMITTEE MAY CHOOSE THE COMPACTHE TEST METHOD IS PERFORMED CONSISTENT WITH DIAND ON THE CONDITION THAT THE PERMITTEE PROVIDINSTALLATION INSPECTION FORM) AND ACCOMPANYINFORMS WITHIN TWO WEEKS OF THE COMPLETION OF THE FORM. PENNDOT WILL NOT CLOSE-OUT THE PERMIT PRICOMPLETED FORMS. (FOR OVER 500 FEET AND ALL STORM SEWER PIPE INSTACOMPLETE TRENCH BACKFILL IN ACCORDANCE WITH SIVERSION OF THE PUBLICATION 408 SPECIFICALLY SECTIPROCTOR FOR CERTIFIED STONE MUST BE PROVIDED PRICONSTRUCTION. FOR MATERIALS WITH MORE THAN 20% OR IF A VIABLE PROCTOR COULD NOT BE OBTAINED, COIS ACCEPTABLE USING THE EQUIPMENT OUTLINED IN PUTESTED IN ACCORDANCE WITH PUB 408, SECTION 210.3(6) ARE TO BE COMPLETED. FOR MATERIALS WITH LESS TISIEVE, NUCLEAR DENSITY TESTING MUST BE PERFORME CS-6 ARE TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLECION OF THE COMPACTION OF THE REQUIRED; FAILURE TO NOTIFY THE DEPARTMENT WILL MATERIAL AND REPLACEMENT UNDER DEPARTMENT SUNDT CLOSE-OUT THE PERMIT PRIOR TO RECEIVING THE	T IN PAVEMENT, SHOULDER OR TION TEST METHOD, PROVIDED EPARTMENT PUBLICATIONS, E THE COMPLETED CS-6 (PIPE G TR-478 AND/OR TR-4276 IE WORK REPRESENTED ON THE OR TO RECEIVING THE ALLATION) ECTION 459.8, & THE NEWEST ON 601.3 (F) AND (Q). A IOR TO THE START OF A RETAINED ON THE 3/4" SIEVE, OMPACTION BY NON-MOVEMENT JB 408, SECTION 108.05(c) AND (d); FORM TR-478A AND FORM CS-HAN 20% RETAINED ON THE 3/4" ED; FORM TR-4276A AND FORM ARE TO BE COMPLETED BY THE PLETED BY THE PLETED BY THE NUCLEAR TRENCH BACKFILL IS A RESULT IN REMOVAL OF THE JPERVISION. PENNDOT WILL
13 of 22	SHOULDERS MUST BE RESTORED IN ACCORDANCE WITH PUB. 408 AND ROADWAY CONSTRUCTION STANDARDS R	
14 of 22	IT IS THE PERMITTEE'S RESPONSIBILITY TO IDENTIFY AL FACILITIES WITHIN THE LIMITS OF PERMITTED WORK. IF WORK, IT IS PERMITTEES RESPONSIBILITY TO CONTACT IMMEDIATELY AND RESTORE THE FACILITY TO ITS ORIC DIRECTED BY THE DEPARTMENT.	F DAMAGED BY THE PERMITTED THE DEPARTMENT



Permit	Permit Conditions Permit No.: 05061148	
15 of 22	ALL DISTURBED AREAS OUTSIDE THE PAVEMENT OR SHOTO A CONDITION AT LEAST EQUAL TO THAT WHICH EXIST WORK.	
16 of 22	MINIMUM WORK ZONE TRAFFIC CONTROL TO BE IN ACC PUB 212 FOR ADDITIONAL DETAILS.	ORDANCE WITH PUB. 213. SEE
17 of 22	NO LANES MAY BE RESTRICTED BETWEEN THE HOURS O BETWEEN THE HOURS OF 3:00 PM TO 6:00 PM.	0F 6:00 AM TO 9:00 AM OR
18 of 22	LANE CLOSURES WILL NOT BE PERMITTED DURING THE WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; MEMORE 6:00AM TO TUESDAY 9:00AM; FOURTH OF JULY HOLIDAY FROM DISTRICT OR COUNTY PERMIT OFFICE; LABOR DAY TO TUESDAY 9:00AM; COLUMBUS DAY WEEKEND - FRIDAT THANKSGIVING WEEKEND - WEDNESDAY 6:00AM TO MORE HOLIDAY-DECEMBER REQUEST INFORMATION FROM DISTRICE; NEW YEAR'S HOLIDAY - REQUEST INFORMATION PERMIT OFFICE. THERE MAY BE ADDITIONAL TRAFFIC REVENTS THAT ATTRACT LARGE VOLUMES OF TRAFFIC IN	RIAL DAY WEEKEND - FRIDAY - REQUEST INFORMATION Y WEEKEND - FRIDAY 6:00AM AY 6:00AM TO MONDAY 9:00AM; NDAY 9:00AM; CHRISTMAS STRICT OR COUNTY PERMIT I FROM DISTRICT OR COUNTY ESTRICTIONS FOR SPECIAL
19 of 22	PERMITTEE IS RESPONSIBLE FOR ENSURING THAT MUD, REMOVED FROM VEHICLES AND TIRES (BY POWER WASHONTO THE HIGHWAY.	
20 of 22	LONGITUDINAL JOINTS MUST NOT BE PLACED IN THE WE MILL/OVERLAY MAY BE REQUIRED BY THE INSPECTOR A TO OVERSEE CONSTRUCTION	
21 of 22	IF THERE IS SIGNIFICANT INTRUSION, DUE TO UNFORESE TRAVEL LANE; OR IF THE INSTALLATION OF THE UTILITY TRAVEL LANE, AN OVERLAY OF THE UTILIZED/DAMAGE THIS IS DETERMINED BY THE INSPECTOR ASSIGNED BY THE PROJECT.	Y RESULTS IN DAMAGE TO THE D AREAS WILL BE REQUIRED.
22 of 22	IF AN OPENING IS MADE WITHIN A BITUMINOUS OR CONFEET FROM THE EDGE OF PAVEMENT OR OTHER LONGITUMES URFACE RESTORATION SHALL BE EXTENDED TO THE CONGITUDINAL JOINT OR OPENING. (67 PA. CODE.)	UDINAL JOINT OR OPENING, HE EDGE OF PAVEMENT OR

Acknowledgement of Completion	Yassmin Gramian, P.E.
Permit work has been completed:	Secretary of Transportation
Date:	Michael W. Rebert, P.E.
By:	District Executive



Highway Occupancy Permit

Name and Address of Permittee: South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104	County: Lehigh	Issue Date: 11/23/2022
	County Contact No.: (610) 798-4294	Expiration Date: 11/23/2023
	Issuing District Office: 5-0	Application No.: 277525
,	District Contact No.: (610) 871-4167	Account No.:
	Municipalities: South Whitehall T Township	Permit Fee: \$ 0.00

Immediately upon completion of the work Permittee shall notify the permit office where application was made. Subject to all the conditions, agreements, restrictions, and regulations prescribed by the Pennsylvania Department of Transportation, (see in particular 67 Pa. Code, Chapter 212, 441 and 459 and State Highway Law, 36 P.S. Section 670 - 411, 420 and 421) and subject to the plans, special conditions, or restrictions herein set forth or attached hereto. This permit shall be located at the work site and shall be available for inspection by any police officer or Department representative.

Locati	Location and Description of Work			Permit No.: 05061194
1 of 4	State Route #: Segment(s): Offset(s):	1006 From 0050 To 0050 From 0000 To 1606	141: Connect Surface Dr Facilities	rainage to Department Drainage
2 of 4	State Route #: Segment(s): Offset(s):	1019 From 0070 To 0080 From 1846 To 0537	141: Connect Surface Dr Facilities	rainage to Department Drainage
3 of 4	State Route #: Segment(s): Offset(s):	1006 From 0040 To 0050 From 3099 To 1606		
4 of 4	State Route #: Segment(s): Offset(s):	1019 From 0070 To 0080 From 1727 To 0778		

Perm	it Conditions	Permit No.: 05061194
1 of 23	NO WORK TO BE COMPLETED PRIOR TO ISSUANCE OF TH DRIVEWAY APPLICAITON #272003	E ASSOCIATED HIGH VOLUME
2 of 23	CONTRACTOR MUST CONTACT PENNDOT'S DISTRICT PRE LEAST 5 WORK DAYS PRIOR TO ANY LANE CLOSURE ANI FULL CLOSURE.	
3 of 23	CONTACT LEHIGH COUNTY PERMIT OFFICE AT LEAST 3 VOF WORK AT 610-798-4294.	WORK DAYS PRIOR TO START
4 of 23	NOTIFY THE TRAFFIC MANAGEMENT CENTER AT 610-871 LANE CLOSURES OR RESTRICTIONS, AND WHEN THE CLOREMOVED.	
5 of 23	AN INSPECTOR, WHEN AVAILABLE, WILL BE ASSIGNED OF INSPECTION BASIS. PERMITTEE WILL BE CHARGED ALL I BY THE DEPARTMENT.	



Permit	Conditions	Permit No.: 05061194
6 of 23	FACILITY MAY BE PLACED IN PAVEMENT OR SHOULDER, BASE AND WEARING COURSES ARE OPENED BY SAW CUT	
7 of 23	THIS PERMIT AUTHORIZES WORK ONLY IN DEPARTMENT	HIGHWAY RIGHT OF WAY.
8 of 23	2A COARSE AGGREGATE BACKFILL MATERIAL IS REQUIR SECTION 459.8 (g)(2) AND SECTION 703.2 OF PUBLICATION	
9 of 23	THE PERMITTEE IS REQUIRED TO USE HOT MIX OR WARM TEMPORARY RESTORATION. COLD MIX WILL BE PERMIT THE DEPARTMENT. PERMITTEE MUST MAINTAIN A SMOOSUITABLE FOR DRIVING FOR THE DURATION OF THE TEM	TED AT THE DISCRETION OF OTH PAVEMENT SURFACE
10 of 23	BACKFILL COMPACTION TESTING IS REQUIRED A MINIM FOR OPENINGS LESS THAN OR EQUAL TO 500 TOTAL FEET SIDEWALK, THE PERMITTEE MAY CHOOSE THE COMPACT THE TEST METHOD IS PERFORMED CONSISTENT WITH DEAND ON THE CONDITION THAT THE PERMITTEE PROVIDE INSTALLATION INSPECTION FORM) AND ACCOMPANYING FORMS WITHIN TWO WEEKS OF THE COMPLETION OF THE FORM. PENNDOT WILL NOT CLOSE-OUT THE PERMIT PRICE COMPLETED FORMS. (FOR OVER 500 FEET AND ALL STORM SEWER PIPE INSTA	IT IN PAVEMENT, SHOULDER OR ITON TEST METHOD, PROVIDED EPARTMENT PUBLICATIONS, ETHE COMPLETED CS-6 (PIPE G TR-478 AND/OR TR-4276 E WORK REPRESENTED ON THE DR TO RECEIVING THE
	COMPLETE TRENCH BACKFILL IN ACCORDANCE WITH SE VERSION OF THE PUBLICATION 408 SPECIFICALLY SECTION PROCTOR FOR CERTIFIED STONE MUST BE PROVIDED PROCTOR FOR CERTIFIED STONE MUST BE PROVIDED PROCTOR FOR MATERIALS WITH MORE THAN 20% OR IF A VIABLE PROCTOR COULD NOT BE OBTAINED, CO IS ACCEPTABLE USING THE EQUIPMENT OUTLINED IN PUTESTED IN ACCORDANCE WITH PUB 408, SECTION 210.3(b) 6 ARE TO BE COMPLETED. FOR MATERIALS WITH LESS THE SIEVE, NUCLEAR DENSITY TESTING MUST BE PERFORME CS-6 ARE TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478D AUTHORIZED INSPECTOR. FORM TR-4276D IS TO BE COMPLETED. FORMS CS-6 AND TR-478D AUTHORIZED INSPECTION OF THE COMPACTION OF THE REQUIRED; FAILURE TO NOTIFY THE DEPARTMENT WILL MATERIAL AND REPLACEMENT UN	ECTION 459.8, & THE NEWEST ON 601.3 (F) AND (Q). A IOR TO THE START OF RETAINED ON THE 3/4" SIEVE, MPACTION BY NON-MOVEMENT IB 408, SECTION 108.05(c) AND O; FORM TR-478A AND FORM CS- HAN 20% RETAINED ON THE 3/4" D; FORM TR-4276A AND FORM ARE TO BE COMPLETED BY THE PLETED BY THE NUCLEAR TRENCH BACKFILL IS
11 of 23	SHOULDERS MUST BE RESTORED IN ACCORDANCE WITH PUB. 408 AND ROADWAY CONSTRUCTION STANDARDS ROADWAY.	
12 of 23	IT IS THE PERMITTEE'S RESPONSIBILITY TO IDENTIFY ALL FACILITIES WITHIN THE LIMITS OF PERMITTED WORK. IF WORK, IT IS PERMITTEES RESPONSIBILITY TO CONTACT IMMEDIATELY AND RESTORE THE FACILITY TO ITS ORIG DIRECTED BY THE DEPARTMENT.	DAMAGED BY THE PERMITTED THE DEPARTMENT
13 of 23	ALL DISTURBED AREAS OUTSIDE THE PAVEMENT OR SHOTO A CONDITION AT LEAST EQUAL TO THAT WHICH EXIST WORK.	
14 of 23	MINIMUM WORK ZONE TRAFFIC CONTROL TO BE IN ACC PUB 212 FOR ADDITIONAL DETAILS.	ORDANCE WITH PUB. 213. SEE
15 of 23	NO LANES MAY BE RESTRICTED BETWEEN THE HOURS O BETWEEN THE HOURS OF 3:00 PM TO 6:00 PM.	F 6:00 AM TO 9:00 AM OR



Permit	Conditions		Permit No.: 05061194
16 of 23	WEEKEND - FRIDAY 6:00 6:00AM TO TUESDAY 9:0 FROM DISTRICT OR COU TO TUESDAY 9:00AM; CO THANKSGIVING WEEKE HOLIDAY-DECEMBER RI OFFICE; NEW YEAR'S HO PERMIT OFFICE. THERE	NOT BE PERMITTED DURING THE DAM TO TUESDAY 9:00AM; MEMODOAM; FOURTH OF JULY HOLIDAY INTY PERMIT OFFICE; LABOR DAY ULUMBUS DAY WEEKEND - FRIDAND - WEDNESDAY 6:00AM TO MOEQUEST INFORMATION FROM DISTIDAY - REQUEST INFORMATION MAY BE ADDITIONAL TRAFFIC RELARGE VOLUMES OF TRAFFIC IN	RIAL DAY WEEKEND - FRIDAY - REQUEST INFORMATION Y WEEKEND - FRIDAY 6:00AM AY 6:00AM TO MONDAY 9:00AM; NDAY 9:00AM; CHRISTMAS STRICT OR COUNTY PERMIT N FROM DISTRICT OR COUNTY RESTRICTIONS FOR SPECIAL
17 of 23		IBLE FOR ENSURING THAT MUD, LES AND TIRES (BY POWER WASI	
18 of 23		MUST NOT BE PLACED IN THE WIE REQUIRED BY THE INSPECTOR A	
19 of 23	TRAVEL LANE; OR IF TH TRAVEL LANE, AN OVER	T INTRUSION, DUE TO UNFORESE IE INSTALLATION OF THE UTILITY RLAY OF THE UTILIZED/DAMAGE Y THE INSPECTOR ASSIGNED BY T	Y RESULTS IN DAMAGE TO THE D AREAS WILL BE REQUIRED.
20 of 23	FEET FROM THE EDGE C THE SURFACE RESTORA	E WITHIN A BITUMINOUS OR CONDEPAYEMENT OR OTHER LONGIT TION SHALL BE EXTENDED TO TO JOINT OR OPENING. (67 PA. CODE	UDINAL JOINT OR OPENING, HE EDGE OF PAVEMENT OR
21 of 23		IONS MUST BE PROVIDED BY AN AMENT'S PUBLICATION 35 BULLETIENN DOT R/W.	
22 of 23		PDF FORMAT, MAY BE REQUIRED IANGES ARE MADE TO THE APPRO	
23 of 23		O WITH THIS PERMIT WILL BE PER E OF KAY WALBERT, LLC. ALL IN WALBERT, LLC.	
A .1	1. 1 4 . C.C 1.4°	Yassmin Gr	ramian P.E.

Acknowledgement of Completion	Yassmin Gramian, P.E.
Permit work has been completed:	Secretary of Transportation
Date:	Michael W. Rebert, P.E.
By:	District Executive



Highway Occupancy Permit

Name and Address of Permittee:	County: Lehigh	Issue Date: 1/31/2023
South Whitehall Township	County Contact No.: (610) 798-4294	Expiration Date: 1/31/2024
4444 Walbert Avenue Allentown, PA 18104	Issuing District Office: 5-0	Application No.: 277524
	District Contact No.: (610) 871-4167	Account No.:
	Municipalities: South Whitehall T Township	Permit Fee: \$ 0.00

Immediately upon completion of the work Permittee shall notify the permit office where application was made. Subject to all the conditions, agreements, restrictions, and regulations prescribed by the Pennsylvania Department of Transportation, (see in particular 67 Pa. Code, Chapter 212, 441 and 459 and State Highway Law, 36 P.S. Section 670 - 411, 420 and 421) and subject to the plans, special conditions, or restrictions herein set forth or attached hereto. This permit shall be located at the work site and shall be available for inspection by any police officer or Department representative.

Location and Description of Work			Permit No.: 05061449	
1 of 1	State Route #:	1006	137: Construct Sidewalk	and Curb
	Segment(s):	From 0050 To 0050		
	Offset(s):	From 0000 To 1606		

Permit Conditions		Permit No.: 05061449
1 of 19	FINAL, COMPLETED CS-4401 FORMS, IN A FORM ACCEPTA WITH PICTURES OF THE INSTALLATION, AND FINAL RMS SUBMITTED BY SUPPLEMENT PRIOR TO THE CLOSE OUT	FORMS ARE REQUIRED TO BE
2 of 19	THE FOLLOWING ASSOCIATION WITH THIS PROJECT: 05061450 - HIGH VOLUME DRIVEWAY - KAY WALBERT, LI 05061194 - STORMWATER DRAINAGE - SOUTH WHITEHAL 05061148 - SEWER FACILITIES - SOUTH WHITEHALL TOWN 05061451 - WATER LINE FICILITIES - SOUTH WHITEHALL TALL WORK WILL BE PERFORMED BY KAY WALBERT, LLC ASSOCIATED WITH THESE PERMITS WILL BE CHARGED T	L TOWNSHIP NSHIP TOWNSHIP C. AND ALL INSPECTION
3 of 19	CONTRACTOR MUST CONTACT PENNDOT'S DISTRICT PRE LEAST 5 WORK DAYS PRIOR TO ANY LANE CLOSURE ANI FULL CLOSURE.	
4 of 19	CONTACT LEHIGH COUNTY PERMIT OFFICE AT LEAST 3 VOF WORK AT 610-798-4294.	WORK DAYS PRIOR TO START
5 of 19	NOTIFY THE TRAFFIC MANAGEMENT CENTER AT 610-871 LANE CLOSURES OR RESTRICTIONS, AND WHEN THE CLOREMOVED.	
6 of 19	AN INSPECTOR, WHEN AVAILABLE, WILL BE ASSIGNED OF INSPECTION BASIS. PERMITTEE WILL BE CHARGED ALL IBY THE DEPARTMENT.	
7 of 19	THIS PERMIT AUTHORIZES WORK ONLY IN DEPARTMENT	THIGHWAY RIGHT OF WAY.
8 of 19	2A COARSE AGGREGATE BACKFILL MATERIAL IS REQUIR SECTION 459.8 (g)(2) AND SECTION 703.2 OF PUBLICATION Permit # 05061449	



Permi	Conditions	Permit No.: 05061449
9 of 19	CURB MUST BE INSTALLED IN ACCORDANCE WIRC-64M AND RC-67M.	TH PENNDOT ROADWAY STANDARDS
10 of 19	SIDEWALK CONSTRUCTION OR REPLACEMENT S FOR PERSONS WITH DISABILITIES CONSISTENT	
11 of 19	IT IS THE PERMITTEE'S RESPONSIBILITY TO IDENTACILITIES WITHIN THE LIMITS OF PERMITTED WORK, IT IS PERMITTEES RESPONSIBILITY TO COMMEDIATELY AND RESTORE THE FACILITY TO DIRECTED BY THE DEPARTMENT.	WORK. IF DAMAGED BY THE PERMITTED ONTACT THE DEPARTMENT
12 of 19	MINIMUM WORK ZONE TRAFFIC CONTROL TO B PUB 212 FOR ADDITIONAL DETAILS.	E IN ACCORDANCE WITH PUB. 213. SEE
13 of 19	NO LANES MAY BE RESTRICTED BETWEEN THE BETWEEN THE HOURS OF 3:00 PM TO 6:00 PM.	HOURS OF 6:00 AM TO 9:00 AM OR
14 of 19	LANE CLOSURES WILL NOT BE PERMITTED DUR WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM 6:00AM TO TUESDAY 9:00AM; FOURTH OF JULY FROM DISTRICT OR COUNTY PERMIT OFFICE; LATO TUESDAY 9:00AM; COLUMBUS DAY WEEKEN THANKSGIVING WEEKEND - WEDNESDAY 6:00AM HOLIDAY-DECEMBER REQUEST INFORMATION FOR OFFICE; NEW YEAR'S HOLIDAY - REQUEST INFORMATION PERMIT OFFICE. THERE MAY BE ADDITIONAL TEVENTS THAT ATTRACT LARGE VOLUMES OF TI	I; MEMORIAL DAY WEEKEND - FRIDAY HOLIDAY - REQUEST INFORMATION LBOR DAY WEEKEND - FRIDAY 6:00AM D - FRIDAY 6:00AM TO MONDAY 9:00AM; M TO MONDAY 9:00AM; CHRISTMAS FROM DISTRICT OR COUNTY PERMIT RMATION FROM DISTRICT OR COUNTY RAFFIC RESTRICTIONS FOR SPECIAL
15 of 19	PERMITTEE IS RESPONSIBLE FOR ENSURING THAT REMOVED FROM VEHICLES AND TIRES (BY POW ONTO THE HIGHWAY.	
16 of 19	PERMITTEE MAY BE REQUIRED TO PROVIDE DATE ELECTRONIC DOCUMENTATION. THIS DOCUMENT LIMITED TO, PHOTO DOCUMENTATION OF WORLD ACTIVITIES, MATERIAL CERTIFICATIONS, TEST INFORMATION THAT DOCUMENTS PROPER RESTOREST THE START OF WORK, CONTACT THE DISTRICT IS SUPERVISOR FOR SPECIFIC REQUIREMENTS. FADOCUMENTATION MAY RESULT IN PENNDOT STOLOSING ACCESS TO THE STATE HIGHWAY, AND WORK.	NTATION SHOULD INCLUDE, BUT IS NOT K PERFORMED, DAILY LOG OF WORK RESULTS, AND OTHER PERTINENT TORATION OF THE HIGHWAY. PRIOR TO PERMIT MANAGER OR COUNTY PERMIT ILURE TO PROVIDE THE TOPPING THE WORK, PHYSICALLY
17 of 19	MATERIAL CERTIFICATIONS MUST BE PROVIDED LISTED IN THE DEPARTMENT'S PUBLICATION 35 STRUCTURES WITHIN PENN DOT R/W.	
18 of 19	AS-BUILT PLANS, IN A .PDF FORMAT, MAY BE RE THIS PERMIT, IF ANY CHANGES ARE MADE TO T	
19 of 19	FINAL, COMPLETED RMS FORMS AND COMPLET ACCEPTABLE TO THE DEPARTMENT WITH PICTUREQUIRED TO BE SUBMITTED BY SUPPLEMENT PERMIT.	JRES OF THE INSTALLATION, WILL BE



Acknowledgement of Completion	Michael Carroll
Permit work has been completed:	Acting Secretary of Transportation
Date:	Michael W. Rebert, P.E.
By:	District Executive



Highway Occupancy Permit

Name and Address of Permittee:	County: Lehigh	Issue Date: 2/1/2023
South Whitehall Township	County Contact No.: (610) 798-4294	Expiration Date: 2/1/2024
4444 Walbert Avenue Allentown, PA 18104	Issuing District Office: 5-0	Application No.: 277527
	District Contact No.: (610) 871-4167	Account No.:
	Municipalities: South Whitehall T Township	Permit Fee: \$ 640.00

Immediately upon completion of the work Permittee shall notify the permit office where application was made. Subject to all the conditions, agreements, restrictions, and regulations prescribed by the Pennsylvania Department of Transportation, (see in particular 67 Pa. Code, Chapter 212, 441 and 459 and State Highway Law, 36 P.S. Section 670 - 411, 420 and 421) and subject to the plans, special conditions, or restrictions herein set forth or attached hereto. This permit shall be located at the work site and shall be available for inspection by any police officer or Department representative.

Location and Description of Work			Permit No.: 05061451	
1 of 1	State Route #:	1006	611: Install Sub-surface	Water Facility
	Segment(s):	From 0040 To 0050		
	Offset(s):	From 3194 To 1495		

Perm	it Conditions	Permit No.: 05061451
1 of 21	THE FOLLOWING ASSOCIATION WITH THIS PROJECT: 05061450 - HIGH VOLUME DRIVEWAY - KAY WALBERT, LLC 05061194 - STORMWATER DRAINAGE - SOUTH WHITEHALL TOWNSHIP 05061449 - CURB AND SIDEWALK - SOUTH WHITEHALL TOWNSHIP 05061148 - SEWER FACILITIES - SOUTH WHITEHALL TOWNSHIP ALL WORK WILL BE PERFORMED BY KAY WALBERT, LLC. AND ALL INSPECTION ASSOCIATED WITH THESE PERMITS WILL BE CHARGED TO KAY WALBERT, LLC.	
2 of 21	CONTRACTOR MUST CONTACT PENNDOT'S DISTRICT PR LEAST 5 WORK DAYS PRIOR TO ANY LANE CLOSURE AN FULL CLOSURE.	
3 of 21	CONTACT LEHIGH COUNTY PERMIT OFFICE AT LEAST 3 OF WORK AT 610-798-4294.	WORK DAYS PRIOR TO START
4 of 21	NOTIFY THE TRAFFIC MANAGEMENT CENTER AT 610-872 LANE CLOSURES OR RESTRICTIONS, AND WHEN THE CLOREMOVED.	
5 of 21	AN INSPECTOR, WHEN AVAILABLE, WILL BE ASSIGNED INSPECTION BASIS. PERMITTEE WILL BE CHARGED ALL BY THE DEPARTMENT.	
6 of 21	FACILITY MAY BE PLACED IN PAVEMENT OR SHOULDER BASE AND WEARING COURSES ARE OPENED BY SAW CU	
7 of 21	THE PERMITTEE IS REQUIRED TO USE HOT MIX OR WARD TEMPORARY RESTORATION. COLD MIX WILL BE PERMITTHE DEPARTMENT. PERMITTEE MUST MAINTAIN A SMO SUITABLE FOR DRIVING FOR THE DURATION OF THE TEMPORATION.	TTED AT THE DISCRETION OF OTH PAVEMENT SURFACE

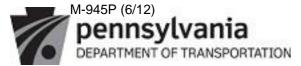


Permit	Conditions	Permit No.: 05061451
8 of 21	THIS PERMIT AUTHORIZES WORK ONLY IN DEPARTMENT	HIGHWAY RIGHT OF WAY.
9 of 21	2A COARSE AGGREGATE BACKFILL MATERIAL IS REQUIR SECTION 459.8 (g)(2) AND SECTION 703.2 OF PUBLICATION	
10 of 21	BACKFILL COMPACTION TESTING IS REQUIRED A MINIMITED FOR OPENINGS LESS THAN OR EQUAL TO 500 TOTAL FEET SIDEWALK, THE PERMITTEE MAY CHOOSE THE COMPACT THE TEST METHOD IS PERFORMED CONSISTENT WITH DEAND ON THE CONDITION THAT THE PERMITTEE PROVIDE INSTALLATION INSPECTION FORM) AND ACCOMPANYING FORMS WITHIN TWO WEEKS OF THE COMPLETION OF THE FORM. PENNDOT WILL NOT CLOSE-OUT THE PERMIT PRICE COMPLETED FORMS. (FOR OVER 500 FEET AND ALL STORM SEWER PIPE INSTATION OVER 500 FEET AND ALL STORM SEWER PIPE INSTATION OF THE PUBLICATION 408 SPECIFICALLY SECTION PROCTOR FOR CERTIFIED STONE MUST BE PROVIDED PRICE CONSTRUCTION. FOR MATERIALS WITH MORE THAN 20% OR IF A VIABLE PROCTOR COULD NOT BE OBTAINED, COIS ACCEPTABLE USING THE EQUIPMENT OUTLINED IN PUTESTED IN ACCORDANCE WITH PUB 408, SECTION 210.3(b) 6 ARE TO BE COMPLETED. FOR MATERIALS WITH LESS THE SIEVE, NUCLEAR DENSITY TESTING MUST BE PERFORME. CS-6 ARE TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORMS CS-6 AND TR-478A AUTHORIZED INSPECTOR. FORMS CS-6 AND TR-478A AUTHORIZED INS	IN PAVEMENT, SHOULDER OR FION TEST METHOD, PROVIDED EPARTMENT PUBLICATIONS, ETHE COMPLETED CS-6 (PIPE G TR-478 AND/OR TR-4276 E WORK REPRESENTED ON THE DR TO RECEIVING THE LLATION) ECTION 459.8, & THE NEWEST ON 601.3 (F) AND (Q). A HOR TO THE START OF RETAINED ON THE 3/4" SIEVE, MPACTION BY NON-MOVEMENT OF 408, SECTION 108.05(c) AND OF FORM TR-478A AND FORM CS-HAN 20% RETAINED ON THE 3/4" D; FORM TR-4276A AND FORM ARE TO BE COMPLETED BY THE PLETED BY THE NUCLEAR TRENCH BACKFILL IS RESULT IN REMOVAL OF THE IPERVISION. PENNDOT WILL
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12 of 21	ALL DISTURBED AREAS OUTSIDE THE PAVEMENT OR SHOTO A CONDITION AT LEAST EQUAL TO THAT WHICH EXIST WORK.	
13 of 21	MINIMUM WORK ZONE TRAFFIC CONTROL TO BE IN ACCOUNT FOR ADDITIONAL DETAILS.	ORDANCE WITH PUB. 213. SEE
14 of 21	NO LANES MAY BE RESTRICTED BETWEEN THE HOURS O BETWEEN THE HOURS OF 3:00 PM TO 6:00 PM.	F 6:00 AM TO 9:00 AM OR
15 of 21	LANE CLOSURES WILL NOT BE PERMITTED DURING THE I WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; MEMOR 6:00AM TO TUESDAY 9:00AM; FOURTH OF JULY HOLIDAY FROM DISTRICT OR COUNTY PERMIT OFFICE; LABOR DAY TO TUESDAY 9:00AM; COLUMBUS DAY WEEKEND - FRIDAT THANKSGIVING WEEKEND -WEDNESDAY 6:00AM TO MONHOLIDAY-DECEMBER REQUEST INFORMATION FROM DISTRICE; NEW YEAR'S HOLIDAY - REQUEST INFORMATION PERMIT OFFICE. THERE MAY BE ADDITIONAL TRAFFIC REVENTS THAT ATTRACT LARGE VOLUMES OF TRAFFIC IN Permit # 05061451	RIAL DAY WEEKEND - FRIDAY - REQUEST INFORMATION Y WEEKEND - FRIDAY 6:00AM AY 6:00AM TO TUESDAY 9:00AM; NDAY 9:00AM; CHRISTMAS TRICT OR COUNTY PERMIT I FROM DISTRICT OR COUNTY ESTRICTIONS FOR SPECIAL



Permit	Conditions	Permit No.: 05061451
16 of 21	PERMITTEE IS RESPONSIBLE FOR ENSURING THAT MUD, S REMOVED FROM VEHICLES AND TIRES (BY POWER WASH ONTO THE HIGHWAY.	
17 of 21	LONGITUDINAL JOINTS MUST NOT BE PLACED IN THE WE MILL/OVERLAY MAY BE REQUIRED BY THE INSPECTOR A TO OVERSEE CONSTRUCTION	
18 of 21	IF THERE IS SIGNIFICANT INTRUSION, DUE TO UNFORESE TRAVEL LANE; OR IF THE INSTALLATION OF THE UTILITY TRAVEL LANE, AN OVERLAY OF THE UTILIZED/DAMAGEI THIS IS DETERMINED BY THE INSPECTOR ASSIGNED BY THE PROJECT.	RESULTS IN DAMAGE TO THE DAREAS WILL BE REQUIRED.
19 of 21	IF AN OPENING IS MADE WITHIN A BITUMINOUS OR CONC FEET FROM THE EDGE OF PAVEMENT OR OTHER LONGITU THE SURFACE RESTORATION SHALL BE EXTENDED TO THE OTHER LONGITUDINAL JOINT OR OPENING. (67 PA. CODE,	UDINAL JOINT OR OPENING, HE EDGE OF PAVEMENT OR
20 of 21	MATERIAL CERTIFICATIONS MUST BE PROVIDED BY AN A LISTED IN THE DEPARTMENT'S PUBLICATION 35 BULLETI STRUCTURES WITHIN PENN DOT R/W.	
21 of 21	MATERIAL CERTIFICATIONS MUST BE PROVIDED BY AN A LISTED IN THE DEPARTMENT'S PUBLICATION 35 BULLETI STRUCTURES WITHIN PENN DOT R/W.	

Acknowledgement of Completion	Michael Carroll
Permit work has been completed:	Acting Secretary of Transportation
Date:	Michael W. Rebert, P.E.
By:	District Executive



Highway Occupancy Permit

Name and Address of Permittee:	County: Lehigh	Issue Date: 2/2/2023
Kay Walbert, LLC	County Contact No.: (610) 798-4294	Expiration Date: 2/2/2024
5930 Hamilton Boulevard Allentown, PA 18106	Issuing District Office: 5-0	Application No.: 272003
	District Contact No.: (610) 871-4167	Account No.:
	Municipalities: South Whitehall T Township	Permit Fee: \$ 175.00

Immediately upon completion of the work Permittee shall notify the permit office where application was made. Subject to all the conditions, agreements, restrictions, and regulations prescribed by the Pennsylvania Department of Transportation, (see in particular 67 Pa. Code, Chapter 212, 441 and 459 and State Highway Law, 36 P.S. Section 670 - 411, 420 and 421) and subject to the plans, special conditions, or restrictions herein set forth or attached hereto. This permit shall be located at the work site and shall be available for inspection by any police officer or Department representative.

Locati	Location and Description of Work			Permit No.: 05061450
1 of 4	State Route #:	1006	521: Install Low Volume Driveway	
	Segment(s):	From 0050 To 0050		
	Offset(s):	From 1200 To 1200		
2 of 4	State Route #:	1006	521: Install Low Volume	e Driveway
	Segment(s):	From 0050 To 0050		
	Offset(s):	From 0687 To 0687		
3 of 4	State Route #:	1006	171: Perform Roadway I	Improvement
	Segment(s):	From 0040 To 0050		
	Offset(s):	From 3168 To 1548		
4 of 4	State Route #:	1019	171: Perform Roadway I	Improvement
	Segment(s):	From 0070 To 0080		
	Offset(s):	From 1817 To 0711		

Perm	it Conditions	Permit No.: 05061450
1 of 34	THIS PERMIT MUST BE CANCELLED BEFORE ANOTHER PLOCATION. A LETTER, EXECUTED AN AUTHORIZED EXECUTED OWNER, MUST BE SUBMITTED WITH ANY NEW APPLICATION.	CUTOR OF THE PROPERTY
2 of 34	THIS PERMIT S LIMITED TO AN ANTICIPATED ADT (TOTAL VEHICLES PER DAY FOR SR 1006 SEGMENT 0050 OFFSET 0 (TOTAL/AM/PM/SAT) OF 558 OR 294 VEHICLES PER DAY FOR OFFSET 1200, WHEN THE TRAFFIC ENTERING AND EXITING THIS AMOUNT, A NEW PERMIT MUST BE OBTAINED. IF THE CHANGES, A NEW PERMIT MUST BE OBTAINED.	687, AND ANTICIPATED ADT OR SR 1006 SEGMENT 0050 G THE PROPERTY EXCEEDS
3 of 34	MINIMUM WORK ZONE TRAFFIC CONTROL TO BE IN ACC PUB 212 FOR ADDITIONAL DETAILS AND IN ACCORDANCE PLANS. THE DEPARTMENT RESERVES THE RIGHT TO REQ APPROVED MPT DURING CONSTRUCTION.	E WITH THE APPROVE MPT



Permi	t Conditions	Permit No.: 05061450
4 of 34	THIE PERMIT IS ISSUED AS PHASE ONE AS CONSTRUCTED DRIVEWAY (SR 1006 SEGMENT 0050 OFFSET 0687, CONSTRUCTED DRIVEWAY AT SR 1006 SEGMENT 0050 OFFSET 1200. A NEWHEN THE USE OF THESE DRIVEWAYS IS CHANGED AND	RUCTION OF A LOW VOLUME EW PERMIT TO BE SUBMITTED
5 of 34	ACCESS AT SR 1006 SEGMENT 0050 OFFSET 0687 IS RESTR RIGHT-IN, RIGHT-OUT NO LEFT TURNS	RICTED TO:
6 of 34	RESTORATION SECURITY SHALL BE SUBMITTED TO THE DAYS PRIOR TO START OF WORK. NO WORK MAY BE PE APPROVED.	
7 of 34	THE FOLLOWING ASSOCIATION WITH THIS PROJECT: 05061194 - STORMWATER DRAINAGE - SOUTH WHITEHAI 05061449 - CURB AND SIDEWALK - SOUTH WHITEHALL TO 05061148 - SEWER FACILITIES - SOUTH WHITEHALL TOW 05061451 - WATER LINE FICILITIES - SOUTH WHITEHALL ALL WORK WILL BE PERFORMED BY KAY WALBERT, LL	OWNSHIP NSHIP TOWNSHIP
	ASSOCIATED WITH THESE PERMITS WILL BE CHARGED	
8 of 34	CONTRACTOR MUST CONTACT PENNDOT'S DISTRICT PR LEAST 5 WORK DAYS PRIOR TO ANY LANE CLOSURE AN FULL CLOSURE.	
9 of 34	CONTACT LEHIGH COUNTY PERMIT OFFICE AT LEAST 3 OF WORK AT 610-798-4294.	WORK DAYS PRIOR TO START
10 of 34	NOTIFY THE TRAFFIC MANAGEMENT CENTER AT 610-871 LANE CLOSURES OR RESTRICTIONS, AND WHEN THE CLOREMOVED.	
11 of 34	A CERTIFICATE OF INSURANCE SHALL BE SUBMITTED T OR ITS CONTRACTOR 30 DAYS PRIOR TO START OF WOR	
12 of 34	THE MUNICIPALITY WILL OBTAIN SECURITY ADEQUATE THE PERMITTED WORK PRIOR TO THE START OF WORK CONSISTENT WITH 36 P.S. §670-420 AND 67 PA. CODE §441	IN DEPARTMENT RIGHT OF WAY
13 of 34	AN INSPECTOR, WHEN AVAILABLE, WILL BE ASSIGNED INSPECTION BASIS. PERMITTEE WILL BE CHARGED ALL BY THE DEPARTMENT.	
14 of 34	THIS PERMIT AUTHORIZES WORK ONLY IN DEPARTMEN	T HIGHWAY RIGHT OF WAY.
15 of 34	2A COARSE AGGREGATE BACKFILL MATERIAL IS REQUISECTION 459.8 (g)(2) AND SECTION 703.2 OF PUBLICATION	
16 of 34	DEPARTMENT MUST BE NOTIFIED IN WRITING TWO WEE CONSTRUCTION MEETING.	EKS IN ADVANCE OF PRE-
17 of 34	IT IS THE PERMITTEE'S RESPONSIBILITY TO KEEP VEGET MAINTAIN MINIMUM SIGHT DISTANCE. NO OBJECTS MA OF SIGHT.	
18 of 34	DEPARTMENT MUST BE NOTIFIED IN WRITING UPON CO.	MPLETION OF WORK.
19 of 34	CURB MUST BE INSTALLED IN ACCORDANCE WITH PENI RC-64M AND RC-67M. Permit # 05061450	NDOT ROADWAY STANDARDS



Permi	Conditions	Permit No.: 05061450
20 of 34	PERMITTEE MUST MAINTAIN EXISTING SHOULDER DU	JRING CONSTRUCTION.
21 of 34	SURFACE DRAINAGE MAY NOT BE DIRECTED ONTO ST	TATE HIGHWAY RIGHT OF WAY.
22 of 34	PERMITTEE MUST MAINTAIN ACCESS FROM THE PAVE FEET OUTSIDE THE HIGHWAY RIGHT OF WAY.	EMENT EDGE TO AT LEAST 150
23 of 34	ACCESS SIGNING AND PAVEMENT MARKINGS MUST B	E MAINTAINED BY PERMITTEE.
24 of 34	SIDEWALK CONSTRUCTION OR REPLACEMENT SHALL FOR PERSONS WITH DISABILITIES CONSISTENT WITH A	
25 of 34	IT IS THE PERMITTEE'S RESPONSIBILITY TO IDENTIFY FACILITIES WITHIN THE LIMITS OF PERMITTED WORK WORK, IT IS PERMITTEES RESPONSIBILITY TO CONTACIMMEDIATELY AND RESTORE THE FACILITY TO ITS OF DIRECTED BY THE DEPARTMENT.	. IF DAMAGED BY THE PERMITTED CT THE DEPARTMENT
26 of 34	ALL DISTURBED AREAS OUTSIDE THE PAVEMENT OR TO A CONDITION AT LEAST EQUAL TO THAT WHICH E WORK.	
27 of 34	NO LANES MAY BE RESTRICTED BETWEEN THE HOUR BETWEEN THE HOURS OF 3:00 PM TO 6:00 PM.	S OF 6:00 AM TO 9:00 AM OR
28 of 34	LANE CLOSURES WILL NOT BE PERMITTED DURING TO WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; MEM 6:00AM TO TUESDAY 9:00AM; FOURTH OF JULY HOLID FROM DISTRICT OR COUNTY PERMIT OFFICE; LABOR IT TO TUESDAY 9:00AM; COLUMBUS DAY WEEKEND - FR THANKSGIVING WEEKEND - WEDNESDAY 6:00AM TO HOLIDAY-DECEMBER REQUEST INFORMATION FROM OFFICE; NEW YEAR'S HOLIDAY - REQUEST INFORMATION PERMIT OFFICE. THERE MAY BE ADDITIONAL TRAFFICEVENTS THAT ATTRACT LARGE VOLUMES OF TRAFFICE	MORIAL DAY WEEKEND - FRIDAY AY - REQUEST INFORMATION DAY WEEKEND - FRIDAY 6:00AM IDAY 6:00AM TO MONDAY 9:00AM; MONDAY 9:00AM; CHRISTMAS DISTRICT OR COUNTY PERMIT ION FROM DISTRICT OR COUNTY C RESTRICTIONS FOR SPECIAL
29 of 34	DRAINAGE INSTALLED BY THIS PERMIT IS THE RESPO CONTINUALLY MAINTAIN OR REPLACE.	NSIBILITY OF THE PERMITTEE TO
30 of 34	PERMITTEE IS RESPONSIBLE FOR ENSURING THAT MUREMOVED FROM VEHICLES AND TIRES (BY POWER WAY) ONTO THE HIGHWAY.	
31 of 34	ALL PERMANENT SIGNS ERECTED MUST BE FABRICAT MANUFACTURER LISTED IN THE DEPARTMENTS PUBL	
32 of 34	MATERIAL CERTIFICATIONS MUST BE PROVIDED BY A LISTED IN THE DEPARTMENT'S PUBLICATION 35 BULL STRUCTURES WITHIN PENN DOT R/W.	
33 of 34	AS-BUILT PLANS, IN A .PDF FORMAT, MAY BE REQUIR THIS PERMIT, IF ANY CHANGES ARE MADE TO THE AP	
34 of 34	FINAL, COMPLETED RMS FORMS AND COMPLETED CSACCEPTABLE TO THE DEPARTMENT WITH PICTURES OF REQUIRED TO BE SUBMITTED BY SUPPLEMENT PRIOR PERMIT	OF THE INSTALLATION, WILL BE



Acknowledgement of Completion	Michael Carroll
Permit work has been completed:	Acting Secretary of Transportation
Date:	Michael W. Rebert, P.E.
By:	District Executive

Supplement No.: 05061450- 01



Highway Occupancy Permit Supplement

The original permit, bearing number shown on this supplement, was issued	Original Permit No.: 05061450	Supplement Type: Change in Work
to:	County: Lehigh	Supplement Issue Date: 2/10/2023
Kay Walbert, LLC	Issuing District Office: 5-0	Permit Expiration Date: 2/2/2024
5930 Hamilton Boulevard	District Contact No.: (610) 871-4167	Application No.: 272003-01
Allentown, PA 18106	Municipalities: South Whitehall T	Account No.:
	Township	Supplement Fee: \$ 0.00

Commonwealth of Pennsylvania

Under and subject to all the minimum conditions and regulations prescribed by the PA Department of Transportation (see in particular 67 PA Code, Chapter 441 and 459) and on the original permit.

111 Code, Chapter 441 and 457) and on the Original permit.		
Supplement Description : Change in Work	Supplement No.: 05061450-01	
Remove condition 12 of 34 "THE MUNICIPALITY WILL OBTAIN SECURITY ADEQUATE TO ENSURE COMPLETION OF THE PERMITTED WORK PRIOR TO THE START OF WORK IN DEPARTMENT RIGHT OF WAY CONSISTENT WITH 36 P.S. §670-420 AND 67 PA. CODE §441.6 DAMAGE TO HIGHWAY.		
Michael B. Carroll		
Acting Secretary of Transportation		

Michael W. Rebert, P.E.

District Executive

3800-PM-BCW0405d Rev. 12/2019 PAG-02 Permit pennsylvania DEPARTMENT OF ENVIRONMENTAL PROTECTION

COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF CLEAN WATER

PAG-02 AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES

NPDES PERMIT NO: PAC390159

In compliance with the provisions of the Clean Water Act, 33 U.S.C.A. §§ 1251—1387 and Pennsylvania's Clean Streams Law, as amended, 35 P.S. §§ 691.1—691.1001, the Department of Environmental Protection (DEP) authorizes the permittee named below to discharge stormwater associated with construction activities from an earth disturbance activity that involves earth disturbance greater than or equal to one acre, or an earth disturbance on any portion, part, or during any stage of a larger common plan of development or sale that involves earth disturbance greater than or equal to one acre:

Permittee

Kay Walbert LLC 5930 Hamilton Blvd., Suite 10 Allentown, PA 18106 Project Site

Ridge Farms
South Whitehall Township, Lehigh County

This authorization is subject to DEP's enclosed PAG-02 General Permit (General Permit) which incorporates all effluent limitations, monitoring and reporting requirements, and other terms, conditions, criteria, and special requirements for the discharge of stormwater associated with construction activities to surface waters, including through storm sewers. Authorization to discharge is subject to the implementation of the plans and additional associated information submitted as part of the Notice of Intent (NOI) for general permit coverage.

APPROVAL TO DISCHARGE IN ACCORDANCE WITH THE TERMS AND CONDITIONS HEREIN IS AUTHORIZED BEGINNING ON 1/27/22 AND WILL EXPIRE ON 12/7/24 WHEN CONDUCTED PURSUANT TO THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT. GENERAL PERMIT COVERAGE MAY BE TERMINATED PRIOR TO THE EXPIRATION DATE UPON RECEIPT AND ACKNOWLEDGEMENT OF A NOTICE OF TERMINATION FORM AND APPROVAL BY DEP OR THE AUTHORIZED CONSERVATION DISTRICT. NO CONDITION OF THIS GENERAL PERMIT SHALL RELEASE THE PERMITTEE OR CO-PERMITTEE(S) FROM ANY RESPONSIBILITY OR REQUIREMENT UNDER STATE OR FEDERAL ENVIRONMENTAL STATUTES, REGULATIONS, OR LOCAL ORDINANCES.

Coverage under the PAG-02 General Permit is authorized by:

Holly Kaplan

Holly Kaplan
Assistant District Manager
Lehigh County Conservation District

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OVERVIEW

The Proposed Ridge Farm TND Site is located at the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. The site extends north to Huckleberry Road and includes a parcel on the west side of Cedar Crest Boulevard.

A portion of the Ridge Farms project is outside the TND zoning that we will refer to in this document as the Non-TND Site. The Proposed Ridge Farm Non-TND Site is located north of the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. This part of the site is entirely on the western side of Cedar Crest Boulevard and extends north of the Cedar Crest Boulevard and Huckleberry Road intersection.

The TND project site is composed of six (6) parcels totaling 138.34 acres. The Non-TND project site is composed of seven (7) parcels totaling 62.70 acres. The site exists as a ridge of land extending east west through the property. The top of the ridge has gentle slopes at 5-8 percent. The ridge side slopes are generally 15 to 25 percent. The section of land fronting on Walbert Road has gentle slopes of 3 to 8 percent, where the most intensive development is planned. The current use of the ground is predominantly agricultural.

Kay Walbert LLC is the Applicant (Owner) for the proposed community. The site program includes single family units, twins, apartments, a TND Cluster development and some limited village mixed-use apartments over retail. The proposed site is fronted by four existing roadways, which are as follows: PennDOT S.R. 1019 (North Cedar Crest Boulevard) to the east and west, PennDOT S.R. 1006 (Walbert Avenue) to the south, Township road (Huckleberry Road) to the north and south, and Township road (Yellowstone Road) to the west of North Cedar Crest Boulevard. The proposed TND site area includes six (6) existing parcels owned by Kay Walbert LLC, as shown in Table 1 below.

Table 1: Summary of Existing Parcel Owners and Gross Acreage

Owner	Parcel Number	Gross Acreage		
Kay Walbert LLC	548746422139	111.18		
Kay Walbert LLC	548767544734	4.72		
Kay Walbert LLC	548767273685	1.51		
Kay Walbert LLC	548725550358	8.58*		
Kay Walbert LLC	548737014729	0.25		
Kay Walbert LLC	548757625489	12.10		

*Note: For parcel 548725550358 the TND boundary includes 8.58 acres of the overall 31.96-acre tract.

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The proposed Non-TND site area includes seven (7) existing parcels as shown in Table 2 below.

Table 2: Summary of Existing Parcel Owners and Gross Acreage

Owner	Parcel Number	Gross Acreage
Kay Walbert LLC	548727343134	15.98
Fred J. Jaindl	548727303984	0.41
Kay Walbert LLC	548726571146	13.67
Jaindl Land Company	548726323076	6.69
Jaindl Land Company	548726413932	2.26
Lawrence E. & Alice E. Ritter	548726730450	0.31
Kay Walbert LLC	548725550358	23.38*

*Note: For parcel 548725550358 the Non-TND boundary includes 23.38 acres of the overall 31.96-acre tract.

This community will be served by public water and sanitary sewer systems.

The Ridge Farm TND section was planned and designed according to the main tenets of Smart Growth and the guidelines of the TND- Residential Cluster Overlay District. Three features of the Ridge Farm Plan assure positive development and long-term quality for the resident and the Township:

- 1. Major park areas for common and Active open space, easily accessible from and central to residential neighborhoods.
- 2. Village retail areas easily walkable from residential neighborhoods.
- 3. A diversity of housing choices: a variety of small lot Singles, Twin Homes and, Apartments.

The site plan proposes a Traditional Neighborhood Design, featuring tree lines streets with sidewalks linking the residents to village shops, restaurants, and pocket parks, all within easy walking distance.

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TND Zoning:

The entire TND community is located on the township's Innovative Overlay District Map and is within the TND–Residential Cluster Overlay District. The underlying zoning for the site area is R-10 on approximately 44 acres of the site fronting on Walbert Ave. with 84-acres zoned R-2 and a section of R-4. Approximately 8.5 ac., zoned R-4, is located on the west corner of Cedar Crest Blvd.

The plan complies with the requirements of the Zoning Ordinance April 1, 2019, the Subdivision and Land Development Ordinance April 1, 2019, and Appendix C -General Manual of Written and Graphic Design Standards.

Ridge Farmland Development Program:

LAND USE	NUMBER OF UNITS / SQ. FT.
TND Market Rate Single Family Homes	68
TND Market Rate Twin Homes	40
TND Age Restricted Single Family Homes	88
TND Age Restricted Twin Homes	82
TND East Apartments	308
TND West Apartments / Condominiums	60
TND Restaurant Village Commercial Area	17,200
TND Medical Office Village Commercial Area	30,000
TND Retail Village Commercial Area	20,000
TND Market Rate Twin Homes (Buchman Street Access)	34
TND Apartments within Commercial Village	100

AREA OVERVIEW			
TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT			
TND Residential Cluster Site Area 138.340 AC.			
Total TND Units	780		
Commercial Mixed Use Area	12.455 AC.		
Open Space	38.183 AC		
Active Open Space	13.311 AC		
Village Non-Residential Lot Coverage	73.76%		

There are 780 Total Units.

156 units (20%) Single Family 156 units (20%) Twin Homes 468 units (60%) Apartment Units

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Development Intensity Option:

The TND-Cluster Residential Zone grants base level zoning to R-4 level, based on some of the land is zoned R-2. Two 2-Density Credits are proposed to obtain R-10 level. The Development option proposed within the TND-Residential Cluster zone is a Residential community with approximately 10% of the total TND land area as Commercial.

Density credit table to achieve R-10 level follow:

TND - RESIDENTIAL CLUS	TER OVERLAY DISTRICT		
DEVELOPMENT INTENSIT	Y CREDIT CALCULATION		
The purpose of this table is to show that with 2 density credits the TND portion of t	his project can follow the bulk crite	ria for Zoning district R-	10 High Density
Residential, an increase from R-4 Medium Density Residential.		-	
OPEN S	SPACE:		
For each additional 5% of the gross tract area beyond the minimum percentage o	f gross tract area required dedicat	ed for open space.	
One-half Density Credit may be permitted above the Base Density.	,		
	AREA (SQ. FT.)	AREA (ACRES)	CREDITS
Required Open Space:	1,178,101 SF.	27.045 AC.	19.6%
Provided Open Space:	1,662,932 SF.	38.176 AC.	27.6%
Percentage above Required:			8.0%
0.5 Density Credit for every 5% above Required:			0.5 CREDIT
ALLEY A For each twenty-five (25) percent of Dwelling units not required to have Alley acco One-half Density Credit may be permitted above the Base Density.			
ALLEY UNITS	NUMBER OF UNITS	PERCENTAGE	CREDITS
Single Detached and Twins	87		
Apartments	368		
Total Alley Units	455	58%	
Total TND Units	780		1 CREDITS
PUBLIC BUS	S SHELTER:		
For each public bus shelter provided within the development in coordination with the	ne local transportation authority.		
One-half Density Credit may be permitted above the Base Density.			
TYPE OF SHELTER	NUMBER OF BUS SHELTERS		CREDITS
Public Bus Shelter	1		0.5 CREDIT
abile bue crisical			

The Development option table for Residential community with Commercial village as well as the total provided Open Space and Active Open Space follow:

RESIDENTIAL CLUSTER DEVELOPMENT OPTIONS TABLE					
RESIDENTIAL WITH COMMERCIAL COMPONENT (DEVELOPMENT OPTION #2)					
ITEM	REQUIRED / PERMITTED	PROPOSED			
Minimum Tract Size:	50.0 AC.	138.340 AC			
Increase in Development Intensity:					
Increase Development Intensity 1 Level or to R-4, whichever is greater:	Increased to R-4, with added Density Bonuses allows for an increase to R-10	R-10, See TND - Residential Cluster Overlay Development Intensity Table			
Minimum % of the Tract to be Open Space:					
15% plus 0.5% for every 1% of the gross tract area developed as commercial	19.55%	27.60%			
Minimum % of the Tract to be Active Open Space:					
5% plus 0.5% for every 1% of the gross tract area developed as commercial	9.55%	9.56%			
Maximum % of the Tract to be Gross Area for Commercial Uses:	10%	9.1%			

Note: Please refer to the TND - Residential Cluster Overlay Development Intensity Table and the Open Space Calculation tables for further calculations in support of the required and proposed information provided.

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TND Open Space:

The provided total Open Space is 27.60% or 38.183 acres of site area. The provided Active Open Space area is 13.311 acres or 9.62% of total site area. The Active Open Space is centrally located within the neighborhoods, and greater than 50% of the Active Open is in the form of Greens, Squares or, Plazas. A number of amenities are proposed within the different Active Open Space locations including; walkways, trails, gazebos, pavilions, playground equipment, club house recreation facilities, hardscape plaza areas, seating areas, and bike racks. The majority of the Open Space and Active Open Space provided as part of TND community will be owned and maintained by the Home Owners Association. The Active Open Space areas located in the Commercial Mixed Use portion of the site is offered to South Whitehall Township for dedication.

REQUIRED OPEN SPACE CALCULATIONS TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT (RESIDENTIAL WITH COMMERCIAL COMPONENT)				
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	REQUIRED / PERMITTED PERCENTAGES	
TND RESIDENTIAL CLUSTER SITE AREA	6,026,090	138.340		
ACTIVE OPEN SPACE REQUIRED ⁽²⁾	575,492	13.211	9.55%	
OPEN SPACE REQUIRED ⁽¹⁾	1,178,101	27.045	19.55%	
MAXIMUM OPEN SPACE WITHIN FLOODWAY / WETLANDS / STEEP SLOPES IN EXCESS OF 25%	706,860	16.227	60%	

PROVIDED OPEN SPACE CALCULATIONS					
TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT (RESIDENTIAL WITH COMMERCIAL COMPONENT)					
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	PROVIDED PERCENTAGES		
COMMERCIAL MIXED USE AREA ^(1,2)	542,548	12.455	9.1%		
OPEN SPACE	1,083,436	24.872	17.98%		
ACTIVE OPEN SPACE	579,816	13.311	9.62%		
TOTAL OPEN SPACE	1,663,252	38.183	27.60%		
OPEN SPACE WITHIN FLOODWAY /					
WETLANDS / STEEP SLOPES IN EXCESS OF 25%3	224,804	5.161	13.52%		

- 1. Minimum percentage of Tract to be Open Space 15% plus 0.5% for every 1% of gross tract area developed as commercial.
- 2. Minimum percentage of Tract to be Active Open Space 5% plus 0.5% for every 1% of gross tract area developed as commercial. 3. All open space areas in this calculation are within steep slopes in excess of 25%. There are no known floodways or wetlands on-site.

OPEN SPACE

	OPEN SPACE				
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	AMENITY	OWNER	
A	415,832	9.546	Trails	Homeowner's Association	
В	95,761	2.198	None	Homeowner's Association	
С	147,283	3.381	Trails	Homeowner's Association	
D	129,386	2.970	Trails	Homeowner's Association	
E	6,167	0.142	None	Homeowner's Association	
F	108,697	2.495	None	Homeowner's Association	
G	20,627	0.474	None	Homeowner's Association	
Н	46,218	1.061	None	Homeowner's Association	
I	13,982	0.321	None	Homeowner's Association	
J	11,000	0.253	Trails	Homeowner's Association	
K	5,400	0.124	Trails	Homeowner's Association	
L	5,400	0.124	Trails	Homeowner's Association	
M	12,903	0.296	Rain Garden	Homeowner's Association	
N	18,699	0.429	Trails	Homeowner's Association	
0	46,081	1.058	Trails, Benches	Homeowner's Association	
Open Space Total	1,083,436 SF.	24.872 Ac.			

NOTES:

- Open Space areas do not include areas less than 500 SF.
- 2. Open Space areas include existing street ultimate right-of-way areas along portions of North Cedar Crest Blvd and Walbert Ave.
- 3. The 50' wide mobility easement connecting the eastern residential area to the commercial area is not included in the open space calculations.

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Active Open Space Table Listing Amenities Provided.

ACTIVE OPEN SPACE				
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	AMENITY	OWNER
ACTIVE O.S. #1 (Green or Square with seating area or Plaza)	157,157	3.608	Clubhouse, Pavilion, Pickle Ball, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #2 (Green or Square with seating area or Plaza)	42,156	0.968	Gazebo, Clubhouse, Play Equipment, Pool, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #3 (Green or Square with seating area or Plaza)	42,962	0.986	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #4 (Green or Square with seating area or Plaza)	74,313	1.706	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #5 (Green or Square with seating area or Plaza)	9,131	0.210	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #6 (Green or Square with seating area or Plaza)	74,178	1.703	Fountain, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #7 (Green or Square with seating area or Plaza)	40,930	0.940	Pavilion, Benches, Bike Rack Trails	Homeowner's Association
ACTIVE O.S. #8 (Green or Square with seating area or Plaza)	50,684	1.164	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association
ACTIVE O.S. #9 (Green or Square with seating area or Plaza)	43,567	1.0 AC.	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association
ACTIVE O.S. #10 (Green or Square with seating area or Plaza)	12,210	0.280	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #11 (Green or Square with seating area or Plaza)	32,528	0.747	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
Active Open Space Total	579,816 SF.	13.311 Ac.		

NOTES:

- 1. Active Open Space areas include existing street ultimate right-of-way areas, up to 10 feet to proposed roadway improvements.
- 2. Active Open Space areas have a maximum grade of 5%.
- 3. All Active Open Space areas, 100%, will be Village Greens or Squares having seating areas and Plazas with the amenities listed above

Non-TND Open Space Summary:

NON-TND OPEN SPACE					
AREA DESIGNATION	AREA	BASIN AREA	AREA SQUARE FEET	AREA ACRES	OWNER
RR-2 LOT A	267,422 SF.	43,142 SF.	224,280 SF.	5.149 AC.	Homeowner's Association
R-2/R-4 LOT B	140,940 SF.	17,161 SF.	123,779 SF.	2.842 AC.	Homeowner's Association
R-4 LOT C	8,387 SF.	N/A	8,387 SF.	0.193 AC.	Homeowner's Association
OPEN SPACE TOTAL			356,446 SF.	8.183 AC.	

Pedestrian Connectivity:

All areas of the community are pedestrian accessible. The Pedestrian Plan illustrates an interconnected network of sidewalks and trails which connect all areas of the community. The Trails and sidewalks are located within the streetscape, Open Space and Active Open Space. This plan includes a 8' wide pedestrian/ bike trail along both Cedar Crest Blvd. and Walbert Ave. which provide linkage to the broader community.

Residential

This TND community contains three different unit types; single family, twins, and apartments intermingled on the site. There is an age restricted section of the single family and twins. All buildings have the front facade located at the Build-to Line as measured from the 60' wide Ultimate Right Of Way. Street frontage single family and twins units have a 10' Build To Line for the front façade with a 10' recessed garage. The single family detached lot widths vary by 5' for every three consecutive lots. The minimum lot sizes are: 6,000 SF for singles lots and, 4,800 SF for twin lots.

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	DENTIAL CLUSTER DEVELOPMENT		
AREA AND BULK REC	GULATIONS AND DESIGN STANDARD	S TABLE	
ITEM	REQUIRED / PERMITTED	PROPOSED	
DECIDENTIAL LICEC.			
RESIDENTIAL USES: R-10 High Density Residential			
•	Observa Data also di Trodo	Olomba Datashad / Toda	
Dwelling Type:	Single Detached / Twin	Single Detached / Twin	
Minimum Lot Area per Use:	6,000 SF. / 4,800 SF.	≥ 6,000 SF. / ≥ 4,800 SF.	
Minimum Frontage:	50 FT / 40 FT	≥ 50 FT / ≥ 40 FT	
Build to Line (TND requirement):	10 FT - 15 FT	10 FT - 15 FT	
Minimum Sides to Lot Lines:	8 FT / 10 FT	≥ 8 FT / ≥ 10 FT	
Minimum Rear to Lot Lines:	25 FT	≥ 25 FT	
Maximum Units per Building:	1 Unit / 2 Units	1 Unit / 2 Units	
Minimum Height (TND requirement):	20 FT	≥ 20 FT	
Maximum Height of Building Structure:	35 FT	≤ 35 FT	
Dwelling Type:	Apartment / Condo Buildings	Apartment / Condo Buildings	
Maximum Dwelling units per Gross Acre:	10 UNITS	See Apartment Increase Credit Tables	
Build to Line (TND requirement):	10 FT - 15 FT	10 FT - 15 FT	
Minimum Sides to Lot Lines:	20 FT	≥ 20 FT	
Minimum Rear to Lot Lines:	30 FT	≥ 30 FT	
Maximum Units per Building:	16 UNITS	See Apartment Increase Credit Tables	
Maximum Height of Building Structure:	35 FT	See Apartment Increase Credit Tables	
NON PERIODITAL HOPE			
NON-RESIDENTIAL USES:			
N-C Neighborhood Commercial / TND Residential Cluster Use Type:	Mixed Use Building / Retail / Restaurant / Medical Office	Mixed Use Building / Retail / Restaurant Medical Office	
Maximum Individual Use: ²	5,000 SF.	≤ 5,000 SF.	
Build to Line (TND requirement):	5 FT - 15 FT	5 FT - 15 FT	
Minimum Height (TND requirement):	2 Stories or 20 FT	2 Stories or ≥ 20 FT	
Maximum Height of Building Structure (TND requirement):	4 Stories or 60 FT (along aerial roads)	4 Stories or ≤ 60 FT (along aerial roads)	
Minimum Building Separation on same lot:	20 FT	≥ 20 FT	
Max. Non-Res. Building Footprint:			
3 stories or 45 FT in height or less:	6,500 SF.	≤ 6,500 SF.	
greater than 3 stories or 45 FT in height:	20,000 SF.	≤ 20,000 SF.	
Maximum Lot Coverage (TND requirement):	75%	73.76%	

- 1. TND requirements were taken from South Whitehall Township Zoning Code Section 350-31(f)(2).
- 2. Medical Offices will have separate uses, no greater than 5,000 SF for each office.

Residential Parking Table:

7	IND RESIDENTIAL F	PARKING CALCULATIONS		
BUILDING TYPE	DWELLING UNITS	PARKING REQUIREMENT	REQUIRED SPACES	PROPOSED SPACES
Single Detached Dwelling ¹	156	2 Spaces / D.U.	312	312
Twins ¹	156	2 Spaces / D.U.	312	312
On-Street Parking ⁴				234
Apartment Area #1 East	308	2.25 Spaces / D.U. ²	693	712
Apartment Area #2 West	60	2.25 Spaces / D.U. ^{2,3}	135	142
Number of Apartment parking areas	4 Areas	1 Large space for parking areas	4	4
		with 50 or more spaces		

- 1. Each TND single family and twin unit will have a 2 car garage, 2 garage spaces per unit will be provided. Additional on-street parking spaces are provided throughout the market rate and age restricted development areas. These on-street parking spaces are not needed to meet the required parking calculation.
- 2. The required apartment parking is 2 spaces for each dwelling unit and an additional 0.25 spaces per unit for overflow parking.
- 3. Apartment Area #2 West units include 1 assigned driveway space and 1 garage space for each unit. Overflow parking spaces are provided around the perimeter of Active Open Space #12.
- 4. On-Street parking listed does not include parking spaces designated for mail pick up at cluster mailbox locations.

TND CLUBHOUSE PARKING CALCULATIONS				
PROPOSED USE	BUILDING SIZE (SF)	PARKING REQUIREMENT	REQUIRED SPACES	PROPOSED SPACES
Clubhouse A ¹ (1 Story)	5,000	1 Space / 300 SF of Office	46	46
Clubhouse B ¹ (1 Story)	5,000	1 Space / 50 SF of meeting room	46	46

- 1. Each clubhouse will have a 2,000 SF meeting room area and an office area of 600 SF. The remaining area will be lobby / marketing display space.
- 2. Clubhouse parking lots are not counted towards open space.

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Non-TND Zoning Tables:

RR-2 RURAL RESIDENTIAL-2 LOT AVERAGING DEVELOPMENT OPTION					
ITEM	REQUIRED / PERMITTED	PROPOSED			
RESIDENTIAL USES:	Single Detached Dwelling Unit	Single Detached Dwelling Unit			
Minimum Eligible Lot Area:	5 AC.	15.933 AC.			
Density: Total Area / 80,000 SF.	694,024 SF. / 80,000 SF. = 8.7	8 Units			
Minimum Lot Area:	43,560 SF.	≥ 43,560 SF.			
Minimum Frontage:	75 FT	160 FT			
Minimum Front Yard:	35 FT	35 FT			
Minimum Side Yard:	15 FT	15 FT			
Minimum Rear Yard:	50 FT	50 FT			
Maximum Building Height:	35 FT	35 FT			
Parking Requirement:	2 Spaces / D.U.	16 SPACES			
NOTES:					

1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.

ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Single Detached Dwelling	Single Detached Dwelling
Tract Area:	N/A	13.666 AC.
Minimum Lot Area Per Use:	1 AC.	≥ 1 AC.
Minimum Frontage:	160 FT	160 FT
Minimum Front Yard:	50 FT	50 FT
Minimum Side Yard:	15 FT	15 FT
Minimum Rear Yard:	50 FT	50 FT
Maximum Building Height:	40 FT	40 FT
Parking Requirement: ¹	2 Spaces / D.U.	18 SPACES

NOTES:

Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.

R-2 RURAL LOW DENSITY RESIDENTIAL			
ITEM	REQUIRED / PERMITTED	PROPOSED	
RESIDENTIAL USES:	Single Detached Dwelling	Single Detached Dwelling	
Tract Area:	N/A	9.767 AC.	
Minimum Lot Area Per Use:	20,000 SF.	≥ 20,000 SF.	
Minimum Frontage:	125 FT	125 FT	
Minimum Front Yard:	35 FT	35 FT	
Minimum Side Yard:	25 FT	25 FT	
Minimum Rear Yard:	40 FT	40 FT	
Maximum Building Height:	40 FT	40 FT	
Parking Requirement:1	2 Spaces / D.U.	18 SPACES	

1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.

R-4 MEDIUM DENSITY RESIDENTIAL			
ITEM	REQUIRED / PERMITTED	PROPOSED	
RESIDENTIAL USES:	Twin	Twin	
Tract Area:	N/A	23.19 AC.	
Minimum Lot Area Per Use:	8,400 SF.	≥ 8,400 SF.	
Minimum Frontage:1	70 FT / 42 FT along cul-de-sac lot	70 FT / 47 FT along cul-de-sac	
Minimum Front Yard:	25 FT	25 FT	
Minimum Side Yard:	10 FT	10 FT	
Minimum Rear Yard:	30 FT	30 FT	
Maximum Building Height:	35 FT	35 FT	
Parking Requirement: ²	2 Spaces / D.U.	128 SPACES	

NOTES:

1. Zoning Section 350-42-(i)(3)(l) Frontage along cul-de-sac Lots may be satisfied at the standard front building or Use setback line, provided the length of the ROW line equals at least 60% of the required frontage.

2. Each Twin unit will have a 2 car garage, 2 garage spaces per unit will be provided.

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Community Clubhouse:

Two community recreation buildings are proposed. One club, 5000 sf, for the Single Family and Twin homes, and One club, 5000 sf, for the apartments.

Commercial / Mixed-Use Village:

The Build to Line for the Non-Residential / Mixed Use buildings is 5-15 feet. A maximum of 25% of the linear frontage of an individual building facade, located within the Commercial Area, may be offset from the Build-to Line by 4 to 20 feet in order to provide visual diversity, architectural enhancements, or open space in the form of pedestrian gathering areas or plaza. Buildings Located on corners will be placed along Build-to Lines, unless a Plaza, Green, or Square is located at the same street corner. All parking along adjacent to the Main Street will be provided with a 4' high screen wall placed at the Build To Line.

The Mixed-Use Buildings are 3 to 4 stories, with 46' to 55' building height. Mixed Use buildings will have ground floor retail and restaurants with 2 to 3 stories of apartments above. The medical office building is 3 stories with a building height of 46'. The medical office building will be a focal point building in the village. The medical office building and mixed use building will not have greater than 5,000 sf of a single user. Over 50% of the buildings in the Main Street Environment have second floor usable area for apartments. Single-use retail and restaurant buildings will have a minimum building height of 20 feet.

Commercial / Mixed Use Parking Table:

TND NON-RESIDENTIAL PARKING CALCULATIONS				
Mixed Use / Village Commercial Area:			REQUIRED SPACES	PROPOSED SPACES
Apartments as part of a Mixed Use Building	100	2.25 Spaces / D.U. ¹	225	225
Retail / Restaurant Mixed Use Building #1 (1st Floor)	6,940 SF.		28	
Retail / Restaurant Mixed Use Building #2 (1st Floor)	6,940 SF.	7	28	
Retail Mixed Use Building #3 (1st Floor)	6,660 SF.		27	
Retail Mixed Use Building #4 (1st Floor)	6,660 SF.	1 Space / 225 SF of GFA ²	27	
Restaurant A (1 Story)	5,000 SF.	1	20	
Restaurant B (1 Story)	5,000 SF.		20	
Medical Office (3 Stories, 30,000 SF Usable Office Space)	30,000 SF.		134	
Sub Total:	67,200 SF.		299	299
Total Mixed Use / Village Commercial:			524	524

NOTES:

^{1.} The required apartment parking is 2 spaces for each dwelling unit and an additional 0.25 spaces per unit for overflow parking.

^{2.} The required shopping center parking is 1 space for each 225 square feet of gross floor area.

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Commercial / Mixed Use Coverage:

MIXED USE VILLAGE COMMERCIAL AREA IMPERVIOUS CALCULATIONS			
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	PERCENTAGES
COMMERCIAL MIXED USE AREA	542,548	12.455	
MAXIMUM IMPERVIOUS PERMITTED			75.0%
PERVIOUS AREAS:	142,354 SF.	3.268	
TOTAL IMPERVIOUS:	400,194 SF.	9.187	73.76%

TND Street Plan:

The streets and alleys will be owned and maintained by the Homeowners Association.

Residential Streetscape:

The residential local streets will have a 50' wide street right-of-way and 60' wide ultimate right-of-way to define Build To Lines. On street parallel parking is located on one side of the street. The Streetscape is defined by buildings located along the Build-to Line. The typical Residential Streetscape width is 80' wide per appendix "C". A 5' wide sidewalk is located on both sides of the street. A 4.5' to 5.5' grass strip is provided between the sidewalk and the curb for street trees. Visual diversity along the street is obtained by providing a variety of architecture, mixing housing types, and varying the lot width by 5' every three lots. Block intermingling, having two unit types within a block length is proposed for 58% of the residential street.

Alleys:

Single Family and Twin units taking access from alleys will have garages setback a minimum of 4 feet from the alley right-of-way. These alleys have a 18' wide right-of-way and a 16' wide cartway. Apartment alleys are 24' wide with 90 deg. parking and adjacent dedicated carports.

Main Street

The Main Streetscape width is 85-95 feet as defined within Appendix "C". The Main Street will provide onstreet 60 degree angled parking and make up 21% of the total parking provided within the Commercial Area. The majority of parking is off street and located in the rear of buildings.

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Apartment Density Credits:

There are two apartment areas. Apartment area #1 is located on the east side of Cedar Crest Blvd. Apartment area #2 is located on the west side of Cedar crest Blvd. The credit requirements for each area to achieve building height, units per acre, and units per building are outlined in the table below.

Apartment Credits for Apartment Area #1:

Apartment Credits for Apartment Area #1:			
APARTMENT E	BUILDING - #1 AREA E	AST	
DENSITY INCRE	ASE CREDIT CALCUL	.ATION	
The purpose of this table is to show that with the 6 total density credits ac	hieved that the maximum R-	10 Apartment building dens	sity can increase from 10 dwelling
units per acres to 11 dwelling units per acre (1 credit required). And that the	ne maximum R-10 Apartment	building height can increase	se from 35 feet to 55 feet
(2 credits required). And that the maximum R-10 Apartment units per build	ding can increase from 16 uni	ts to 28 units (3 density cr	edits required).
ITEM	AREA (SQ. FT.)	AREA (ACRES)	CREDITS
Apartment Area (#1 Area East)	1,254,870 SF.	28.808 AC.	
Apartments Proposed	308 L	JNITS	
Permitted Density BEFORE credit is applied (10 units per acre)	288 I	JNITS	
Permitted Density AFTER credit is applied (11 units per acre)		JNITS	
0	PEN SPACE:	<u>. </u>	
Required Open Space:	250,974 SF.	5.762 AC.	20.0%
Provided Open Space: ¹	502,557 SF.	11.537 AC.	40.0%
Percentage above Required:			20.0%
0.5 Density Credit for every 5% above Required:			2.0 CREDITS
	CARPORTS:		
Apartment Units Proposed:	308 L	JNITS	
Provided Carport Spaces:	308 CARPORT SPACES 100.0%		100.0%
0.5 Density Credit for each 25% Carport Spaces Per Unit:			2.0 CREDITS
ASSIC	GNED GARAGES:		
Apartment Units Proposed:	308 L	308 UNITS	
Provided assigned garage spaces:	162 GARAGE SPACES		52.6%
0.5 Density Credit for each 15% of units with assigned garage space:			1.5 CREDITS
С	LUB HOUSE:		
Number of Clubhouses Prpoposed:	1 CLUB	HOUSE	
0.5 Density Credit for 5,000 SF. Clubhouse:			0.5 CREDIT
TOAL DENSITY CREDITS:			6.0 CREDITS
Notes:			
1. The provided open space area listed does not include Open Space Basi	in #1, Open Space Basin #2	or Open Space Basin #3 a	reas.

Apartment Credits for Apartment Area #2:

APARTMENT BUI	LDING - #2 AREA WEST	
DENSITY INCREAS	E CREDIT CALCULATION	
The purpose of this table is to show that with the 3 total density credits achieved (only 2 needed) that the maximum R-10 Apartme	nt building height can increase
from 35 feet to 45 feet (1 credit required). And that the maximum R-10 Apartment	units per building can increase from 16 units to	18 units (1 density credit required).
ASSIGN	ED GARAGES:	
Apartment Units Proposed:	60 UNITS	
Provided assigned garage spaces:	60 GARAGE SPACES	100.0%
0.5 Density Credit for each 15% of units with assigned garage space:		3.0 CREDITS
TOAL DENSITY CREDITS:		3.0 CREDITS

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Walbert Ave and Cedar Crest Blvd. Streetscape Pedestrian / Bike Trail:

The Plan will include pedestrian friendly streetscape improvements along frontage sections of Cedar Crest Boulevard and Walbert Avenue. This will include an 8' wide pedestrian / bike path, street trees, shrub or perennial meadow plantings, and raingardens. Stone identity columns are located at the corner intersection of Walbert Ave. and Cedar Crest Blvd.; and project entrance with identity signage.

Phase 1A Description:

The Proposed Ridge Farm – Phase 1A is located at the northeastern corner of the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. The portion of land included in Phase 1A is located within the TND portion of the project. This phase, which is a total of 9.37 acres, is located on one (1) parcel totaling 111.18 acres. The western most portion of this phase bordering Cedar Crest Boulevard slopes up in the northern direction at approximately 6 percent. The eastern portion of the phase is relatively flat to gently sloping from Walbert Avenue to the northern boundary line of the phase. The current use of the parcel is predominantly agricultural.

Kay Walbert LLC is the Applicant (Owner) for the proposed parcel. Phase 1A includes a three story medical office building with a 15,000 square foot building footprint along with parking and various other improvements. This phase includes the installation of storm sewer facilities including conveyance systems and storm water best management practices. Since the site will be served by public sewer and water this phase includes the installation of the appropriate facilities for this portion of the overall site. There will also be pedestrian and bike paths installed in Phase 1A that will connect with futures phases to help with accessibility for pedestrians to move freely throughout the future community.

Phase 1B Description:

The Proposed Ridge Farm – Phase 1B continues the projects Phase 1 improvements and is located in South Whitehall Township at the northwest corner of Cedar Crest Boulevard and Walbert Avenue. Phase 1B is roughly 13.2 acres and is located on a consolidated 53.17 acre parcel. This phase is located within the R-4 Medium Density Residential (+/- 5.2 acres) and TND (+/- 8.0 acres) zoning districts. The Phase 1B improvements include 5 apartment buildings, 14 twin units, an existing building to remain along with parking, 2 infiltration basins, 3 infiltration trenches, associated conveyance systems and various other improvements.

CONSULTANTS

The Planning Consultant is:

Fred Jackson, PLA Jackson Land Planning, LLC 321 Valley View Rd. King of Prussia, PA 19406

Phone: 848-919-4810

Email: jacksonplanning@outlook.com

The Engineering Consultant is:

Jason Engelhardt, PE Langan Engineering and Environmental Services One West Broad Street, Suite 200

Bethlehem, PA 18018 Phone: 610-984-8500

Email: jengelhardt@langan.com

