

**RIDGE FARM
FINAL PLAN PHASE 1B
MAJOR PLAN 2017-101**

ATTACHMENTS

- 1. Memorandum**
- 2. Site Plan**
- 3. Township Engineer Review dated April 12, 2023**
- 4. Township Water and Sewer Engineer Review dated April 10, 2023**
- 5. Township Water and Sewer Engineer Phase 1 Allocation and Tapping Letter dated February 2, 2023**
- 6. Township Geotechnical Consultant Reviews dated March 30, 2023**
- 7. Township Lighting Consultant Review dated March 21, 2023**
- 8. Township TND Consultant Review dated April 13, 2023**
- 9. Public Works Department Review dated February 3, 2023**
- 10. Community Development Department Review dated April 14, 2023**
- 11. Public Safety Commission Review dated April 14, 2023**
- 12. Landscape and Shade Tree Commission Review dated July 29, 2022**
- 13. Parks and Recreation Board Review dated May 19, 2022**
- 14. PENNDOT Phase 1 HOPs**
- 15. PA DEP NPDES Permit PAC390159**
- 16. Applicant Correspondence:**
 - A. Project Narrative dated April 20, 2022**
 - B. Chalmette Road Traffic Calming Exhibit**

TO: PLANNING COMMISSION

FROM: GREGG R. ADAMS, PLANNER

**SUBJECT: RIDGE FARM FINAL PLAN PHASE 1B
MAJOR PLAN 2017-101
REQUEST FOR FINAL PLAN REVIEW**

DATE: APRIL 14, 2023

**COPIES: BOARD OF COMMISSIONERS, T. PETRUCCI, D. MANHARDT, L. HARRIER,
J. ZATOR, ESQ., J. ALDERFER, ESQ, S. PIDCOCK, A. TALLARIDA,
APPLICANT, FILE 2017-101**

LOCATION AND INTENT:

An application to develop the properties located at 1802 North Cedar Crest Boulevard (the northwest corner of the Walbert Avenue/Cedar Crest Boulevard intersection). The plan proposes 5 apartment buildings containing a total of 6 units; 14 two-unit dwelling units (7 pairs of twins); the continuation of Yellowstone Road, Road M and its intersection with Cedar Crest Boulevard, and a portion of Road H; and Basins 3 and 4 and associated stormwater management facilities on a 13.2-acre portion of the 31.9644-acre tract. The property is zoned R-10 and TND-Residential Cluster Overlay District and is being developed as a TND-Residential Cluster Overlay. Kay Walbert LLC is the equitable owner and applicant.

PREVIOUS TOWNSHIP CONSIDERATION:

At their February 16, 2023, and August 18 and May 24, 2022 meetings, the Planning Commission reviewed and took under advisement Major Plan 2017-101 Ridge Farm Final Plan Phase 1B.

At their April 6, 2022 meeting, the Board of Commissioners, through Resolution 2022-48, approved Ridge Farm Final Plan Phase 1A.

At their November 3, 2021 meeting, the Board of Commissioners approved the preliminary plan for Major Plan 2017-101 Ridge Farm.

At their October 21, 2021 meeting, the Planning Commission reviewed and recommended conditional preliminary plan approval of Major Plan 2017-101 Ridge Farm to the Board of Commissioners.

At their September 16, June 17 and February 23, 2021 meetings, and at their September 30, August 24, July 16 and May 21, 2020 meetings, the Planning Commission reviewed and took under advisement Ridge Farm Preliminary Plan 2017-101.

The Board of Commissioners, on November 20, 2019, approved Conditional Use 2017-601 Ridge Farm subject to the applicant complying with the following conditions:

1. That the applicant addresses to the satisfaction of the Township Engineer, the comments of the Township Engineer, as contained in his review letters dated July 31, 2019 and September 13, 2019.
2. That the applicant addresses to the satisfaction of the Township TND Design Consultant, the comments of Mr. Tom Comitta, as contained in his review letter dated July 11, 2019.
3. That the applicant addresses to the satisfaction of the Zoning Officer, the comments of Miss Laura Harrier, as contained in her review letter dated October 25, 2019, 2019.
4. That the applicant addresses to the satisfaction of PENNDOT, the preparation of a complete Traffic Impact Study consistent with the plan submitted and supporting the traffic conclusions presented by the developer's engineer, and the design, permitting, and construction of the improvements identified in the July 25, 2019 email from Rob Hoffman to Brian Boyer and of which Brian Boyer emailed his concurrence on July 31, 2019.
5. That the applicant design and construct the course of travel within the "Mobility Easement" to be an emergency access route between the residential area and the commercial village, with appropriate access control measures at either terminus, the design of which shall be reviewed and approved by the Township. Should a pedestrian and/or bicycle trail be put in place within the "Mobility Easement", rest areas for elderly or handicapped individuals along the easement shall be included, the design and construction of which shall be reviewed and approved by the Township. Further, the "Mobility Easement" shall be of sufficient size to allow a dedication of the "Mobility Easement" as a Township street of similar specifications as the one depicted on the Ridge Farm Sketch Plan last revised November 26, 2018, should the Township desire such a dedication in the future.

The Planning Commission reviewed the application at the following meetings: May 18, 2017; February 15, 2018; September 11, 2018; October 16, 2018; September 16, 2019; and October 30, 2019.

On August 6, 2014, the Board of Commissioners, through Ordinance 985, readopted the South Whitehall Township Zoning Ordinance and Map, which included new regulations for Traditional Neighborhood Development and designated a number of overlay districts within the Township for such developments. The tract includes a TND Residential Cluster Overlay District.

REVIEWING AGENCIES COMMENTS:

- A. Township Engineer** – The comments of the Township Engineer are contained in Mr. Anthony Tallarida’s review dated April 12, 2023. Mr. Tallarida is not recommending engineering approval at this time. His comments pertain to relevant preliminary plan approval conditions, plan detail, accessibility, stormwater management, traffic, and outside agency approvals.
- B. Township Water & Sewer Engineer** – The comments of the Township Water and Sewer Engineer are contained in Mr. Jason Newhard’s review dated April 10, 2023. His comments pertain to existing water lines and plan detail.
- C. Township Geotechnical Consultant** – The comments of the Geotechnical Consultant are contained in Mr. Chris Taylor’s review dated March 30, 2023. His comments pertain to Infiltration Trench Calculations.
- D. Township Lighting Consultant** – The comments of the Lighting Consultant are contained in Mr. Corey Trumbower’s review dated March 21, 2023. He reports that the plan is consistent with the Township Lighting Ordinance.
- E. Township TND Consultant** – The comments of the Township TND Consultant are contained in Mr. Thomas Comitta’s review dated April 13, 2023. His comments pertain to architectural review, and plan detail.
- F. Public Works Department** – The comments of the Public Works Department are contained in Mr. Herb Bender’s review dated February 3, 2023. His comments pertain to water line locations, water meter specifications, water valve location, apartment metering plan, apartment sprinkler requirements, and stormwater management facilities’ ownership.
- G. Public Safety Committee** –The Public Safety Commission reviewed the plan at its March 6, 2023 meeting and reported a safe space for a school bus stop should be reserved at the Yellowstone Road/Walbert Avenue intersection.
- H. Landscape and Shade Tree Commission** – The Landscape and Shade Tree Commission reviewed the plan at its July 25, 2022 meeting and reported that the plan is acceptable.
- I. Parks and Recreation Board** –The Parks and Recreation Board reviewed the plan at its May 9, 2022 meeting and determined the following:
1. That the applicant works with Township staff to set up a tour of the JERAS Barn for the Parks and Rec Board and applicable staff.
 2. That the Open Space proposed in the area of the apartment buildings need not be available to the Township for scheduling events due to its small size.
 3. That the plan is acceptable.
- J. Lehigh Valley Planning Commission** – The comments from the Lehigh Valley Planning Commission are applicable for the preliminary plan. No additional review is required for the final plan submission.

K. Pennsylvania Department of Transportation – PennDOT has issued Highway Occupancy Permits for Phase 1 A.

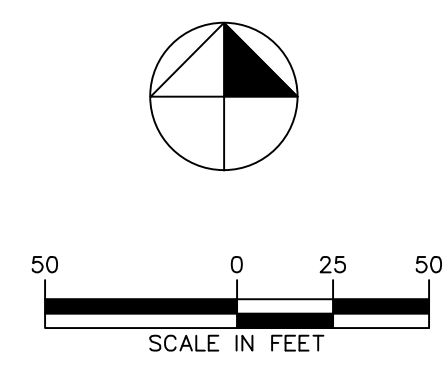
L. Pennsylvania Department of Environmental Protection - On January 27, 2022, PA DEP issued NPDES Permit PAC390159 for Phase 1.

M. Community Development Department – The Department’s technical review is dated April 14, 2023 and provides comments pertaining to zoning, public safety-related comments, open space and recreation, MS4 requirements, and Official Map and Comprehensive Plan consistency.

COMMUNITY DEVELOPMENT DEPARTMENT RECOMMENDATION:

The Department recommends that the Planning Commission take the plan under advisement to afford the applicant the time necessary to address the reviewing agencies’ comments. Our recommendation is contingent upon the applicant granting the Township a waiver from the timeframe in which to act upon the plan.

Planning Commission deadline date to act on the plan: May 31, 2023
Board of Commissioners deadline date to act on the plan: May 31, 2023



JANUARY 19, 2023

RIDGE FARMS PHASE 1B

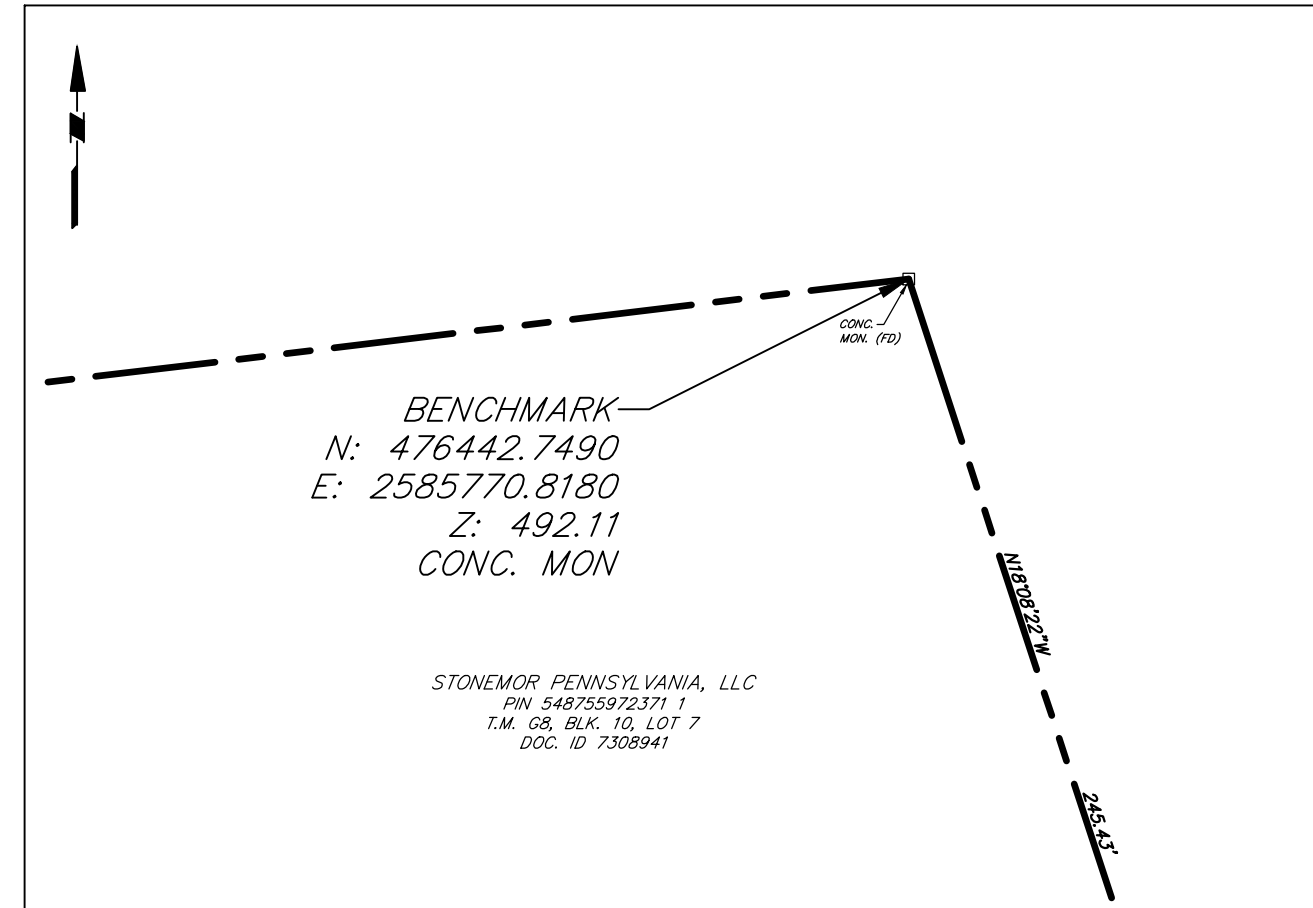
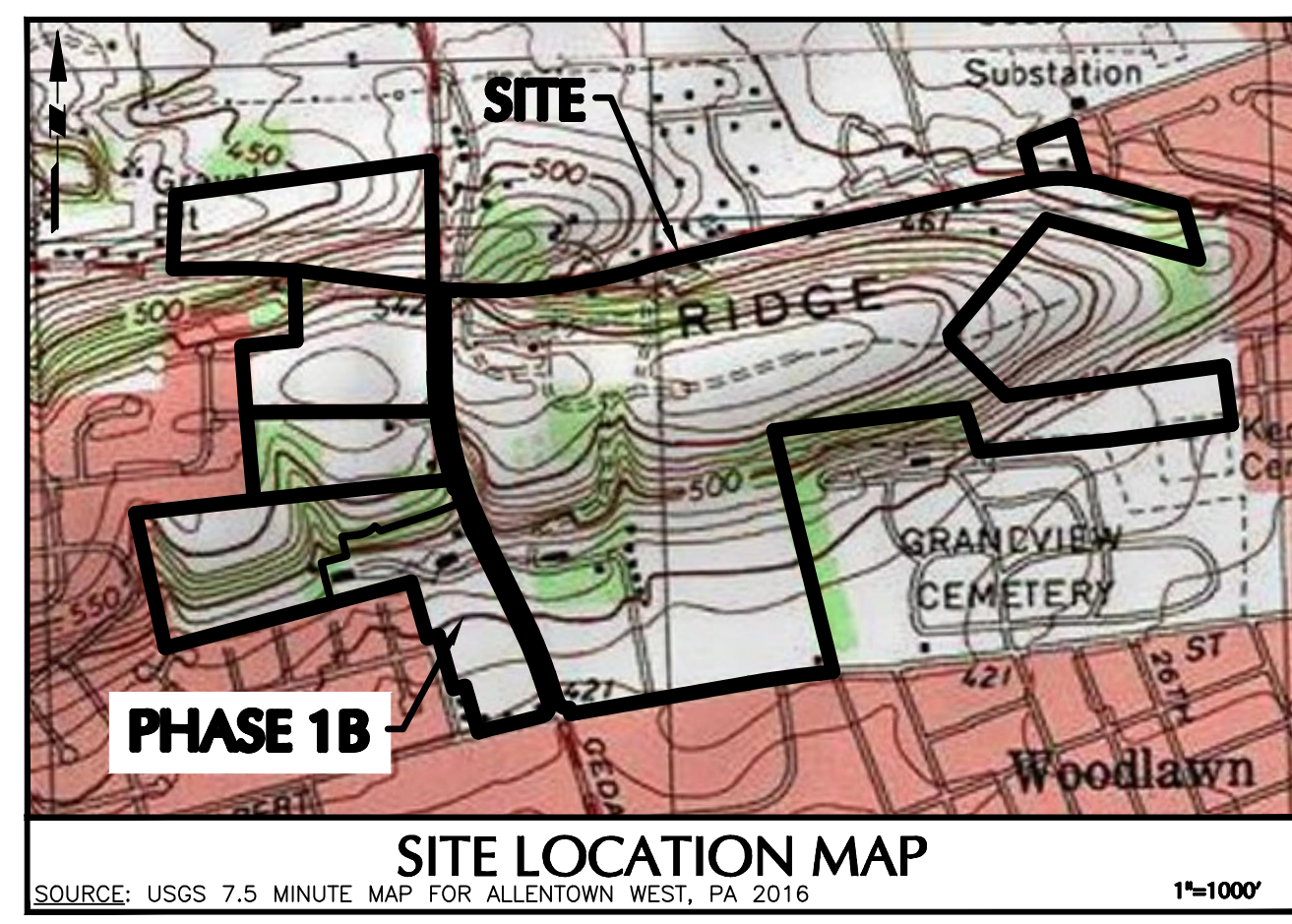
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PENNSYLVANIA



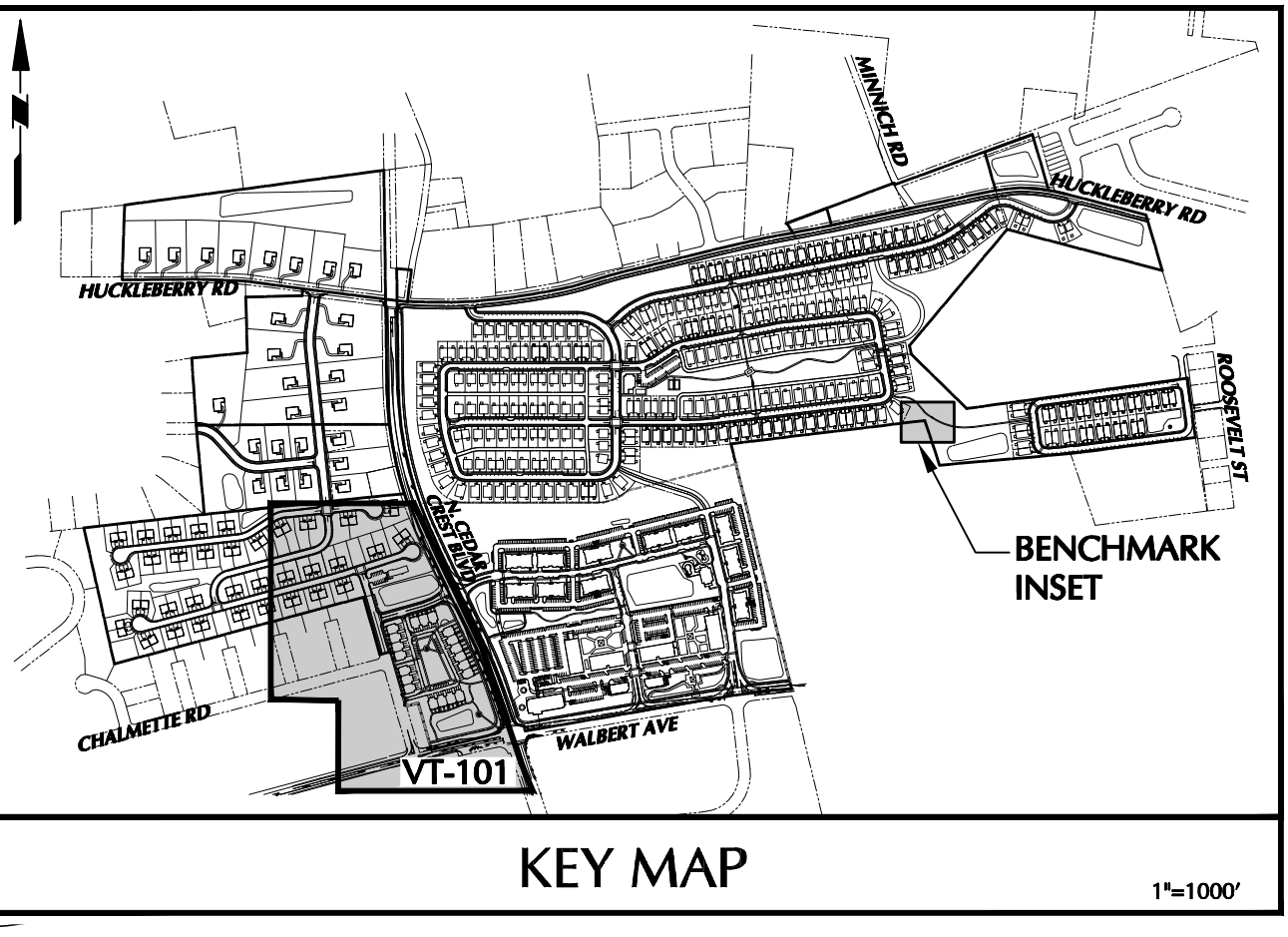
Jackson Land Planning
Finc Jackson, P.A.
jacksonplanning@outlook.com
848 919 4810

LANGAN

ENGINEERING & ENVIRONMENTAL SERVICES
One West Broad Street, Suite 200
Bethlehem, PA 18018-5717
P: 610.384.8500 F: 610.384.8501
www.langan.com
NEW JERSEY PENNSYLVANIA NEW YORK CONNECTICUT
FLORIDA VIRGINIA CALIFORNIA
ABU DHABI DUBAI ATHENS DOHA ISTANBUL



BENCHMARK INSET



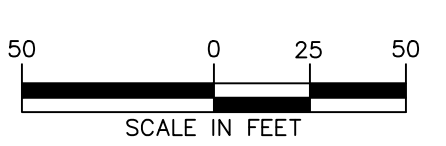
LEGEND EXISTING

- PROPERTY BOUNDARY
- LOT LINE
- BUILDING SETBACK
- ULTIMATE RIGHT-OF-WAY
- LEGAL RIGHT-OF-WAY
- EASEMENT
- CURBING
- BUILDING
- UTILITY POLE
- OVERHEAD ELECTRIC
- WATER MAIN & VALVE
- FIRE HYDRANT
- WELL
- GAS MAIN & VALVE
- SANITARY LINE, MANHOLE, & CLEANOUT
- STORM LINE, MANHOLE, & INLET
- CHAIN-LINK FENCE
- POST/SPLIT RAIL FENCE
- WOOD FENCE
- SIGN
- DECIDUOUS TREE
- EVERGREEN TREE
- TREE ROW
- CONTOUR
- SPOT ELEVATION
- WETLANDS
- EDGE OF PAVEMENT
- BITUMINOUS
- TYPICAL
- FINISH FLOOR
- DOOR SILL
- EXISTING SOIL GROUP
- EXISTING SOIL GROUP NAME
- ZONING DISTRICT BOUNDARY

SOIL TYPES

SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkD	Berks-Weikert complex, 15 to 25 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
DbB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
DIC	Duffield-Hyder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
UmB	Urban land/Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
WaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B

- NOTES:**
- THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON PLANS ENTITLED "BERKS CORPORATION/RIDGE FARMS PARTNERSHIP, SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PA," BY BARRY ISETT & ASSOCIATES, INC., DRAWING NUMBERS MSU-1 THROUGH SU-48, DATED 9/29/15, LAST REVISED 4/21/16.
 - CONTOUR ELEVATION DATUM IS FROM NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - VERTICAL CONTROL FROM THE 1984 SURVEY WAS ESTABLISHED USING VRS GNSS OBSERVATION ON THE KEYNET GPS NETWORK UTILIZING THE GEOID12A MODEL.
 - PROPERTY LINE BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE GRID SOUTH ZONE.
 - THE PROPERTY DESCRIBED ON THIS PLAN IS LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD, AS NOTED ON THE JULY 16, 2004 FEMA FLOOD MAPPING.



OWNER/APPLICANT
 KAY WALBERT LLC
 ATTN: RICHARD M. KOZE, JR.
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

Date	Description	No.
3-16-23	REVISED PER TOWNSHIP COMMENTS	3.
1-19-23	REVISED PER TOWNSHIP COMMENTS	2.
7-21-22	REVISED PER TOWNSHIP COMMENTS	1.
REVISIONS		

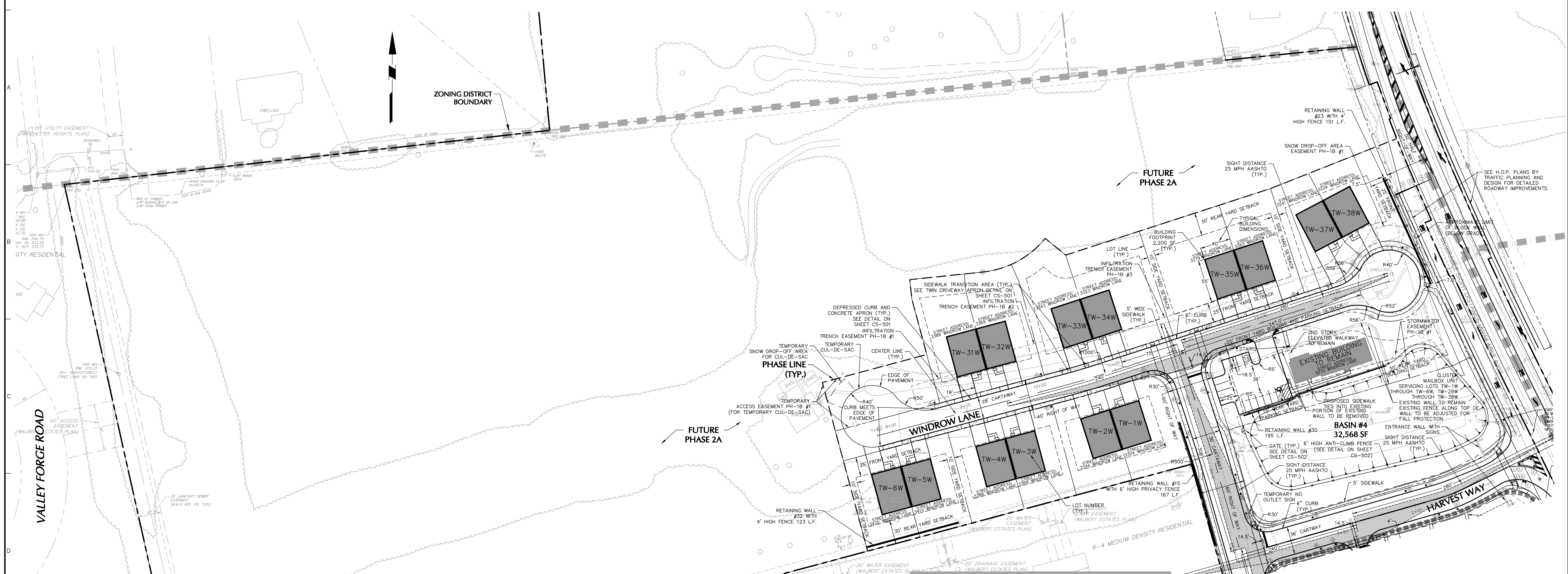
SIGNATURE: JEFFREY H. HARDY
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E
 DATE SIGNED: [Blank]

LANGAN
 One West Broad Street, Suite 200, Bethlehem, PA 18018
 T: 610.861.9500 F: 610.861.9501 www.langan.com
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. SA
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. PA
 Langan Engineering and Environmental Services, Inc.
 Langan GE LLC
 Langan International LLC
 Collectively known as Langan

Project: **RIDGE FARMS PHASE 1B FINAL PLANS**
 548725550358 1
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **EXISTING FEATURES PLAN**

Project No. 240043301
 Date: 04/20/22
 Scale: 1" = 50'
 Drawing No. **VT-101**
 Drawn By: JDM
 Checked By: JSE
 Submission Date: [Blank]
 Sheet 3 of 22

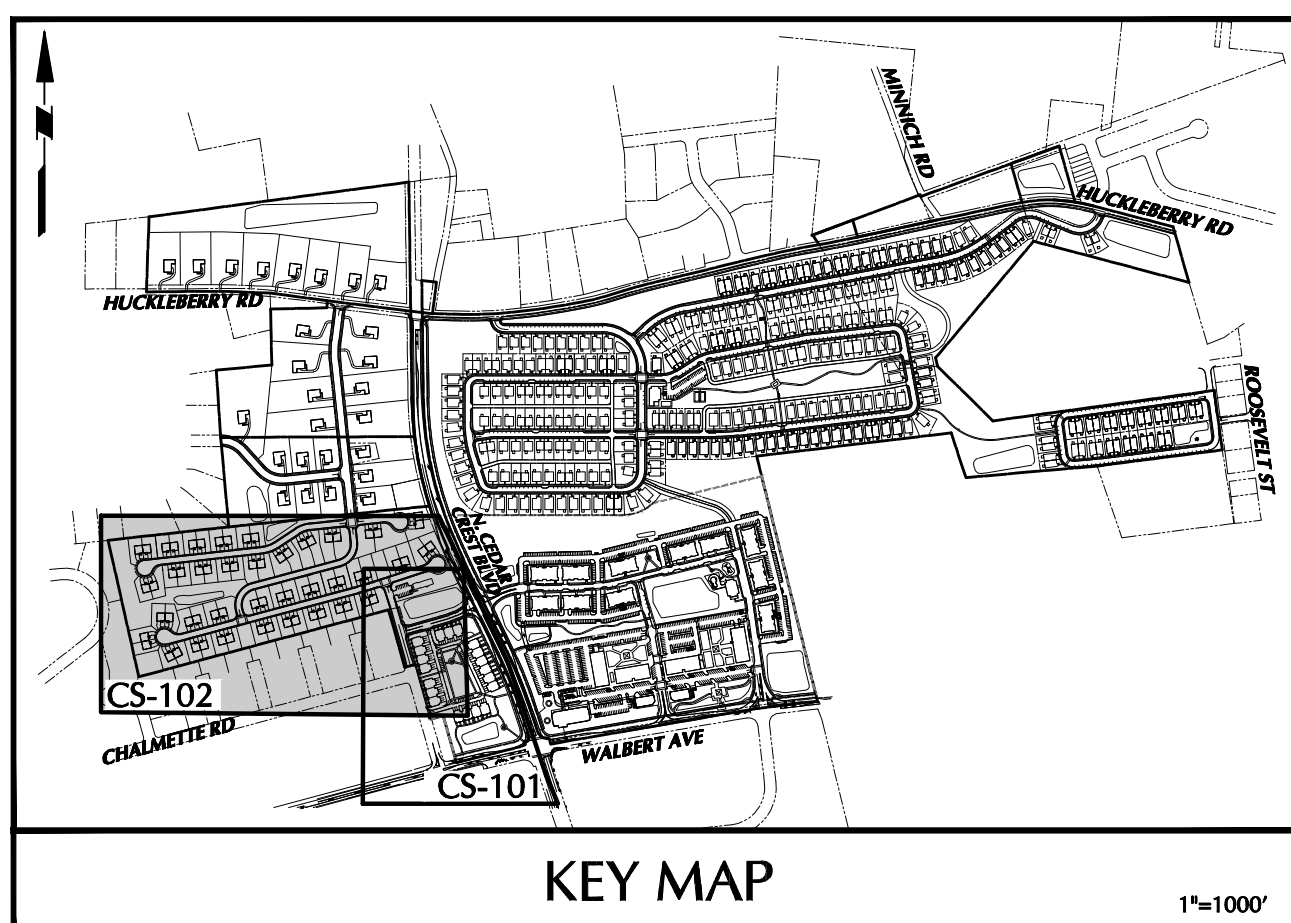
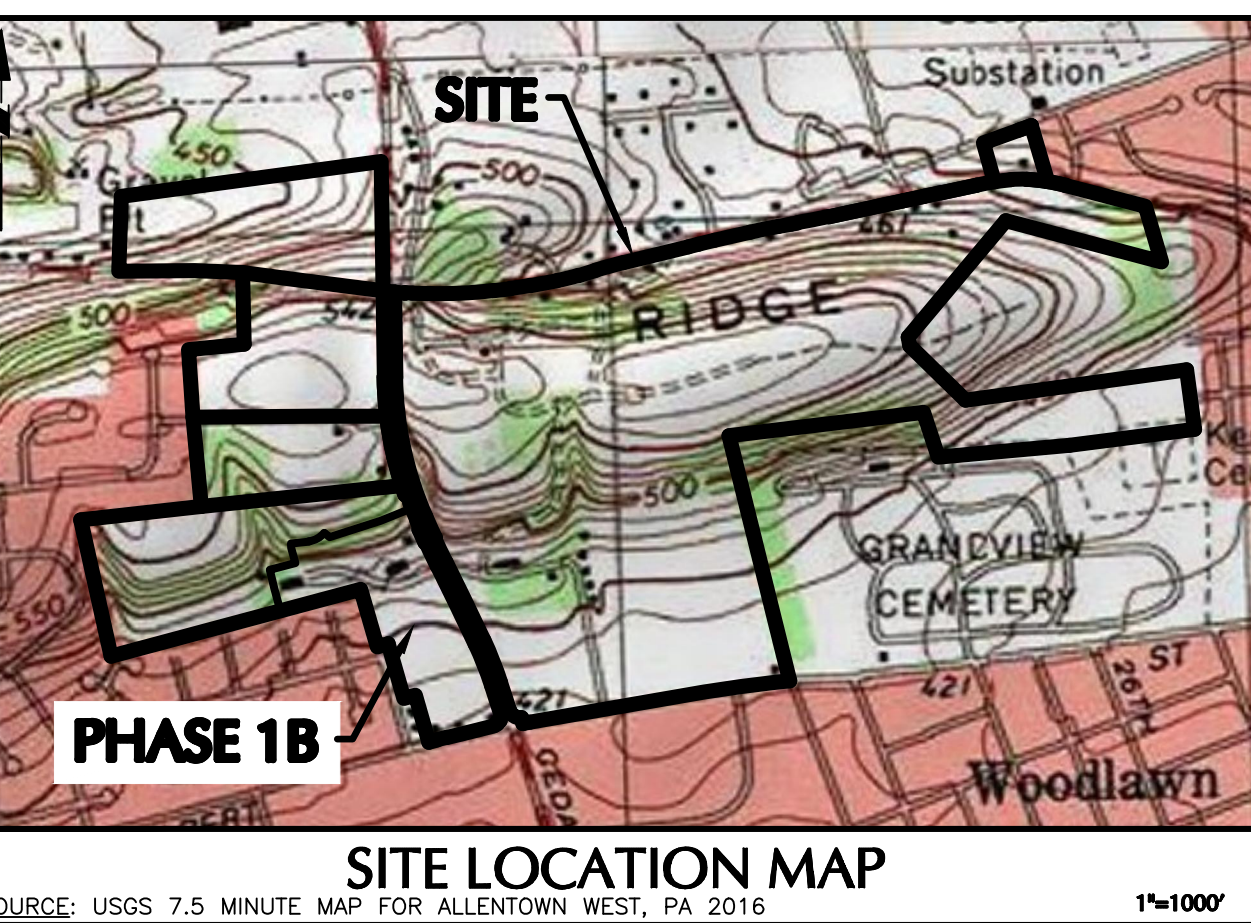


MATCHLINE SEE SHEET CS-101

VALLEY FORCE ROAD

FUTURE PHASE 2A

FUTURE PHASE 2A



SIGN LEGEND

- STOP (R1-1, 30"x30")
- ACCESSIBLE PARKING (R7-8, 12"x18")
- RESERVED PARKING PENALTIES SIGN (R7-8F, 12"x18")
- STREET SIGN (D3-1, VAR. X 8")
- SPEED LIMIT (R2-1, 24"x30")
- CENTER LANE ONLY (R3-9B, 24"x36")
- PEDESTRIAN CROSSING (W1-2, 30"x30")
- ARROW PLAQUE (W16-7P, 24"x12")
- NO PARKING HERE TO CORNER (R7-11, 12"x18")
- NO PARKING THIS SIDE OF STREET (R7-13, 12"x18")
- NO OUTLET (W14-2, 30"x30")
- NO LEFT TURN (R3-2, 24"x24")
- TRUCK LENGTH 55' (R3-102P, 24"x24")
- MAIL PICK-UP ONLY (CUSTOM, 12"x18")
- ACCESSIBLE PARKING (R7-8, 12"x18")
- RESERVED PARKING PENALTIES SIGN (R7-8F, 12"x18")

HOP SIGN LEGEND (BY OTHERS)

- STOP (R1-1, 30"x30")
- ALL TRAFFIC MUST TURN RIGHT (R3-7-1R, 30"x30")
- OBJECT MARKER (OM1-3, 18"x18")
- CENTER LANE ONLY (R3-9B, 24"x36")
- KEEP RIGHT (R4-7, 24"x30")
- DO NOT ENTER (R5-1, 30"x30")
- RIGHT TURN (R3-SR, 30"x36")
- STRAIGHT-THROUGH (R3-5A, 30"x36")
- LEFT TURN (R3-SL, 30"x36")
- SNOW EMERGENCY ROUTE NO PARKING (R7-203-1, 18"x24")

LEGEND

SITE SYMBOLS

- EXISTING CURB LINE
- EXISTING MONUMENT
- EXISTING PROPERTY LINE
- PROPOSED BUILDING LINE
- PROPERTY LINE
- PROPOSED LOT LINE (WITH PIN MARKER)
- PROPOSED LOT LINE (WITH CONCRETE MONUMENTS)
- PROPOSED LOT LINE (WITH CONCRETE MONUMENTS)
- CONCRETE SIDEWALK SIGN
- RETAINING WALL
- BASE LIMITS
- ACCESSIBLE ROUTE
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER FORCE MAIN
- PROPOSED WATER MAIN
- PROPOSED GAS MAIN
- PROPOSED TELEPHONE AND ELECTRIC
- PROPOSED FIRE HYDRANT

GRADING SYMBOLS

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION

**SOILS SYMBOLS

- SOIL TYPE
- TREELINE

UTILITY SYMBOLS

- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING CATCH BASIN
- EXISTING WATER VALVE
- EXISTING MANHOLE
- EXISTING ELECTRIC POLE**

PHASE 1B LOT COVERAGE

LOT NUMBER	LOT AREA	PROPOSED IMPERVIOUS AREA PER LOT	IMPERVIOUS AREA ACCOUNTED FOR IN STORMWATER CALCULATIONS	LOT COVERAGE PERCENTAGE
TW-1W	9,678 SF	2,850 SF	2,850 SF	29%
TW-2W	8,712 SF	2,850 SF	2,850 SF	33%
TW-3W	8,470 SF	2,850 SF	2,850 SF	34%
TW-4W	8,470 SF	2,850 SF	2,850 SF	34%
TW-5W	8,470 SF	2,850 SF	2,850 SF	34%
TW-6W	8,470 SF	2,850 SF	2,850 SF	34%
TW-31W	11,155 SF	2,850 SF	2,850 SF	26%
TW-32W	10,376 SF	2,850 SF	2,850 SF	27%
TW-33W	11,156 SF	2,850 SF	2,850 SF	26%
TW-34W	14,174 SF	2,850 SF	2,850 SF	20%
TW-35W	15,408 SF	2,850 SF	2,850 SF	18%
TW-36W	9,911 SF	2,850 SF	2,850 SF	29%
TW-37W	9,243 SF	2,850 SF	3,200 SF	35%
TW-38W	10,849 SF	2,850 SF	2,850 SF	26%

R-4 MEDIUM DENSITY RESIDENTIAL

ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Twain	Twain
Tract Area:	N/A	5.2 Ac. (Phase 1B R-4 area)
Minimum Lot Area Per Use:	8,400 SF.	8,470 SF.
Minimum Frontage: ¹	70 FT / 42 FT along cul-de-sac lot	70 FT / 47 FT along cul-de-sac
Minimum Front Yard:	25 FT	25 FT
Minimum Side Yard:	10 FT	10 FT
Minimum Rear Yard:	30 FT	30 FT
Maximum Building Height:	35 FT	35 FT
Parking Requirement:	(See Phase 1B Parking Calculation Table)	(See Phase 1B Parking Calculation Table)

NOTES:
 1. Zoning Section 350-42-(j)(3)(i) Frontage along cul-de-sac Lots may be satisfied at the standard front building or Use setback line, provided the length of the ROW line equals at least 60% of the required frontage.

OWNER/APPLICANT
 KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

NOTE: SEE SHEET CS-101 FOR SITE PLAN GENERAL NOTES.

REVISIONS

Date	Description	No.
3-16-23	REVISED PER TOWNSHIP COMMENTS	3.
1-19-23	REVISED PER TOWNSHIP COMMENTS	2.
7-21-22	REVISED PER TOWNSHIP COMMENTS	1.

SIGNATURE: JASON S. ENGELHARDT DATE SIGNED: _____
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

LANGAN
 One West Broad Street, Suite 200, Bethlehem, PA 18018
 T: 610-866-8900 F: 610-866-9501 www.langan.com
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
 Langan Engineering and Environmental Services, Inc.
 Langan International LLC
 Collectively known as Langan

Project: **RIDGE FARMS PHASE 1B FINAL PLANS**
 54872550358 1
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **SITE PLAN (RECORD PLAN)**

Project No. 240043301
 Date: 04/20/22
 Scale: 1" = 50'
 Drawn By: JDM Checked By: JE
 Submission Date: _____
 Sheet 8 of 22

SURVEYOR CERTIFICATION:
 I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E), HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY TO BE CORRECT IN ALL ITS DETAILS AND THAT THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON NOVEMBER 19, 2001, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST AS SHOWN, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT. THE REQUIRED AND PROPOSED RIGHT-OF-WAY AREAS SHOWN ARE EXCLUDED FROM THIS CERTIFICATION.

OWNER'S CERTIFICATE:
 ON THIS, THE _____ DAY OF _____ 20____, BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:
 RICHARD M. KOZE, JR. (MANAGING MEMBER)
 KAY WALBERT LLC
 WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OR OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH PLAN, AND THAT HE WITNESSES MY HAND AND SEAL, THE DAY AND DATE ABOVE WRITTEN.

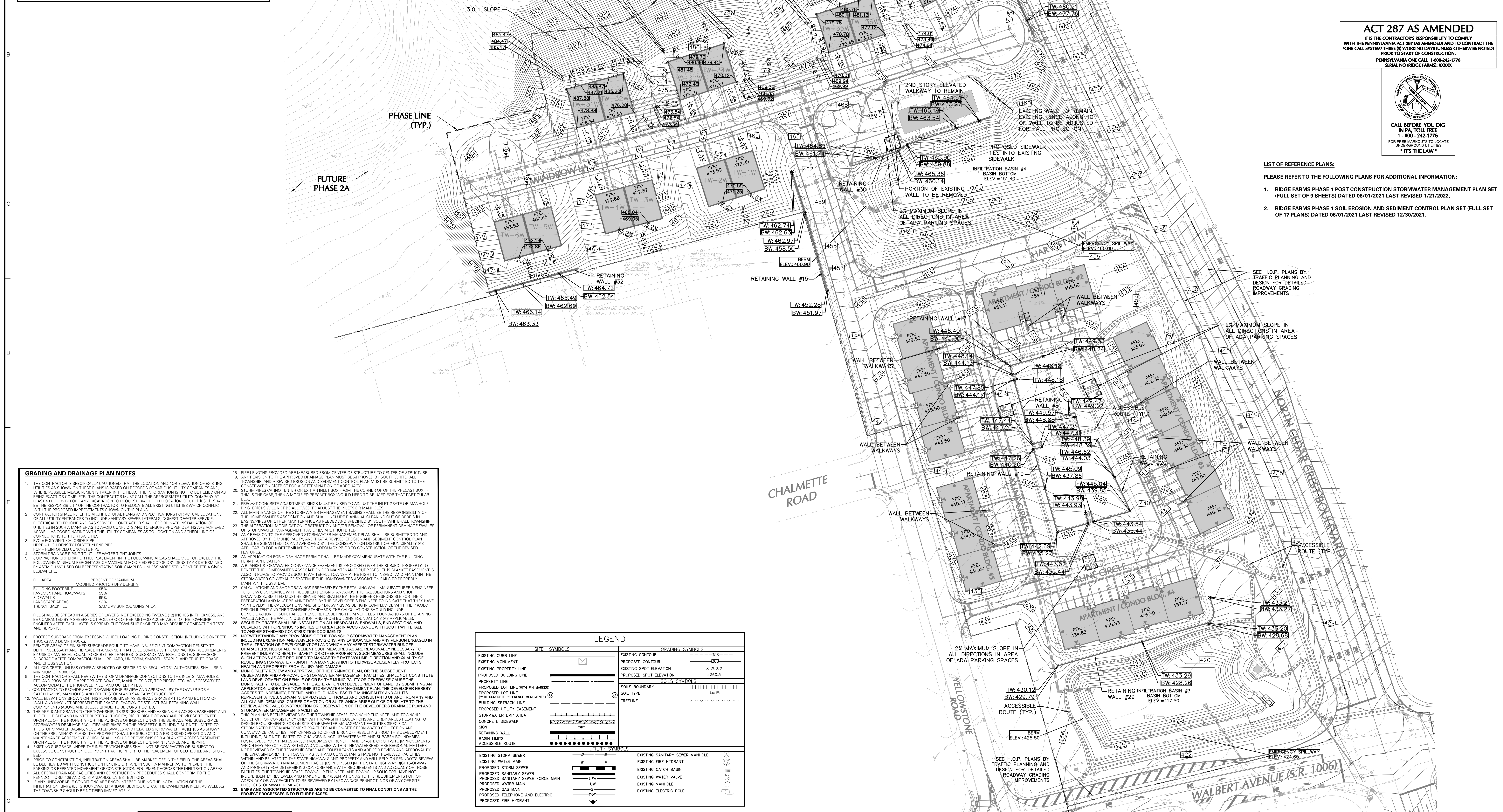
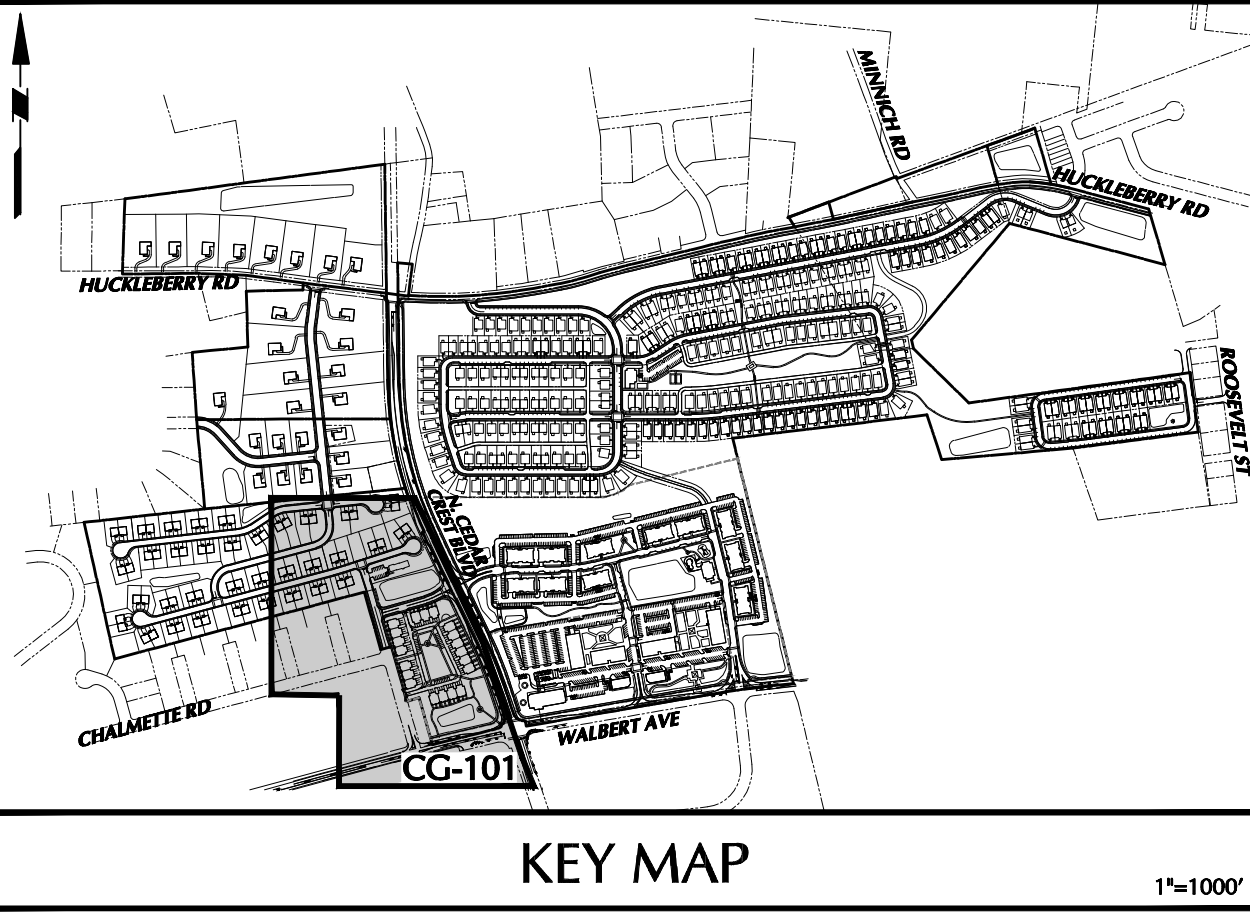
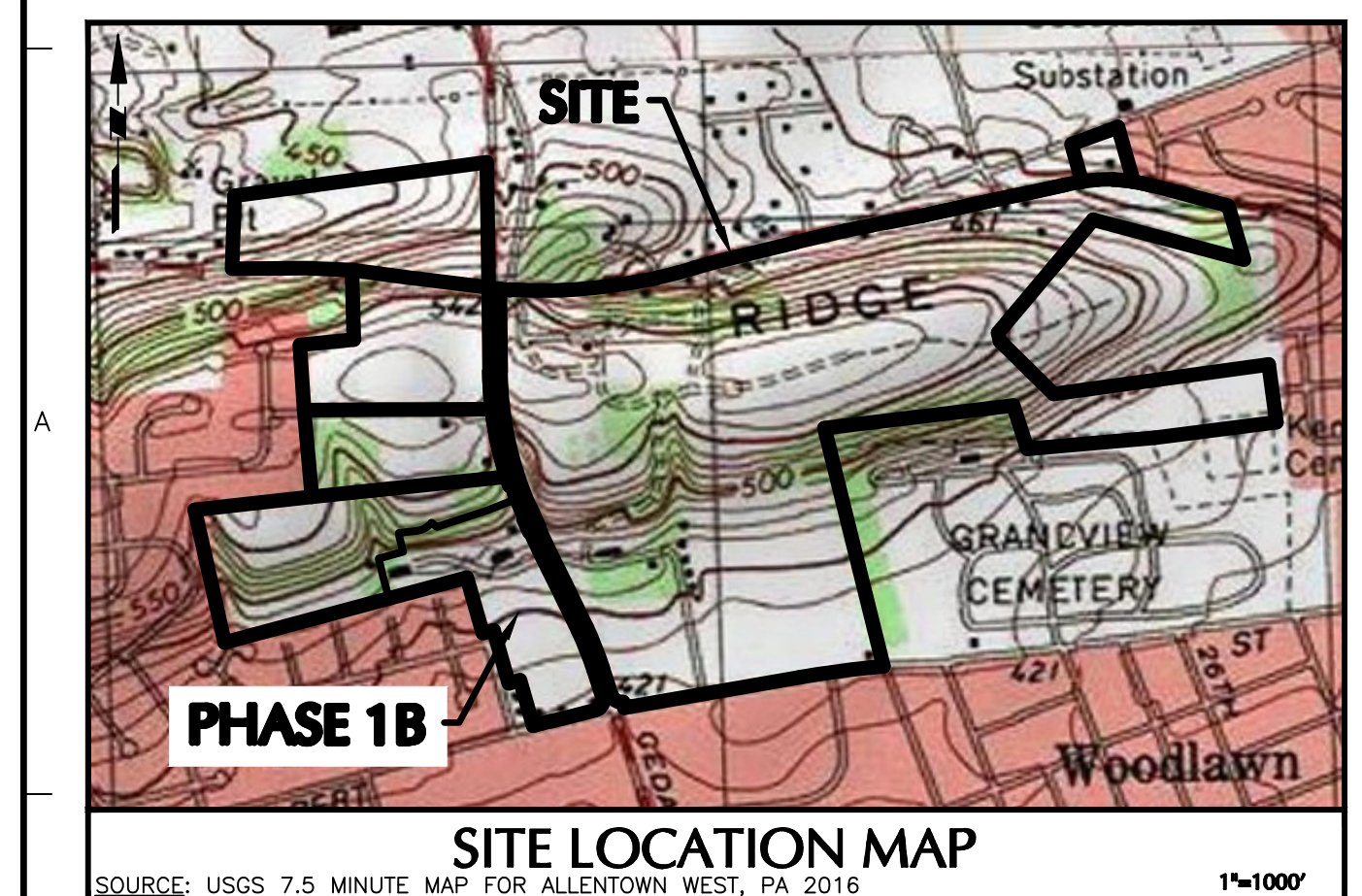
TIMOTHY J. SHERIDAN
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E
SURVEYOR CERTIFICATION:
 I, SHAUN F. HIGGINS, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-051088-E), HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION TO BE CORRECT IN ALL ITS DETAILS.

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:
 I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAD OFF, PLATED AND SURVEYED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

SHAUN F. HIGGINS
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-051088-E
ENGINEER'S CERTIFICATION:
 I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____

RICHARD M. KOZE, JR. (MANAGING MEMBER)
 KAY WALBERT LLC
 APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:
 RECOMMENDED FOR APPROVAL _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)
 _____ (CHAIRMAN)
 _____ (SECRETARY)
 APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:
 APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TOWNSHIP (MONTH DAY YEAR)
 _____ (PRESIDENT)
 _____ (SECRETARY)
 _____ (TOWNSHIP ENGINEER)

JASON S. ENGELHARDT
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E
 RECORDED INFORMATION:
 RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, LEHIGH COUNTY, PENNSYLVANIA ON _____ INSTRUMENT No. _____ ON _____ 20____
 PLANNER _____ DATE _____



GRADING AND DRAINAGE PLAN NOTES
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OR VARIOUS UTILITY COMPANIES' DATA...

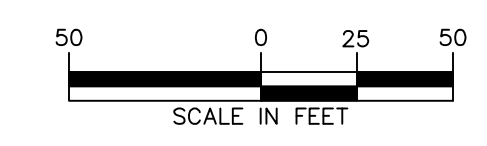
LEGEND
Table with columns for SITE SYMBOLS, GRADING SYMBOLS, and UTILITY SYMBOLS. Includes symbols for existing curb lines, contours, property lines, and various utility lines.

ACT 287 AS AMENDED
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 287 AS AMENDED AND TO CONTRACT THE 'ONE CALL SYSTEM' THREE BUSINESS DAYS UNLESS OTHERWISE NOTED PRIOR TO START OF CONSTRUCTION.

- LIST OF REFERENCE PLANS:
PLEASE REFER TO THE FOLLOWING PLANS FOR ADDITIONAL INFORMATION:
1. RIDGE FARMS PHASE 1 POST CONSTRUCTION STORMWATER MANAGEMENT PLAN SET (FULL SET OF 9 SHEETS) DATED 06/01/2021 LAST REVISED 1/21/2022.

THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO...

OWNER/APPLICANT
KAY WALBERT LLC.
ATTN: RICHARD M. KOZE, JR.
5930 HAMILTON BLVD., SUITE 10
ALLENTOWN, PA 18106
610-395-6857



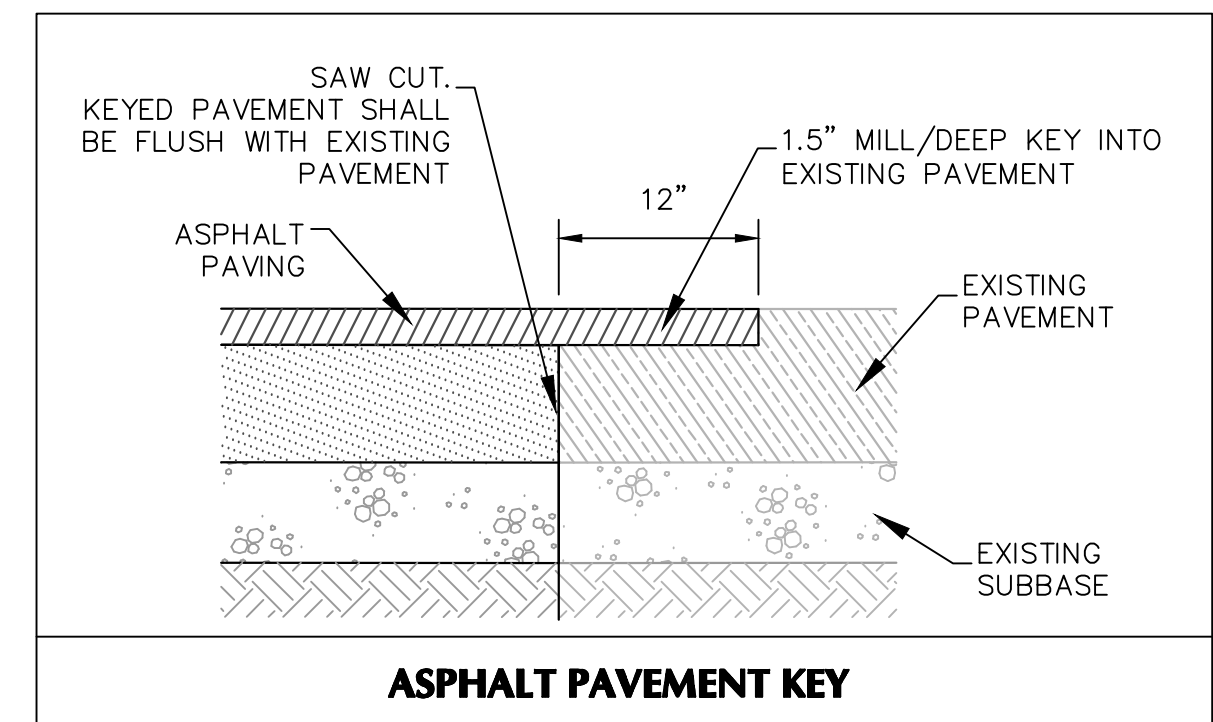
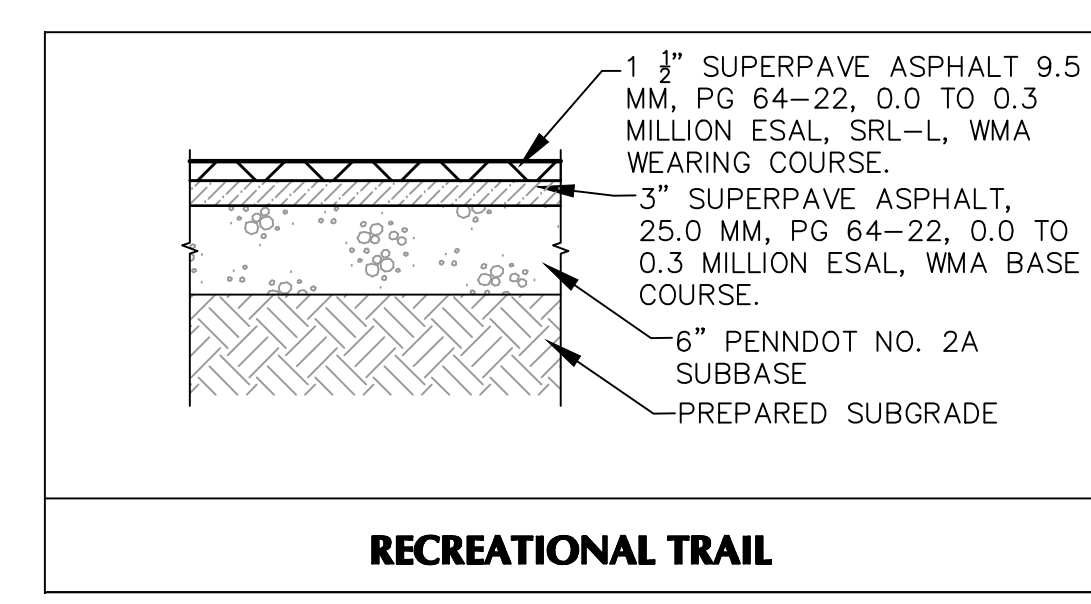
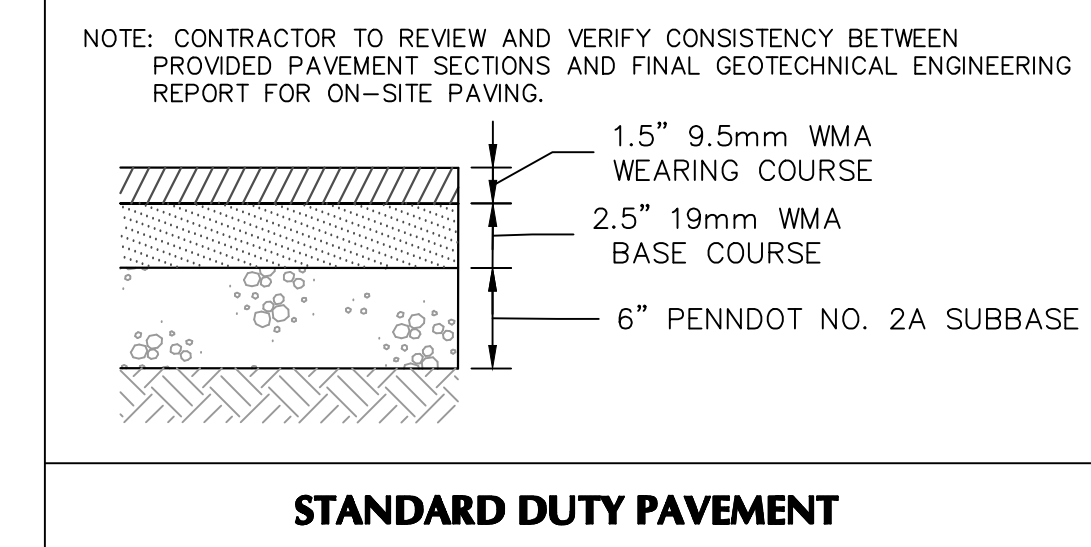
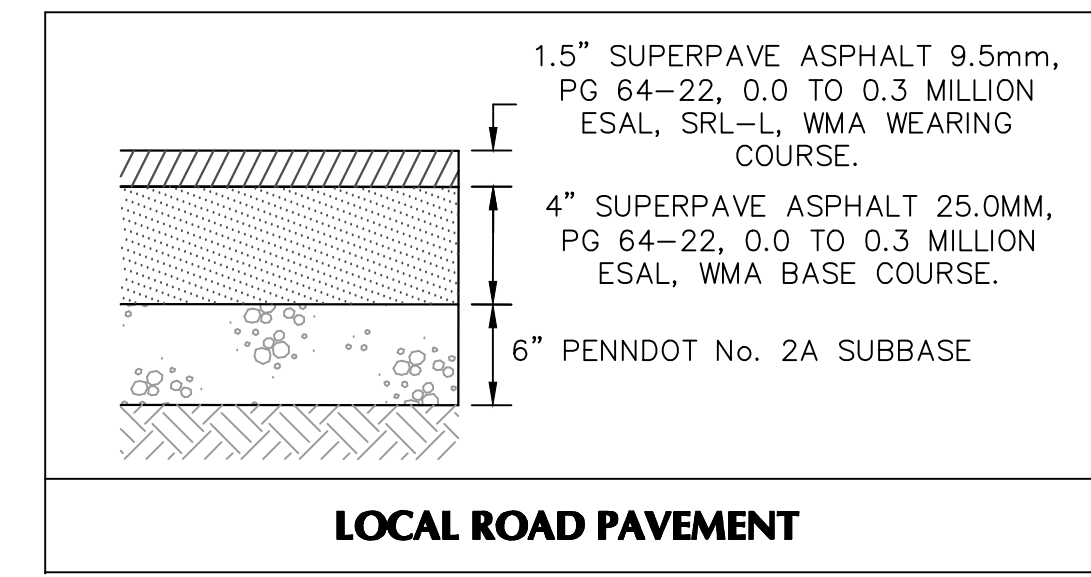
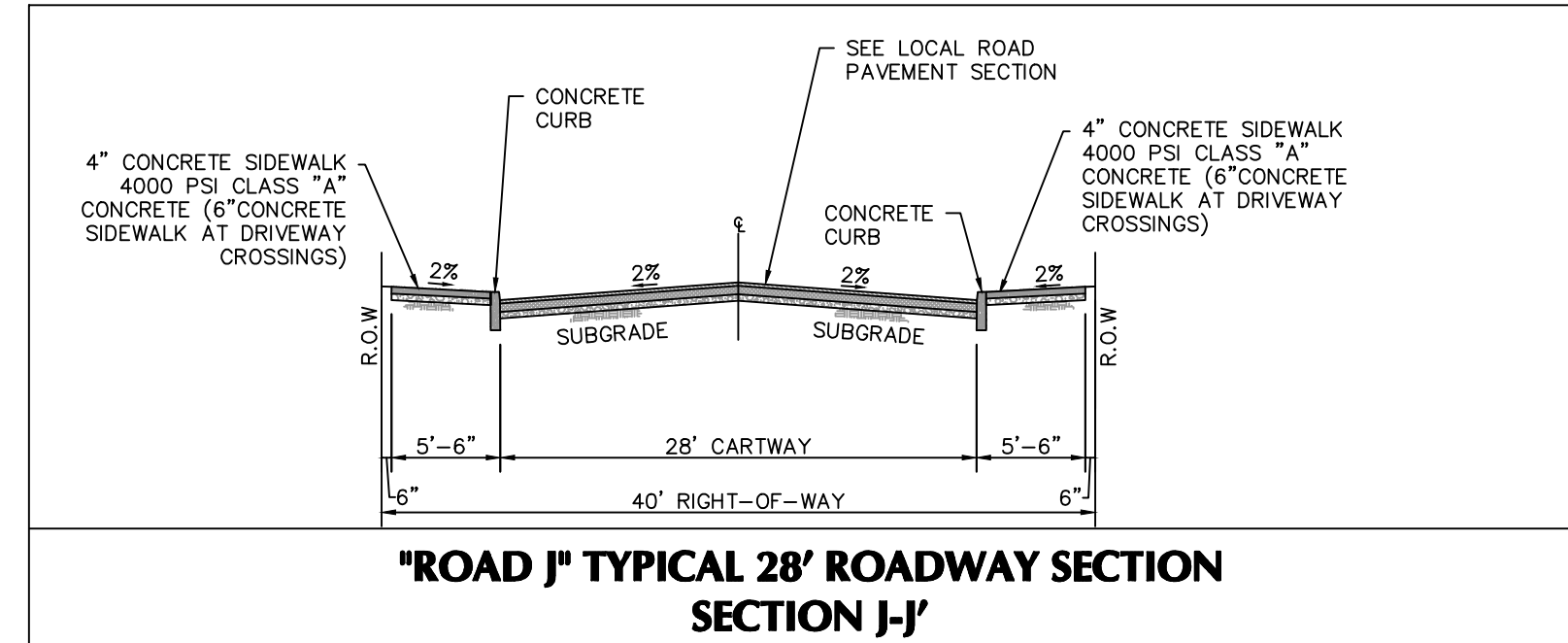
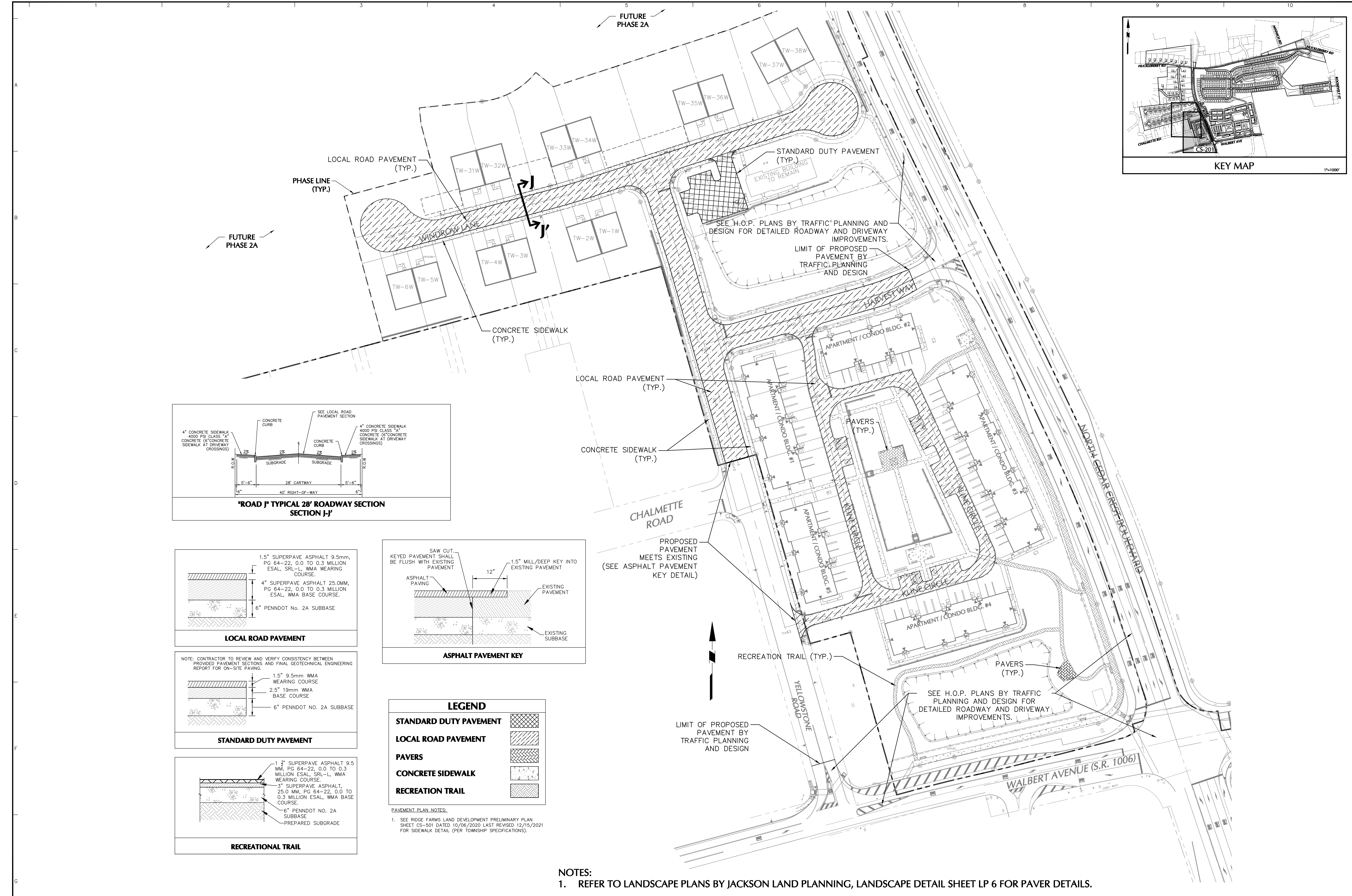
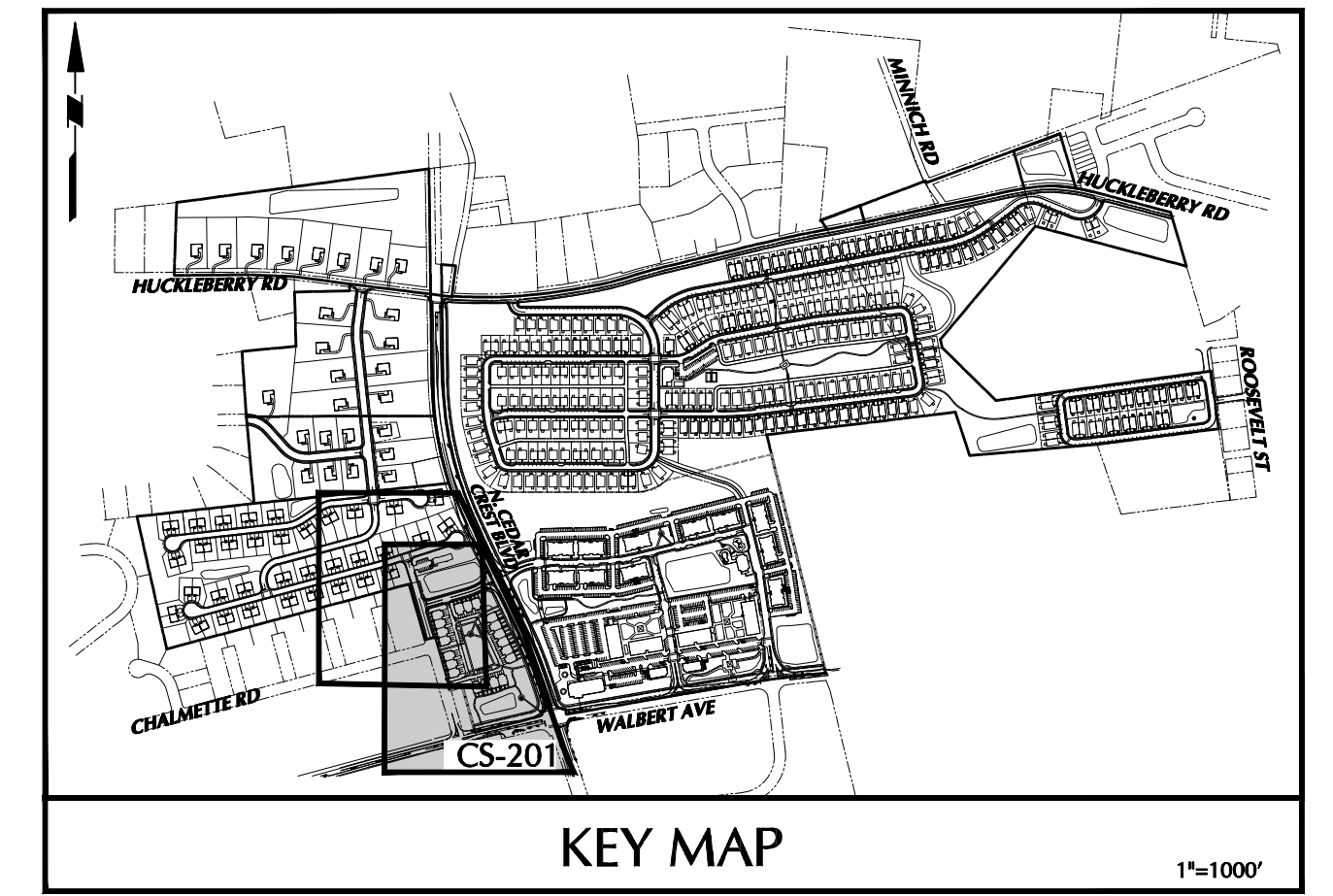
REVISIONS table with columns for Date, Description, and No.
3-16-23 REVISED PER TOWNSHIP COMMENTS 3.
1-19-23 REVISED PER TOWNSHIP COMMENTS 2.
7-21-22 REVISED PER TOWNSHIP COMMENTS 1.

SIGNATURE: JEFFREY HARSHBARGER
PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E
DATE SIGNED

LANGAN logo and contact information: One West Broad Street, Suite 200, Bethlehem, PA 18018. T: 610.861.9500 F: 610.861.9501 www.langan.com

Project: RIDGE FARMS PHASE 1B FINAL PLANS. Drawing Title: GRADING PLAN. Project No. 240043301. Date: 04/20/22. Scale: 1" = 50'. Drawing By: KG. Checked By: JSE.

Project No. 240043301. Drawing No. CG-101. Sheet 11 of 22.

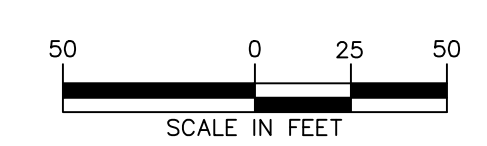


LEGEND	
STANDARD DUTY PAVEMENT	[Cross-hatched pattern]
LOCAL ROAD PAVEMENT	[Diagonal hatched pattern]
PAVERS	[Stippled pattern]
CONCRETE SIDEWALK	[Dotted pattern]
RECREATION TRAIL	[Horizontal hatched pattern]

PAVEMENT PLAN NOTES:
 1. SEE RIDGE FARMS LAND DEVELOPMENT PRELIMINARY PLAN SHEET CS-501 DATED 10/06/2020 LAST REVISED 12/15/2021 FOR SIDEWALK DETAIL (PER TOWNSHIP SPECIFICATIONS).

NOTES:
 1. REFER TO LANDSCAPE PLANS BY JACKSON LAND PLANNING, LANDSCAPE DETAIL SHEET LP 6 FOR PAVER DETAILS.

OWNER/APPLICANT
 KAY WALBERT LLC.
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857



Date	Description	No.
3-16-23	REVISED PER TOWNSHIP COMMENTS	3.
1-19-23	REVISED PER TOWNSHIP COMMENTS	2.
7-21-22	REVISED PER TOWNSHIP COMMENTS	1.

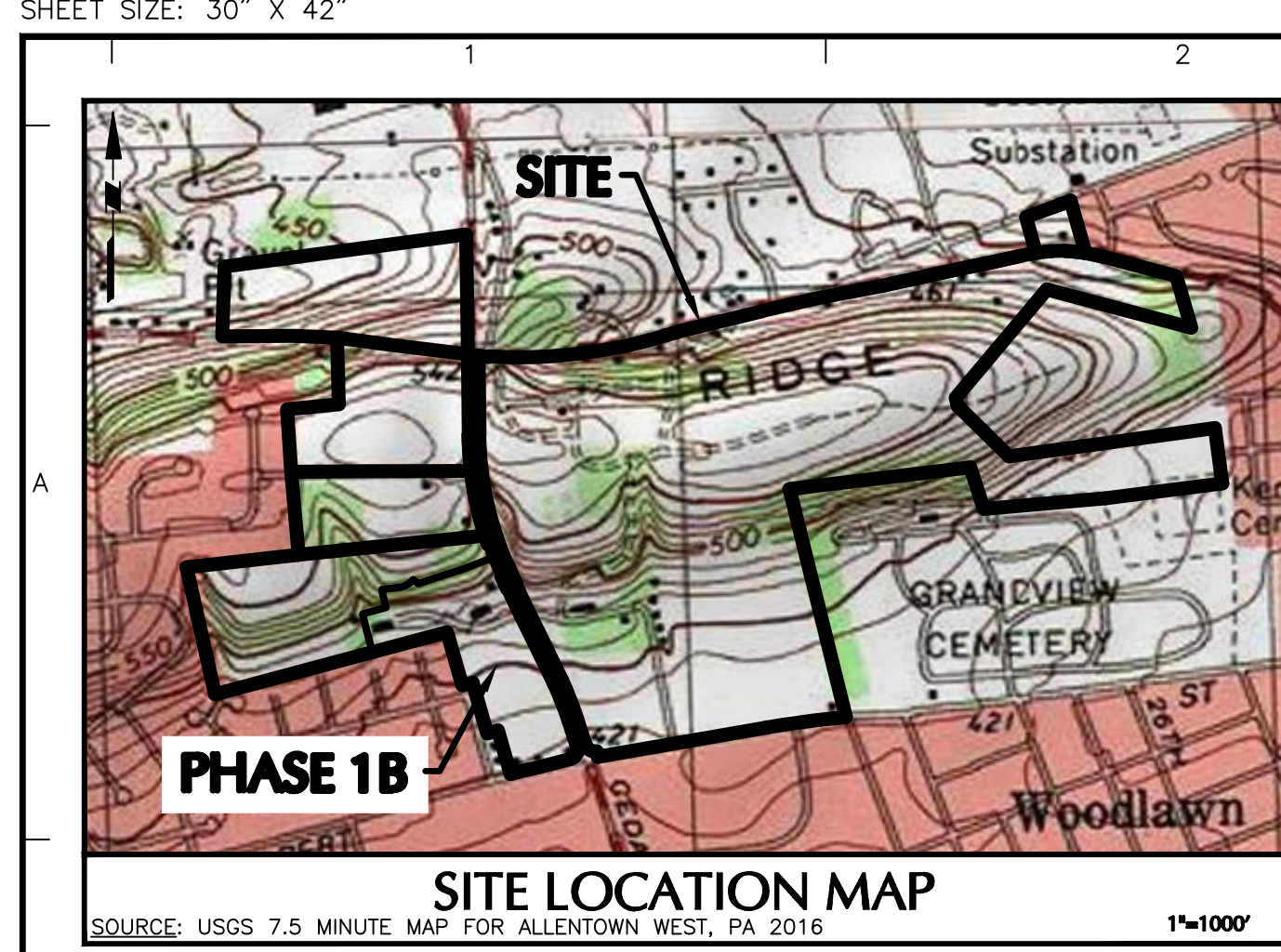
SIGNATURE: JEFFREY H. HARDY
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

LANGAN
 One West Broad Street, Suite 200, Bethlehem, PA 18018
 T: 610.861.9500 F: 610.864.9501 www.langan.com
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
 Langan Engineering and Environmental Services, Inc.
 Langan GI, Inc.
 Langan International LLC
 Collectively known as Langan

Project: **RIDGE FARMS PHASE 1B FINAL PLANS**
 548725550358 1
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

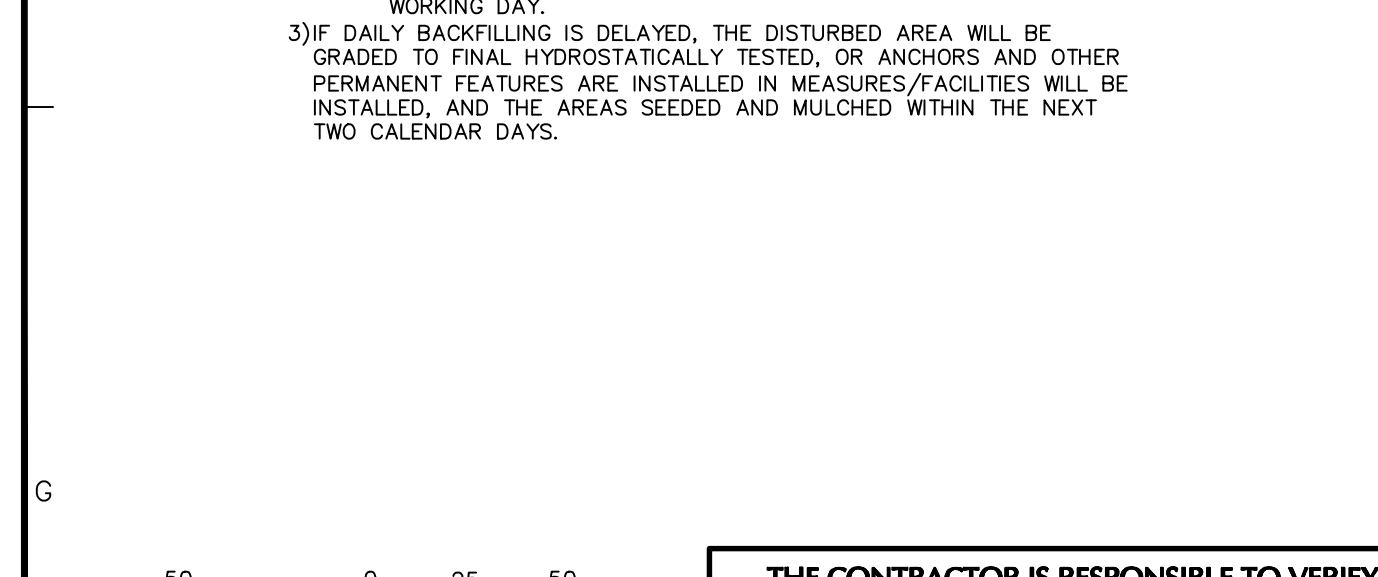
Drawing Title: **PAVEMENT PLAN**

Project No. 240043301
 Date 04/20/22
 Scale 1" = 50'
 Drawing No. CS-201
 Drawn By JDM Checked By JSE
 Submission Date
 Sheet 9 of 22



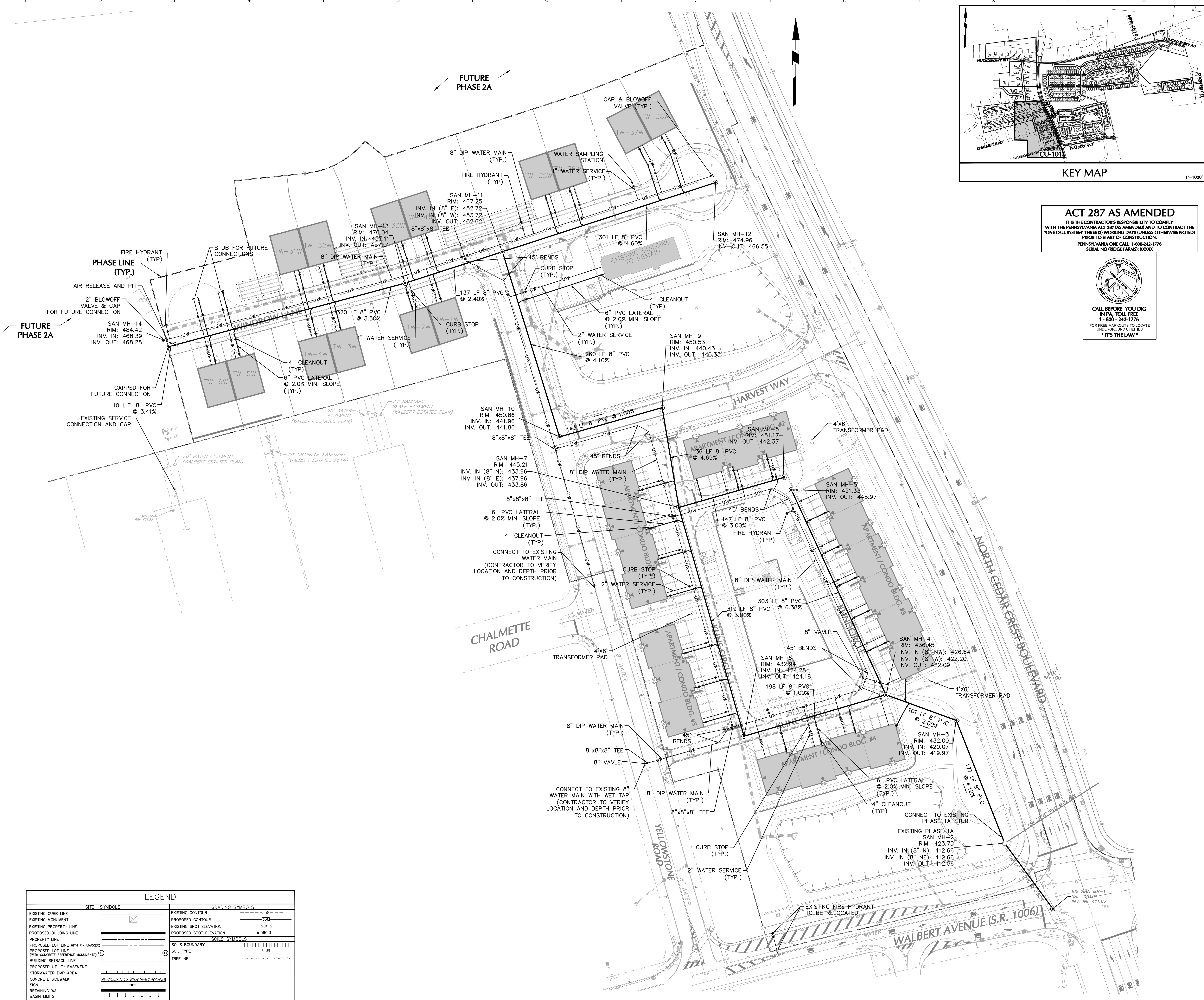
- UTILITY NOTES:**
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
 - CONTRACTOR MUST REMOVE OLD PRIVATE 6" WATER LINE FROM YELLOW STONE CONNECTION POINT TO ALL EXISTING BUILDINGS.
 - CONTRACTOR MUST REMOVE OLD WATER SERVICE CONNECTION AND CAP AT SWT WATER MAIN ON SEQUOIA COURT.
 - ALL FIRE HYDRANTS BEING RELOCATED SHALL BE REPLACED WITH NEW FIRE HYDRANTS WITH CHECK VALVES (SEE SWT CONSTRUCTION STANDARD SW-1).
 - THE LOCATION OF THE EXISTING GAS MAINS ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
 - THE LOCATION OF EXISTING ELECTRICAL LINES ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
 - ALL GAS WORK AND OTHER ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
 - ALL ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS. MIN. DEPTH OF COVER OVER ELECTRIC, GAS, AND CABLE SHALL BE 2 FT.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND DRAWINGS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - ALL UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS REQUIRED BY PROVIDER.
 - CONTRACTOR SHALL COORDINATE EXACT LOCATION OF UTILITIES WITH APPROVED BUILDING PLANS.
 - ALL METERS, VALVES, ETC. MUST BE RECESSED TYPE AND HEAVY TRAFFIC RATED.
 - THE CONTRACTOR SHALL COORDINATE THE WATER WORK WITH SOUTH WHITEHALL TOWNSHIP.
 - A MINIMUM TEN (10) FOOT HORIZONTAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND STORM SEWER. A MINIMUM EIGHTEEN (18) INCHES VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND ALL OTHER UTILITIES.
 - ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4 FEET FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION.
 - PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 10 FT BETWEEN SANITARY SEWER MAINS AND WATER MAINS. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND ALL OTHER UTILITIES. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND CONCRETE CURBS. A MINIMUM DISTANCE OF 10 FT SHALL BE PROVIDED BETWEEN NEW WATER AND SEWER SERVICE LINES AND LIGHT POLES, TREES ETC.
 - ALL WATER MAIN FITTINGS SHALL BE PROVIDED WITH THRUST BLOCKING. REFER TO DETAILS FOR THRUST BLOCK DETAILS AND FITTING SCHEDULES.
 - ALL FIRE HYDRANTS AND VALVES SHALL OPEN RIGHT (CLOCKWISE).
 - DIP = DUCTILE IRON PIPE
PVC = POLYVINYL CHLORIDE
 - WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AS WELL AS THE SOUTH WHITEHALL TOWNSHIP STANDARDS AND SPECIFICATIONS, AND IS SUBJECT TO INSPECTION BY SOUTH WHITEHALL TOWNSHIP AND ITS ENGINEER. SOUTH WHITEHALL TOWNSHIP WILL BE RESPONSIBLE FOR THE APPROVAL OF ALL MATERIALS IN CONNECTION WITH THE WATER MAIN.
 - SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AS WELL AS THE SOUTH WHITEHALL TOWNSHIP STANDARDS AND SPECIFICATIONS, AND IS SUBJECT TO INSPECTION BY SOUTH WHITEHALL TOWNSHIP AND ITS ENGINEER. SOUTH WHITEHALL TOWNSHIP WILL BE RESPONSIBLE FOR THE APPROVAL OF ALL MATERIALS IN CONNECTION WITH THE SANITARY SEWER.
 - ALL SANITARY SEWER LINES SHALL BE SDR-35 PVC AND ALL LATERALS SHALL BE SCHEDULE 40 PVC. EXCEPT AS NOTED, ALL SANITARY LINES AND LATERALS SHALL BE BEDDED TO MEET MANUFACTURER'S SPECIFICATIONS AND/OR APPROVAL OF SOUTH WHITEHALL TOWNSHIP, WHICHEVER IS MORE RESTRICTIVE.
 - ALL SANITARY SEWER MANHOLES PROPOSED TO BE INSTALLED WITHIN ANY EASEMENT SHALL BE INSTALLED WITH WATER-TIGHT FRAMES AND COVERS. ANY MANHOLE TO BE INSTALLED OUTSIDE OF PAVED AREAS SHALL BE INSTALLED A MINIMUM OF 12" ABOVE FINISH GRADE.
 - WHEN A NEW SANITARY LINE IS CONSTRUCTED AND TIED INTO AN ACTIVE MANHOLE, THE NEW LINE WILL BE PLUGGED AND REMAIN PLUGGED UNTIL ALL TESTING HAS BEEN COMPLETED BY THE DEVELOPER AND APPROVED BY A SOUTH WHITEHALL TOWNSHIP INSPECTOR OR REPRESENTATIVE.
 - LOCATOR TAPS SHALL BE INSTALLED ABOVE ALL SANITARY SEWER MAIN LOCATED IN UNPAVED AREAS, AND ABOVE ALL LOW PRESSURE SANITARY SEWER MAIN AND LATERALS WITHIN THE TOWNSHIP RIGHT-OF-WAY.
 - LOW PRESSURE SANITARY FORCE MAINS MUST BE INSTALLED WITH A CONTINUOUS RISE TO AIR RELEASE VALVES INSTALLED AT HIGH POINTS.
 - A WATER EXTENSION / NEW MAIN IS ANTICIPATED TO BE REQUIRED FROM TANK TO SITE VIA RIDGE LANE. THE SCOPE OF THIS IMPROVEMENT IS AWAITING THE RESULTS OF A STUDY COORDINATED WITH THE SOUTH WHITEHALL TOWNSHIP WATER AND SEWER ENGINEER.
 - THE LOCATIONS OF EXISTING UTILITIES ARE NOT THE RESPONSIBILITY AND HAVE NOT BEEN REVIEWED BY THE PIDCOCK COMPANY, THE TOWNSHIP OR THE SPOTTS, STEVENS AND MCCOY COMPANY.
 - ALL WATER METERS SHALL BE NEPTUNE MACH 10.

- UTILITY TRENCH EXCAVATION GUIDELINES:**
- CONSTRUCTION REQUIREMENTS
 - WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SEPARATE AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
 - LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
 - ALL DISTURBED AREAS ARE TO BE RESTORED AND STABILIZED WITHIN TWENTY (20) DAYS, IN ACCORDANCE WITH THE STABILIZATION METHODS APPLICABLE TO THE AREA OF DISTURBANCE (I.E. SWALES WITH LINER, ROAD WITH BASE COARSE AND ETC.)
 - EXCEPTIONS - IN CERTAIN CASES TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED IN THESE CASES, ALL OF THE REQUIREMENTS LISTED UNDER ITEM 1 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:
 - DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS, ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
 - IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED IN MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.



OWNER/APPLICANT
KAY WALBERT LLC.
ATTN: RICHARD M. KOZE, JR.
5930 HAMILTON BLVD., SUITE 10
ALLENTOWN, PA 18106
610-395-6857

THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES. ONLY THE LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO. NO CERTIFICATION IS MADE BY LANGAN AS TO THE ACCURACY OR COMPLETENESS OF THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776



DATE	DESCRIPTION	NO.
3-16-23	REVISED PER TOWNSHIP COMMENTS	3.
1-19-23	REVISED PER TOWNSHIP COMMENTS	2.
7-21-22	REVISED PER TOWNSHIP COMMENTS	1.

LANGAN
One West Broad Street, Suite 200, Bethlehem, PA 18018
T: 610-864-9500 F: 610-864-9501 www.langan.com
Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
Langan Engineering and Environmental Services, Inc.
Langan GI, Inc.
Langan International LLC
Collectively known as Langan

PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

PROJECT
RIDGE FARMS
PHASE 1B
FINAL PLANS
54872550358 1
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY PENNSYLVANIA

DRAWING TITLE
UTILITY PLAN

PROJECT NO.
240043301

DATE
04/20/22

SCALE
1" = 50'

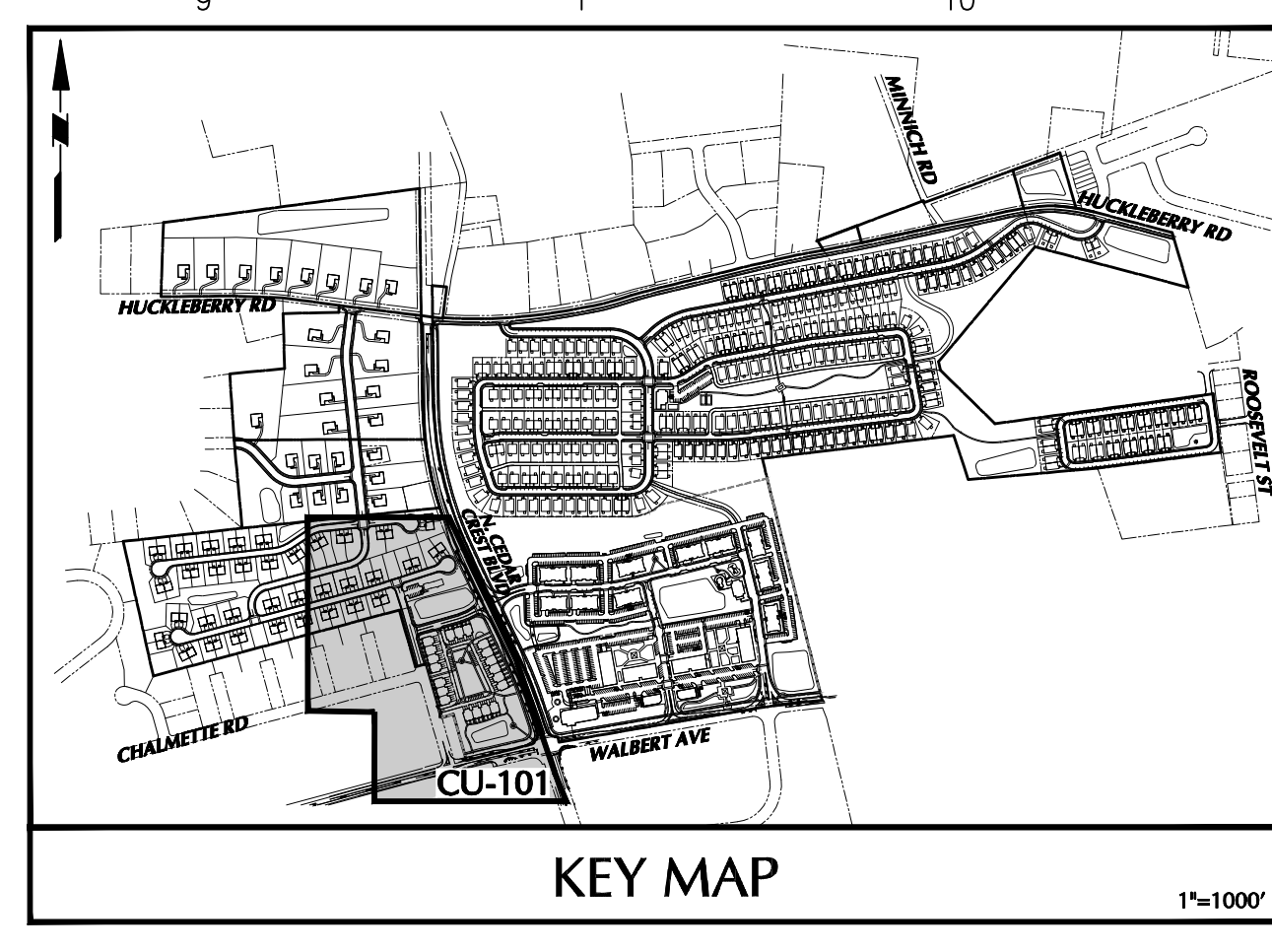
DRAWN BY
JDM

CHECKED BY
JSE

SUBMISSION DATE

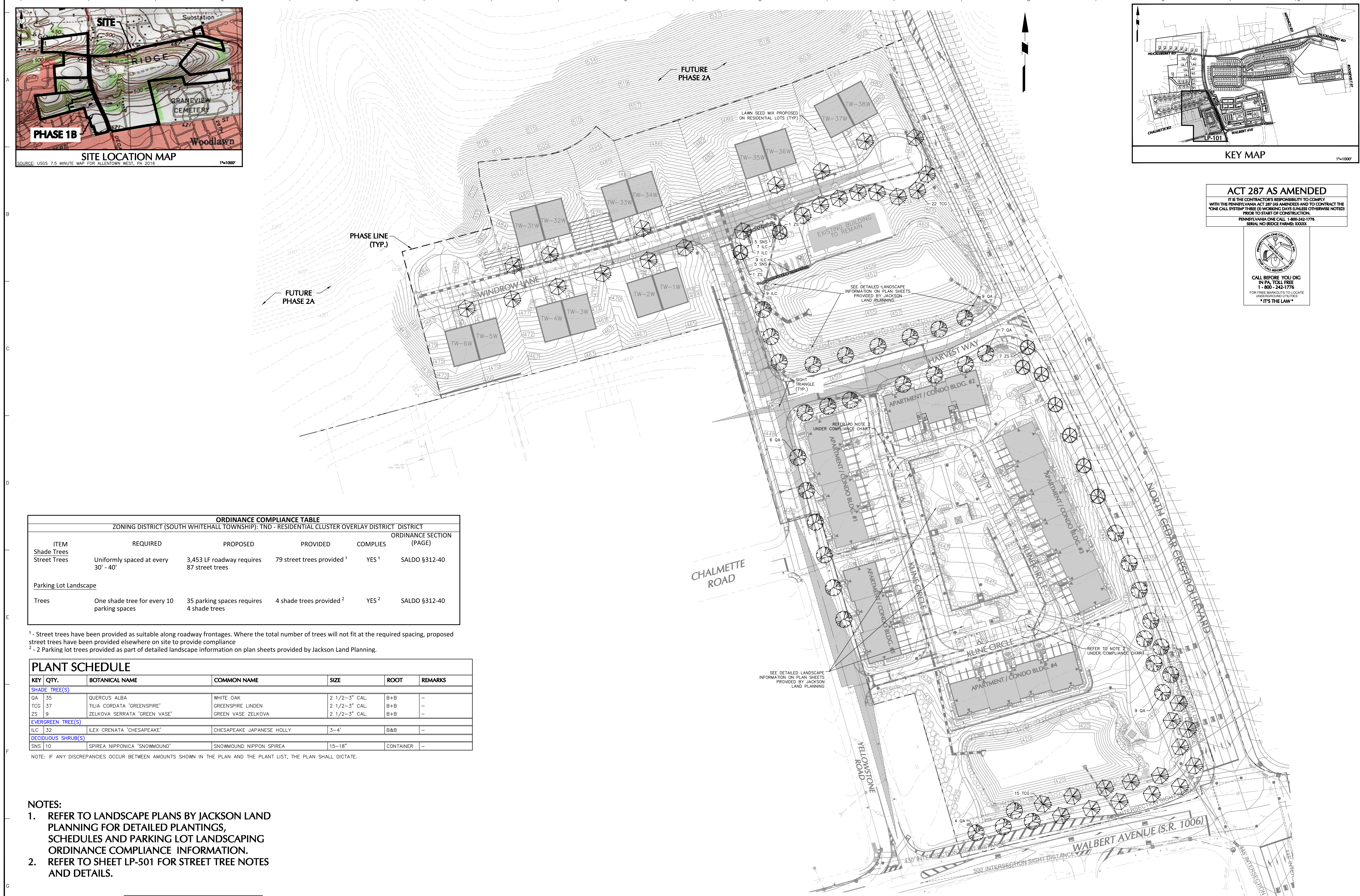
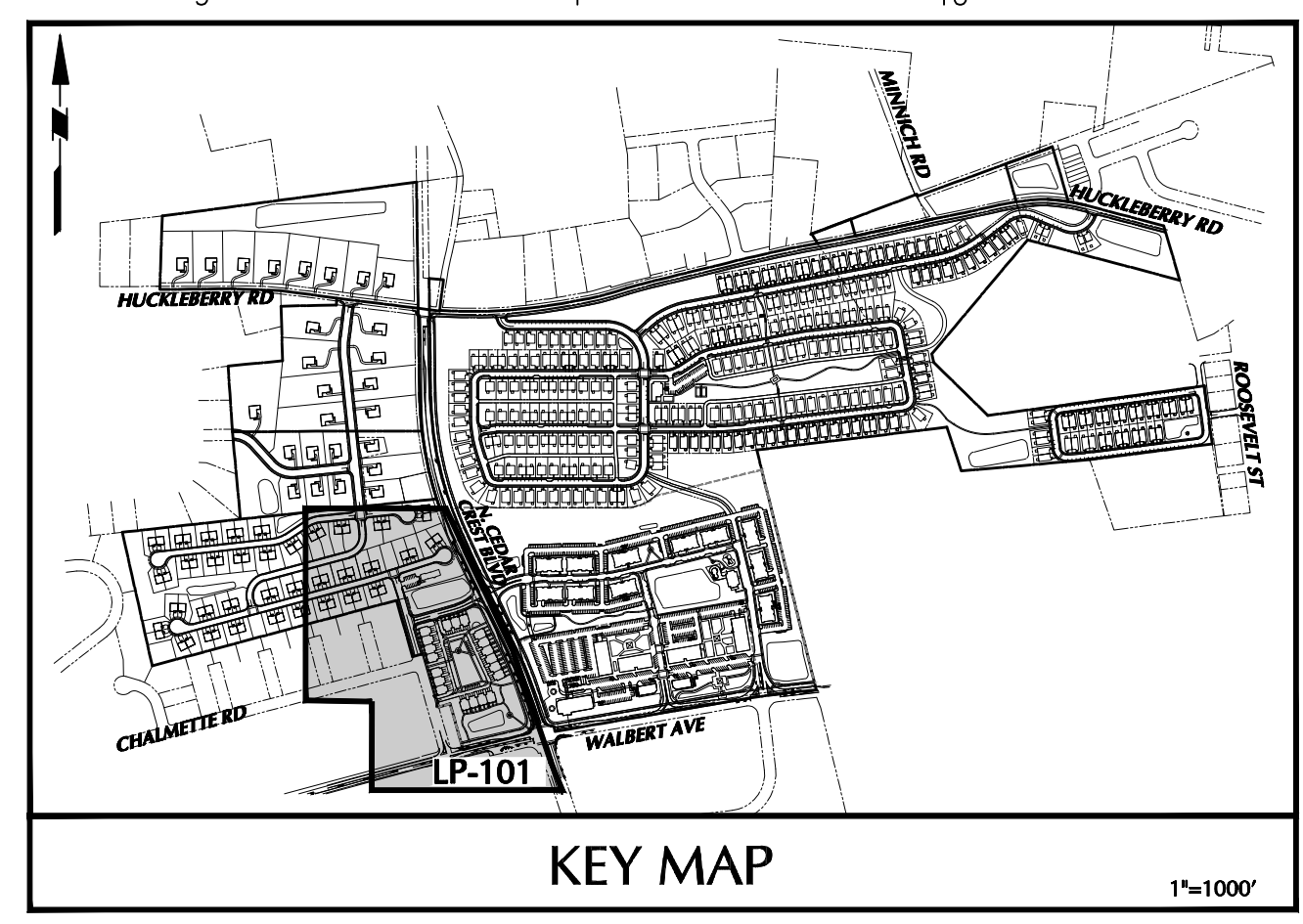
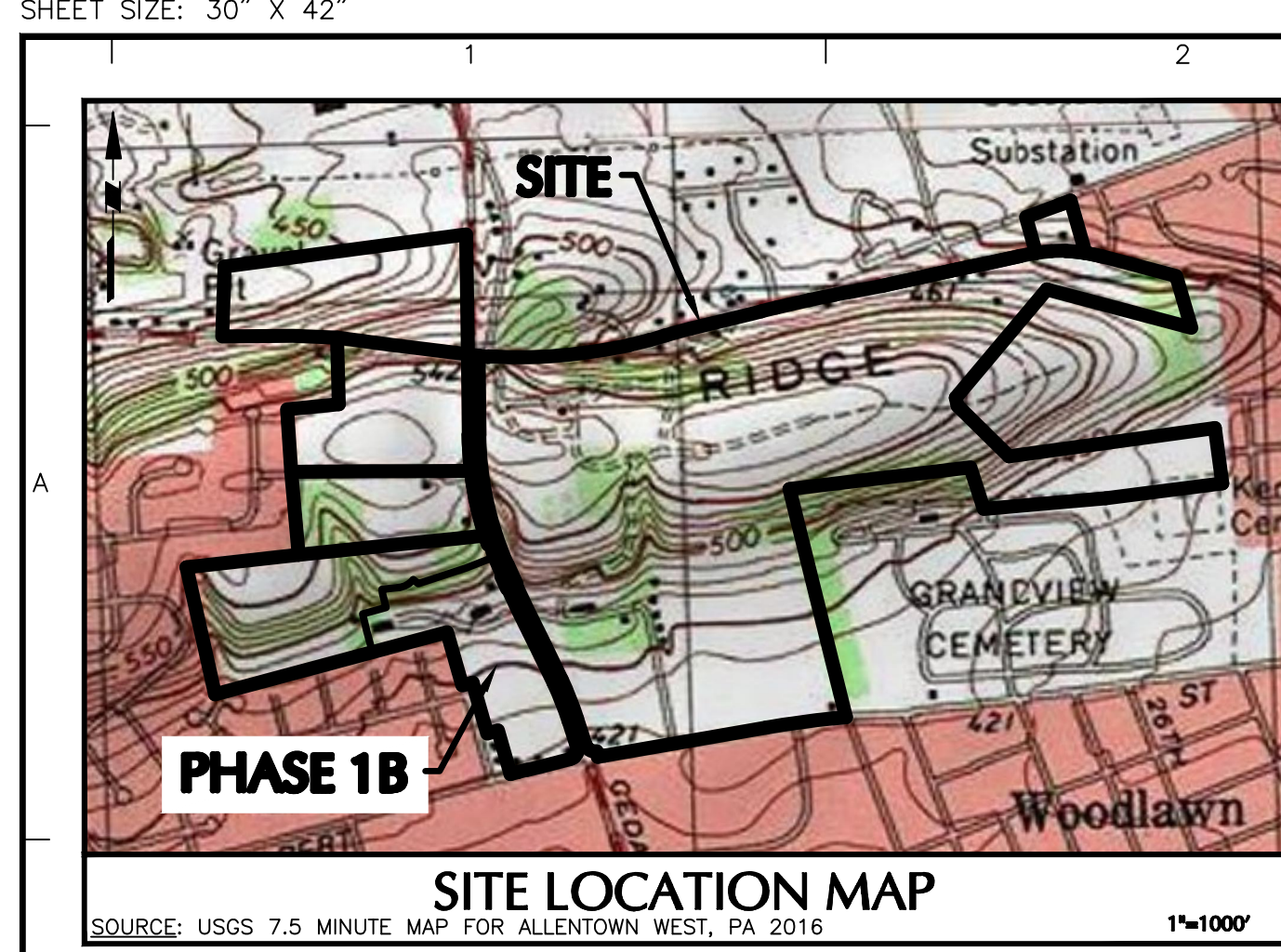
DRAWING NO.
CU-101

SHEET 14 OF 22



ACT 287 AS AMENDED
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 287 AS AMENDED AND TO CONTRACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS UNLESS OTHERWISE NOTED PRIOR TO START OF CONSTRUCTION.
PENNSYLVANIA ONE CALL 1-800-242-1776
SERIAL NO. RIDGE FARMS: XXXXX





ACT 287 AS AMENDED
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 287 (AS AMENDED) AND TO CONTRACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS UNLESS OTHERWISE NOTED PRIOR TO START OF CONSTRUCTION.
 PENNSYLVANIA ONE CALL 1-800-242-1776
 SERIAL NO (DIGE FARM)S: XXXXX



ORDINANCE COMPLIANCE TABLE					
ZONING DISTRICT (SOUTH WHITEHALL TOWNSHIP); TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT					DISTRICT
ITEM	REQUIRED	PROPOSED	PROVIDED	COMPLIES	ORDINANCE SECTION (PAGE)
Shade Trees	Uniformly spaced at every 30' - 40'	3,453 LF roadway requires 87 street trees	79 street trees provided ¹	YES ¹	SALDO §312-40
Parking Lot Landscape	One shade tree for every 10 parking spaces	35 parking spaces requires 4 shade trees	4 shade trees provided ²	YES ²	SALDO §312-40

¹ - Street trees have been provided as suitable along roadway frontages. Where the total number of trees will not fit at the required spacing, proposed street trees have been provided elsewhere on site to provide compliance
² - 2 Parking lot trees provided as part of detailed landscape information on plan sheets provided by Jackson Land Planning.

PLANT SCHEDULE						
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
QA	35	QUERCUS ALBA	WHITE OAK	2 1/2-3" CAL.	B+B	-
TCG	37	TILIA CORDATA "GREENSPIRE"	GREENSPIRE LINDEN	2 1/2-3" CAL.	B+B	-
ZS	9	ZELKOVA SERRATA "GREEN VASE"	GREEN VASE ZELKOVA	2 1/2-3" CAL.	B+B	-
EVERGREEN TREE(S)						
ILC	32	ILEX CRENATA "CHESAPEAKE"	CHESAPEAKE JAPANESE HOLLY	3-4"	B&B	-
DECIDUOUS SHRUB(S)						
SNS	10	SPIREA NIPPONICA "SNOWMOUND"	SNOWMOUND NIPPON SPIREA	15-18"	CONTAINER	-


NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

- NOTES:**
- REFER TO LANDSCAPE PLANS BY JACKSON LAND PLANNING FOR DETAILED PLANTINGS, SCHEDULES AND PARKING LOT LANDSCAPING ORDINANCE COMPLIANCE INFORMATION.
 - REFER TO SHEET LP-501 FOR STREET TREE NOTES AND DETAILS.

OWNER/APPLICANT
 KAY WALBERT LLC.
 ATTN: RICHARD M. KOZE, JR.
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO. NO CERTIFICATION IS MADE BY LANGAN AS TO THE ACCURACY OR COMPLETENESS OF THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776

Date	Description	No.
3-16-23	REVISED PER TOWNSHIP COMMENTS	3.
1-19-23	REVISED PER TOWNSHIP COMMENTS	2.
7-21-22	REVISED PER TOWNSHIP COMMENTS	1.

SIGNATURE: 
 REGISTERED LANDSCAPE ARCHITECT PA Lic. No. LA-002533 DATE SIGNED

LANGAN
 One West Broad Street, Suite 200, Bethlehem, PA 18018
 T: 610-861-9500 F: 610-866-2501 www.langan.com
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
 Langan Engineering and Environmental Services, Inc.
 Langan GI, Inc.
 Langan International LLC
 Collectively known as Langan

Project
RIDGE FARMS PHASE 1B FINAL PLANS
 548725550358 1
 SOUTH WHITEHALL TOWNSHIP
 PENNSYLVANIA

Drawing Title
NON-TND LANDSCAPE & STREET TREE PLAN

Project No. 240043301
 Date 04/20/22
 Scale 1" = 50'
 Drawn By SPW
 Checked By NB
 Submission Date
 Drawing No. LP-101
 Sheet 19 of 22

MEMORANDUM

TO: Mr. Gregg R. Adams via e-mail
Planner, Community Development Department
South Whitehall Township

FROM: Mr. Anthony F. Tallarida, P.E. *AFT*
Manager, Municipal Engineering Services

SUBJECT: South Whitehall Township
Ridge Farms
Major Subdivision #2017-101
Phase 1B Final Plan Review

DATE: April 12, 2023

COPIES: Mr. Thomas R. Petrucci, MPA
Township Manager
South Whitehall Township

Mr. David Manhardt, AICP
Director of Community Development
South Whitehall Township

Mr. Herb Bender
Director of Township Operations
South Whitehall Township

Mr. Mike Elias
Public Works Utility and MS4 Program Coordinator
South Whitehall Township

Ms. Tracy J.B. Fehnel
Insurance Administrator & Executive Assistant
South Whitehall Township

Ms. Laura M. Harrier, BCO
Building Code Official/Zoning Officer
South Whitehall Township

Mr. John G. Frantz, CFEI, BCO
Fire Marshal, Building Code Official
South Whitehall Township

Joseph A. Zator, II, Esq.
South Whitehall Township Solicitor
Zator Law

Jennifer R. Alderfer, Esq.
Assistant South Whitehall Township Solicitor
Zator Law

Mr. Christopher A. Taylor, PG
Senior Geologist
Hanover Engineering Associates, Inc.

Mr. Richard M. Koze, Jr.
President
Kay Builders, Inc.

Mr. Jason S. Engelhardt, P.E., LEED AP
Principal
Langan Engineering

Mr. Robert L. Hoffman, P.E., PTOE
Regional Manager
Traffic Planning and Design, Inc.

(all via e-mail)

Mr. J. Scott Pidcock, P.E., R.A., Township Engineer

REPORT:

South Whitehall Township Ordinances:

Zoning Ordinance (ZO)

Subdivision and Land Development Ordinance (SALDO)

Stormwater Management Plan (SMP)

See attached list for documents reviewed.

Proposal:

13.2± acres to be developed on the northwest corner of the Walbert Avenue/Cedar Crest Boulevard intersection – 5.2± acres in the Traditional Neighborhood Development (TND) section of the site – 8± acres in the Traditional Development section of the site;

Development consists of:

Development consists of:

14 Twins (Traditional Development);

60-unit Apartment/Condominium (TND);

2 Rain Gardens;

2.7± acres of Active Open Space;

2,800± linear feet of private streets/alleys; and

Bike/Pedestrian Trails.

The Plan proposes considerable improvements within State Road rights-of-way, including road, signal, and drainage improvements;

Revisions from the prior Phase 1B plan submission include but are not limited to the following:

Removal of additional parking along the Windrow Lane eastern cul-de-sac;

Infiltration areas are shown in proximity to the twin dwelling units along Windrow Lane; and

Minor regrading of Phase 1B portion of the site.

Public Water and Sewer;

Overall Conditional Use approval was granted on November 20, 2020; and

Overall Preliminary Plan approval was granted by the Board of Commissioners on November 3, 2021.

Waivers/Deferrals Granted:

See Waiver Resolution 2018-62; and

See Overall Preliminary Plan Approval Resolution 2021-50.

Recommendation:

Engineering approval is not recommended at this time.

mjg/laf

Enclosures

South Whitehall Township
 Ridge Farms
 Major Subdivision #2017-101
 Phase 1B Final Plan Review

April 12, 2023

REVIEW COMMENTS

A. Planning

1. All outstanding comments listed in the Draft Overall Preliminary Plan Resolution that do not relate to the scope of this Plan are still applicable and will be required to be addressed as appropriate during future phases of the development;
2. Obtain any PENNDOT Highway Occupancy Permits (HOPs) for the work within the State right-of-way, SALDO §312-12(a)(9); and
3. The infiltration trenches are shown across property lines and are shared by multiple units. The feasibility of this configuration should be discussed with the Township. Also, provide additional documentation regarding any restrictions (e.g., landscaping, fencing, etc.) that may limit future homeowners of improvements within the footprint of the Trenches, SMP §296-12.I(4)(b) and §296-12.I(4)(e).

B. General

1. The following are comments concerning accessibility on the Land Development Site Plans:
 - a. Grades of the accessible parking spaces on the east and west sides of Kline Circle between the edge of the parking spaces and Kline Circle exceed two percent. Please revise the grades;
 - b. The walk/ramp at the west end of the crosswalk at the northwest corner of Building 3 should not enter the driveway of the northern unit in Building 3; and
 - c. Based on the Engineer's response that there is no curb along Kline Circle, wheel stops should be provided between the parking spaces and sidewalk to prevent vehicles from projecting into the sidewalk and encroaching on the required width of the accessible route.

The Township's Accessibility Code Official may have additional review comments during building permitting. We recommend contacting the Code Official to confirm the above comments and any other applicable accessibility requirements;

2. List the intended use for the "Existing Building to Remain". Provide applicable parking calculations for this facility;
3. Check the landscaping for consistency between the Langan Land Development Landscape Plan (Sheet 19) and the Jackson Land Planning Landscape Plans;

4. The plans have been revised to show driveway base drains for Lots TW-5W and TW-6W connecting directly into the storm sewerage system in Windrow Lane (a private street). Confirm the hydraulic grade line in the street (in the full-build condition) will not surcharge the proposed base/trench drains; and
5. Additional drafting comments will be provided to the Design Engineer under separate cover.

C. Stormwater Management

1. We defer to the Township Geotechnical Consultant to review the location of Infiltration Trenches 1-1 through 1-3 as it relates to setback distances;
2. Confirm the size and invert elevation of the pipe connections to the Infiltration Trenches provided in the Storm Sewer Profiles (Sheet 18) to be consistent with the Pond Report information (provided in the Geotechnical Review Phase 1B Stormwater Memo – Response letter, dated March 16, 2023). We note that the Infiltration Trench calculations and information should be provided to support the calculations in the Phase 1B Stormwater Memo;
3. Revise the proposed grading west of the property line for Lot TW-6W as it appears the upstream drainage area will be channelized and conveyed towards the existing residential homes, SMP §296-9.D;
4. Provide a Phase 1B Proposed Catch Basin Areas Map and tributary area runoff calculations to confirm the intended tributary area to each storm sewer inlet;
5. Provide 100-year storm calculations to determine the depth of runoff in each swale. Additionally, consider provisions for Swale 9 as less than 0.5-foot of freeboard during the 10-year storm event is provided to the ground elevations listed along TW-35W and TW-36W on Sheet 11; and
6. Ultimately, an Operations and Maintenance Agreement should be executed for the proposed stormwater BMPs, SMP §296-32.

D. Traffic

1. The Ridge Farm Phase 1B Supplemental Traffic Analysis (Traffic Analysis) is based on the following Ridge Farm assumptions:
 - a. Full occupation of the Phase 1A 30,000 SF MOB, with associated Phase 1A improvements;
 - b. Phase 1B development of 60 Apartment Units, 14 Townhouse Units, and the 7,000 SF Office Building;
 - c. Improvements to Walbert Avenue from Cedar Crest Boulevard west to Pond Road, consisting of the final proposed roadway improvements in this area, including the restriction of exiting left turns from Yellowstone Road onto Walbert Avenue, and signal timing revisions at the intersection of Cedar Crest Boulevard and Walbert Avenue; and
 - d. Construction of a temporary traffic signal at Walbert Avenue and Brandywine Road.

With the signal at Walbert Avenue and Brandywine Road, all movements are projected to operate at LOS C or better during the AM, PM, and Saturday peak hours. Note that queue lengths for southbound Brandywine Road are projected to be 115 feet, 128 feet, and 85 feet during the AM, PM, and Saturday peak hours, respectively. We observe about 105 feet of available storage between the anticipated stop bar and Valley Forge Road;

2. The Developer's Response Letter indicates that separate HOP Plans are not being prepared for the Phase 1B project, but that the improvements identified above will be completed in the sequence of construction for the overall HOP improvements. This will require issuance of the overall HOP to support the Phase 1B development. We recently received revised Overall HOP Plans for the Ridge Farms Project. Comments will be provided under separate cover;
3. We note the following as it relates to the Chalmette Road Traffic Calming Improvements Plan (Sheet CS-103):
 - a. We continue to recommend the proposed crosswalks be aligned with the existing sidewalks along Redwood Court. If remaining as shown, remove the concrete between the sidewalk and curb at the existing crosswalk locations;
 - b. Identify the grades along the gutter and perpendicular to the curb for each crosswalk; and
 - c. Remove the proposed curbing along the sidewalk ramps and grade the adjacent grass areas.
4. As acknowledged, provide detailed ADA curb ramp designs including spot elevations, distances between the spot elevations, and slope percentages for ramps within the right-of-way or sidewalk easement. These designs are to be provided prior to construction;
5. A crosswalk is proposed on Harvest Way west of its intersection with Cedar Crest Boulevard. Consider re-orientation and signing similar to Kem Drive (Phase 1A) at its intersection with Walbert Avenue. Provide evidence of discussion with PENNDOT, as previous discussion and concern by South Whitehall Township led to the change of design at Kem Drive;
6. As noted in our HOP review, connection of the sidewalk across the Person property is recommended to avoid pedestrians being directed to the gored area of Walbert Avenue which was previously intended to be a right turn lane. The Township should consider assisting in discussions with Person to facilitate this connection, as the Developer has indicated an unwillingness by Person to this point to allow this;
7. Adjust the clear sight triangle for Kline Circle traffic looking west along Harvest Way so that the required sight distance is located within the cartway of Yellowstone Road – both north and south of the intersection with Harvest Way. This will likely require adjustment of the trees along the south side of Harvest Way between Yellowstone Road and Kline Circle to ensure Kline Circle motorists can see vehicles approaching northbound on Yellowstone Road. We note, subsequent conversations and sketches

have been provided to show an acceptable sight distance. The plan set should be updated for all revisions; and

8. Provide justification for regulatory signing along Township Roadways to support the required Municipal ordinance modifications (All Speed Limit, Traffic Must Turn Right and Parking restrictions along Yellowstone Road).

E. Policy and Information

1. Once obtained, copies of all permits and approvals should be provided to the Township and our office;
2. Address any comments from the Public Safety Committee;
3. Matters pertaining to the design of water distribution and sanitary sewerage systems should be directed to the DPW. We have not reviewed these designs; and
4. Upon submission of plans for recording, all Statements and Certifications shall be signed and sealed/notarized as applicable, SALDO §312-14(b)(2).

The comments noted above are the result of our engineering review. We have not reviewed items associated with legal, zoning, geotechnical, lighting, water/sanitary sewerage systems, environmental, frontage streetscape improvements, building code, public safety, and other non-engineering issues, which should be reviewed by the appropriate Township Staff and Consultants.

South Whitehall Township
Ridge Farms
Major Subdivision #2017-101
Phase 1B Final Plan Review

List of Plans and Supplemental Information
Prepared by Langan Engineering and
dated or last revised March 16, 2023 (except as noted)

1. Cover Sheet, Sheet 1 of 22;
2. Aerial Map, Sheet 2 of 22 (cursory review only);
3. Existing Features Plan, Sheet 3 of 22 (cursory review only);
4. Subdivision Plan (3 sheets), Sheets 4 through 6 of 22;
5. Site Plan (2 sheets), Sheets 7 and 8 of 22;
6. Pavement Plan, Sheet 9 of 22;
7. Fire Truck Turn Plan, Sheet 10 of 22;
8. Grading Plan, Sheet 11 of 22;
9. Detailed Grading Plan, Sheet 12 of 22;
10. Drainage Plan, Sheet 13 of 22;
11. Utility Plan, Sheet 14 of 22 (water and sanitary sewer information not reviewed);
12. Roadway & Utility Profiles, Sheets 15 through 18 of 22;
13. Non-TND Landscape & Street Tree Plan, Sheet 19 of 22 (cursory review only);
14. Street Tree Notes and Details, Sheet 20 of 22 (cursory review only);
15. Lighting Plan, Sheets 21 of 22 (cursory review only);
16. Lighting Notes and Details, Sheet 22 of 22 (cursory review only);
17. Sheets from Preliminary Plan Submission:
 - a. Project Calculation Summary Plan (Record Plan), Sheet 3 of 151, last revised September 23, 2021;
 - b. Phasing Plan, Sheet 39 of 151, last revised November 17, 2022;
 - c. TND Open Space Plan, Sheet 42 of 151, last revised September 23, 2021 (cursory review only);
 - d. Site Details, Sheets 58 and 59 of 151, last revised January 19, 2023;
 - e. Site Details, Drawing CS-503, last revised January 19, 2023;
 - f. Drainage Details, Sheets 84 and 85 of 151, last revised September 23, 2021;

- g. Utility Details, Sheet 125 of 151, last revised September 23, 2021 (water and sanitary details not reviewed); and
 - h. Utility Details, Sheets 126 and 127 of 151, last revised January 19, 2023 (water and sanitary details not reviewed).
18. Chalmette Road Traffic Calming Improvements, Sheet CS-103;
 19. Soil Erosion and Sediment Control and Post Construction Stormwater Management Plan Sets, Sheets 1 through 26 of 26, last revised January 21, 2022 (cursory review only);
 20. Landscape Plans, Sheets LP-1 through LP-11 of LP-11, prepared by Jackson Land Planning (cursory review only);
 21. Stormwater Memo;
 22. Phase 1B Supplemental Traffic Analysis, prepared by Traffic Planning and Design, Inc.;
 23. Comment response letters (Township Staff, Township Geotechnical Consultant, Planning Consultant, and Township Engineer);
 24. Letter of Transmittal; and
 25. Legal Descriptions and closure reports for the following:
 - a. Bike/Pedestrian Easement #4;
 - b. Temporary Access Easement Ph-1B #1;
 - c. Stormwater Easement Ph-1B #1;
 - d. Snow Drop-off Area Easement Ph-1B #1;
 - e. Infiltration Trench Easement Ph-1B #1;
 - f. Infiltration Trench Easement Ph-1B #2;
 - g. Infiltration Trench Easement Ph-1B #3;
 - h. Harvest Way Right-of-Way;
 - i. Kline Circle Right-of-Way;
 - j. Windrow Lane – Ph-1B Right-of-Way; and
 - k. Yellowstone Road Right-of-Way.

In addition, we have received the following information in support of the Application:

1. Subdivision & Land Development Review Application dated March 15, 2023.



April 10, 2023

Mr. Gregg Adams, Planner
South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104

Re: Ridge Farms Development
Land Development #2017-101
Review of Phase 1B
SSM File 110033.0001

Dear Mr. Adams:

This correspondence is provided as a review of the Preliminary Land Development Plan submitted for the above referenced project revised on March 16, 2023. The project is a mixed use land development located the intersection of Walbert Ave. and Cedar Crest Blvd. We have the following comments regarding the water and sanitary sewer utilities:

General Comments

1. Private 8" water line on Yellow Stone Road will conflict with any water main connections and construction North of Chalmette Road.

Water Comments

1. **Sheet 3 Drawing VT-101 Existing Features:** Must show private 8" water line from Yellow Stone Rd to all existing buildings.
2. **Utility Plan CU-101 Sheet 14 of 22: Utility Note #26 Shall read** Underground warning tape shall be installed a minimum of two feet above any pipe in the backfill of any mainline or lateral trench. Tape shall be alkali resistant, 4mils polyethylene, 4 inches minimum width, continuously printed with name or symbol of utility buried below, color coded as follows. Blue: Water system/Green: Sewer systems.
3. **Utility Plan CU-101 Sheet 14 of 22: Utility Trench Excavation Guidelines:** Add Note – Utility Trench Excavation Shall be in accordance with South Whitehall Technical Specifications Water mains and Appurtenances/Sanitary Sewers and Appurtenances.
4. **Utility Plan CU-101 Sheet 14 of 22: Utility Note #3** Change wording [Old private 6" water line] New wording - Old private 8" water line and appurtenances.

Sanitary Sewer Comments

1. No comment at this time.

Sincerely,
Spotts, Stevens and McCoy

A handwritten signature in blue ink that reads "Jason M. Newhard".

Jason M. Newhard, CCM, LO
Manage, Construction Mgt. Services
Environmental Engineering
jason.newhard@ssmgroup.com

cc: SWT, PW



February 6, 2023

Gregg Adams, Planner
South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104

Re: Ridge Farms Development
Land Development #2017-101
Review of Preliminary Plan Phase 1 B
SSM File 110033.0001

Dear Mr. Adams:

This correspondence is provided as a review of the Preliminary Land Development Plan submitted for the above referenced project revised on 01/19/2023. The project is a mixed-use land development located the intersection of Walbert Ave. and Cedar Crest Blvd. We have the following comments regarding the water and sanitary sewer utilities:

General Comments: Add to comments.

1. All of Jeras Corporation water lines to be removed. This equates to approximately 704' of 8" DIP plus fire hydrants.

Water Comments

1. **Sheet 3 Drawing VT-101 Existing Features:** Must show private 8" water line from Yellow Stone Rd to all Jeras Corp. existing buildings.

Sanitary Sewer Comments

1. No comment at this time.

Sincerely,
Spotts, Stevens and McCoy

A handwritten signature in blue ink that reads "Jason M. Newhard".

Jason M. Newhard, CCM, LO
Manager, Construction Management Services
Environmental Engineering

cc: SWT, PW



HanoverEngineering

252 Brodhead Road • Suite 100 • Bethlehem, PA 18017-8944

Phone: 610.691.5644 • Fax: 610.691.6968 • HanoverEng.com

March 30, 2023

Mr. Gregg Adams, Planner
South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104-1699

RE: Geotechnical Review of Provided Documents
Ridge Farms Major Subdivision #2017-101
South Whitehall Township, Lehigh County,
Pennsylvania
Hanover Project SWT19-11(002)

Dear Mr. Adams:

Hanover Engineering (Hanover) has reviewed the information received on March 17, 2023 via electronic submission. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following:

1. Report referenced as "Phase 1B Stormwater Memo Ridge Farms – Phase 1B", prepared by Langan, dated March 16, 2023.
2. Response letter referenced as "Ridge Farms Major Subdivision #2017-101 Geotechnical Review Phase 1B Stormwater Memo - Response", prepared by Langan, dated March 16, 2023.
3. Engineering plan set entitled "Soil Erosion and Sediment Control Plan", Sheet 1 of 26 through 26 of 26 inclusive, prepared by Langan, dated October 28, 2021, last revised December 30, 2021.
4. Engineering plan set entitled "Ridge Farms – Phase 1B Final Land Development Plans", Sheets 1 of 22 through 22 of 22 inclusive, dated April 4, 2022, last revised March 16, 2023.

Based on our review and according to the Subdivision and Land Development Review Application, it is our understanding that the subject property currently exists as eleven (11) separate tax parcels containing numerous existing improvements, including multiple dwellings, barns, other outbuildings, and access driveways. The entire subject property is approximately two hundred (200) acres in size. The existing water and sewerage service to the various structures is not specified on the engineering plans. We further understand that the property is proposed to be subdivided into a total of four hundred and two (402) residential lots and five (5) non-residential lots. Of the residential lots, one hundred eighty-two (182) are proposed to contain single family dwellings and two hundred twenty (220) are proposed to contain semi-detached dwellings (twins). In addition, four hundred sixty-eight (468) multi-family units (apartments) are proposed. The non-residential lots are proposed to contain two (2) restaurants, a medical office building, and four (4) mixed use buildings. All lots are proposed

to be served by public water and public sanitary sewer, along with appurtenant paved accessways, parking areas, stormwater collection and conveyance systems, and stormwater management facilities.

This is a fourth submission of documents to this office for review for delineated Phase 1B. We offer the following review of comments issued in our letters of May 5, 2022, August 3, 2022, and February 6, 2023 (repeated below in italics and pertinent only to Phase 1B), and any new comments generated by this submission:

References to Chapter 296 pertain to Chapter 296, Stormwater Management, of the South Whitehall Township Code:

1. *Chapter 296-12.G: The applicant shall document the bedrock type present on the site from published sources. Any apparent boundaries between carbonate and noncarbonate bedrock shall be verified through more detailed site evaluations by a qualified geotechnical professional. Provide reporting for the areas of Basins 3 and 4.*

This comment has been adequately addressed.

2. *Chapter 296-12.H: For each proposed regulated activity where an applicant intends to use infiltration BMPs, the applicant shall conduct a preliminary site investigation as outlined in Appendix G. This investigation shall be documented, and the resulting data provided in a report signed and sealed by a qualified geotechnical professional.*

This comment has been adequately addressed.

3. *Chapter 296-12.K: For infiltration areas that appear feasible based on the preliminary site investigation, the applicant shall conduct the additional site investigation and testing as outlined in Appendix G. The number and type of tests shall be in accordance with the density table in Appendix G. All items listed under Required Site Data and Site Information shall be provided in the report of this investigation. Provide a report that includes all required information and all testing conducted at Basins 3 and 4.*

This comment has been adequately addressed.

4. *In the Stormwater Memo, values for exfiltration are listed in the Pond Reports for Basins 3 and 4. Clarify the source of these figures.*

This comment has been adequately addressed.

5. *The bottom of basin elevations for Basins 3 and 4 are not consistent throughout the plan views and tables of the plan sets.*

This comment has been adequately addressed.

6. *The location and extent of Phase 1B shown on the Phasing Plan (Sheet 39 of 151) is not consistent with the information shown on other plan sheets and provided in the introduction of the Stormwater Memo.*

This comment has been adequately addressed.

7. *Provide details showing plan view and cross-sectional profiles specifically for Basins 3 and 4. Label the side slope grades.*

This comment has been adequately addressed.

New Comments (February 6, 2023)

8. *In the Stormwater Memo, Infiltration Trench Volume Reduction Calculations, confirm and document the source of the infiltration rate values for Infiltration Trenches 1-1, 1-2, and 1-3.*

This comment has not been addressed. The source of the design infiltration rates shall be provided.

Regarding the plan sets, please address the following:

- a. *The infiltration trench locations are provided only on the Soil Erosion and Sediment Control plans. They shall also be clearly depicted and labelled on the Land Development Plans.*

This comment has been adequately addressed.

- b. *On Plan Sheet CG-501, Infiltration Trench Detail, provide specifications for the aggregate size and label the minimum aggregate dimensions under, above, and on the sides of the perforated pipes.*

This comment has been adequately addressed.

- c. *On the Infiltration Trench Detail, provide dimensions for the swale (width, depth).*

This comment has been adequately addressed.

- d. *Show a plan location of all sediment traps as indicated on the Infiltration Trench Detail for each trench. Clarify the construction of the sediment traps using details/ notes/ specifications and show how all runs of perforated piping will connect into them.*

This comment has been adequately addressed.

- e. *The Infiltration Trench Detail indicates "outflow pipe to connect into proposed downstream drainage network". Show this connection for each trench on a plan view and provide all specifications (diameter, slope, material of construction, etc.) for the connecting pipe. Specify the point of connection to the drainage network.*

This comment has been adequately addressed.

- f. *On Plan Sheet CG-503, Pond Report, for Infiltration Trenches 1-2 and 1-3, the width listed does not match other data in the plan set. Please revise this data and the calculated values as appropriate.*

This comment has been adequately addressed.

9. *Multiple retaining walls are proposed. The following issues shall be addressed:*

a. *Provide details/specifications/calculations for each retaining wall for review and approval.*

The consultant has responded that the proposed wall details will be submitted for Township approval following land development plan approval but prior to construction. This comment has been adequately addressed.

b. *Per a prior comment from The Pidcock Company, in some areas the proposed retaining walls are in close proximity to storm sewerage systems. Impacts on wall anchoring systems should be confirmed by the Design Engineer subject to review by this office.*

The consultant has stated that the formal design will consider the wall anchoring system. This issue will be checked when design data is submitted for review. This comment has been adequately addressed.

c. *Per a prior comment from the Pidcock Company, Retaining Walls #15 and #23 are close to property boundaries. Show the geogrid or tie back limits and obtain any easements required for construction activity on adjacent properties.*

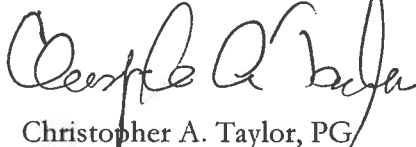
The consultant has stated that Wall #23 does not have any tie backs or geogrid proposed and that Wall #15, when formally designed, will not propose geogrid due to space/site constraints. This comment has been adequately addressed.

This submission has not generated any new comments.

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING



Christopher A. Taylor, PG

cat:cat/sas

S:\Projects\Municipal\WhitehallTownship\Sw19-11(002)-RidgeFarm#2017-101\Docs\2023-03-30-SWT Geotech, Ridge Farms #2017-101 geotech rev cmt ltr 13 (Ph 18 cmt ltr 4).doc

cc: Mr. Dave Manhardt, Director of Community Development (via email)
Mr. Herb Bender, Public Works Department Superintendent (via email)
Mr. Anthony Tallarida, PE, The Pidcock Company (via email)
Mr. Mark Gnall, PE, The Pidcock Company (via email)
Mr. Rick Koze, Kay Walbert, LLC
Mr. Jason Engelhardt, PE, Langan

March 21, 2023

South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104-1699

Attn: Mr. Gregg Adams

Re: Ridge Farms Phase 1B –Final Plans - Site Lighting Review

Dear Mr. Adams:

I have reviewed the information submitted for Ridge Farms Phase 1B located in the Township. The following information was submitted for review:

- Sheet LL-101 –Lighting Plan, dated April 20, 2022 and last updated July 21, 2022. The Plan was prepared by Langan Engineers and Environmental Services, Inc.

The plan as submitted conforms with the latest Township Lighting Ordinance.

Please feel free to contact me if you have any questions.

Very Truly Yours,



Corey Trumbower
Snyder Hoffman Associates, Inc.

cc: Mark J. Gnall, P.E., Anthony Tallarida, P.E. – The Pidcock Company, David Manhardt - SWT





THOMAS COMITTA ASSOCIATES, INC.
Town Planners & Landscape Architects

MEMORANDUM

TO: South Whitehall Township Officials, Staff & Consultants
Ridge Farm Team

FROM: Thomas J. Comitta, AICP, CNU-A, RLA
Erin L. Gross, ACIP, RLA

DATE: August 11, 2022; September 6, 2022; January 30, 2023; **Updated: April 13, 2023**

SUBJECT: **RIDGE FARMS – REVIEW COMMENTS:
FINAL LAND DEVELOPMENT PLANS PHASE 1B, DATED 3-16-23,
AND LANDSCAPE PLANS, DATED 3-16-23; AND ARCHITECTURAL
ELEVATIONS AND RENDERINGS, DATED 7-12-21**

Please note the enclosed Review Comments pertaining to the following items that we received on **March 17, 2023**, and previously, and a meeting pertaining to Architecture on July 27, 2022, including:

- + Ridge Farms – Phase 1B: Final Land Development Plans (22 sheets), prepared by Langan, dated revised **3-16-23**;
- + Ridge Farm – Phase 1B Landscape Plans (11 sheets), prepared by Jackson Land Planning, dated revised **3-16-23**;
- + Supplemental Plans (11 Sheets) - Ridge Farms, prepared by Langan, dated revised 1-19-23;
- + Towns Over Flats REVISED Front Elevation and Renderings, prepared by Martin Architectural, dated July 12th, 2021; **and**
- + Response Letter to TCA Review Comments (1-30-2023), prepare by Langan, dated **3-16-23**.

These Review Comments also pertain to the:

- + Ridge Farm Manual of Design Standards and Development Guidelines dated 3-18-2020 (previously received with the Preliminary Plan).

Please call if there are any questions.



THOMAS COMMITTA ASSOCIATES, INC.
Town Planners & Landscape Architects

**RIDGE FARMS – REVIEW COMMENTS:
FINAL LAND DEVELOPMENT PLANS PHASE 1B, DATED 3-16-23,
AND LANDSCAPE PLANS, DATED 3-16-23; AND ARCHITECTURAL ELEVATIONS AND
RENDERINGS, DATED 7-12-21**

August 11, 2022; September 6, 2022; January 30, 2023; **Updated: April 13, 2023**

Please note the Review Comments below pertaining to the documents listed in the cover Memorandum, relative to compliance with Appendix C of the South Whitehall Township Zoning Ordinance (SWT ZO), the Preliminary Plans dated 9-23-2021, and the Ridge Farm Manual of Design Standards and Development Guidelines (RF DS&DG) dated 3-18-2020.

New comments are in BOLD type, and previously resolved comments have been removed.

1. Overall Design and Layout

- 1.1. The overall design and layout for Phase 1B featuring the Apartment/Condo Buildings, Twin Dwellings, and Existing Building to Remain are **still** consistent with Appendix C, the Ridge Farm Manual of Design Standards and Development Guidelines (RF DS&DG), and the Preliminary Plans dated 9-23-2021.

2. Parking Locations

- 2.1. The proposed parking locations for Phase 1B are **still** consistent with Appendix C, the RF DS&DG, and the Preliminary Plans dated 9-23-2021.

3. Public Realm/TND Open Space, & TND Pedestrian Circulation

- 3.1. Please add Crosswalks to the Plans in order to create interconnected pedestrian circulation network.

Crosswalks are illustrated on Sheet CS-101. However, we believe that the Landscape Plans should be updated to include the proposed Crosswalks, in order to better convey the connections to the Plaza and Pedestrian Gathering Areas.

The Crosswalks have been added to the Landscape Plans. Therefore, this item is resolved.

4. Streets and Streetscapes

- 4.1. The proposed streets and streetscapes for Phase 1B are **still** consistent with Appendix C, RF DS&DG, and the Preliminary Plans dated 9-23-2021.



THOMAS COMMITTA ASSOCIATES, INC.
Town Planners & Landscape Architects

**RIDGE FARMS – REVIEW COMMENTS:
FINAL LAND DEVELOPMENT PLANS PHASE 1B, DATED 3-16-23,
AND LANDSCAPE PLANS, DATED 3-16-23; AND ARCHITECTURAL ELEVATIONS AND
RENDERINGS, DATED 7-12-21**

August 11, 2022; September 6, 2022; January 30, 2023; **Updated: April 13, 2023**

5. Landscape Plan

- 5.1. Please provide detail enlargements of the four (4) gathering spaces, including: the one in the northern portion of the development between Infiltration Basin #3 and North Cedar Crest Boulevard; the one along North Center Crest Boulevard between proposed Apartment/Condo Buildings #2 and #3; the one located in the central green between the Apartment/Condo Buildings; and the one located in the southern portion of the central green, to the north of Alley HH.

Details for the four (4) gathering spaces are now included in the Landscape Plan set on Sheet LP 5. The detail for the Shade Pergola appears to include a bench. Please clarify how many benches will be incorporated beneath the proposed Shade Pergolas.

Please clarify the number of benches for each Shade Pergola on Sheets LP2, LP3, LP5, and LP6.

The Plans have been updated to indicate the number of benches proposed for each Shade Pergola. Therefore, this item is resolved.

6. Architectural Elevations and Renderings

- 6.1. TCA and the Township had a meeting with the Applicant pertaining to the proposed Architecture on July 27, 2022. Based upon the feedback received during that meeting, the Applicant is preparing revised Elevations.

Architectural Elevations and Renderings have been submitted. Please **still** note comments 6.2. through 6.6. relative to the submission.

- 6.2. We still believe that the Applicant was responsive to the comments and discussion during the 7-27-2022. However, please **still** note the following:
- 6.3. We consider the reduced amount of trim illustrated in the revised submission to be an improvement. However, please **still** consider changing the color of the trim from white to a light gray, tan, or other non-white color. We **still** believe that the white color “pops”, and that a non-white color would create a more cohesive appearance for the proposed architecture.

The Applicant indicates that renderings will be updated to represent “light gray” trim. The updated renderings should still be provided.



THOMAS COMMITTA ASSOCIATES, INC.
Town Planners & Landscape Architects

RIDGE FARMS – REVIEW COMMENTS:
FINAL LAND DEVELOPMENT PLANS PHASE 1B, DATED 3-16-23,
AND LANDSCAPE PLANS, DATED 3-16-23; AND ARCHITECTURAL ELEVATIONS AND
RENDERINGS, DATED 7-12-21

August 11, 2022; September 6, 2022; January 30, 2023; **Updated: April 13, 2023**

- 6.4. Instead of a flat roof over the center entrance, please **still** consider a mansard or an awning type roof to complement the standing seam metal roof components. While the left and right entrances have covers located under patio areas, the center entrance covering does not have a patio area above, and we **still** believe that an awning type roof over the entrance would improve the overall aesthetic.

The Applicant indicates that they believe the current renderings are more in tune with contemporary aesthetics requirements, and believe that the architecture of the region has been trending to cleaner lines and more straightforward detailing to accommodate newer energy codes and to allow for the ability to position mechanical equipment above ground. We still recommend that the Applicant comply with the Design Standards in their revised submission. In the meantime, please submit some articles or “white paper” that addresses regional architectural trends.

- 6.5. In addition to the Front Elevation, please **still** provide Side and Rear Elevations.
- 6.6. Please **still** provide a Materials and Colors Legend, and label the elevations with the corresponding materials.

The Applicant indicates that this was previously submitted to the Township. However, we have not yet seen the Materials Board. Please send digital versions.

7. Details

- 7.1. A Free Standing Entrance wall with Project Sign Details are provided on Landscape Details. However, please provide a Section or Elevation detail of the proposed Free Standing Entrance Sign that better illustrates the “L” configuration and depicts the location of the sign lettering.

A Sign Elevation has been added to the Landscape Details (Sheet LP 9). It appears that the Elevation depicted will be on the 18’-6” portion of the wall. Please clarify if there will be any signage on the 9’ part of the “L”.

The Applicant indicates that “THE RIDGE” will be displayed on the 18’-6” section of the L shaped sign, which is located on both sides of Harvest Way. In addition, the Applicant indicates that no additional sign lettering is proposed on the 9’ section of the L shaped sign. Therefore, this item is resolved.



THOMAS COMITTA ASSOCIATES, INC.
Town Planners & Landscape Architects

RIDGE FARMS – REVIEW COMMENTS:
FINAL LAND DEVELOPMENT PLANS PHASE 1B, DATED 3-16-23,
AND LANDSCAPE PLANS, DATED 3-16-23; AND ARCHITECTURAL ELEVATIONS AND
RENDERINGS, DATED 7-12-21

August 11, 2022; September 6, 2022; January 30, 2023; **Updated: April 13, 2023**

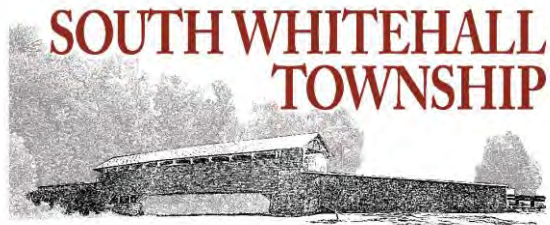
- 7.2. Retaining walls are proposed along the north, west, south, and a portion of the east side of the proposed central green space. Please provide a detail (including the proposed material and color) of the proposed retaining wall so we can better understand the how the aesthetics of the retaining wall relates to the central green space and proposed amenities.

The Applicant indicates that the Developer is currently reviewing options for the proposed retaining walls in this location. The material and color of the retaining walls will be provided to the Township after it is chosen.

The Applicant indicates that the Developer proposes to use the Anchor Wall Vertical Retaining Wall System, and proposes to use the color Sable Blend (Gray). Details for the wall system and a photo of the block color have been provided.

Please include the cut sheet of the wall system into the Plan set.

Please call if there are any questions.



INTEROFFICE MEMORANDUM

TO: DAVE MANHARDT, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: HERB BENDER, PUBLIC WORKS MANAGER

DATE: FEBRUARY 3, 2023

**SUBJECT: RIDGE FARMS FINAL PLAN PHASE 1B
MAJOR PLAN 2017 -101**

The Public Works Dept. reviewed the above project and has the following comments:

1. All water mains to be to be located in Roadway.
2. All water meters to be Neptune Mach 10.
3. Place valve at SE corner of Kline in order to isolate, in case of leak.
4. What is the metering plan for the apartments?
5. Do the apartments need a sprinkler system?
If so, a separate top will be required for fire.
6. All stormwater is to remain private.

SOUTH WHITEHALL TOWNSHIP ³⁹

4444 Walbert Avenue, Allentown, PA 18104-1699
www.southwhitehall.com • (610) 398-0401

April 14, 2023

Kay Walbert LLC
5930 Hamilton Boulevard, Suite 10
Allentown, PA 18106

**Re: Ridge Farms Final Plan Phase 1B
Major Subdivision #2017-101
Final Land Development Plan Review**

Dear Mr. Koze:

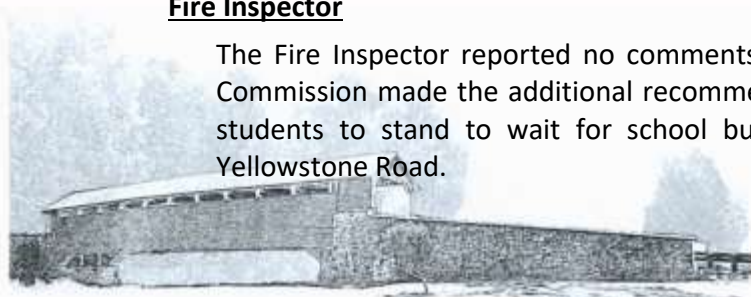
The purpose of this letter is to report non-engineering related comments that are to be addressed. My comments follow:

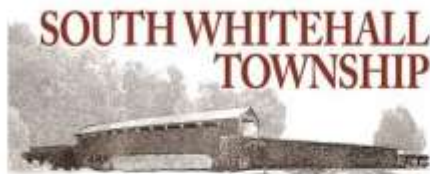
Zoning

1. The Applicant shall address to the satisfaction of the Township the ongoing comments of Thomas Comitta Associates, Inc. Review letter dated January 30, 2023, has been addressed by Langan in their letter dated March 16, 2023, as it pertains to Phase 1B.
2. Section 350-48(o)(2)(E)(iv) Setbacks Required. For Parking Lots less than 8,000 square feet the setback from the Ultimate Right-of-Way Line is twenty-five (25) feet and the Side and Rear Setback from Lot Lines is fifteen (15) feet. Sheet CS-102 Site Plan shows a parking area adjacent to the existing building with a zero-setback line on Yellowstone Road and approximately eleven (11) feet on Windrow Lane where twenty-five (25) feet are required. Variances may be required. **The Applicant has stated in their March 16, 2023 response letter that a variance will be requested. Zoning Hearing Board approval will be required prior to Land Development approval.**
3. Section 350-48(o)(6) Office, Business and Professional. The existing building on-site is a lawful nonconforming Use and will remain during construction as an Office Use for the development. It should be discussed what the future of the office building will be post-development to determine the required parking spaces can be met so as not to create any parking nonconformities. Variances may be required for future Uses if not office space. Any Change in Use will require a building permit. **The Applicant has acknowledged this comment but provided no future Use as of their response letter dated March 16, 2023.**

Fire Inspector

The Fire Inspector reported no comments. The Fire Inspector reports that the Public Safety Commission made the additional recommendation that a safe area be provided for the school students to stand to wait for school buses near the intersection of Walbert Avenue and Yellowstone Road.





Open Space and Recreation

At their May 9, 2022 meeting, the Parks and Recreation Board reviewed the plan and determined the following:

1. That the applicant works with Township staff to set up a tour of the JERAS Barn for the Parks and Rec Board and applicable staff.
2. That the Open Space proposed in the area of the apartment buildings need not be available to the Township for scheduling events due to its small size.
3. That the plan is acceptable.

Legal and Other

The Township Solicitor and Township Engineer may want to comment upon the legal requirements of the MS4 program with regard to any private stormwater management facilities.

Waiver and Deferral Request Commentary

No waivers or deferrals requested.

Official Map & Comprehensive Plan

1. The Official Map depicts the subject parcel as underlain by karst geology south of the top of Huckleberry Ridge. Walbert Avenue and Cedar Crest Boulevard are minor arterial roads.
2. The Comprehensive Plan depicts this area is also under a Growth Opportunity Area and Walbert Avenue and Cedar Crest Boulevard are Enhanced Transportation Corridors.

Your plan is scheduled to be reviewed by the Planning Commission on Thursday April 20, 2023 at 7:30 p.m. in the Public Meeting Room of the Township Municipal Building located at 4444 Walbert Avenue, Allentown. The meeting will also be streamed live on the Township GoToMeeting platform. To access the meeting through your phone, dial 1-224-501-3412 and, when prompted, enter 757 430 189 to join the meeting. To access the meeting though your computer, go to <https://global.gotomeeting.com/join/757430189>.

If you have any questions, please call.

Sincerely,

Gregg R. Adams, Planner
Community Development Department

cc:	D. Manhardt	T. Petrucci	L. Harrier	H. Bender
	J. Frantz	J. Alderfer, Esq.	J. Zator, Esq	S. Pidcock
	A. Tallarida	J. Engelhardt, Langan	J. Preston, Esq	R. Brooks
	File #2017-101			

Gregg R. Adams

From: John G. Frantz
Sent: Friday, April 14, 2023 7:10 AM
To: Gregg R. Adams
Subject: Ridge Farm Final Plan Phase 1B 2017-101

Gregg,

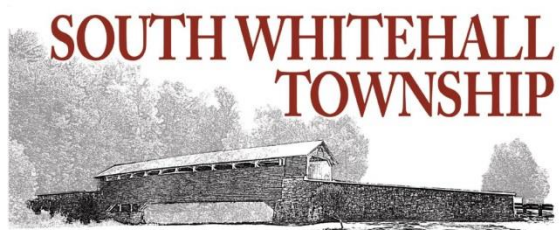
The PSC made the additional recommendation that a safe area be provided for the school students to stand to wait for school buses near the intersection of Walbert Ave & Yellowstone Rd.

John G. Frantz, CFEI, BCO

Fire Marshal, Building Code Official
South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104-1699
610-398-0401 (office)
610-398-1068 (fax)
www.southwhitehall.com



This email message, including any attachments, is intended for the sole use of the individual(s) and entity(ies) to which it is addressed, and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you are not the intended addressee, nor authorized to receive for the intended addressee, you are hereby notified that you may not use, copy, disclose or distribute to anyone this email message including any attachments, or any information contained in this email message. If you have received this email message in error, please immediately notify the sender by reply email and delete the message. Thank you.



MEMORANDUM

TO: Planning Commission
FROM: Gregg Adams, Planner
DATE: July 29, 2022
SUBJECT: Landscaping Plan Review
Ridge Farm Final Plan Phase 1B
Major Plan 2021-105
Plan dated July 21, 2022

COPIES: Landscape and Shade Tree Commission, D. Manhardt, J. Alderfer, S. Pidcock, Applicant

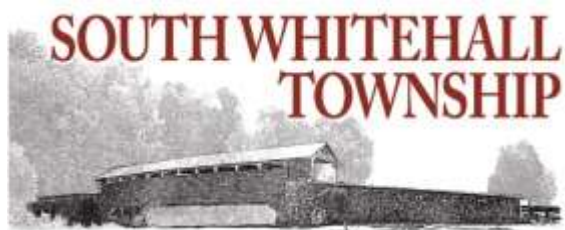
At their July 25, 2022 meeting, the Landscape and Shade Tree Commission reviewed the above-mentioned plan and recommended the following:

The plan is acceptable.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Gregg Adams", is written over a light blue horizontal line.

Gregg Adams, Planner
Community Development Department



MEMORANDUM

TO: Planning Commission
FROM: Gregg Adams, Planner
DATE: May 19, 2022
SUBJECT: Subdivision Plan Review
Ridge Farm Final Plan Phase 1B
Major Plan 2017-101
Plan Dated April 20, 2022
COPIES: Parks and Recreation Board, R. Cope, M. Kukitz, D. Manhardt,
J. Alderfer, S. Pidcock, Applicant

At their May 9, 2022 meeting, the Parks and Recreation Board reviewed the plan and determined the following:

1. That the applicant works with Township staff to set up a tour of the JERAS Barn for the Parks and Rec Board and applicable staff.
2. That the Open Space proposed in the area of the apartment buildings need not be available to the Township for scheduling events due to its small size..
3. That the plan is acceptable.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Gregg Adams", is written over a horizontal line.

Gregg Adams, Planner
Community Development Department

Highway Occupancy Permit

Permit No.: **05061148**

Name and Address of Permittee: South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104	County: Lehigh	Issue Date: 11/16/2022
	County Contact No.: (610) 798-4294	Expiration Date: 11/16/2023
	Issuing District Office: 5-0	Application No.: 277526
	District Contact No.: (610) 871-4167	Account No.:
	Municipalities: South Whitehall T Township	Permit Fee: \$ 0.00

Immediately upon completion of the work Permittee shall notify the permit office where application was made. Subject to all the conditions, agreements, restrictions, and regulations prescribed by the Pennsylvania Department of Transportation, (see in particular 67 Pa. Code, Chapter 212, 441 and 459 and State Highway Law, 36 P.S. Section 670 - 411, 420 and 421) and subject to the plans, special conditions, or restrictions herein set forth or attached hereto. This permit shall be located at the work site and shall be available for inspection by any police officer or Department representative.

Location and Description of Work		Permit No.: 05061148
1 of 4	State Route #: 1006 Segment(s): From 0040 To 0040 Offset(s): From 3168 To 3206	641: Install Sub-surface Sewer Facility
2 of 4	State Route #: 1019 Segment(s): From 0080 To 0080 Offset(s): From 0100 To 0126	641: Install Sub-surface Sewer Facility
3 of 4	State Route #: 1006 Segment(s): From 0040 To 0050 Offset(s): From 3099 To 1606	
4 of 4	State Route #: 1019 Segment(s): From 0070 To 0080 Offset(s): From 1727 To 0778	

Permit Conditions		Permit No.: 05061148
1 of 22	CONTRACTOR MUST CONTACT PENNDOT'S DISTRICT PRESS OFFICE AT 610-871-4555 AT LEAST 5 WORK DAYS PRIOR TO ANY LANE CLOSURE AND 10 WORK DAYS PRIOR TO ANY FULL CLOSURE.	
2 of 22	AS-BUILT PLANS, IN A .PDF FORMAT, MAY BE REQUIRED PRIOR TO THE CLOSE OUT OF THIS PERMIT, IF ANY CHANGES ARE MADE TO THE APPROVED DESIGN.	
3 of 22	ALL WORK ASSOCIATED WITH THIS PERMIT WILL BE PERFORMED UNDER APPLICATION NO. 272003 IN THE NAME OF KAY WALBERT, LLC. ALL INSPECTION FEES FOR THE WORK WILL BE CHARGED TO KAY WALBERT, LLC.	
4 of 22	MATERIAL CERTIFICATIONS MUST BE PROVIDED BY AN APPROVED MANUFACTURER LISTED IN THE DEPARTMENT'S PUBLICATION 35 BULLETIN 15, FOR ALL MATERIALS AND STRUCTURES WITHIN PENN DOT R/W.	
5 of 22	CONTACT LEHIGH COUNTY PERMIT OFFICE AT LEAST 3 WORK DAYS PRIOR TO START OF WORK AT 610-798-4294.	

Highway Occupancy Permit

Permit No.: 05061148

Permit Conditions		Permit No.: 05061148
6 of 22	NOTIFY THE TRAFFIC MANAGEMENT CENTER AT 610-871-4600 PRIOR TO SETTING UP ANY LANE CLOSURES OR RESTRICTIONS, AND WHEN THE CLOSURE/RESTRICTION IS REMOVED.	
7 of 22	AN INSPECTOR, WHEN AVAILABLE, WILL BE ASSIGNED ON MORE THAN A SPOT INSPECTION BASIS. PERMITTEE WILL BE CHARGED ALL INSPECTION COSTS INCURRED BY THE DEPARTMENT.	
8 of 22	FACILITY MAY BE PLACED IN PAVEMENT OR SHOULDER, AS PER PLANS, PROVIDED BASE AND WEARING COURSES ARE OPENED BY SAW CUT METHOD.	
9 of 22	THIS PERMIT AUTHORIZES WORK ONLY IN DEPARTMENT HIGHWAY RIGHT OF WAY.	
10 of 22	2A COARSE AGGREGATE BACKFILL MATERIAL IS REQUIRED UNDER 67 PA CODE, SECTION 459.8 (g)(2) AND SECTION 703.2 OF PUBLICATION 408.	
11 of 22	THE PERMITTEE IS REQUIRED TO USE HOT MIX OR WARM MIX MATERIAL FOR TEMPORARY RESTORATION. COLD MIX WILL BE PERMITTED AT THE DISCRETION OF THE DEPARTMENT. PERMITTEE MUST MAINTAIN A SMOOTH PAVEMENT SURFACE SUITABLE FOR DRIVING FOR THE DURATION OF THE TEMPORARY PAVEMENT.	
12 of 22	<p>BACKFILL COMPACTION TESTING IS REQUIRED A MINIMUM ONE TEST PER LIFT DAILY. FOR OPENINGS LESS THAN OR EQUAL TO 500 TOTAL FEET IN PAVEMENT, SHOULDER OR SIDEWALK, THE PERMITTEE MAY CHOOSE THE COMPACTION TEST METHOD, PROVIDED THE TEST METHOD IS PERFORMED CONSISTENT WITH DEPARTMENT PUBLICATIONS, AND ON THE CONDITION THAT THE PERMITTEE PROVIDE THE COMPLETED CS-6 (PIPE INSTALLATION INSPECTION FORM) AND ACCOMPANYING TR-478 AND/OR TR-4276 FORMS WITHIN TWO WEEKS OF THE COMPLETION OF THE WORK REPRESENTED ON THE FORM. PENNDOT WILL NOT CLOSE-OUT THE PERMIT PRIOR TO RECEIVING THE COMPLETED FORMS.</p> <p>(FOR OVER 500 FEET AND ALL STORM SEWER PIPE INSTALLATION) COMPLETE TRENCH BACKFILL IN ACCORDANCE WITH SECTION 459.8, & THE NEWEST VERSION OF THE PUBLICATION 408 SPECIFICALLY SECTION 601.3 (F) AND (Q). A PROCTOR FOR CERTIFIED STONE MUST BE PROVIDED PRIOR TO THE START OF CONSTRUCTION. FOR MATERIALS WITH MORE THAN 20% RETAINED ON THE 3/4" SIEVE, OR IF A VIABLE PROCTOR COULD NOT BE OBTAINED, COMPACTION BY NON-MOVEMENT IS ACCEPTABLE USING THE EQUIPMENT OUTLINED IN PUB 408, SECTION 108.05(c) AND TESTED IN ACCORDANCE WITH PUB 408, SECTION 210.3(b); FORM TR-478A AND FORM CS-6 ARE TO BE COMPLETED. FOR MATERIALS WITH LESS THAN 20% RETAINED ON THE 3/4" SIEVE, NUCLEAR DENSITY TESTING MUST BE PERFORMED; FORM TR-4276A AND FORM CS-6 ARE TO BE COMPLETED. FORMS CS-6 AND TR-478A ARE TO BE COMPLETED BY THE AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED BY THE NUCLEAR TECHNICIAN. INSPECTION OF THE COMPACTION OF THE TRENCH BACKFILL IS REQUIRED; FAILURE TO NOTIFY THE DEPARTMENT WILL RESULT IN REMOVAL OF THE MATERIAL AND REPLACEMENT UNDER DEPARTMENT SUPERVISION. PENNDOT WILL NOT CLOSE-OUT THE PERMIT PRIOR TO RECEIVING THE COMPLETED FORMS.</p>	
13 of 22	SHOULDERS MUST BE RESTORED IN ACCORDANCE WITH APPROPRIATE SECTION OF PUB. 408 AND ROADWAY CONSTRUCTION STANDARDS RC-25M.	
14 of 22	IT IS THE PERMITTEE'S RESPONSIBILITY TO IDENTIFY ALL PENNDOT OWNED/OPERATED FACILITIES WITHIN THE LIMITS OF PERMITTED WORK. IF DAMAGED BY THE PERMITTED WORK, IT IS PERMITTEES RESPONSIBILITY TO CONTACT THE DEPARTMENT IMMEDIATELY AND RESTORE THE FACILITY TO ITS ORIGINAL CONDITION OR AS DIRECTED BY THE DEPARTMENT.	

Highway Occupancy Permit

Permit No.: **05061148**

Permit Conditions		Permit No.: 05061148
15 of 22	ALL DISTURBED AREAS OUTSIDE THE PAVEMENT OR SHOULDER SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT WHICH EXISTED BEFORE THE START OF WORK.	
16 of 22	MINIMUM WORK ZONE TRAFFIC CONTROL TO BE IN ACCORDANCE WITH PUB. 213. SEE PUB 212 FOR ADDITIONAL DETAILS.	
17 of 22	NO LANES MAY BE RESTRICTED BETWEEN THE HOURS OF 6:00 AM TO 9:00 AM OR BETWEEN THE HOURS OF 3:00 PM TO 6:00 PM.	
18 of 22	LANE CLOSURES WILL NOT BE PERMITTED DURING THE FOLLOWING PERIODS: EASTER WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; MEMORIAL DAY WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; FOURTH OF JULY HOLIDAY - REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE; LABOR DAY WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; COLUMBUS DAY WEEKEND - FRIDAY 6:00AM TO MONDAY 9:00AM; THANKSGIVING WEEKEND - WEDNESDAY 6:00AM TO MONDAY 9:00AM; CHRISTMAS HOLIDAY-DECEMBER REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE; NEW YEAR'S HOLIDAY - REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE. THERE MAY BE ADDITIONAL TRAFFIC RESTRICTIONS FOR SPECIAL EVENTS THAT ATTRACT LARGE VOLUMES OF TRAFFIC IN THE AREA OF THE HOP.	
19 of 22	PERMITTEE IS RESPONSIBLE FOR ENSURING THAT MUD, SILT AND OTHER DEBRIS IS REMOVED FROM VEHICLES AND TIRES (BY POWER WASH, ETC.) BEFORE ENTERING ONTO THE HIGHWAY.	
20 of 22	LONGITUDINAL JOINTS MUST NOT BE PLACED IN THE WHEEL PATH - A FULL LANE MILL/OVERLAY MAY BE REQUIRED BY THE INSPECTOR ASSIGNED BY THE DEPARTMENT TO OVERSEE CONSTRUCTION	
21 of 22	IF THERE IS SIGNIFICANT INTRUSION, DUE TO UNFORESEEN CONDITIONS, INTO THE TRAVEL LANE; OR IF THE INSTALLATION OF THE UTILITY RESULTS IN DAMAGE TO THE TRAVEL LANE, AN OVERLAY OF THE UTILIZED/DAMAGED AREAS WILL BE REQUIRED. THIS IS DETERMINED BY THE INSPECTOR ASSIGNED BY THE DEPARTMENT TO OVERSEE THE PROJECT.	
22 of 22	IF AN OPENING IS MADE WITHIN A BITUMINOUS OR CONCRETE PAVEMENT WITHIN 3 FEET FROM THE EDGE OF PAVEMENT OR OTHER LONGITUDINAL JOINT OR OPENING, THE SURFACE RESTORATION SHALL BE EXTENDED TO THE EDGE OF PAVEMENT OR OTHER LONGITUDINAL JOINT OR OPENING. (67 PA. CODE, CHAPTER 459.8)	

Acknowledgement of Completion Permit work has been completed: Date: By:	Yassmin Gramian, P.E. -----
	Secretary of Transportation
	Michael W. Rebert, P.E. -----
	District Executive

Highway Occupancy Permit

Permit No.: **05061194**

Name and Address of Permittee: South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104	County: Lehigh	Issue Date: 11/23/2022
	County Contact No.: (610) 798-4294	Expiration Date: 11/23/2023
	Issuing District Office: 5-0	Application No.: 277525
	District Contact No.: (610) 871-4167	Account No.:
	Municipalities: South Whitehall T Township	Permit Fee: \$ 0.00

Immediately upon completion of the work Permittee shall notify the permit office where application was made. Subject to all the conditions, agreements, restrictions, and regulations prescribed by the Pennsylvania Department of Transportation, (see in particular 67 Pa. Code, Chapter 212, 441 and 459 and State Highway Law, 36 P.S. Section 670 - 411, 420 and 421) and subject to the plans, special conditions, or restrictions herein set forth or attached hereto. This permit shall be located at the work site and shall be available for inspection by any police officer or Department representative.

Location and Description of Work		Permit No.: 05061194
1 of 4	State Route #: 1006 Segment(s): From 0050 To 0050 Offset(s): From 0000 To 1606	141: Connect Surface Drainage to Department Drainage Facilities
2 of 4	State Route #: 1019 Segment(s): From 0070 To 0080 Offset(s): From 1846 To 0537	141: Connect Surface Drainage to Department Drainage Facilities
3 of 4	State Route #: 1006 Segment(s): From 0040 To 0050 Offset(s): From 3099 To 1606	
4 of 4	State Route #: 1019 Segment(s): From 0070 To 0080 Offset(s): From 1727 To 0778	

Permit Conditions		Permit No.: 05061194
1 of 23	NO WORK TO BE COMPLETED PRIOR TO ISSUANCE OF THE ASSOCIATED HIGH VOLUME DRIVEWAY APPLICAITON #272003	
2 of 23	CONTRACTOR MUST CONTACT PENNDOT'S DISTRICT PRESS OFFICE AT 610-871-4555 AT LEAST 5 WORK DAYS PRIOR TO ANY LANE CLOSURE AND 10 WORK DAYS PRIOR TO ANY FULL CLOSURE.	
3 of 23	CONTACT LEHIGH COUNTY PERMIT OFFICE AT LEAST 3 WORK DAYS PRIOR TO START OF WORK AT 610-798-4294.	
4 of 23	NOTIFY THE TRAFFIC MANAGEMENT CENTER AT 610-871-4600 PRIOR TO SETTING UP ANY LANE CLOSURES OR RESTRICTIONS, AND WHEN THE CLOSURE/RESTRICTION IS REMOVED.	
5 of 23	AN INSPECTOR, WHEN AVAILABLE, WILL BE ASSIGNED ON MORE THAN A SPOT INSPECTION BASIS. PERMITTEE WILL BE CHARGED ALL INSPECTION COSTS INCURRED BY THE DEPARTMENT.	

Highway Occupancy Permit

Permit No.: **05061194**

Permit Conditions		Permit No.: 05061194
6 of 23	FACILITY MAY BE PLACED IN PAVEMENT OR SHOULDER, AS PER PLANS, PROVIDED BASE AND WEARING COURSES ARE OPENED BY SAW CUT METHOD.	
7 of 23	THIS PERMIT AUTHORIZES WORK ONLY IN DEPARTMENT HIGHWAY RIGHT OF WAY.	
8 of 23	2A COARSE AGGREGATE BACKFILL MATERIAL IS REQUIRED UNDER 67 PA CODE, SECTION 459.8 (g)(2) AND SECTION 703.2 OF PUBLICATION 408.	
9 of 23	THE PERMITTEE IS REQUIRED TO USE HOT MIX OR WARM MIX MATERIAL FOR TEMPORARY RESTORATION. COLD MIX WILL BE PERMITTED AT THE DISCRETION OF THE DEPARTMENT. PERMITTEE MUST MAINTAIN A SMOOTH PAVEMENT SURFACE SUITABLE FOR DRIVING FOR THE DURATION OF THE TEMPORARY PAVEMENT.	
10 of 23	<p>BACKFILL COMPACTION TESTING IS REQUIRED A MINIMUM ONE TEST PER LIFT DAILY. FOR OPENINGS LESS THAN OR EQUAL TO 500 TOTAL FEET IN PAVEMENT, SHOULDER OR SIDEWALK, THE PERMITTEE MAY CHOOSE THE COMPACTION TEST METHOD, PROVIDED THE TEST METHOD IS PERFORMED CONSISTENT WITH DEPARTMENT PUBLICATIONS, AND ON THE CONDITION THAT THE PERMITTEE PROVIDE THE COMPLETED CS-6 (PIPE INSTALLATION INSPECTION FORM) AND ACCOMPANYING TR-478 AND/OR TR-4276 FORMS WITHIN TWO WEEKS OF THE COMPLETION OF THE WORK REPRESENTED ON THE FORM. PENNDOT WILL NOT CLOSE-OUT THE PERMIT PRIOR TO RECEIVING THE COMPLETED FORMS.</p> <p>(FOR OVER 500 FEET AND ALL STORM SEWER PIPE INSTALLATION) COMPLETE TRENCH BACKFILL IN ACCORDANCE WITH SECTION 459.8, & THE NEWEST VERSION OF THE PUBLICATION 408 SPECIFICALLY SECTION 601.3 (F) AND (Q). A PROCTOR FOR CERTIFIED STONE MUST BE PROVIDED PRIOR TO THE START OF CONSTRUCTION. FOR MATERIALS WITH MORE THAN 20% RETAINED ON THE 3/4" SIEVE, OR IF A VIABLE PROCTOR COULD NOT BE OBTAINED, COMPACTION BY NON-MOVEMENT IS ACCEPTABLE USING THE EQUIPMENT OUTLINED IN PUB 408, SECTION 108.05(c) AND TESTED IN ACCORDANCE WITH PUB 408, SECTION 210.3(b); FORM TR-478A AND FORM CS-6 ARE TO BE COMPLETED. FOR MATERIALS WITH LESS THAN 20% RETAINED ON THE 3/4" SIEVE, NUCLEAR DENSITY TESTING MUST BE PERFORMED; FORM TR-4276A AND FORM CS-6 ARE TO BE COMPLETED. FORMS CS-6 AND TR-478A ARE TO BE COMPLETED BY THE AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED BY THE NUCLEAR TECHNICIAN. INSPECTION OF THE COMPACTION OF THE TRENCH BACKFILL IS REQUIRED; FAILURE TO NOTIFY THE DEPARTMENT WILL RESULT IN REMOVAL OF THE MATERIAL AND REPLACEMENT UN</p>	
11 of 23	SHOULDERS MUST BE RESTORED IN ACCORDANCE WITH APPROPRIATE SECTION OF PUB. 408 AND ROADWAY CONSTRUCTION STANDARDS RC-25M.	
12 of 23	IT IS THE PERMITTEE'S RESPONSIBILITY TO IDENTIFY ALL PENNDOT OWNED/OPERATED FACILITIES WITHIN THE LIMITS OF PERMITTED WORK. IF DAMAGED BY THE PERMITTED WORK, IT IS PERMITTEES RESPONSIBILITY TO CONTACT THE DEPARTMENT IMMEDIATELY AND RESTORE THE FACILITY TO ITS ORIGINAL CONDITION OR AS DIRECTED BY THE DEPARTMENT.	
13 of 23	ALL DISTURBED AREAS OUTSIDE THE PAVEMENT OR SHOULDER SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT WHICH EXISTED BEFORE THE START OF WORK.	
14 of 23	MINIMUM WORK ZONE TRAFFIC CONTROL TO BE IN ACCORDANCE WITH PUB. 213. SEE PUB 212 FOR ADDITIONAL DETAILS.	
15 of 23	NO LANES MAY BE RESTRICTED BETWEEN THE HOURS OF 6:00 AM TO 9:00 AM OR BETWEEN THE HOURS OF 3:00 PM TO 6:00 PM.	

Permit # 05061194

Highway Occupancy Permit

Permit No.: 05061194

Permit Conditions		Permit No.: 05061194
16 of 23	LANE CLOSURES WILL NOT BE PERMITTED DURING THE FOLLOWING PERIODS: EASTER WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; MEMORIAL DAY WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; FOURTH OF JULY HOLIDAY - REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE; LABOR DAY WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; COLUMBUS DAY WEEKEND - FRIDAY 6:00AM TO MONDAY 9:00AM; THANKSGIVING WEEKEND - WEDNESDAY 6:00AM TO MONDAY 9:00AM; CHRISTMAS HOLIDAY-DECEMBER REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE; NEW YEAR'S HOLIDAY - REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE. THERE MAY BE ADDITIONAL TRAFFIC RESTRICTIONS FOR SPECIAL EVENTS THAT ATTRACT LARGE VOLUMES OF TRAFFIC IN THE AREA OF THE HOP.	
17 of 23	PERMITTEE IS RESPONSIBLE FOR ENSURING THAT MUD, SILT AND OTHER DEBRIS IS REMOVED FROM VEHICLES AND TIRES (BY POWER WASH, ETC.) BEFORE ENTERING ONTO THE HIGHWAY.	
18 of 23	LONGITUDINAL JOINTS MUST NOT BE PLACED IN THE WHEEL PATH - A FULL LANE MILL/OVERLAY MAY BE REQUIRED BY THE INSPECTOR ASSIGNED BY THE DEPARTMENT TO OVERSEE CONSTRUCTION	
19 of 23	IF THERE IS SIGNIFICANT INTRUSION, DUE TO UNFORESEEN CONDITIONS, INTO THE TRAVEL LANE; OR IF THE INSTALLATION OF THE UTILITY RESULTS IN DAMAGE TO THE TRAVEL LANE, AN OVERLAY OF THE UTILIZED/DAMAGED AREAS WILL BE REQUIRED. THIS IS DETERMINED BY THE INSPECTOR ASSIGNED BY THE DEPARTMENT TO OVERSEE THE PROJECT.	
20 of 23	IF AN OPENING IS MADE WITHIN A BITUMINOUS OR CONCRETE PAVEMENT WITHIN 3 FEET FROM THE EDGE OF PAVEMENT OR OTHER LONGITUDINAL JOINT OR OPENING, THE SURFACE RESTORATION SHALL BE EXTENDED TO THE EDGE OF PAVEMENT OR OTHER LONGITUDINAL JOINT OR OPENING. (67 PA. CODE, CHAPTER 459.8)	
21 of 23	MATERIAL CERTIFICATIONS MUST BE PROVIDED BY AN APPROVED MANUFACTURER LISTED IN THE DEPARTMENT'S PUBLICATION 35 BULLETIN 15, FOR ALL MATERIALS AND STRUCTURES WITHIN PENN DOT R/W.	
22 of 23	AS-BUILT PLANS, IN A .PDF FORMAT, MAY BE REQUIRED PRIOR TO THE CLOSE OUT OF THIS PERMIT, IF ANY CHANGES ARE MADE TO THE APPROVED DESIGN.	
23 of 23	ALL WORK ASSOCIATED WITH THIS PERMIT WILL BE PERFORMED UNDER APPLICATION NO. 272003 IN THE NAME OF KAY WALBERT, LLC. ALL INSPECTION FEES FOR THE WORK WILL BE CHARGED KAY WALBERT, LLC.	

Acknowledgement of Completion Permit work has been completed: Date: By:	Yassmin Gramian, P.E. _____
	Secretary of Transportation
	Michael W. Rebert, P.E. _____
	District Executive

Highway Occupancy Permit

Permit No.: **05061449**

Name and Address of Permittee: South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104	County: Lehigh	Issue Date: 1/31/2023
	County Contact No.: (610) 798-4294	Expiration Date: 1/31/2024
	Issuing District Office: 5-0	Application No.: 277524
	District Contact No.: (610) 871-4167	Account No.:
	Municipalities: South Whitehall T Township	Permit Fee: \$ 0.00

Immediately upon completion of the work Permittee shall notify the permit office where application was made. Subject to all the conditions, agreements, restrictions, and regulations prescribed by the Pennsylvania Department of Transportation, (see in particular 67 Pa. Code, Chapter 212, 441 and 459 and State Highway Law, 36 P.S. Section 670 - 411, 420 and 421) and subject to the plans, special conditions, or restrictions herein set forth or attached hereto. This permit shall be located at the work site and shall be available for inspection by any police officer or Department representative.

Location and Description of Work		Permit No.: 05061449
1 of 1	State Route #: 1006 Segment(s): From 0050 To 0050 Offset(s): From 0000 To 1606	137: Construct Sidewalk and Curb

Permit Conditions		Permit No.: 05061449
1 of 19	FINAL, COMPLETED CS-4401 FORMS, IN A FORM ACCEPTABLE TO THE DEPARTMENT, WITH PICTURES OF THE INSTALLATION, AND FINAL RMS FORMS ARE REQUIRED TO BE SUBMITTED BY SUPPLEMENT PRIOR TO THE CLOSE OUT OF THE PERMIT.	
2 of 19	THE FOLLOWING ASSOCIATION WITH THIS PROJECT: 05061450 - HIGH VOLUME DRIVEWAY - KAY WALBERT, LLC 05061194 - STORMWATER DRAINAGE - SOUTH WHITEHALL TOWNSHIP 05061148 - SEWER FACILITIES - SOUTH WHITEHALL TOWNSHIP 05061451 - WATER LINE FACILITIES - SOUTH WHITEHALL TOWNSHIP ALL WORK WILL BE PERFORMED BY KAY WALBERT, LLC. AND ALL INSPECTION ASSOCIATED WITH THESE PERMITS WILL BE CHARGED TO KAY WALBERT, LLC.	
3 of 19	CONTRACTOR MUST CONTACT PENNDOT'S DISTRICT PRESS OFFICE AT 610-871-4555 AT LEAST 5 WORK DAYS PRIOR TO ANY LANE CLOSURE AND 10 WORK DAYS PRIOR TO ANY FULL CLOSURE.	
4 of 19	CONTACT LEHIGH COUNTY PERMIT OFFICE AT LEAST 3 WORK DAYS PRIOR TO START OF WORK AT 610-798-4294.	
5 of 19	NOTIFY THE TRAFFIC MANAGEMENT CENTER AT 610-871-4600 PRIOR TO SETTING UP ANY LANE CLOSURES OR RESTRICTIONS, AND WHEN THE CLOSURE/RESTRICTION IS REMOVED.	
6 of 19	AN INSPECTOR, WHEN AVAILABLE, WILL BE ASSIGNED ON MORE THAN A SPOT INSPECTION BASIS. PERMITTEE WILL BE CHARGED ALL INSPECTION COSTS INCURRED BY THE DEPARTMENT.	
7 of 19	THIS PERMIT AUTHORIZES WORK ONLY IN DEPARTMENT HIGHWAY RIGHT OF WAY.	
8 of 19	2A COARSE AGGREGATE BACKFILL MATERIAL IS REQUIRED UNDER 67 PA CODE, SECTION 459.8 (g)(2) AND SECTION 703.2 OF PUBLICATION 408.	

Highway Occupancy Permit

Permit No.: **05061449**

Permit Conditions		Permit No.: 05061449
9 of 19	CURB MUST BE INSTALLED IN ACCORDANCE WITH PENNDOT ROADWAY STANDARDS RC-64M AND RC-67M.	
10 of 19	SIDEWALK CONSTRUCTION OR REPLACEMENT SHALL PROVIDE ACCOMMODATIONS FOR PERSONS WITH DISABILITIES CONSISTENT WITH ADA AND PENNDOT STANDARDS.	
11 of 19	IT IS THE PERMITTEE'S RESPONSIBILITY TO IDENTIFY ALL PENNDOT OWNED/OPERATED FACILITIES WITHIN THE LIMITS OF PERMITTED WORK. IF DAMAGED BY THE PERMITTED WORK, IT IS PERMITTEES RESPONSIBILITY TO CONTACT THE DEPARTMENT IMMEDIATELY AND RESTORE THE FACILITY TO ITS ORIGINAL CONDITION OR AS DIRECTED BY THE DEPARTMENT.	
12 of 19	MINIMUM WORK ZONE TRAFFIC CONTROL TO BE IN ACCORDANCE WITH PUB. 213. SEE PUB 212 FOR ADDITIONAL DETAILS.	
13 of 19	NO LANES MAY BE RESTRICTED BETWEEN THE HOURS OF 6:00 AM TO 9:00 AM OR BETWEEN THE HOURS OF 3:00 PM TO 6:00 PM.	
14 of 19	LANE CLOSURES WILL NOT BE PERMITTED DURING THE FOLLOWING PERIODS: EASTER WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; MEMORIAL DAY WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; FOURTH OF JULY HOLIDAY - REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE; LABOR DAY WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; COLUMBUS DAY WEEKEND - FRIDAY 6:00AM TO MONDAY 9:00AM; THANKSGIVING WEEKEND - WEDNESDAY 6:00AM TO MONDAY 9:00AM; CHRISTMAS HOLIDAY-DECEMBER REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE; NEW YEAR'S HOLIDAY - REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE. THERE MAY BE ADDITIONAL TRAFFIC RESTRICTIONS FOR SPECIAL EVENTS THAT ATTRACT LARGE VOLUMES OF TRAFFIC IN THE AREA OF THE HOP.	
15 of 19	PERMITTEE IS RESPONSIBLE FOR ENSURING THAT MUD, SILT AND OTHER DEBRIS IS REMOVED FROM VEHICLES AND TIRES (BY POWER WASH, ETC.) BEFORE ENTERING ONTO THE HIGHWAY.	
16 of 19	PERMITTEE MAY BE REQUIRED TO PROVIDE DAILY VIRTUAL INSPECTION VIA ELECTRONIC DOCUMENTATION. THIS DOCUMENTATION SHOULD INCLUDE, BUT IS NOT LIMITED TO, PHOTO DOCUMENTATION OF WORK PERFORMED, DAILY LOG OF WORK ACTIVITIES, MATERIAL CERTIFICATIONS, TEST RESULTS, AND OTHER PERTINENT INFORMATION THAT DOCUMENTS PROPER RESTORATION OF THE HIGHWAY. PRIOR TO THE START OF WORK, CONTACT THE DISTRICT PERMIT MANAGER OR COUNTY PERMIT SUPERVISOR FOR SPECIFIC REQUIREMENTS. FAILURE TO PROVIDE THE DOCUMENTATION MAY RESULT IN PENNDOT STOPPING THE WORK, PHYSICALLY CLOSING ACCESS TO THE STATE HIGHWAY, AND/OR REMOVAL AND REPLACEMENT OF WORK.	
17 of 19	MATERIAL CERTIFICATIONS MUST BE PROVIDED BY AN APPROVED MANUFACTURER LISTED IN THE DEPARTMENT'S PUBLICATION 35 BULLETIN 15, FOR ALL MATERIALS AND STRUCTURES WITHIN PENN DOT R/W.	
18 of 19	AS-BUILT PLANS, IN A .PDF FORMAT, MAY BE REQUIRED PRIOR TO THE CLOSE OUT OF THIS PERMIT, IF ANY CHANGES ARE MADE TO THE APPROVED DESIGN.	
19 of 19	FINAL, COMPLETED RMS FORMS AND COMPLETED CS-4401 FORMS, IN A FORM ACCEPTABLE TO THE DEPARTMENT WITH PICTURES OF THE INSTALLATION, WILL BE REQUIRED TO BE SUBMITTED BY SUPPLEMENT PRIOR TO THE CLOSE OUT OF THE PERMIT.	

Highway Occupancy Permit

Permit No.: **05061449**

Acknowledgement of Completion

Permit work has been completed:

Date:

By:

Michael Carroll

Acting Secretary of Transportation

Michael W. Rebert, P.E.

District Executive

Highway Occupancy Permit

Permit No.: **05061451**

Name and Address of Permittee: South Whitehall Township 4444 Walbert Avenue Allentown, PA 18104	County: Lehigh	Issue Date: 2/1/2023
	County Contact No.: (610) 798-4294	Expiration Date: 2/1/2024
	Issuing District Office: 5-0	Application No.: 277527
	District Contact No.: (610) 871-4167	Account No.:
	Municipalities: South Whitehall T Township	Permit Fee: \$ 640.00

Immediately upon completion of the work Permittee shall notify the permit office where application was made. Subject to all the conditions, agreements, restrictions, and regulations prescribed by the Pennsylvania Department of Transportation, (see in particular 67 Pa. Code, Chapter 212, 441 and 459 and State Highway Law, 36 P.S. Section 670 - 411, 420 and 421) and subject to the plans, special conditions, or restrictions herein set forth or attached hereto. This permit shall be located at the work site and shall be available for inspection by any police officer or Department representative.

Location and Description of Work		Permit No.: 05061451
1 of 1	State Route #: 1006 Segment(s): From 0040 To 0050 Offset(s): From 3194 To 1495	611: Install Sub-surface Water Facility

Permit Conditions		Permit No.: 05061451
1 of 21	<p>THE FOLLOWING ASSOCIATION WITH THIS PROJECT: 05061450 - HIGH VOLUME DRIVEWAY - KAY WALBERT, LLC 05061194 - STORMWATER DRAINAGE - SOUTH WHITEHALL TOWNSHIP 05061449 - CURB AND SIDEWALK - SOUTH WHITEHALL TOWNSHIP 05061148 - SEWER FACILITIES - SOUTH WHITEHALL TOWNSHIP</p> <p>ALL WORK WILL BE PERFORMED BY KAY WALBERT, LLC. AND ALL INSPECTION ASSOCIATED WITH THESE PERMITS WILL BE CHARGED TO KAY WALBERT, LLC.</p>	
2 of 21	CONTRACTOR MUST CONTACT PENNDOT'S DISTRICT PRESS OFFICE AT 610-871-4555 AT LEAST 5 WORK DAYS PRIOR TO ANY LANE CLOSURE AND 10 WORK DAYS PRIOR TO ANY FULL CLOSURE.	
3 of 21	CONTACT LEHIGH COUNTY PERMIT OFFICE AT LEAST 3 WORK DAYS PRIOR TO START OF WORK AT 610-798-4294.	
4 of 21	NOTIFY THE TRAFFIC MANAGEMENT CENTER AT 610-871-4600 PRIOR TO SETTING UP ANY LANE CLOSURES OR RESTRICTIONS, AND WHEN THE CLOSURE/RESTRICTION IS REMOVED.	
5 of 21	AN INSPECTOR, WHEN AVAILABLE, WILL BE ASSIGNED ON MORE THAN A SPOT INSPECTION BASIS. PERMITTEE WILL BE CHARGED ALL INSPECTION COSTS INCURRED BY THE DEPARTMENT.	
6 of 21	FACILITY MAY BE PLACED IN PAVEMENT OR SHOULDER, AS PER PLANS, PROVIDED BASE AND WEARING COURSES ARE OPENED BY SAW CUT METHOD.	
7 of 21	THE PERMITTEE IS REQUIRED TO USE HOT MIX OR WARM MIX MATERIAL FOR TEMPORARY RESTORATION. COLD MIX WILL BE PERMITTED AT THE DISCRETION OF THE DEPARTMENT. PERMITTEE MUST MAINTAIN A SMOOTH PAVEMENT SURFACE SUITABLE FOR DRIVING FOR THE DURATION OF THE TEMPORARY PAVEMENT.	

Highway Occupancy Permit

Permit No.: **05061451**

Permit Conditions	Permit No.: 05061451
8 of 21	THIS PERMIT AUTHORIZES WORK ONLY IN DEPARTMENT HIGHWAY RIGHT OF WAY.
9 of 21	2A COARSE AGGREGATE BACKFILL MATERIAL IS REQUIRED UNDER 67 PA CODE, SECTION 459.8 (g)(2) AND SECTION 703.2 OF PUBLICATION 408.
10 of 21	<p>BACKFILL COMPACTION TESTING IS REQUIRED A MINIMUM ONE TEST PER LIFT DAILY. FOR OPENINGS LESS THAN OR EQUAL TO 500 TOTAL FEET IN PAVEMENT, SHOULDER OR SIDEWALK, THE PERMITTEE MAY CHOOSE THE COMPACTION TEST METHOD, PROVIDED THE TEST METHOD IS PERFORMED CONSISTENT WITH DEPARTMENT PUBLICATIONS, AND ON THE CONDITION THAT THE PERMITTEE PROVIDE THE COMPLETED CS-6 (PIPE INSTALLATION INSPECTION FORM) AND ACCOMPANYING TR-478 AND/OR TR-4276 FORMS WITHIN TWO WEEKS OF THE COMPLETION OF THE WORK REPRESENTED ON THE FORM. PENNDOT WILL NOT CLOSE-OUT THE PERMIT PRIOR TO RECEIVING THE COMPLETED FORMS.</p> <p>(FOR OVER 500 FEET AND ALL STORM SEWER PIPE INSTALLATION) COMPLETE TRENCH BACKFILL IN ACCORDANCE WITH SECTION 459.8, & THE NEWEST VERSION OF THE PUBLICATION 408 SPECIFICALLY SECTION 601.3 (F) AND (Q). A PROCTOR FOR CERTIFIED STONE MUST BE PROVIDED PRIOR TO THE START OF CONSTRUCTION. FOR MATERIALS WITH MORE THAN 20% RETAINED ON THE 3/4" SIEVE, OR IF A VIABLE PROCTOR COULD NOT BE OBTAINED, COMPACTION BY NON-MOVEMENT IS ACCEPTABLE USING THE EQUIPMENT OUTLINED IN PUB 408, SECTION 108.05(c) AND TESTED IN ACCORDANCE WITH PUB 408, SECTION 210.3(b); FORM TR-478A AND FORM CS-6 ARE TO BE COMPLETED. FOR MATERIALS WITH LESS THAN 20% RETAINED ON THE 3/4" SIEVE, NUCLEAR DENSITY TESTING MUST BE PERFORMED; FORM TR-4276A AND FORM CS-6 ARE TO BE COMPLETED. FORMS CS-6 AND TR-478A ARE TO BE COMPLETED BY THE AUTHORIZED INSPECTOR. FORM TR-4276A IS TO BE COMPLETED BY THE NUCLEAR TECHNICIAN. INSPECTION OF THE COMPACTION OF THE TRENCH BACKFILL IS REQUIRED; FAILURE TO NOTIFY THE DEPARTMENT WILL RESULT IN REMOVAL OF THE MATERIAL AND REPLACEMENT UNDER DEPARTMENT SUPERVISION. PENNDOT WILL NOT CLOSE-OUT THE PERMIT PRIOR TO RECEIVING THE COMPLETED FORMS.</p>
11 of 21	IT IS THE PERMITTEE'S RESPONSIBILITY TO IDENTIFY ALL PENNDOT OWNED/OPERATED FACILITIES WITHIN THE LIMITS OF PERMITTED WORK. IF DAMAGED BY THE PERMITTED WORK, IT IS PERMITTEES RESPONSIBILITY TO CONTACT THE DEPARTMENT IMMEDIATELY AND RESTORE THE FACILITY TO ITS ORIGINAL CONDITION OR AS DIRECTED BY THE DEPARTMENT.
12 of 21	ALL DISTURBED AREAS OUTSIDE THE PAVEMENT OR SHOULDER SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT WHICH EXISTED BEFORE THE START OF WORK.
13 of 21	MINIMUM WORK ZONE TRAFFIC CONTROL TO BE IN ACCORDANCE WITH PUB. 213. SEE PUB 212 FOR ADDITIONAL DETAILS.
14 of 21	NO LANES MAY BE RESTRICTED BETWEEN THE HOURS OF 6:00 AM TO 9:00 AM OR BETWEEN THE HOURS OF 3:00 PM TO 6:00 PM.
15 of 21	LANE CLOSURES WILL NOT BE PERMITTED DURING THE FOLLOWING PERIODS: EASTER WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; MEMORIAL DAY WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; FOURTH OF JULY HOLIDAY - REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE; LABOR DAY WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; COLUMBUS DAY WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; THANKSGIVING WEEKEND -WEDNESDAY 6:00AM TO MONDAY 9:00AM; CHRISTMAS HOLIDAY-DECEMBER REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE; NEW YEAR'S HOLIDAY - REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE. THERE MAY BE ADDITIONAL TRAFFIC RESTRICTIONS FOR SPECIAL EVENTS THAT ATTRACT LARGE VOLUMES OF TRAFFIC IN THE AREA OF THE HOP.

Highway Occupancy Permit

Permit No.: **05061451**

Permit Conditions		Permit No.: 05061451
16 of 21	PERMITTEE IS RESPONSIBLE FOR ENSURING THAT MUD, SILT AND OTHER DEBRIS IS REMOVED FROM VEHICLES AND TIRES (BY POWER WASH, ETC.) BEFORE ENTERING ONTO THE HIGHWAY.	
17 of 21	LONGITUDINAL JOINTS MUST NOT BE PLACED IN THE WHEEL PATH - A FULL LANE MILL/OVERLAY MAY BE REQUIRED BY THE INSPECTOR ASSIGNED BY THE DEPARTMENT TO OVERSEE CONSTRUCTION	
18 of 21	IF THERE IS SIGNIFICANT INTRUSION, DUE TO UNFORESEEN CONDITIONS, INTO THE TRAVEL LANE; OR IF THE INSTALLATION OF THE UTILITY RESULTS IN DAMAGE TO THE TRAVEL LANE, AN OVERLAY OF THE UTILIZED/DAMAGED AREAS WILL BE REQUIRED. THIS IS DETERMINED BY THE INSPECTOR ASSIGNED BY THE DEPARTMENT TO OVERSEE THE PROJECT.	
19 of 21	IF AN OPENING IS MADE WITHIN A BITUMINOUS OR CONCRETE PAVEMENT WITHIN 3 FEET FROM THE EDGE OF PAVEMENT OR OTHER LONGITUDINAL JOINT OR OPENING, THE SURFACE RESTORATION SHALL BE EXTENDED TO THE EDGE OF PAVEMENT OR OTHER LONGITUDINAL JOINT OR OPENING. (67 PA. CODE, CHAPTER 459.8)	
20 of 21	MATERIAL CERTIFICATIONS MUST BE PROVIDED BY AN APPROVED MANUFACTURER LISTED IN THE DEPARTMENT'S PUBLICATION 35 BULLETIN 15, FOR ALL MATERIALS AND STRUCTURES WITHIN PENN DOT R/W.	
21 of 21	MATERIAL CERTIFICATIONS MUST BE PROVIDED BY AN APPROVED MANUFACTURER LISTED IN THE DEPARTMENT'S PUBLICATION 35 BULLETIN 15, FOR ALL MATERIALS AND STRUCTURES WITHIN PENN DOT R/W.	

Acknowledgement of Completion Permit work has been completed: Date: By:	Michael Carroll ----- Acting Secretary of Transportation
	Michael W. Rebert, P.E. ----- District Executive

Highway Occupancy Permit

Permit No.: **05061450**

Name and Address of Permittee: Kay Walbert, LLC 5930 Hamilton Boulevard Allentown, PA 18106	County: Lehigh	Issue Date: 2/2/2023
	County Contact No.: (610) 798-4294	Expiration Date: 2/2/2024
	Issuing District Office: 5-0	Application No.: 272003
	District Contact No.: (610) 871-4167	Account No.:
	Municipalities: South Whitehall T Township	Permit Fee: \$ 175.00

Immediately upon completion of the work Permittee shall notify the permit office where application was made. Subject to all the conditions, agreements, restrictions, and regulations prescribed by the Pennsylvania Department of Transportation, (see in particular 67 Pa. Code, Chapter 212, 441 and 459 and State Highway Law, 36 P.S. Section 670 - 411, 420 and 421) and subject to the plans, special conditions, or restrictions herein set forth or attached hereto. This permit shall be located at the work site and shall be available for inspection by any police officer or Department representative.

Location and Description of Work		Permit No.: 05061450
1 of 4	State Route #: 1006 Segment(s): From 0050 To 0050 Offset(s): From 1200 To 1200	521: Install Low Volume Driveway
2 of 4	State Route #: 1006 Segment(s): From 0050 To 0050 Offset(s): From 0687 To 0687	521: Install Low Volume Driveway
3 of 4	State Route #: 1006 Segment(s): From 0040 To 0050 Offset(s): From 3168 To 1548	171: Perform Roadway Improvement
4 of 4	State Route #: 1019 Segment(s): From 0070 To 0080 Offset(s): From 1817 To 0711	171: Perform Roadway Improvement

Permit Conditions		Permit No.: 05061450
1 of 34	THIS PERMIT MUST BE CANCELLED BEFORE ANOTHER PERMIT CAN BE ISSUED AT THIS LOCATION. A LETTER, EXECUTED AN AUTHORIZED EXECUTOR OF THE PROPERTY OWNER, MUST BE SUBMITTED WITH ANY NEW APPLICATION.	
2 of 34	THIS PERMIT S LIMITED TO AN ANTICIPATED ADT (TOTAL/AM/PM/SAT) OF 496 OR 248 VEHICLES PER DAY FOR SR 1006 SEGMENT 0050 OFFSET 0687, AND ANTICIPATED ADT (TOTAL/AM/PM/SAT) OF 558 OR 294 VEHICLES PER DAY FOR SR 1006 SEGMENT 0050 OFFSET 1200, WHEN THE TRAFFIC ENTERING AND EXITING THE PROPERTY EXCEEDS THIS AMOUNT, A NEW PERMIT MUST BE OBTAINED. IF THE USE OF THE PROPERTY CHANGES, A NEW PERMIT MUST BE OBTAINED.	
3 of 34	MINIMUM WORK ZONE TRAFFIC CONTROL TO BE IN ACCORDANCE WITH PUB. 213. SEE PUB 212 FOR ADDITIONAL DETAILS AND IN ACCORDANCE WITH THE APPROVE MPT PLANS. THE DEPARTMENT RESERVES THE RIGHT TO REQUIRE ANY CHANGES TO THE APPROVED MPT DURING CONSTRUCTION .	

Highway Occupancy Permit

Permit No.: **05061450**

Permit Conditions		Permit No.: 05061450
4 of 34	THIS PERMIT IS ISSUED AS PHASE ONE AS CONSTRUCTION OF TWO LOW VOLUME DRIVEWAY (SR 1006 SEGMENT 0050 OFFSET 0687, CONSTRUCTION OF A LOW VOLUME DRIVEWAY AT SR 1006 SEGMENT 0050 OFFSET 1200. A NEW PERMIT TO BE SUBMITTED WHEN THE USE OF THESE DRIVEWAYS IS CHANGED AND FOR PHASE TWO.	
5 of 34	ACCESS AT SR 1006 SEGMENT 0050 OFFSET 0687 IS RESTRICTED TO: RIGHT-IN, RIGHT-OUT NO LEFT TURNS	
6 of 34	RESTORATION SECURITY SHALL BE SUBMITTED TO THE DEPARTMENT AT LEAST 30 DAYS PRIOR TO START OF WORK. NO WORK MAY BE PERFORMED UNTIL SECURITY IS APPROVED.	
7 of 34	THE FOLLOWING ASSOCIATION WITH THIS PROJECT: 05061194 - STORMWATER DRAINAGE - SOUTH WHITEHALL TOWNSHIP 05061449 - CURB AND SIDEWALK - SOUTH WHITEHALL TOWNSHIP 05061148 - SEWER FACILITIES - SOUTH WHITEHALL TOWNSHIP 05061451 - WATER LINE FACILITIES - SOUTH WHITEHALL TOWNSHIP ALL WORK WILL BE PERFORMED BY KAY WALBERT, LLC. AND ALL INSPECTION ASSOCIATED WITH THESE PERMITS WILL BE CHARGED TO KAY WALBERT, LLC.	
8 of 34	CONTRACTOR MUST CONTACT PENNDOT'S DISTRICT PRESS OFFICE AT 610-871-4555 AT LEAST 5 WORK DAYS PRIOR TO ANY LANE CLOSURE AND 10 WORK DAYS PRIOR TO ANY FULL CLOSURE.	
9 of 34	CONTACT LEHIGH COUNTY PERMIT OFFICE AT LEAST 3 WORK DAYS PRIOR TO START OF WORK AT 610-798-4294.	
10 of 34	NOTIFY THE TRAFFIC MANAGEMENT CENTER AT 610-871-4600 PRIOR TO SETTING UP ANY LANE CLOSURES OR RESTRICTIONS, AND WHEN THE CLOSURE/RESTRICTION IS REMOVED.	
11 of 34	A CERTIFICATE OF INSURANCE SHALL BE SUBMITTED TO THE DEPT. BY THE PERMITTEE OR ITS CONTRACTOR 30 DAYS PRIOR TO START OF WORK.	
12 of 34	THE MUNICIPALITY WILL OBTAIN SECURITY ADEQUATE TO ENSURE COMPLETION OF THE PERMITTED WORK PRIOR TO THE START OF WORK IN DEPARTMENT RIGHT OF WAY CONSISTENT WITH 36 P.S. §670-420 AND 67 PA. CODE §441.6 DAMAGE TO HIGHWAY.	
13 of 34	AN INSPECTOR, WHEN AVAILABLE, WILL BE ASSIGNED ON MORE THAN A SPOT INSPECTION BASIS. PERMITTEE WILL BE CHARGED ALL INSPECTION COSTS INCURRED BY THE DEPARTMENT.	
14 of 34	THIS PERMIT AUTHORIZES WORK ONLY IN DEPARTMENT HIGHWAY RIGHT OF WAY.	
15 of 34	2A COARSE AGGREGATE BACKFILL MATERIAL IS REQUIRED UNDER 67 PA CODE, SECTION 459.8 (g)(2) AND SECTION 703.2 OF PUBLICATION 408.	
16 of 34	DEPARTMENT MUST BE NOTIFIED IN WRITING TWO WEEKS IN ADVANCE OF PRE-CONSTRUCTION MEETING.	
17 of 34	IT IS THE PERMITTEE'S RESPONSIBILITY TO KEEP VEGETATION TRIMMED IN ORDER TO MAINTAIN MINIMUM SIGHT DISTANCE. NO OBJECTS MAY BE PLACED WITHIN THE LINE OF SIGHT.	
18 of 34	DEPARTMENT MUST BE NOTIFIED IN WRITING UPON COMPLETION OF WORK.	
19 of 34	CURB MUST BE INSTALLED IN ACCORDANCE WITH PENNDOT ROADWAY STANDARDS RC-64M AND RC-67M.	

Highway Occupancy Permit

Permit No.: **05061450**

Permit Conditions		Permit No.: 05061450
20 of 34	PERMITTEE MUST MAINTAIN EXISTING SHOULDER DURING CONSTRUCTION.	
21 of 34	SURFACE DRAINAGE MAY NOT BE DIRECTED ONTO STATE HIGHWAY RIGHT OF WAY.	
22 of 34	PERMITTEE MUST MAINTAIN ACCESS FROM THE PAVEMENT EDGE TO AT LEAST 150 FEET OUTSIDE THE HIGHWAY RIGHT OF WAY.	
23 of 34	ACCESS SIGNING AND PAVEMENT MARKINGS MUST BE MAINTAINED BY PERMITTEE.	
24 of 34	SIDEWALK CONSTRUCTION OR REPLACEMENT SHALL PROVIDE ACCOMMODATIONS FOR PERSONS WITH DISABILITIES CONSISTENT WITH ADA AND PENNDOT STANDARDS.	
25 of 34	IT IS THE PERMITTEE'S RESPONSIBILITY TO IDENTIFY ALL PENNDOT OWNED/OPERATED FACILITIES WITHIN THE LIMITS OF PERMITTED WORK. IF DAMAGED BY THE PERMITTED WORK, IT IS PERMITTEES RESPONSIBILITY TO CONTACT THE DEPARTMENT IMMEDIATELY AND RESTORE THE FACILITY TO ITS ORIGINAL CONDITION OR AS DIRECTED BY THE DEPARTMENT.	
26 of 34	ALL DISTURBED AREAS OUTSIDE THE PAVEMENT OR SHOULDER SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT WHICH EXISTED BEFORE THE START OF WORK.	
27 of 34	NO LANES MAY BE RESTRICTED BETWEEN THE HOURS OF 6:00 AM TO 9:00 AM OR BETWEEN THE HOURS OF 3:00 PM TO 6:00 PM.	
28 of 34	LANE CLOSURES WILL NOT BE PERMITTED DURING THE FOLLOWING PERIODS: EASTER WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; MEMORIAL DAY WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; FOURTH OF JULY HOLIDAY - REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE; LABOR DAY WEEKEND - FRIDAY 6:00AM TO TUESDAY 9:00AM; COLUMBUS DAY WEEKEND - FRIDAY 6:00AM TO MONDAY 9:00AM; THANKSGIVING WEEKEND - WEDNESDAY 6:00AM TO MONDAY 9:00AM; CHRISTMAS HOLIDAY-DECEMBER REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE; NEW YEAR'S HOLIDAY - REQUEST INFORMATION FROM DISTRICT OR COUNTY PERMIT OFFICE. THERE MAY BE ADDITIONAL TRAFFIC RESTRICTIONS FOR SPECIAL EVENTS THAT ATTRACT LARGE VOLUMES OF TRAFFIC IN THE AREA OF THE HOP.	
29 of 34	DRAINAGE INSTALLED BY THIS PERMIT IS THE RESPONSIBILITY OF THE PERMITTEE TO CONTINUALLY MAINTAIN OR REPLACE.	
30 of 34	PERMITTEE IS RESPONSIBLE FOR ENSURING THAT MUD, SILT AND OTHER DEBRIS IS REMOVED FROM VEHICLES AND TIRES (BY POWER WASH, ETC.) BEFORE ENTERING ONTO THE HIGHWAY.	
31 of 34	ALL PERMANENT SIGNS ERECTED MUST BE FABRICATED BY AN APPROVED SIGN MANUFACTURER LISTED IN THE DEPARTMENTS PUBLICATION 35, BULLETIN 15.	
32 of 34	MATERIAL CERTIFICATIONS MUST BE PROVIDED BY AN APPROVED MANUFACTURER LISTED IN THE DEPARTMENT'S PUBLICATION 35 BULLETIN 15, FOR ALL MATERIALS AND STRUCTURES WITHIN PENN DOT R/W.	
33 of 34	AS-BUILT PLANS, IN A .PDF FORMAT, MAY BE REQUIRED PRIOR TO THE CLOSE OUT OF THIS PERMIT, IF ANY CHANGES ARE MADE TO THE APPROVED DESIGN.	
34 of 34	FINAL, COMPLETED RMS FORMS AND COMPLETED CS-4401 FORMS, IN A FORM ACCEPTABLE TO THE DEPARTMENT WITH PICTURES OF THE INSTALLATION, WILL BE REQUIRED TO BE SUBMITTED BY SUPPLEMENT PRIOR TO THE CLOSE OUT OF THE PERMIT	

Highway Occupancy Permit

Permit No.: **05061450**

Acknowledgement of Completion

Permit work has been completed:

Date:

By:

Michael Carroll

Acting Secretary of Transportation

Michael W. Rebert, P.E.

District Executive

Highway Occupancy Permit Supplement

Supplement No.: **05061450-01**

The original permit, bearing number shown on this supplement, was issued to: Kay Walbert, LLC 5930 Hamilton Boulevard Allentown, PA 18106	Original Permit No.: 05061450	Supplement Type: Change in Work
	County: Lehigh	Supplement Issue Date: 2/10/2023
	Issuing District Office: 5-0	Permit Expiration Date: 2/2/2024
	District Contact No.: (610) 871-4167	Application No.: 272003-01
	Municipalities: South Whitehall T Township	Account No.:
		Supplement Fee: \$ 0.00

Commonwealth of Pennsylvania

Under and subject to all the minimum conditions and regulations prescribed by the PA Department of Transportation (see in particular 67 PA Code, Chapter 441 and 459) and on the original permit.

Supplement Description : Change in Work	Supplement No.: 05061450-01
Remove condition 12 of 34 "THE MUNICIPALITY WILL OBTAIN SECURITY ADEQUATE TO ENSURE COMPLETION OF THE PERMITTED WORK PRIOR TO THE START OF WORK IN DEPARTMENT RIGHT OF WAY CONSISTENT WITH 36 P.S. §670-420 AND 67 PA. CODE §441.6 DAMAGE TO HIGHWAY.	

Michael B. Carroll

 Acting Secretary of Transportation

Michael W. Rebert, P.E.

 District Executive

PAG-02
AUTHORIZATION TO DISCHARGE UNDER THE
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
GENERAL PERMIT FOR DISCHARGES OF
STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES

NPDES PERMIT NO: PAC390159

In compliance with the provisions of the Clean Water Act, 33 U.S.C.A. §§ 1251—1387 and Pennsylvania's Clean Streams Law, as amended, 35 P.S. §§ 691.1—691.1001, the Department of Environmental Protection (DEP) authorizes the permittee named below to discharge stormwater associated with construction activities from an earth disturbance activity that involves earth disturbance greater than or equal to one acre, or an earth disturbance on any portion, part, or during any stage of a larger common plan of development or sale that involves earth disturbance greater than or equal to one acre:

Permittee

Kay Walbert LLC
5930 Hamilton Blvd., Suite 10
Allentown, PA 18106

Project Site

Ridge Farms
South Whitehall Township, Lehigh County

This authorization is subject to DEP's enclosed PAG-02 General Permit (General Permit) which incorporates all effluent limitations, monitoring and reporting requirements, and other terms, conditions, criteria, and special requirements for the discharge of stormwater associated with construction activities to surface waters, including through storm sewers. Authorization to discharge is subject to the implementation of the plans and additional associated information submitted as part of the Notice of Intent (NOI) for general permit coverage.

APPROVAL TO DISCHARGE IN ACCORDANCE WITH THE TERMS AND CONDITIONS HEREIN IS AUTHORIZED BEGINNING ON 1/27/22 AND WILL EXPIRE ON 12/7/24 WHEN CONDUCTED PURSUANT TO THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT. GENERAL PERMIT COVERAGE MAY BE TERMINATED PRIOR TO THE EXPIRATION DATE UPON RECEIPT AND ACKNOWLEDGEMENT OF A NOTICE OF TERMINATION FORM AND APPROVAL BY DEP OR THE AUTHORIZED CONSERVATION DISTRICT. NO CONDITION OF THIS GENERAL PERMIT SHALL RELEASE THE PERMITTEE OR CO-PERMITTEE(S) FROM ANY RESPONSIBILITY OR REQUIREMENT UNDER STATE OR FEDERAL ENVIRONMENTAL STATUTES, REGULATIONS, OR LOCAL ORDINANCES.

Coverage under the PAG-02 General Permit is authorized by:

Holly Kaplan

Holly Kaplan
Assistant District Manager
Lehigh County Conservation District

PROJECT NARRATIVE
Ridge Farm Community
 March 18, 2020
 Last Revised April 20, 2022

OVERVIEW

The Proposed Ridge Farm TND Site is located at the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. The site extends north to Huckleberry Road and includes a parcel on the west side of Cedar Crest Boulevard.

A portion of the Ridge Farms project is outside the TND zoning that we will refer to in this document as the Non-TND Site. The Proposed Ridge Farm Non-TND Site is located north of the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. This part of the site is entirely on the western side of Cedar Crest Boulevard and extends north of the Cedar Crest Boulevard and Huckleberry Road intersection.

The TND project site is composed of six (6) parcels totaling 138.34 acres. The Non-TND project site is composed of seven (7) parcels totaling 62.70 acres. The site exists as a ridge of land extending east west through the property. The top of the ridge has gentle slopes at 5-8 percent. The ridge side slopes are generally 15 to 25 percent. The section of land fronting on Walbert Road has gentle slopes of 3 to 8 percent, where the most intensive development is planned. The current use of the ground is predominantly agricultural.

Kay Walbert LLC is the Applicant (Owner) for the proposed community. The site program includes single family units, twins, apartments, a TND Cluster development and some limited village mixed-use apartments over retail. The proposed site is fronted by four existing roadways, which are as follows: PennDOT S.R. 1019 (North Cedar Crest Boulevard) to the east and west, PennDOT S.R. 1006 (Walbert Avenue) to the south, Township road (Huckleberry Road) to the north and south, and Township road (Yellowstone Road) to the west of North Cedar Crest Boulevard. The proposed TND site area includes six (6) existing parcels owned by Kay Walbert LLC, as shown in Table 1 below.

Table 1: Summary of Existing Parcel Owners and Gross Acreage

Owner	Parcel Number	Gross Acreage
Kay Walbert LLC	548746422139	111.18
Kay Walbert LLC	548767544734	4.72
Kay Walbert LLC	548767273685	1.51
Kay Walbert LLC	548725550358	8.58*
Kay Walbert LLC	548737014729	0.25
Kay Walbert LLC	548757625489	12.10

*Note: For parcel 548725550358 the TND boundary includes 8.58 acres of the overall 31.96-acre tract.

PROJECT NARRATIVE
Ridge Farm Community
 March 18, 2020
 Last Revised April 20, 2022

The proposed Non-TND site area includes seven (7) existing parcels as shown in Table 2 below.

Table 2: Summary of Existing Parcel Owners and Gross Acreage

Owner	Parcel Number	Gross Acreage
Kay Walbert LLC	548727343134	15.98
Fred J. Jandl	548727303984	0.41
Kay Walbert LLC	548726571146	13.67
Jandl Land Company	548726323076	6.69
Jandl Land Company	548726413932	2.26
Lawrence E. & Alice E. Ritter	548726730450	0.31
Kay Walbert LLC	548725550358	23.38*

*Note: For parcel 548725550358 the Non-TND boundary includes 23.38 acres of the overall 31.96-acre tract.

This community will be served by public water and sanitary sewer systems.

The Ridge Farm TND section was planned and designed according to the main tenets of Smart Growth and the guidelines of the TND- Residential Cluster Overlay District. Three features of the Ridge Farm Plan assure positive development and long-term quality for the resident and the Township:

1. Major park areas for common and Active open space, easily accessible from and central to residential neighborhoods.
2. Village retail areas easily walkable from residential neighborhoods.
3. A diversity of housing choices: a variety of small lot Singles, Twin Homes and, Apartments.

The site plan proposes a Traditional Neighborhood Design, featuring tree lines streets with sidewalks linking the residents to village shops, restaurants, and pocket parks, all within easy walking distance.

PROJECT NARRATIVE**Ridge Farm Community**

March 18, 2020

Last Revised April 20, 2022

TND Zoning:

The entire TND community is located on the township's Innovative Overlay District Map and is within the TND-Residential Cluster Overlay District. The underlying zoning for the site area is R-10 on approximately 44 acres of the site fronting on Walbert Ave. with 84-acres zoned R-2 and a section of R-4. Approximately 8.5 ac., zoned R-4, is located on the west corner of Cedar Crest Blvd.

The plan complies with the requirements of the Zoning Ordinance April 1, 2019, the Subdivision and Land Development Ordinance April 1, 2019, and Appendix C -General Manual of Written and Graphic Design Standards.

Ridge Farmland Development Program:

LAND USE	NUMBER OF UNITS / SQ. FT.
TND Market Rate Single Family Homes	68
TND Market Rate Twin Homes	40
TND Age Restricted Single Family Homes	88
TND Age Restricted Twin Homes	82
TND East Apartments	308
TND West Apartments / Condominiums	60
TND Restaurant Village Commercial Area	17,200
TND Medical Office Village Commercial Area	30,000
TND Retail Village Commercial Area	20,000
TND Market Rate Twin Homes (Buchman Street Access)	34
TND Apartments within Commercial Village	100
AREA OVERVIEW	
TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT	
TND Residential Cluster Site Area	138.340 AC.
Total TND Units	780
Commercial Mixed Use Area	12.455 AC.
Open Space	38.183 AC
Active Open Space	13.311 AC
Village Non-Residential Lot Coverage	73.76%

There are 780 Total Units.

- 156 units (20%) Single Family
- 156 units (20%) Twin Homes
- 468 units (60%) Apartment Units

PROJECT NARRATIVE
Ridge Farm Community
 March 18, 2020
 Last Revised April 20, 2022

Development Intensity Option:

The TND-Cluster Residential Zone grants base level zoning to R-4 level, based on some of the land is zoned R-2. Two 2-Density Credits are proposed to obtain R-10 level. The Development option proposed within the TND-Residential Cluster zone is a Residential community with approximately 10% of the total TND land area as Commercial.

Density credit table to achieve R-10 level follow:

TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT DEVELOPMENT INTENSITY CREDIT CALCULATION			
The purpose of this table is to show that with 2 density credits the TND portion of this project can follow the bulk criteria for Zoning district R-10 High Density Residential, an increase from R-4 Medium Density Residential.			
OPEN SPACE:			
For each additional 5% of the gross tract area beyond the minimum percentage of gross tract area required dedicated for open space. One-half Density Credit may be permitted above the Base Density.			
	AREA (SQ. FT.)	AREA (ACRES)	CREDITS
Required Open Space:	1,178,101 SF.	27.045 AC.	19.6%
Provided Open Space:	1,662,932 SF.	38.176 AC.	27.6%
Percentage above Required:			8.0%
0.5 Density Credit for every 5% above Required:			0.5 CREDIT
ALLEY ACCESS:			
For each twenty-five (25) percent of Dwelling units not required to have Alley access that are provided with Alleys. One-half Density Credit may be permitted above the Base Density.			
	ALLEY UNITS	NUMBER OF UNITS	PERCENTAGE
Single Detached and Twins		87	
Apartments		368	
	Total Alley Units	455	58%
	Total TND Units	780	1 CREDITS
PUBLIC BUS SHELTER:			
For each public bus shelter provided within the development in coordination with the local transportation authority. One-half Density Credit may be permitted above the Base Density.			
	TYPE OF SHELTER	NUMBER OF BUS SHELTERS	CREDITS
Public Bus Shelter		1	0.5 CREDIT
TOAL DENSITY CREDITS:			2.0 CREDITS

The Development option table for Residential community with Commercial village as well as the total provided Open Space and Active Open Space follow:

RESIDENTIAL CLUSTER DEVELOPMENT OPTIONS TABLE RESIDENTIAL WITH COMMERCIAL COMPONENT (DEVELOPMENT OPTION #2)		
ITEM	REQUIRED / PERMITTED	PROPOSED
Minimum Tract Size:	50.0 AC.	138.340 AC
Increase in Development Intensity: Increase Development Intensity 1 Level or to R-4, whichever is greater:	Increased to R-4, with added Density Bonuses allows for an increase to R-10	R-10, See TND - Residential Cluster Overlay Development Intensity Table
Minimum % of the Tract to be Open Space: 15% plus 0.5% for every 1% of the gross tract area developed as commercial	19.55%	27.60%
Minimum % of the Tract to be Active Open Space: 5% plus 0.5% for every 1% of the gross tract area developed as commercial	9.55%	9.56%
Maximum % of the Tract to be Gross Area for Commercial Uses:	10%	9.1%

Note: Please refer to the TND - Residential Cluster Overlay Development Intensity Table and the Open Space Calculation tables for further calculations in support of the required and proposed information provided.

PROJECT NARRATIVE

Ridge Farm Community

March 18, 2020

Last Revised April 20, 2022

TND Open Space:

The provided total Open Space is 27.60% or 38.183 acres of site area. The provided Active Open Space area is 13.311 acres or 9.62% of total site area. The Active Open Space is centrally located within the neighborhoods, and greater than 50% of the Active Open is in the form of Greens, Squares or, Plazas. A number of amenities are proposed within the different Active Open Space locations including; walkways, trails, gazebos, pavilions, playground equipment, club house recreation facilities, hardscape plaza areas, seating areas, and bike racks. The majority of the Open Space and Active Open Space provided as part of TND community will be owned and maintained by the Home Owners Association. The Active Open Space areas located in the Commercial Mixed Use portion of the site is offered to South Whitehall Township for dedication.

REQUIRED OPEN SPACE CALCULATIONS TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT (RESIDENTIAL WITH COMMERCIAL COMPONENT)			
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	REQUIRED / PERMITTED PERCENTAGES
TND RESIDENTIAL CLUSTER SITE AREA	6,026,090	138.340	
ACTIVE OPEN SPACE REQUIRED ⁽²⁾	575,492	13.211	9.55%
OPEN SPACE REQUIRED ⁽¹⁾	1,178,101	27.045	19.55%
MAXIMUM OPEN SPACE WITHIN FLOODWAY / WETLANDS / STEEP SLOPES IN EXCESS OF 25%	706,860	16.227	60%

PROVIDED OPEN SPACE CALCULATIONS TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT (RESIDENTIAL WITH COMMERCIAL COMPONENT)			
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	PROVIDED PERCENTAGES
COMMERCIAL MIXED USE AREA ^(1,2)	542,548	12.455	9.1%
OPEN SPACE	1,083,436	24.872	17.98%
ACTIVE OPEN SPACE	579,816	13.311	9.62%
TOTAL OPEN SPACE	1,663,252	38.183	27.60%
OPEN SPACE WITHIN FLOODWAY / WETLANDS / STEEP SLOPES IN EXCESS OF 25% ³	224,804	5.161	13.52%

NOTES:

1. Minimum percentage of Tract to be Open Space 15% plus 0.5% for every 1% of gross tract area developed as commercial.
2. Minimum percentage of Tract to be Active Open Space 5% plus 0.5% for every 1% of gross tract area developed as commercial.
3. All open space areas in this calculation are within steep slopes in excess of 25%. There are no known floodways or wetlands on-site.

OPEN SPACE				
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	AMENITY	OWNER
A	415,832	9.546	Trails	Homeowner's Association
B	95,761	2.198	None	Homeowner's Association
C	147,283	3.381	Trails	Homeowner's Association
D	129,386	2.970	Trails	Homeowner's Association
E	6,167	0.142	None	Homeowner's Association
F	108,697	2.495	None	Homeowner's Association
G	20,627	0.474	None	Homeowner's Association
H	46,218	1.061	None	Homeowner's Association
I	13,982	0.321	None	Homeowner's Association
J	11,000	0.253	Trails	Homeowner's Association
K	5,400	0.124	Trails	Homeowner's Association
L	5,400	0.124	Trails	Homeowner's Association
M	12,903	0.296	Rain Garden	Homeowner's Association
N	18,699	0.429	Trails	Homeowner's Association
O	46,081	1.058	Trails, Benches	Homeowner's Association
Open Space Total	1,083,436 SF.	24.872 Ac.		

NOTES:

1. Open Space areas do not include areas less than 500 SF.
2. Open Space areas include existing street ultimate right-of-way areas along portions of North Cedar Crest Blvd and Walbert Ave.
3. The 50' wide mobility easement connecting the eastern residential area to the commercial area is not included in the open space calculations.

PROJECT NARRATIVE
Ridge Farm Community
 March 18, 2020
 Last Revised April 20, 2022

Active Open Space Table Listing Amenities Provided.

ACTIVE OPEN SPACE				
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	AMENITY	OWNER
ACTIVE O.S. #1 (Green or Square with seating area or Plaza)	157,157	3.608	Clubhouse, Pavilion, Pickle Ball, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #2 (Green or Square with seating area or Plaza)	42,156	0.968	Gazebo, Clubhouse, Play Equipment, Pool, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #3 (Green or Square with seating area or Plaza)	42,962	0.986	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #4 (Green or Square with seating area or Plaza)	74,313	1.706	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #5 (Green or Square with seating area or Plaza)	9,131	0.210	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #6 (Green or Square with seating area or Plaza)	74,178	1.703	Fountain, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #7 (Green or Square with seating area or Plaza)	40,930	0.940	Pavilion, Benches, Bike Rack Trails	Homeowner's Association
ACTIVE O.S. #8 (Green or Square with seating area or Plaza)	50,684	1.164	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association
ACTIVE O.S. #9 (Green or Square with seating area or Plaza)	43,567	1.0 AC.	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association
ACTIVE O.S. #10 (Green or Square with seating area or Plaza)	12,210	0.280	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #11 (Green or Square with seating area or Plaza)	32,528	0.747	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
Active Open Space Total	579,816 SF.	13.311 Ac.		

NOTES:

- Active Open Space areas include existing street ultimate right-of-way areas, up to 10 feet to proposed roadway improvements.
- Active Open Space areas have a maximum grade of 5%.
- All Active Open Space areas, 100%, will be Village Greens or Squares having seating areas and Plazas with the amenities listed above.

Non-TND Open Space Summary:

NON-TND OPEN SPACE					
AREA DESIGNATION	AREA	BASIN AREA	AREA SQUARE FEET	AREA ACRES	OWNER
RR-2 LOT A	267,422 SF.	43,142 SF.	224,280 SF.	5.149 AC.	Homeowner's Association
R-2/R-4 LOT B	140,940 SF.	17,161 SF.	123,779 SF.	2.842 AC.	Homeowner's Association
R-4 LOT C	8,387 SF.	N/A	8,387 SF.	0.193 AC.	Homeowner's Association
OPEN SPACE TOTAL			356,446 SF.	8.183 AC.	

Pedestrian Connectivity:

All areas of the community are pedestrian accessible. The Pedestrian Plan illustrates an interconnected network of sidewalks and trails which connect all areas of the community. The Trails and sidewalks are located within the streetscape, Open Space and Active Open Space. This plan includes a 8' wide pedestrian/ bike trail along both Cedar Crest Blvd. and Walbert Ave. which provide linkage to the broader community.

Residential

This TND community contains three different unit types; single family, twins, and apartments intermingled on the site. There is an age restricted section of the single family and twins. All buildings have the front facade located at the Build-to Line as measured from the 60' wide Ultimate Right Of Way. Street frontage single family and twins units have a 10' Build To Line for the front façade with a 10' recessed garage. The single family detached lot widths vary by 5' for every three consecutive lots. The minimum lot sizes are: 6,000 SF for singles lots and, 4,800 SF for twin lots.

PROJECT NARRATIVE
Ridge Farm Community
 March 18, 2020
 Last Revised April 20, 2022

TND - RESIDENTIAL CLUSTER DEVELOPMENT		
AREA AND BULK REGULATIONS AND DESIGN STANDARDS TABLE		
ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:		
R-10 High Density Residential		
Dwelling Type:	Single Detached / Twin	Single Detached / Twin
Minimum Lot Area per Use:	6,000 SF. / 4,800 SF.	≥ 6,000 SF. / ≥ 4,800 SF.
Minimum Frontage:	50 FT / 40 FT	≥ 50 FT / ≥ 40 FT
Build to Line (TND requirement):	10 FT - 15 FT	10 FT - 15 FT
Minimum Sides to Lot Lines:	8 FT / 10 FT	≥ 8 FT / ≥ 10 FT
Minimum Rear to Lot Lines:	25 FT	≥ 25 FT
Maximum Units per Building:	1 Unit / 2 Units	1 Unit / 2 Units
Minimum Height (TND requirement):	20 FT	≥ 20 FT
Maximum Height of Building Structure:	35 FT	≤ 35 FT
Dwelling Type:	Apartment / Condo Buildings	Apartment / Condo Buildings
Maximum Dwelling units per Gross Acre:	10 UNITS	See Apartment Increase Credit Tables
Build to Line (TND requirement):	10 FT - 15 FT	10 FT - 15 FT
Minimum Sides to Lot Lines:	20 FT	≥ 20 FT
Minimum Rear to Lot Lines:	30 FT	≥ 30 FT
Maximum Units per Building:	16 UNITS	See Apartment Increase Credit Tables
Maximum Height of Building Structure:	35 FT	See Apartment Increase Credit Tables
NON-RESIDENTIAL USES:		
N-C Neighborhood Commercial / TND Residential Cluster		
Use Type:	Mixed Use Building / Retail / Restaurant / Medical Office	Mixed Use Building / Retail / Restaurant / Medical Office
Maximum Individual Use:²	5,000 SF.	≤ 5,000 SF.
Build to Line (TND requirement):	5 FT - 15 FT	5 FT - 15 FT
Minimum Height (TND requirement):	2 Stories or 20 FT	2 Stories or ≥ 20 FT
Maximum Height of Building Structure (TND requirement):	4 Stories or 60 FT (along aerial roads)	4 Stories or ≤ 60 FT (along aerial roads)
Minimum Building Separation on same lot:	20 FT	≥ 20 FT
Max. Non-Res. Building Footprint:		
3 stories or 45 FT in height or less:	6,500 SF.	≤ 6,500 SF.
greater than 3 stories or 45 FT in height:	20,000 SF.	≤ 20,000 SF.
Maximum Lot Coverage (TND requirement):	75%	73.76%
Notes:		
1. TND requirements were taken from South Whitehall Township Zoning Code Section 350-31(f)(2).		
2. Medical Offices will have separate uses, no greater than 5,000 SF for each office.		

Residential Parking Table:

TND RESIDENTIAL PARKING CALCULATIONS				
BUILDING TYPE	DWELLING UNITS	PARKING REQUIREMENT	REQUIRED SPACES	PROPOSED SPACES
Single Detached Dwelling ¹	156	2 Spaces / D.U.	312	312
Twins ¹	156	2 Spaces / D.U.	312	312
On-Street Parking ⁴				234
Apartment Area #1 East	308	2.25 Spaces / D.U. ²	693	712
Apartment Area #2 West	60	2.25 Spaces / D.U. ^{2,3}	135	142
Number of Apartment parking areas	4 Areas	1 Large space for parking areas with 50 or more spaces	4	4

NOTES:

- Each TND single family and twin unit will have a 2 car garage, 2 garage spaces per unit will be provided. Additional on-street parking spaces are provided throughout the market rate and age restricted development areas. These on-street parking spaces are not needed to meet the required parking calculation.
- The required apartment parking is 2 spaces for each dwelling unit and an additional 0.25 spaces per unit for overflow parking.
- Apartment Area #2 West units include 1 assigned driveway space and 1 garage space for each unit. Overflow parking spaces are provided around the perimeter of Active Open Space #12.
- On-Street parking listed does not include parking spaces designated for mail pick up at cluster mailbox locations.

TND CLUBHOUSE PARKING CALCULATIONS				
PROPOSED USE	BUILDING SIZE (SF)	PARKING REQUIREMENT	REQUIRED SPACES	PROPOSED SPACES
Clubhouse A ¹ (1 Story)	5,000	1 Space / 300 SF of Office	46	46
Clubhouse B ¹ (1 Story)	5,000	1 Space / 50 SF of meeting room	46	46

NOTES:

- Each clubhouse will have a 2,000 SF meeting room area and an office area of 600 SF. The remaining area will be lobby / marketing display space.
- Clubhouse parking lots are not counted towards open space.

PROJECT NARRATIVE
Ridge Farm Community
 March 18, 2020
 Last Revised April 20, 2022

Non-TND Zoning Tables:

RR-2 RURAL RESIDENTIAL-2 LOT AVERAGING DEVELOPMENT OPTION		
ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Single Detached Dwelling Unit	Single Detached Dwelling Unit
Minimum Eligible Lot Area:	5 AC.	15.933 AC.
Density: Total Area / 80,000 SF.	694,024 SF. / 80,000 SF. = 8.7	8 Units
Minimum Lot Area:	43,560 SF.	≥ 43,560 SF.
Minimum Frontage:	75 FT	160 FT
Minimum Front Yard:	35 FT	35 FT
Minimum Side Yard:	15 FT	15 FT
Minimum Rear Yard:	50 FT	50 FT
Maximum Building Height:	35 FT	35 FT
Parking Requirement:	2 Spaces / D.U.	16 SPACES
NOTES:		
1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.		

RR RURAL RESIDENTIAL AND AGRICULTURAL		
ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Single Detached Dwelling	Single Detached Dwelling
Tract Area:	N/A	13.666 AC.
Minimum Lot Area Per Use:	1 AC.	≥ 1 AC.
Minimum Frontage:	160 FT	160 FT
Minimum Front Yard:	50 FT	50 FT
Minimum Side Yard:	15 FT	15 FT
Minimum Rear Yard:	50 FT	50 FT
Maximum Building Height:	40 FT	40 FT
Parking Requirement:¹	2 Spaces / D.U.	18 SPACES
NOTES:		
1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.		

R-2 RURAL LOW DENSITY RESIDENTIAL		
ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Single Detached Dwelling	Single Detached Dwelling
Tract Area:	N/A	9.767 AC.
Minimum Lot Area Per Use:	20,000 SF.	≥ 20,000 SF.
Minimum Frontage:	125 FT	125 FT
Minimum Front Yard:	35 FT	35 FT
Minimum Side Yard:	25 FT	25 FT
Minimum Rear Yard:	40 FT	40 FT
Maximum Building Height:	40 FT	40 FT
Parking Requirement:¹	2 Spaces / D.U.	18 SPACES
NOTES:		
1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.		

R-4 MEDIUM DENSITY RESIDENTIAL		
ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Twin	Twin
Tract Area:	N/A	23.19 AC.
Minimum Lot Area Per Use:	8,400 SF.	≥ 8,400 SF.
Minimum Frontage:¹	70 FT / 42 FT along cul-de-sac lot	70 FT / 47 FT along cul-de-sac
Minimum Front Yard:	25 FT	25 FT
Minimum Side Yard:	10 FT	10 FT
Minimum Rear Yard:	30 FT	30 FT
Maximum Building Height:	35 FT	35 FT
Parking Requirement:²	2 Spaces / D.U.	128 SPACES
NOTES:		
1. Zoning Section 350-42-(i)(3)(l) Frontage along cul-de-sac Lots may be satisfied at the standard front building or Use setback line, provided the length of the ROW line equals at least 60% of the required frontage.		
2. Each Twin unit will have a 2 car garage, 2 garage spaces per unit will be provided.		

PROJECT NARRATIVE**Ridge Farm Community**

March 18, 2020

Last Revised April 20, 2022

Community Clubhouse:

Two community recreation buildings are proposed. One club, 5000 sf, for the Single Family and Twin homes, and One club, 5000 sf, for the apartments.

Commercial / Mixed-Use Village:

The Build to Line for the Non-Residential / Mixed Use buildings is 5-15 feet. A maximum of 25% of the linear frontage of an individual building facade, located within the Commercial Area, may be offset from the Build-to Line by 4 to 20 feet in order to provide visual diversity, architectural enhancements, or open space in the form of pedestrian gathering areas or plaza. Buildings Located on corners will be placed along Build-to Lines, unless a Plaza, Green, or Square is located at the same street corner. All parking along adjacent to the Main Street will be provided with a 4' high screen wall placed at the Build To Line.

The Mixed-Use Buildings are 3 to 4 stories, with 46' to 55' building height. Mixed Use buildings will have ground floor retail and restaurants with 2 to 3 stories of apartments above. The medical office building is 3 stories with a building height of 46'. The medical office building will be a focal point building in the village. The medical office building and mixed use building will not have greater than 5,000 sf of a single user. Over 50% of the buildings in the Main Street Environment have second floor usable area for apartments. Single-use retail and restaurant buildings will have a minimum building height of 20 feet.

Commercial / Mixed Use Parking Table:

TND NON-RESIDENTIAL PARKING CALCULATIONS				
Mixed Use / Village Commercial Area:			REQUIRED SPACES	PROPOSED SPACES
Apartments as part of a Mixed Use Building	100	2.25 Spaces / D.U. ¹	225	225
Retail / Restaurant Mixed Use Building #1 (1st Floor)	6,940 SF.	1 Space / 225 SF of GFA ²	28	
Retail / Restaurant Mixed Use Building #2 (1st Floor)	6,940 SF.		28	
Retail Mixed Use Building #3 (1st Floor)	6,660 SF.		27	
Retail Mixed Use Building #4 (1st Floor)	6,660 SF.		27	
Restaurant A (1 Story)	5,000 SF.		20	
Restaurant B (1 Story)	5,000 SF.		20	
Medical Office (3 Stories, 30,000 SF Usable Office Space)	30,000 SF.		134	
Sub Total:	67,200 SF.			299
Total Mixed Use / Village Commercial:			524	524

NOTES:

1. The required apartment parking is 2 spaces for each dwelling unit and an additional 0.25 spaces per unit for overflow parking.
2. The required shopping center parking is 1 space for each 225 square feet of gross floor area.

PROJECT NARRATIVE**Ridge Farm Community**

March 18, 2020

Last Revised April 20, 2022

Commercial / Mixed Use Coverage:

MIXED USE VILLAGE COMMERCIAL AREA IMPERVIOUS CALCULATIONS			
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	PERCENTAGES
COMMERCIAL MIXED USE AREA	542,548	12.455	
MAXIMUM IMPERVIOUS PERMITTED			75.0%
PERVIOUS AREAS:	142,354 SF.	3.268	
TOTAL IMPERVIOUS:	400,194 SF.	9.187	73.76%

TND Street Plan:

The streets and alleys will be owned and maintained by the Homeowners Association.

Residential Streetscape:

The residential local streets will have a 50' wide street right-of-way and 60' wide ultimate right-of-way to define Build To Lines. On street parallel parking is located on one side of the street. The Streetscape is defined by buildings located along the Build-to Line. The typical Residential Streetscape width is 80' wide per appendix "C". A 5' wide sidewalk is located on both sides of the street. A 4.5' to 5.5' grass strip is provided between the sidewalk and the curb for street trees. Visual diversity along the street is obtained by providing a variety of architecture, mixing housing types, and varying the lot width by 5' every three lots. Block intermingling, having two unit types within a block length is proposed for 58% of the residential street.

Alleys:

Single Family and Twin units taking access from alleys will have garages setback a minimum of 4 feet from the alley right-of-way. These alleys have a 18' wide right-of-way and a 16' wide cartway. Apartment alleys are 24' wide with 90 deg. parking and adjacent dedicated carports.

Main Street

The Main Streetscape width is 85-95 feet as defined within Appendix "C". The Main Street will provide on-street 60 degree angled parking and make up 21% of the total parking provided within the Commercial Area. The majority of parking is off street and located in the rear of buildings.

PROJECT NARRATIVE
Ridge Farm Community
 March 18, 2020
 Last Revised April 20, 2022

Apartment Density Credits:

There are two apartment areas. Apartment area #1 is located on the east side of Cedar Crest Blvd. Apartment area #2 is located on the west side of Cedar crest Blvd. The credit requirements for each area to achieve building height, units per acre, and units per building are outlined in the table below.

Apartment Credits for Apartment Area #1:

APARTMENT BUILDING - #1 AREA EAST			
DENSITY INCREASE CREDIT CALCULATION			
The purpose of this table is to show that with the 6 total density credits achieved that the maximum R-10 Apartment building density can increase from 10 dwelling units per acres to 11 dwelling units per acre (1 credit required). And that the maximum R-10 Apartment building height can increase from 35 feet to 55 feet (2 credits required). And that the maximum R-10 Apartment units per building can increase from 16 units to 28 units (3 density credits required).			
ITEM	AREA (SQ. FT.)	AREA (ACRES)	CREDITS
Apartment Area (#1 Area East)	1,254,870 SF.	28.808 AC.	
Apartments Proposed	308 UNITS		
Permitted Density BEFORE credit is applied (10 units per acre)	288 UNITS		
Permitted Density AFTER credit is applied (11 units per acre)	317 UNITS		
OPEN SPACE:			
Required Open Space:	250,974 SF.	5.762 AC.	20.0%
Provided Open Space: ¹	502,557 SF.	11.537 AC.	40.0%
Percentage above Required:			20.0%
0.5 Density Credit for every 5% above Required:			2.0 CREDITS
CARPORTS:			
Apartment Units Proposed:	308 UNITS		
Provided Carport Spaces:	308 CARPORT SPACES		100.0%
0.5 Density Credit for each 25% Carport Spaces Per Unit:			2.0 CREDITS
ASSIGNED GARAGES:			
Apartment Units Proposed:	308 UNITS		
Provided assigned garage spaces:	162 GARAGE SPACES		52.6%
0.5 Density Credit for each 15% of units with assigned garage space:			1.5 CREDITS
CLUB HOUSE:			
Number of Clubhouses Prpposed:	1 CLUBHOUSE		
0.5 Density Credit for 5,000 SF. Clubhouse:			0.5 CREDIT
TOAL DENSITY CREDITS:			6.0 CREDITS
Notes:			
1. The provided open space area listed does not include Open Space Basin #1, Open Space Basin #2 or Open Space Basin #3 areas.			

Apartment Credits for Apartment Area #2:

APARTMENT BUILDING - #2 AREA WEST			
DENSITY INCREASE CREDIT CALCULATION			
The purpose of this table is to show that with the 3 total density credits achieved (only 2 needed) that the maximum R-10 Apartment building height can increase from 35 feet to 45 feet (1 credit required). And that the maximum R-10 Apartment units per building can increase from 16 units to 18 units (1 density credit required).			
ASSIGNED GARAGES:			
Apartment Units Proposed:	60 UNITS		
Provided assigned garage spaces:	60 GARAGE SPACES		100.0%
0.5 Density Credit for each 15% of units with assigned garage space:			3.0 CREDITS
TOAL DENSITY CREDITS:			3.0 CREDITS

PROJECT NARRATIVE

Ridge Farm Community

March 18, 2020

Last Revised April 20, 2022

Walbert Ave and Cedar Crest Blvd. Streetscape Pedestrian / Bike Trail:

The Plan will include pedestrian friendly streetscape improvements along frontage sections of Cedar Crest Boulevard and Walbert Avenue. This will include an 8' wide pedestrian / bike path, street trees, shrub or perennial meadow plantings, and raingardens. Stone identity columns are located at the corner intersection of Walbert Ave. and Cedar Crest Blvd.; and project entrance with identity signage.

Phase 1A Description:

The Proposed Ridge Farm – Phase 1A is located at the northeastern corner of the intersection of Cedar Crest Boulevard and Walbert Avenue in South Whitehall Township. The portion of land included in Phase 1A is located within the TND portion of the project. This phase, which is a total of 9.37 acres, is located on one (1) parcel totaling 111.18 acres. The western most portion of this phase bordering Cedar Crest Boulevard slopes up in the northern direction at approximately 6 percent. The eastern portion of the phase is relatively flat to gently sloping from Walbert Avenue to the northern boundary line of the phase. The current use of the parcel is predominantly agricultural.

Kay Walbert LLC is the Applicant (Owner) for the proposed parcel. Phase 1A includes a three story medical office building with a 15,000 square foot building footprint along with parking and various other improvements. This phase includes the installation of storm sewer facilities including conveyance systems and storm water best management practices. Since the site will be served by public sewer and water this phase includes the installation of the appropriate facilities for this portion of the overall site. There will also be pedestrian and bike paths installed in Phase 1A that will connect with futures phases to help with accessibility for pedestrians to move freely throughout the future community.

Phase 1B Description:

The Proposed Ridge Farm – Phase 1B continues the projects Phase 1 improvements and is located in South Whitehall Township at the northwest corner of Cedar Crest Boulevard and Walbert Avenue. Phase 1B is roughly 13.2 acres and is located on a consolidated 53.17 acre parcel. This phase is located within the R-4 Medium Density Residential (+/- 5.2 acres) and TND (+/- 8.0 acres) zoning districts. The Phase 1B improvements include 5 apartment buildings, 14 twin units, an existing building to remain along with parking, 2 infiltration basins, 3 infiltration trenches, associated conveyance systems and various other improvements.

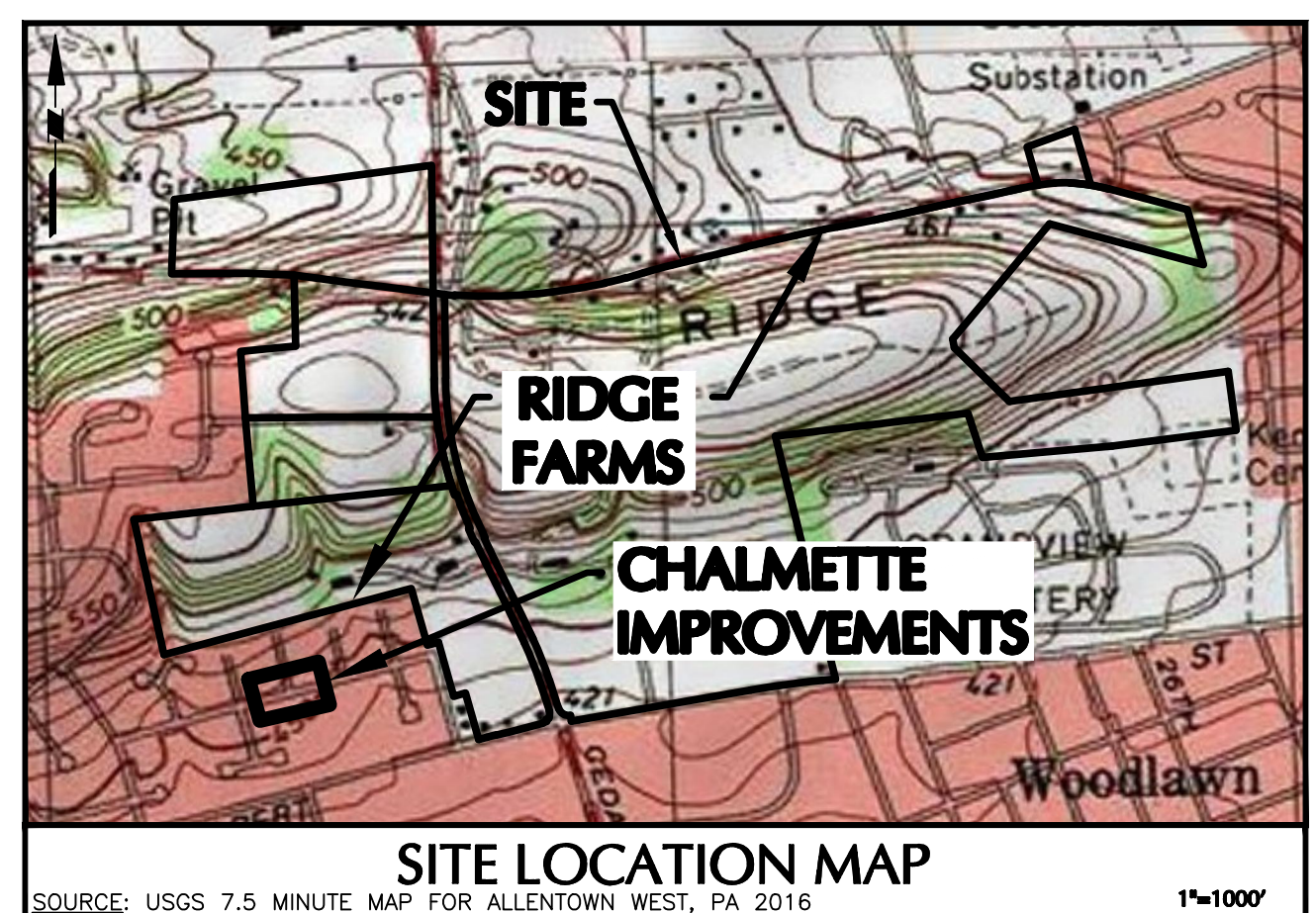
CONSULTANTS

The Planning Consultant is:

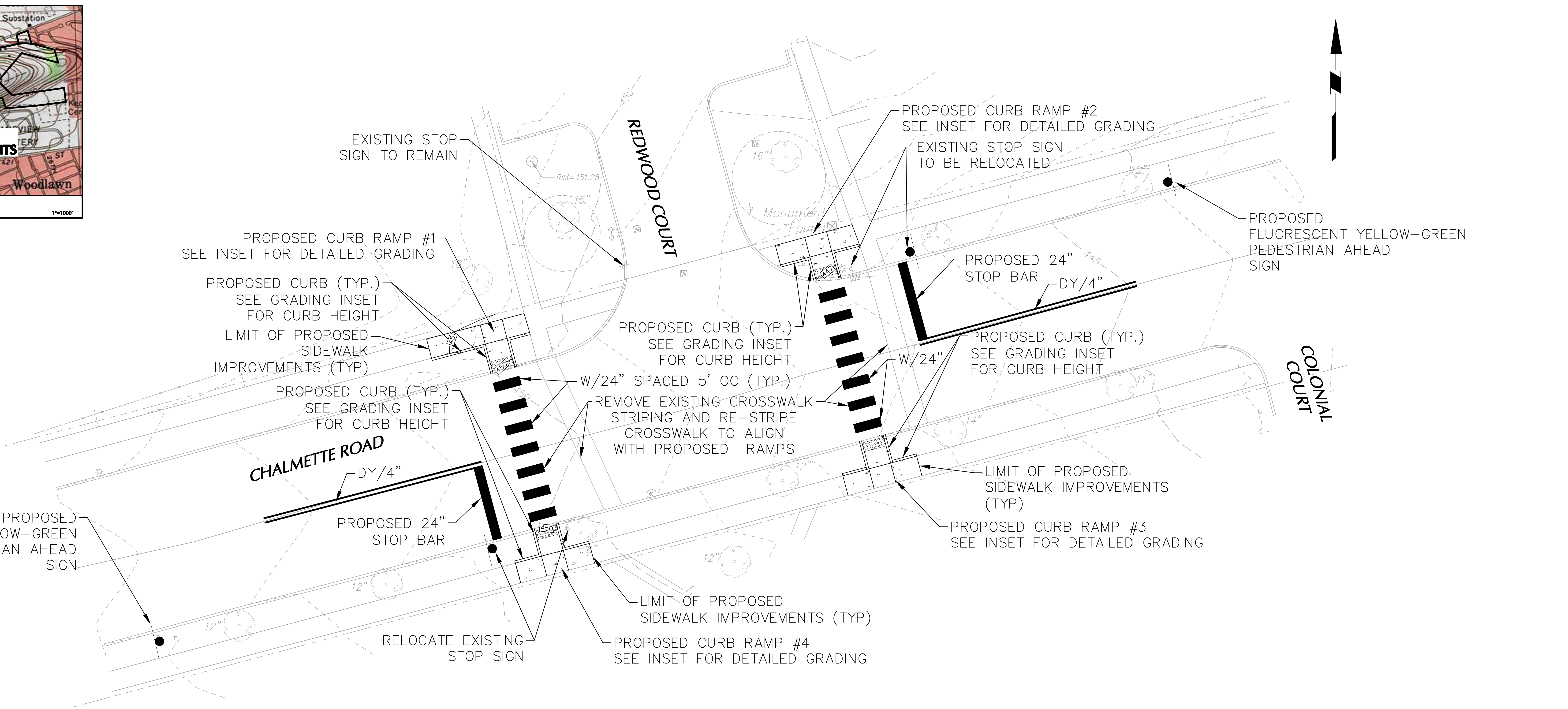
Fred Jackson, PLA
 Jackson Land Planning, LLC
 321 Valley View Rd. King of Prussia, PA 19406
 Phone: 848-919-4810
 Email: jacksonplanning@outlook.com

The Engineering Consultant is:

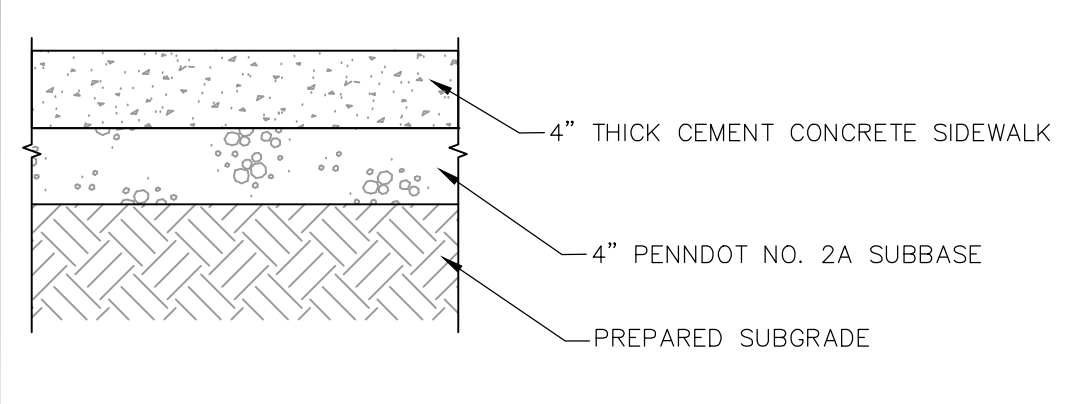
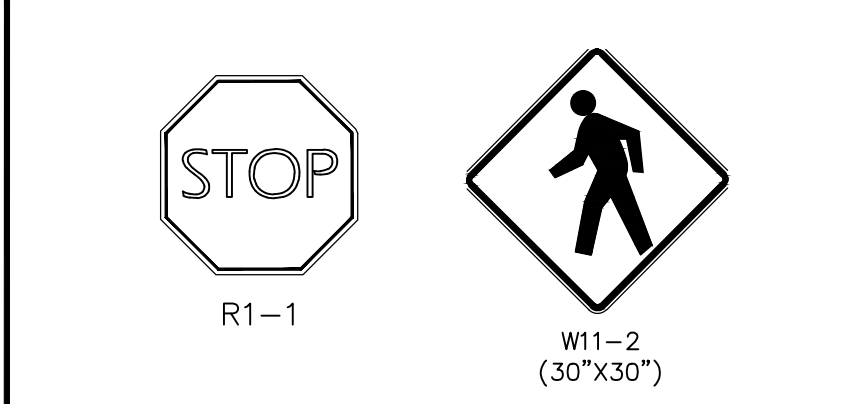
Jason Engelhardt, PE
 Langan Engineering and Environmental Services
 One West Broad Street, Suite 200
 Bethlehem, PA 18018
 Phone: 610-984-8500
 Email: jengelhardt@langan.com



THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ONLY THE LOCATION OF VISIBLE UTILITIES ON OR ABOVE THE SURFACE OF THE EARTH THAT CAN BE REASONABLY LOCATED USING STANDARD SURVEY PROCEDURES SHALL BE CERTIFIED TO. NO CERTIFICATION IS MADE BY LANGAN AS TO THE ACCURACY OR COMPLETENESS OF THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. IT IS IMPERATIVE THAT PRIOR TO ANY CONSTRUCTION IN THE AREA THAT A UTILITY MARK-OUT IS ORDERED. CALL 1-800-242-1776

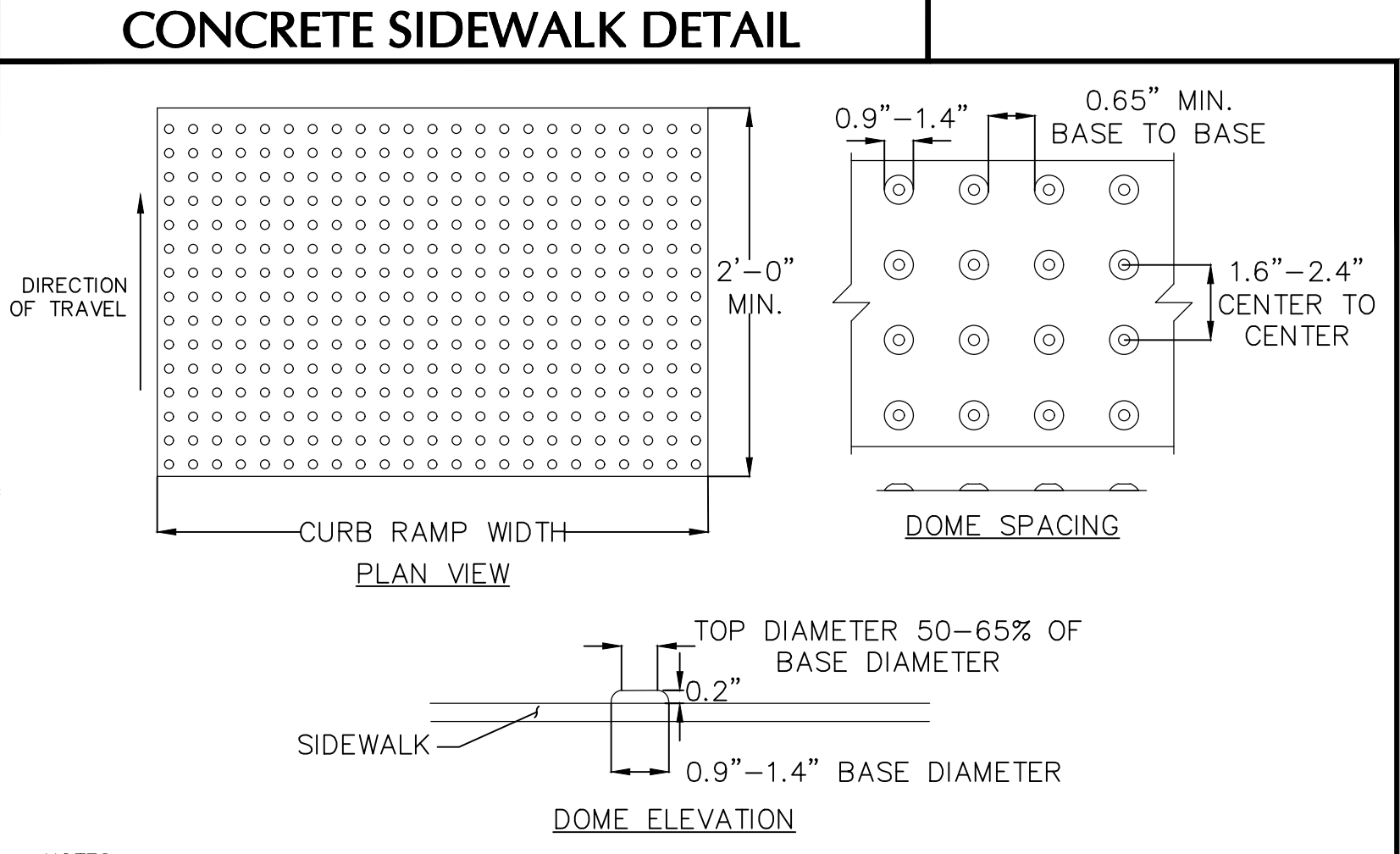


OWNER/APPLICANT
KAY WALBERT LLC.
ATTN: RICK KOZE
5930 HAMILTON BLVD., SUITE 10
ALLENTOWN, PA 18106
610-395-6857

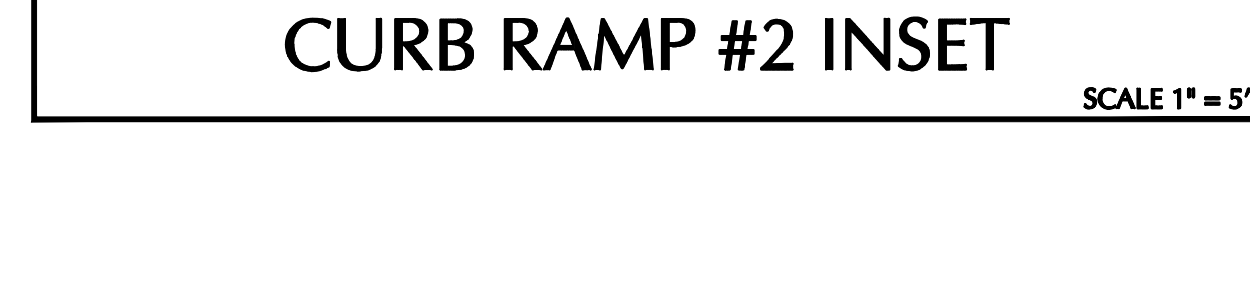
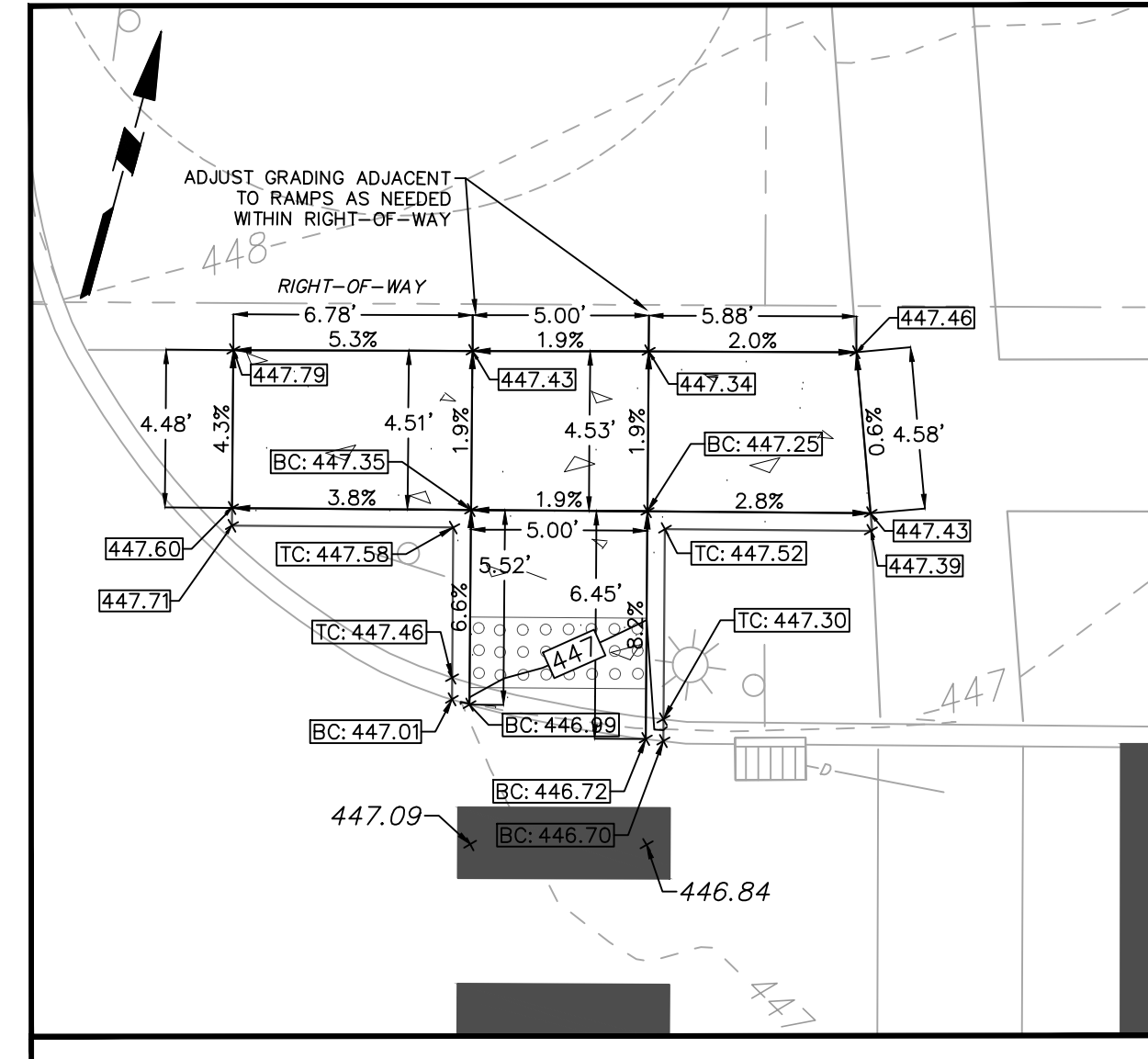
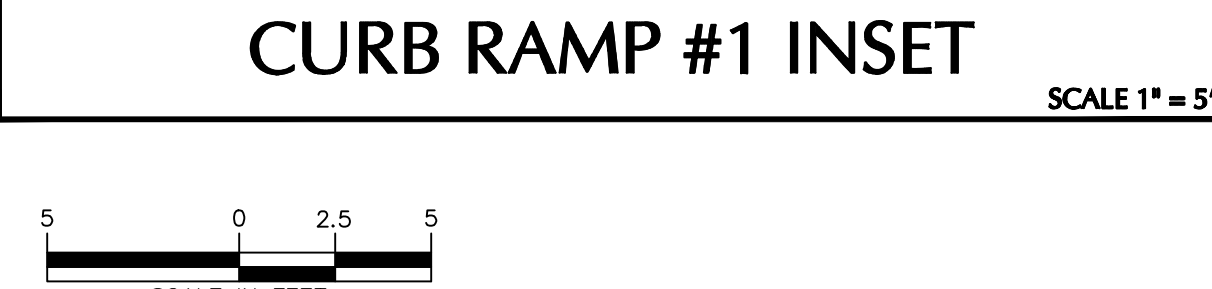
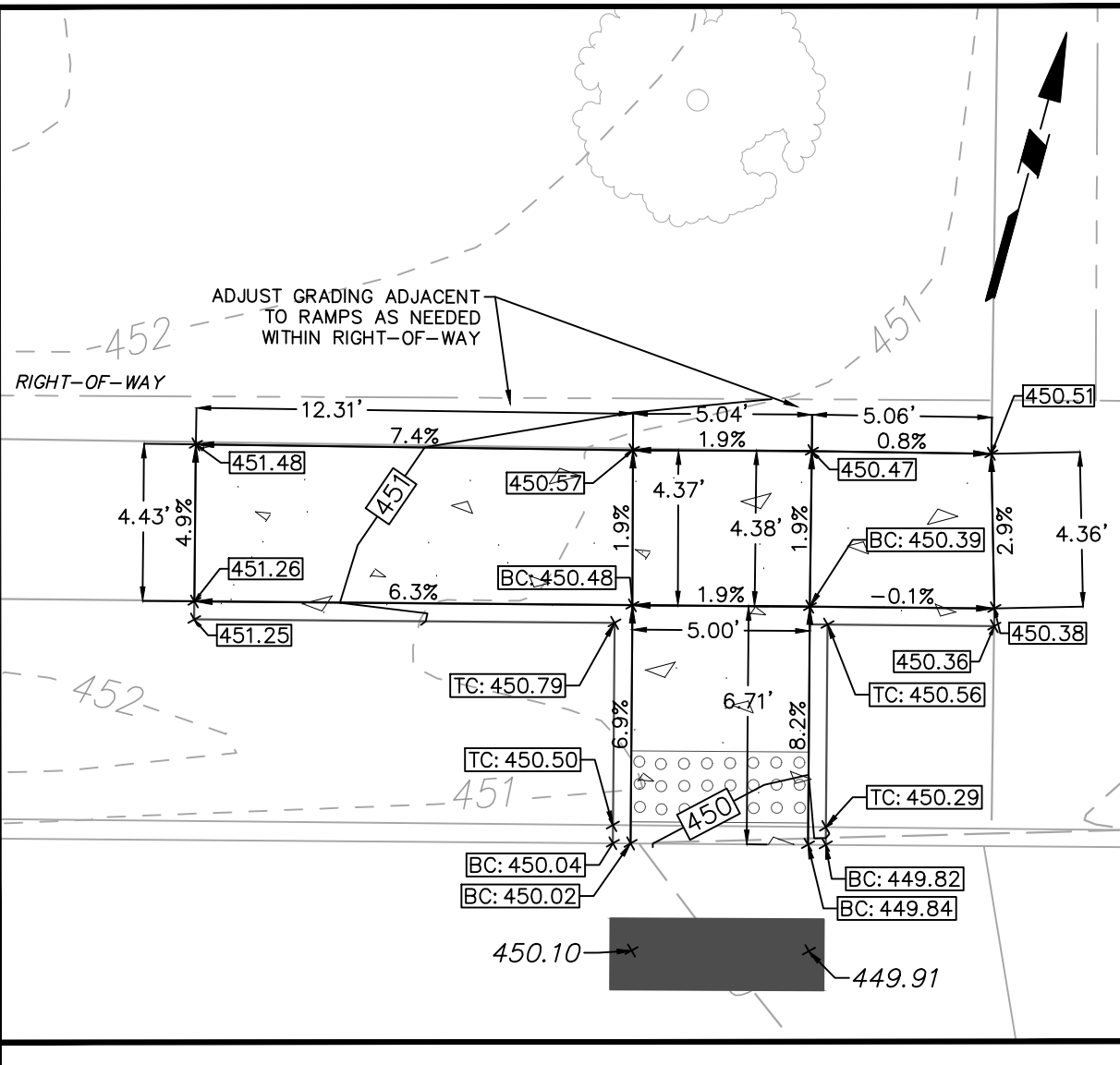


NOTES:
1. PROPOSED SIDEWALK MATERIALS AND CONSTRUCTION SHALL FOLLOW SOUTH WHITEWALL TOWNSHIP CONSTRUCTION SPECIFICATIONS.
2. EXPANSION JOINT SPACING MAX. 30'-0" USING 2" BITUMINOUS REMOLDED EXPANSION JOINT FILLER.
3. TOOLED JOINT SPACING MAX. 5'-0".

NOTES:
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. ALL POSTS SHALL BE EMBEDDED 4'-2" MINIMUM BELOW GRADE.
3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123-78 (OR LATEST REVISED).
4. POSTS MAY BE STEEL, ALUMINUM, OR TWO-PIECE U-POST.
5. SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
7. ALL TRAFFIC AND PEDESTRIAN SIGNAGE AND LOCATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ALL CURRENT AMENDMENTS.
8. ALL SIGNS SHALL BE HI-INTENSITY.



NOTES:
1. DETECTABLE WARNINGS SHALL BE CONSTRUCTED PER MANUFACTURER'S SPECIFICATIONS.
2. DETECTABLE WARNINGS SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
3. DETECTABLE WARNING AREA CAN BE SQUARE WHERE USED IN A CURB RADIUS.
4. DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID PARALLEL ALIGNMENT IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO TRAVEL BETWEEN DOMES.
5. DETECTABLE WARNING DOMES SHALL BE PLACED 50 THE EDGE NEAREST THE CURB IS 6 INCHES TO 8 INCHES FROM CURB LINE.
6. DETECTABLE WARNING SURFACES AT PLATFORM EDGES SHALL BE 24 INCHES WIDE AND SHALL EXTEND THE FULL LENGTH OF THE PUBLIC USE AREA OF THE PLATFORM.
7. MAT EDGES SHALL BE BEVELLED TO ELIMINATE TRIP HAZARD.
8. DETECTABLE WARNING COLOR SHALL CONTRAST WITH ADJOINING SURFACES PER CURRENT ADA REGULATIONS. CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR APPROVAL.
9. CONTRACTOR SHALL OBTAIN LOCAL AUTHORITY, OWNER'S ENGINEER, AND OWNER'S APPROVAL FOR COLOR AND MANUFACTURER PRIOR TO INSTALLATION.



NOTE:
ALL STOP BARS, CROSSWALKS AND PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.

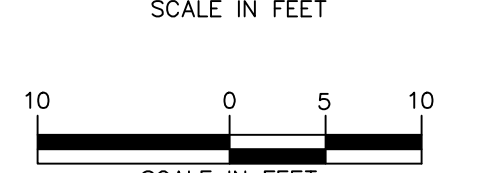


Table with 3 columns: Date, Description, No. Includes revision 1: 3-16-23 REVISED PER TOWNSHIP COMMENTS.

SIGNATURE: JEFFREY HARDY DATE SIGNED: PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E



Project: RIDGE FARMS
FINAL PLANS
548725550358 1
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY PENNSYLVANIA

Drawing Title: CHALMETTE ROAD TRAFFIC CALMING IMPROVEMENTS
Project No.: 240043301
Date: 1/19/23
Scale: 1"=10'
Drawing No.: CS-103
Drawn By: JDM Checked By: JE
Submission Date: