

Wednesday, November 2, 2022
Board of Commissioners

Public Meeting Room, 7:00 p.m.
South Whitehall Township Building
4444 Walbert Avenue
Allentown, PA 18104

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ANNOUNCEMENTS

- A. All public sessions of the South Whitehall Township Board of Commissioners are electronically recorded, filed, and posted to the website for Public access.
- B. Public/Virtual Meeting Rules
- C. Board of Commissioners Met in Executive Session on the following date(s) to discuss Legal and/or Personnel Matters: November 2nd, before start of this evening's meeting.

4. COURTESY OF THE FLOOR - Public Comment on Non-Agenda Items

5. MINUTES

- A. October 19, 2022 - Board of Commissioners Meeting Minutes

6. PRESENTATIONS

- A. Distinguished Service Award - Presented to Commissioner Michael Wolk
- B. Gregg Kurtz, BCO w/Barry Isett & Associates - Review of Proposed Fee Increases for 2023
- C. First Reading of the Proposed 2023 Budget - Tricia Dickert, Director of Finance (Once reading is completed, proceed to Motions, Agenda Item 9-A.)
- D. The Pidcock Company - Pedestrian Bridge

7. ORDINANCES

- A. Motion to Adopt said Ordinance - An Ordinance Of The Township Of South Whitehall, County Of Lehigh, And Commonwealth Of Pennsylvania, Amending The Amount Of The Compensation Payable To The Board Of Commissioners As Referred To In Part I ("Administrative Legislation"), Chapter 50 ("Officers And Employees"), Article III ("Commissioners") Of The Codified Ordinances Of South Whitehall Township, And Providing For A Repealer Clause, Severability Clause And Effective Date

8. RESOLUTIONS

- A. A Resolution Amending Resolution No. 2022-01 and Resolution No. 2022-69 Designating Depositories for Township Funds (Once Resolution is Approved, proceed to Motions, Agenda Item 9-B.)
- B. A Resolution Of The Board Of Commissioners Of South Whitehall Township To Commit A Portion Of The Sewer Fund Balance Towards Future Anticipated Capital Costs Associated With The Kline's Island Wastewater Treatment Plant That Is Owned And Maintained By The Lehigh County Authority
- C. Resolution Regarding PennDOT Land Acquisition for 4298 Windsor Drive

D. A Resolution Extending Conditional Offer Of Employment To The Entry-Level Position Of Patrol Officer In The Township's Police Department To Candidate #81457, Conditioned Upon The Individual Satisfactorily Completing Medical And Psychological Examinations To Confirm Their Fitness For Duty

9. MOTIONS

- A. Motion to Proceed with Advertisement of Availability of Public Inspection Copy of Proposed 2023 SWT Budget
- B. Motion to Authorize the Township Manager, Director of Finance and Fund Balance Specialist to open a Public Funds Elite Liquid Money Market Account with Uninvest Bank and Trust Co. for the Fiscal Stability Fund.
- C. Motion to Formally Accept Resignation of Commissioner Michael Wolk
- D. Motion to Proceed with Advertisement/Interview Schedule to Appoint Commissioner Wolk's Successor
- E. Motion to Approve Codification Update - Execution of Proposal with General Code to Update the Code of the Township of South Whitehall
- F. Motion to Approve One-Year Extension of Sewer Main Repairs Contract with Utility Services Group
- G. Motion to Approve Street Moratorium Exemption Request by Applicant: Aqua Pennsylvania, Inc. - 831 Americus Avenue to Country Club Drive Intersection
- H. Motion to Approve Budget Transfers within the 2022 Fire Budget

10. CORRESPONDENCE AND INFORMATION ITEMS

- A. Upcoming Meetings

11. OLD BUSINESS

- A. Wehrs Dam - Explanation by Herb Bender, Director of Twp. Operations
- B. Comprehensive Plan Update - Explanation by Dave Manhardt, Director, Community Development Department

12. DIRECTION/DISCUSSION ITEMS

- A. 2023 Board of Commissioners' Meeting Schedule
- B. Single Axle Freightliner Truck - Final Cost

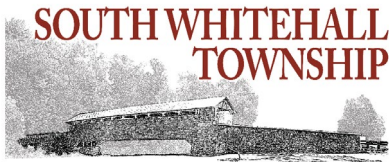
13. COURTESY OF THE FLOOR - Public Comment on Non-Agenda Items

14. MOTION TO AUTHORIZE PAYMENT OF INVOICES & DISBURSEMENTS

- A. Invoices and Disbursements

15. EXECUTIVE SESSION

16. ADJOURNMENT



BOARD OF COMMISSIONERS

PUBLIC MEETING

AGENDA-MINUTES

October 19, 2022

1. CALL TO ORDER: 7:00 p.m.

Attendees:

Commissioner Diane Kelly, President
 Commissioner David M. Kennedy, Vice President
 Commissioner Monica Hodges, Assist. Twp. Secretary
 Commissioner Michael Wolk
 Commissioner Brad Osborne
 Joseph Zator, Solicitor, Zator Law
 Anthony Tallarida, Twp. Engineer, The Pidcock Co.

Tom Petrucci, Township Manager
 Herb Bender, Dir. of Twp. Operations
 Mike Elias, PW Utility & MS4 Coordinator
 Mike Kukitz, Parks & Rec Manager
 Tricia Dickert, Assist. Director of Finance
 Steve Brown, Lieutenant, PD
 Dave Manhardt, Director, Community Development Dept.
 Chris Stroehler, Long-Range Planner, CD Dept. *
 Gregg Adams, Planner, Community Development Dept.
 Chris Kiskeravage, Twp. Fire Commissioner *
 John Frantz, Fire Marshal, Building Code Official
 Tom Harper, Code Enforcement Program Manager
 Rob Fehnel, IT Projects Manager *
 Tracy Fehnel, Exec. Assistant
 Absent* Attended Virtually **

2. PLEDGE OF ALLEGIANCE

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- b. **Public/Virtual Meeting Rules**
- c. **Board of Commissioners Met in Executive Session on the following date(s) to discuss Legal and/or Personnel Matters: October 19, 2022, before start of this evening’s meeting.**

4. COURTESY OF THE FLOOR: Public Comment on Non-Agenda Items – None.

5. MINUTES:

a. October 5, 2022 – Board of Commissioners Minutes

A MOTION was made by Commissioner Wolk, which was seconded by Commissioner Kennedy, to approve the October 5, 2022, BOC Minutes as presented. All in favor; none opposed. Vote was 5:0. Motion carried.

6. PRESENTATIONS:

a. Keycodes Inspection Agency, David Shields, President - Review of Proposed Fee Increases

Dave Manhardt, Director, Community Development Department explained that this is normally done at the Re-Organization Meeting at the beginning of the year, where we discuss fee increases; however, we thought it prudent to get a head start on this so that

Keycodes/Dave Shields will present this evening and at the next meeting Barry Isett Assoc., who is our third-party residential will present.

Dave was here this evening to present on the third-party fee increases this evening and basically said that 90% of the fee schedule has not changed since 2016. With the current conditions, and trying to maintain everyone who is working for him, so that we can provide the services we need to provide, he thought it necessary to increase the fees. The fees are being set to cover the costs. He explained when he created the company, he modeled it after what the Department of Labor and Industry did and the International Code Council. He gave an example of his rates vs. theirs and he was considerably lower than them now. He said that if you compare his fees vs. others in the area, they are very competitive and actually less than others. He is asking for an approximate 20% increase to fees. Most of the increase will go to employee salaries in order to keep current employees. This becomes effective January 1, 2023.

7. **ORDINANCES:**

- a. **For Discussion/Motion to Advertise said Ordinance - An Ordinance Reenacting, Amending, And Restating Chapter 144 Article III (Fire Code) Of The Codified Ordinances Of South Whitehall Township In Its Entirety And Adopting The 2018 Edition Of The International Fire Code With Local Amendments; Providing That State Law Controls Where Requirements Are In Excess Of This Ordinance; And Providing For A Repealer, Continuation And Saving Clause, Severability Clause And Effective Date**

John Frantz, BCO/Fire Marshal explained that this ordinance is to adopt the 2018 International Fire Code, and we are here asking permission to proceed with the adoption of said ordinance. Basically two changes have been made. Legal review completed by Attorney Alderfer. Included is the specific repealer of the former open burning regulations that have been in effect in the Township. Also Township Manager Tom Petrucci's comments regarding recycling/garbage were included. Open burning changes are part of this ordinance. This ordinance adds clarifications and some restrictions; however, Mr. Frantz feels comfortable that it can be enforced. Ultimately, if we need to revisit this at a later point in time, we can do so. Mr. Frantz said he will keep the Board apprised of any issues, which may come up as a result of the adoption of said ordinance.

A MOTION was made by Commissioner Hodges, which was seconded by Commissioner Kennedy, granting permission to proceed with advertisement of said ordinance. All in favor; none opposed. Vote 5:0. Motion carried.

- b. **Motion to Adopt said Ordinance - An Ordinance Reenacting, Amending And Restating Chapter 92 Of The Codified Ordinances Of South Whitehall Township In Its Entirety, Providing That The Ordinance Shall Be Known As The South Whitehall Township Police And Fire Emergency Alarm Ordinance And Further Providing For Name; Purpose And Intent; Definitions; Alarm System Installation Requirements;**

Alarm System Operation Requirements; Alarm System Technical Information; Alarm System Repair Service; Alarm System Disconnecting; Verified Response; Registration Fees; False Or Nuisance Alarm Determination; Service Fees; Appeals; Payments; Fines And Penalties; Remedies For Violations; Police/Fire Department Duty; Immunities Preserved; Severability; Failure To Enforce Not A Waiver; Repealer And An Effective Date.

Tom Harper, Code Enforcement Program Manager, explained that Staff is here this evening seeking adoption of said SWT Police and Fire Emergency Alarm Ordinance. This ordinance will replace current Alarm ordinance of 2010.

Highlights are as follows:

- It provides for the reduction of free occurrences from 6 to 2/year.
- Invoice billing will be conducted on a quarterly basis instead of biannually.
- The involved party must submit a plan to Township as to how they are going to eliminate future false or nuisance alarms.
- It allows for the Board of Commissioners to establish the fees annually as part of the fee schedule resolution process.
- Addresses the outdated language and terminology
- Addresses alarm verified response.

A MOTION was made by Commissioner Wolk, which was seconded by Commissioner Kelly, to adopt said ordinance. All in favor; none opposed. Vote 5:0. Motion carried.

- c. Direction/Discussion of said Ordinance - An Ordinance Amending The South Whitehall Township Zoning Ordinance By Deleting Section 350-48(n)(2) No-Impact Home-Based Business, Creating New Sections 350-48(h)(5) Home-Based Business, No-Impact And 350-48(h)(4) Home-Based Business, Low-Impact, Renumbering Existing Section 350-48(n)(3) Nursing Home To Section 350-48(n)(2), Renumbering Existing Sections 350-48(h)(4) Through (h)(6) To 350-48(h)(6) Through (h)(8) To Accommodate The New Sections 350-48(h)(4) And (h)(5), Correct All Impacted Links Within The Zoning Ordinance; And, Providing For A Severability Clause, Retention Of Rights To Enforce Clause, A Repealer Clause, And An Effective Date.**

Dave Manhardt, Director, Community Development Department, explained that we are revisiting this because at a previous meeting someone came before the Board asking about the low-impact home-based business. This item is for Direction/Discussion, no vote, this evening. It came before the board last year. Changes have been made and being brought back for consideration—these changes will get us more in line/consistent with the MPC. The MPC is more restrictive. Gregg Adams, CD Planner, reviewed changes made. If a resident moves in who is not happy with a low-impact home based business, then we would go through the ZHB decision to ensure business is consistent with decision—having this decision gives Staff/Township a very clear answer to provide to residents who may be complaining.

Solicitor Zator explained, because low-impact home-based businesses are mandatory under the MPC, it is permissible for the Township in its ordinances to be more generous to property

owners, you just cannot be more restrictive with regard to low-impact home-based businesses. Many municipalities, if not most, have low-impact based businesses, which is a fall-back if you qualify for the no-impact.

Low-impact home-based businesses must maintain a residential appearance. Low impact is subject to the BP Tax.

Solicitor Zator has some suggestions to discuss with Staff with regard to said ordinance before moving forward with advertising; therefore, we will not proceed with advertising at this time. (44:24)

8. **RESOLUTIONS:**

a. **A Resolution Granting A Waiver Of Certain Review And Approval Requirements Of The South Whitehall Township Subdivision And Land Development Ordinance For A Plan Entitled “Lehigh Valley Health Network Ch 1503 Neuro Rehab Patio”**

Gregg Adams, CD Planner, explained this is an application to further develop the property at 1503 N. Cedar Crest Blvd. The Plan proposes to construct a Neuro Rehabilitation Patio in the grassy area on the southwest corner of the 1503 Building, as well as offset the additional impervious surface by creating five additional islands within the existing parking lot. The property is zoned General Commercial-1 (Special Height Limitation). Lehigh Valley Health Network is the owner and applicant.

Chris Brown, Architect, was in attendance to present on behalf of the Applicant this evening. This was previously the Coordinated Health building. LV Hospital is currently developing the interior to be a community reintegration neuro-laboratory. Indoors & outdoors, it is designed to rehabilitate from traumatic brain and spinal injuries or surgeries—like a general rehabilitation center, but with a focus on neuro-related rehabilitation. Plans are underway for interior portion. Mr. Brown said they are constructing the outdoor piece. Building is around 75,000 SQF and sits on a 4 acre site. His portion of the outdoor project is about 2300 SQF. Trying to create a series of outdoor environments folks would typically encounter on a regular basis. This will be designed in a way to give the therapists a variety of interactions with their patients and get them prepared to go back home and back to their real-life activities. Mr. Brown explained he was asking for the waiver because although it is a small relatively minor project, it has the components to trigger land-development review. The guidance from SWT Staff was to seek a waiver from the Land Development Process, but essentially going through the design and review process, doing it on a staff basis. Gregg said what this does is remove the actual waiver from the sections that require PC review. He still gets full staff review, and has to still comply with every other section of SALDO. But, in essence, cuts down the process because he would have gone to PC and then come back to BOC, so this saves at least a month of time and money. Still a full review—just a little time and money saved.

A MOTION was made by Commissioner Kelly, which was seconded by Commissioner Wolk, to approve Resolution Granting Waiver as explained above by Mr. Brown and Mr. Adams. All in favor; none opposed. Vote 5:0. Motion carried.

b. A Resolution Granting Conditional Preliminary/Final Approval To A Major Plan Entitled "1670 Church Road Padda Property LLC"

Gregg Adams, CD Planner, explained this is an application to further develop the property located at 1670 Church Road. The plan proposes to renovate the existing commercial building, construct a 23-space parking lot, and stormwater management facility on the 3.4912-acres parcel. The property is zoned Industrial Commercial-1 Special Height Limitation IC-1. Padda Property LLC is the owner and applicant.

Kevin Markel, w/Barry Isett & Assoc., was in attendance on behalf of the Applicant this evening. This location previously existed as a vehicle service garage/gas station. Applicant is proposing to renovate it and reopen it as a truck garage, truck vehicle repair facility. No gas dispensing is proposed. Also proposing to construct additional impervious for parking for the vehicles to be repaired, and employee parking. Will be doing full storm water management to comply with State, county, and local regulations. Proposing to construct roadway improvements to Church Road, as well as dedicate ROW required for local road. In addition, reserve future ROW for the Township down near railroad tracks for potential roadway improvements. Storage area for vehicles will be fenced. Worked through all the outside agency approvals as well. Not proposing any traffic circulation modifications to the plan. Acceptance of Conditions has been signed by Applicant.

A MOTION was made by Commissioner Kennedy, which was seconded by Commissioner Kelly, granting preliminary/final approval to plan entitled "1670 Church Road Padda Property LLC". All in favor; none opposed. Vote 5:0. Motion carried.

c. A Resolution Approving Sewer Planning Module - 1670 Church Road

Mike Elias, PW Utility & MS4 Coordinator, explained that the owners have requested a resolution approving 1 EDU of allocation, 220 GPD of sewer allocation.

A MOTION was made by Commissioner Osborne, which was seconded by Commissioner Kelly, to approve said resolution as explained by Mr. Elias. All in favor; none opposed. Vote 5:0. Motion carried.

d. See Motion 9-A First, followed by 8-D: A Resolution Extending Conditional Offer Of Employment To The Entry-Level Position Of Patrol Officer In The Township's Police Department To Candidates #68737 and #81373, Conditioned Upon The Individual Satisfactorily Completing Medical And Psychological Examinations To Confirm Their Fitness For Duty

A MOTION was made by Commissioner Osborne, which was seconded by Commissioners Hodges and Wolk, to approve said resolution extending conditional offer of employment to candidates #68737 and #81373. All in favor, none opposed. Vote 5:0. Motion carried.

e. A Resolution Appointing ___ to the South Whitehall Township Landscape and Shade Tree Commission (2 Vacancies)

President Kelly thanked all the candidates for their interest in serving in these roles and taking the time to be interviewed.

President Kelly said there are currently two vacancies on the LSTC. We have one applicant who expressed interest in this board. One position will be filled this evening, the other kept open.

Commissioner Hodges made a MOTION to nominated James Gilleo for LSTC. The motion was seconded by Commissioner Kelly. All in favor; none opposed. Vote 5:0. Motion carried.

f. A Resolution Appointing ___ as an Alternate Member to the South Whitehall Township Civil Service Commission (2 Vacancies)

Commissioner Kelly made a MOTION to nominate Shoukat Mughal, as an Alternate member of the SWT CSC. The motion was seconded by Commissioner Kennedy. All in favor; none opposed. Vote 5:0. All in favor; none opposed.

g. A Resolution Appointing ___ to the South Whitehall Township Parks & Recreation Board (1 Vacancy)

A MOTION was made by Commissioner Kennedy, which was seconded by Commissioner Hodges, to nominate Jacob Roth to the SWT P&RB. All in favor; none opposed. Vote 5:0. Motion carried.

h. A Resolution Appointing ___ to the South Whitehall Township Green Advisory Council (3 Vacancies)

President Kelly said three positions are available. Since others are interested, two will be filled, with 1 vacancy remaining.

A MOTION was made by Commissioner Hodges, which was seconded by Commissioner Kelly, to nominate Sara Seipel to the GAC. All in favor; none opposed. Vote 5:0. Motion carried.

A MOTION was made by Commissioner Hodges, which was seconded by Commissioner Kelly, to nominate Todd Fahringer to the GAC. All in favor; none opposed. Vote 5:0. Motion carried.

i. A Resolution of the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, Appointing Diana Valkova as the Deputy Treasurer for the Township Pursuant to Article VIII-A, Section 801-A(c) of the First Class Township Code

Township Manager Tom Petrucci explained that the First Class Township Code requires a deputy treasurer within 60 days after the appointment of the treasurer. Herb Bender is serving as the Treasurer and we need to complete the requirement for the deputy treasurer. Diana Valkova is a member of Finance and it is appropriate to utilize her in that role.

A MOTION was made by Commissioner Kennedy, which was seconded by Commissioner Kelly, to approve said appointment of Diana Valkova as Deputy Treasurer. All in favor; none opposed. Vote 5:0. Motion carried.

j. A Resolution of the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, Authorizing the Transfer of 10,000 Gallons Per Day of Its Wastewater Treatment Capacity Allocation to the Lehigh County Authority

Herb Bender, Director of Township Operations explained that PW is requesting the transfer of 10,000 gallons of sewer allocation to LCA. This is to cover the flows we are rerouting to UMT sewer system. The peak flows for that sewer line are 10,000 GPD that ends up in Little Lehigh Relief Interceptor. This goes along with the rerouting of the sewer line off the Tilghman Street Bridge. The reason for transferring 10,000 gallons of allocation to LCA is that is the amount of our peak flow a day that will end up in LCA's trunk line, which will take it to the treatment plant.

A MOTION was made by Commissioner Kennedy, which was seconded by Commissioner Kelly, to approve said resolution authorizing said transfer as explained by Mr. Bender. All in favor; none opposed. Vote 5:0. Motion carried.

9. MOTIONS:

a. Motion to Proceed with Adoption of the Entire Civil Service Eligibility List for Patrol Officer in the SWT Police Department. See Agenda Item 8-D once List has been approved.

Lieutenant Steve Brown explained that testing process for entry level patrol officer began October 1st. Following that, interviews were done. A list was then compiled and is front of the Board. It was approved by the CSC earlier today. We are here this evening, requesting BOC approval of said list.

A MOTION was made by Commissioner Kelly, which was seconded by Commissioner Wolk, to proceed with adoption of said list. All in favor; none opposed. Vote 5:0. Motion Carried.

b. Motion to Reject all Proposals Submitted with Regard to Request for Proposals and Qualifications (RFP) for Professional Human Resource Consulting Services Due to Lack of Responsive Proposals and Budgetary Constraints

Township Manager Tom Petrucci explained that South Whitehall Township placed the above-referenced RFP on the PennBid system to receive proposals with a submission deadline of Monday, October 10, 2022, at 4:00P. The PennBid system distributed the notice of availability of the RFP to over one-thousand (1,000) possible firms.

There were three (3) respondents (Certified HR Experts, Integrity Personnel, and Higher International Human Resources. Of the respondents, Purchasing Agent & Expense Account Specialist Donna Zackeru considered both Certified HR Experts and Higher International Human Resources to be non-responsive proposals due to administrative procedural issues

(ex. lack of signed documents, failure to follow correct format, and/or failure to follow RFP instructions).

Upon review of the cost of the proposal submitted by Integrity Personnel (Monthly: \$7,900.00; Annual: \$94,800.00 plus \$85.00 per hour for all additional services) and factoring in the status of the ongoing interviews for the Human Resources Generalist position, it is recommended that the Board of Commissioners reject all proposals for the above-referenced RFP.

A MOTION was made by Commissioner Wolk, which was seconded by Commissioner Osborne, to reject all proposals that were submitted in reference to the South Whitehall Township, Lehigh County, PA Request For Proposals and Qualifications (RFP) for Professional Human Resource Consulting Services due to the lack of responsive proposals and budgetary constraints. All in favor; none opposed. Vote 5:0. Motion carried.

c. Motion to Proceed with Advertising of Request for Proposal Regarding the Towing Operator Services Contract

Lieutenant Steve Brown explained that current towing contract will expire in September, and there are no more extensions. Tow companies are used within the Township for towing and storage services for vehicles with five tons of gross vehicle weight or less which become disabled/damaged in accidents or impounded. The tow companies act as an independent contractor for the Township and bill the vehicle owner directly, with no expense to the Township, unless a Township vehicle is being towed.

SWT PD is requesting permission to formally request proposals, publicly via RFP for towing services.

A MOTION was made by Commissioner Kennedy, which was seconded by Commissioner Kelly, granting permission to proceed with advertising of RFP regarding towing operator services contract. All in favor; none opposed. Vote 5:0. Motion carried.

d. Motion to Approve a One-Year Extension to Jordan Creek Greenway - Segments 35-45 Design BRC-TAC-25-173 (DCNR C2P2 Grant), which expires 12.31.2022

Township Manager Tom Petrucci explained that Township Staff currently working with Michael Baker to complete design work needed for the JCG Trail, which was funded by a TASA Grant for construction phase. This entire project includes the development of engineered plans and required permits for a trail project along the Jordan Creek Greenway from Wehr Mill Road to Cedar Crest Boulevard. As discussed at the July 1, 2022, Board of Commissioners meeting, the township needed to proceed with the Jordan Creek Greenway project using a two phased approach. Phase 1 included the design work needed from Wehr Mill Road to Lapp Rd and phase 2 would include the design work needed from Lapp Rd. to Cedar Crest Boulevard. The length of the overall project is approximately 2 miles. DCNR funding and approval process will be utilized under this grant for design, engineering, and permitting. Securing the three necessary easements to extend the trail from Lapp Road to Cedar Crest Boulevard took a little longer than originally anticipated—grant expires end of

2022. This was due in part because of the pandemic and in part because there was specific language added to each easement which required solicitor review and revisions. We are still working through some of the particular items related to the TASA Grant and will be circling back w/Board next month for the River Road Widening.

A MOTION was made by Commissioner Wolk, which was seconded by Commissioner Kelly, granting a one-year grant extension for the Jordan Creek Greenway- Segments 35-45- Design BRC-TAG-25-173 to ensure proper design, engineering and permitting. All in favor; none opposed. Vote 5:0. Motion carried.

10. **CORRESPONDENCE AND INFORMATION ITEMS:**

a. **Boards and Commissions – Informational Items/Vacancies**

CURRENT VACANCIES ON BOARDS/COMMISSIONS:

1. Civil Service Commission - 1 Alternate Vacancy
2. Green Advisory Council - 1 Vacancy
3. Landscape Shade Tree Commission - 1 Vacancy
4. Park & Recreation Board - 0 Vacancies
5. Public Safety Commission - 1 Vacancy
6. Environmental Advisory Council - 3 Vacancies
7. Zoning Hearing Board - 3 Alternate Vacancies

UPCOMING MEETINGS: Details posted on website.

- Thursday, October 20th – Crime Watch, 6P
- Thursday, October 20th - Planning Commission Meeting, 7:30P
- Monday, October 24th - Landscape & Shade Tree Commission, 10A
- Wednesday, October 26th - Zoning Hearing Board, 7P
- Friday, October 28th - Trick or Treat, 6P

Applications continue to be accepted.

11. **OLD BUSINESS**

a. **Wehr’s Dam – Explanation by Herb Bender, Director of Twp. Operations.**

Herb Bender explained, Teams Meeting held today with contractor and our engineer. Will probably see the ported dam be set up within 1 to 1 ½ weeks. Movement will be seen down there this year.

b. **Comprehensive Plan Update - Explanation by Dave Manhardt, Director, Community Development Department**

Mr. Manhardt explained things continue to move along. Draft CP is 90% complete. Been working with PC and BOC on land use—which is where the rubber meets road for the CP. We want to make sure we are very deliberate and are receiving enough comments, so pace has slowed down a bit so that we can get through this piece of it since it is the most important piece of it. Will be discussing this and the draft at the PC Meeting under Old Business. Anticipate a draft going out tomorrow afternoon, minus the land-use portion. We want to

go over some of the details of the land-use portion at the PC Meeting. Sent out the Implementation Plan w/details of each item. Survey out there for Boards to fill out asking for a time frame and a priority. Dave thanked Chris Strohler for all the work he put in on this project.

12. **DIRECTION/DISCUSSION ITEMS:**

a. **2023 Proposed Budget Items - *Items Requiring Direction/Discussion from the Board of Commissioners.***

Tricia Dickert, Director of Finance, explained that after the Budget Meeting, the Board still had some residual questions, which answers were provided to the Board yesterday on. This evening Staff is looking for direction on some of the items that will need to be decided on by the Board, before we proceed with a proposed budget

● Consideration of 2023 Donations - General Fund.

Tricia Dickert - Board was provided a list of donations from last year. Staff needs to know if any changes are to be made, if any—additions/ deletions.

A MOTION was made by Commissioner Kelly, which was seconded by Commissioner Hodges, to direct Staff to include all of these donations in the proposed budget with the exception of the Parkland Elementary Wrestling Club. All in favor; none opposed. Vote 5:0. Motion carried.

● Water/Sewer Funds - 2023 Recommended Rates (1:35)

Tricia Dickert - LCA has raised and will in all likelihood continue to raise their rates on both water and sewer every year. Staff discussed appropriate increases to ensure Township is fully funded in water and sewer, as well as beginning to contribute to the Fund Balance Policy approved by Board. LCA has passed on significant increases to the Township for several years, which have not been passed on to the residents.

A MOTION was made by Commissioner Kelly, which was seconded by Commissioner Wolk, to direct Staff to prepare the budget figures for the water fund in accordance with the rate increase outlined in scenario #2, which provides for a 11% increase, as well as a \$5/quarter fee increase. All in favor; none opposed. Vote 4:1. Motion carried.

Tricia Dickert - Regarding the Sewer Fund recommendation by Administration is to go with a 20% increase, and a \$10 base charge, which equates to an annual increase of \$75.48 on the average household. This will sustain the program, and will also help set money aside to build the Fund Balance previously approved.

A MOTION was made by Commissioner Kelly, which was seconded by Commissioner Wolk, to direct Staff to prepare the budget figures for the Sewer Fund with the understanding that there would be a 20% increase to the fees, as well as a \$10/quarter fee increase. All in favor; none opposed. Vote 5:0. Motion carried.

- Refuse Fund - Review Revised Figures (1:53)

Tricia Dickert - There was one revenue piece missing, which was the Grant revenue expected to be received in 2023. Staff reached out to Hough Associates, who applies for this particular grant, and we were advised the amount we can expect to receive next year is \$89,768, of which we'll pay a fee of approximately \$11,042. This changes the revenue picture, with a revised figure of \$2,941,126 with expenses of \$3,021,714, which leaves Township with projected deficit of \$80,588, that if the Board approves the budget would be handled by using the cash carried forward from 2022.

- Emergency Management Coordinator Position - 2023 Compensation (2:06)

Tom Petrucci – Staff is asking for clarification as to whether the amount should be adjusted to compensate the EMC a little more than what is currently being compensated, with the understanding it has not been adjusted since 2012. Also, we looked at what other communities pay their EMC, which varies greatly. Ultimately, it is the Board's decision to do what you feel is right for SWT. If an adjustment is made, this would have to come back via resolution. President Kelly recused herself from this discussion, as her husband is the EMC. Vice President Kennedy asked Mr. Petrucci and Bender to look at this and see what would be a good amount, and then bring it back to the Board via resolution. Clarification was made that the Board is supportive of increasing this line item, and the resolution would then define what that amount is. The budget as proposed can well absorb this amount. This is a form of stipend, and therefore a resolution should be done.

A MOTION was made by Commissioner Osborne, to adjust the EM line item overall to \$6,000, for the purposes of the advertisement of the proposed budget. All in favor; none opposed. Vote 5:0. Motion carried. (2:12)

- Recommended Use of Bond Funds for 2023 Capital Projects (1:55)

Tricia Dickert - The question was the use of Bond funds for sidewalk capital improvements at the municipal building. We were going to confirm the use of these funds with the PFM. The Administration's response yesterday—it is proposed to use \$250,000 in bond funding to complete the sidewalk extension for the municipal building. It is recommended due to the fact that the Township needs to utilize 85% of the bond amount within three years for capital projects. The sidewalk project will communicate to residents and business owners that the Township is following through on its own sidewalk deferrals when calling on sidewalk deferrals for others.

A MOTION was made by Commissioner Kelly, which was seconded by Commissioner Wolk, to direct Staff to proceed with the General Fund Budget and the Debt Service Budget, as though you are including the sidewalks as part of that process, with the understanding that PFM should also be notified as to how Township is changing use of the Bond money. All in favor; none opposed. Vote 5:0. Motion carried.

- Capital Projects (1:59)

Tricia Dickert - These were presented to the Board at the budget workshop. The capital projects are funded by a portion of the expected cash carry forward at end of 2022. On Monday we discussed approximately \$2,006,000 of the expected cash carry forward end of 2022. This is an additional opportunity for Board to weigh in on the Capital Projects portion or to go with what was presented to Board on Monday at the workshop. Right now, the anticipated cash carry forward (these are estimates based on expense/revenue trends we typically see the last three months of the year), the estimated cash carried forward in the General Fund is expected to be \$7,681,680. Of that, we would be looking to fund 2023 Capital Projects in the amount of \$2,006,000.

A MOTION was made by Commissioner Kelly, which was seconded by Commissioner Kennedy, to direct Staff to keep the proposed Capital Projects as submitted by the Administration Staff, with the understanding that if it exceeds the 30% threshold, to adjust accordingly. All in favor; none opposed. Vote 5:0. Motion carried.

This ends budget portion of meeting.

b. Sidewalk Deferrals - Crackersport Road

Dave Manhardt, Director, Community Development Department, explained there were some site visits, and asked if any more clarification is needed with regard to them.

President Kelly asked if there was perhaps another step we need to make part of this process, so that if the PC makes a recommendation to the BOC, before we notify owners, this additional step would allow Staff to do due diligence and then present this information to the Board, as the governing body, so that they can better decide if the call in of a deferral is appropriate at that time.

Dave explained that part of the CP is to do a multi-modal study, where they will be looking at sidewalk corridors and connectivity. Out of that plan will be generated priority corridors, which will be a way to help the Township prioritize where deferrals make sense. Also, something to keep in mind is that these deferrals were agreed to, and therefore, the Township can call them in if they so choose to do so. It is a balance. Challenges are on the engineering and design side of things.

President Kelly said as a result of the site visit, there is one thing she learned and that is to very carefully consider deferrals. They need to make sense—is it an area that will even have pedestrians? It involves a lot of work by both Township and Landowner—again careful consideration is necessary.

A MOTION was made by Commissioner Kelly, which was seconded by Commissioner Wolk, to not proceed with the call-ins on Crackersport Road, given the connectivity—roads to nowhere. She does not feel we should move forward. All in favor; none opposed. Vote 5:0. Motion carried.

13. COURTESY OF THE FLOOR: Public Comment on Non-Agenda Items – None.

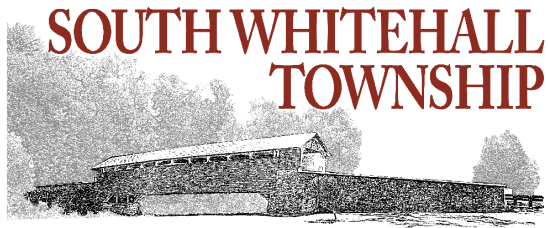
14. MOTION TO AUTHORIZE PAYMENT OF INVOICES & DISBURSEMENTS:

a. Invoices and Disbursements

A MOTION was made by Commissioner Kennedy, which was seconded by Commissioner Kelly, to approve the payment of all invoices. All in favor; none opposed. Motion carried. Vote 5:0.

15. EXECUTIVE SESSION: None.

16. ADJOURNMENT: At 9:32 p.m. a MOTION was made by Commissioner Kennedy and President Kelly to adjourn. All in favor; none opposed.



**MEMORANDUM FOR
AGENDA ITEMS**

TO:	Board of Commissioners
FROM:	David Manhardt
DATE:	10/25/2022
SUBJECT:	Third Party Inspection Agency Fee (Barry Isett)
COPY TO:	

- **Background Information:**

Traditionally, the Township has asked third parties to appear at the reorganization meeting in January if their fees are increasing. We felt it prudent to have third parties available if there are questions prior to the January meeting.

Barry Isett & Associates is currently our primary residential inspection agency and secondary commercial inspection agency.

- **Action Requested:**

No action at this time, action shall be deferred to January.

- **Budget Line Item (if applicable):**

N/A (Fees are charged directly to applicants)

- **Attachments:**

Proposed 2023 Fee Schedule

SOUTH WHITEHALL TOWNSHIP
Fee Schedule

Residential Building Plan Review/Inspection & Other Services
Valid through December 31, 2023

INCLUDES PLAN REVIEW & INSPECTIONS FOR ALL DISCIPLINES

Building, Energy, Plumbing, Mechanical (HVAC), & Electrical

Type	Fee	Number of Site Visits*
Single Family Dwelling	\$990 up to 3,500 SF \$22 for each additional 100 SF (or portion thereof)	12
Additions	\$660 up to 500 SF \$22 for each additional 100 SF (or portion thereof)	7
Renovations or Alterations	\$495 up to 500 SF \$17 for each additional 100 SF (or portion thereof)	5
Accessory Structure	\$275 up to 500 SF \$17 for each additional 100 SF (or portion thereof)	3
Manufactured Housing Mobile or with axle capabilities per unit on piers	\$303	3
Manufactured Housing Mobile or with axle capabilities per unit with basement	\$523	6
Industrialized Housing (Modular)	\$605 up to 3,500 SF \$11 for each additional 100 SF (or portion thereof)	7
Deck or Patio	\$220 up to 200 SF \$17 for each additional 100 SF (or portion thereof)	3
Deck, Patio, or Porch w/ roof	\$330 up to 200 SF \$17 for each additional 100 SF (or portion thereof)	4
Above-Ground Pool/Spa	\$198	2
In-Ground Pool	\$330	4
Solar and Photovoltaic Panel System installations (roof or ground mounted)	\$220 plus \$4 per panel	3
Minor Alterations Minor Alterations/Demolition 1/ 2 disciplines	\$198	2
Plumbing Up to 5 fixtures Each additional fixture	\$83 \$6	1
HVAC First system in an existing residence or unit replacement in an existing residence Each additional unit	\$75 \$30	1
Electric Electric service inspection Minor alteration	\$138 \$132	1 2

SOUTH WHITEHALL TOWNSHIP
Fee Schedule

NOTES AND ADDITIONAL SERVICES

Plan review re-submission for incomplete or denied plans	\$66 / hr.**
Inspections only, re-inspections or additional inspections	\$66 / hr.
Consultation, site visits and/or attendance at meetings with applicants, Township Officials, or staff	\$66 / hr.
Administration services (beyond typical permitting process)	\$44 / hr.
*If the number of site visits exceeds the number listed above, the applicant will be charged for each additional inspection.	\$66 / hr.

Residential Building Plan Review/inspection & Other Services
Valid through December 31, 2023

**All hourly rates are based on a one-hour minimum fee.
May require building plans and specifications to be stamped and/or sealed by a design professional licensed in the Commonwealth of Pennsylvania. This would typically apply to non-conventional type construction or structures.
All listed fees containing a square foot price are calculated on the industry standard square footage basis measured outside-to-outside dimensions of all levels of the structure and shall include basements, bays, hallways, stairways, utility/mechanical rooms, storage rooms, lobbies, attached garages, foyers, elevators, decks, covered patios, porches, and attics that have a minimum headroom height of six feet.

Commercial Building Plan Review/inspection & Other Services
Valid through December 31, 2023

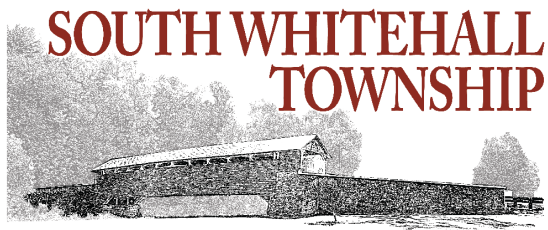
INCLUDES PLAN REVIEW & INSPECTIONS FOR ALL DISCIPLINES:

Building, Energy, Plumbing, Mechanical (HVAC), & Electrical

Building Gross Square Footage	New Construction (3 or more disciplines)				Alterations and Renovations (3 or more disciplines)				1 to 2 Disciplines			
	Inspections	Unit	Plan Review	# Site Visits*	Inspections	Unit	Plan Review	# Site Visits*	Inspections	Unit	Plan Review	# Site Visits*
Change of Occupancy	N/A		N/A		\$220		N/A	1	\$110		N/A	1
Minor Change (1 visit)	N/A		N/A		\$220		N/A	1	\$121		\$110	1
1 to 2,000	\$770	Lump Sum	\$440	8	\$605	Lump Sum	\$440	6	\$275	Lump Sum	\$138	3
2,001 to 5,000	\$0.47	Per SF	\$495	11	\$0.36	Per SF	\$495	7	\$385	Per SF	\$165	4
5,001 to 10,000	\$0.42	Per SF	\$660	14	\$0.32	Per SF	\$660	7	\$0.09	Per SF	\$165	4
10,001 to 25,000	\$0.39	Per SF	\$770	18	\$0.29	Per SF	\$770	8	\$0.08	Per SF	\$193	5
25,001 to 50,000	\$0.36	Per SF	\$825	20	\$0.27	Per SF	\$825	8	\$0.07	Per SF	\$193	5
50,001 to 100,000	\$0.30	Per SF	\$880	25	\$0.25	Per SF	\$880	10	\$0.06	Per SF	\$220	6
100,0001 to 200,2000	\$0.25	Per SF	\$990	30	\$0.20	Per SF	\$990	12	\$0.05	Per SF	\$275	6
200,001 to 300,000	\$0.20	Per SF	\$1,100	40	\$0.15	Per SF	\$1,100	14	\$0.04	Per SF	\$275	8
Over 300,001	Quote		Quote	Quote	Quote		Quote	Quote	\$0.03	Per SF	\$330	10

NOTES AND ADDITIONAL SERVICES

Plan review re-submission for incomplete or denied plans	\$275
Inspections only, re-inspections or additional inspections	\$83
Consultation, site visits and/or attendance at meetings with applicants, Township Officials, or staff	\$83 / hr. **
Administration services (beyond typical permitting process)	\$44/ hr.
Solar and Photovoltaic Panel System installations (roof or ground mounted)	\$385 plus \$4 per panel
*If the number of site visits exceeds the number listed above, the applicant will be charged for each additional inspection.	\$83 / hr.
**All hourly rates are based on a one-hour minimum fee.	
Phased projects may require more services and may be assessed an additional fee.	
All listed fees containing a square foot price are calculated on the industry standard square footage basis measured outside-to- outside dimensions of all levels of the structure, and shall include basements, bays, hallways, stairways, utility/mechanical rooms, storage rooms, lobbies, attached garages, foyers, elevators, decks, covered patios, porches, and attics that have a minimum headroom height of six feet.	



**MEMORANDUM FOR
AGENDA ITEMS**

To:	Board of Commissioners
FROM:	Tom Petrucci, Township Manager
DATE:	October 28, 2022
SUBJECT:	Act 96 of 2020 Amendment to First Class Township Code- Revised Commissioner Compensation Amounts; Request to Approve a Motion to Adoption Ordinance
COPY TO:	H. Bender; T. Dickert; T. Fehnel

- **Action Requested:**

Following advertisement, a motion is requested to be approved by the governing body during the November 2, 2022 Board of Commissioners regular meeting to advertise the enclosed draft ordinance, which is summarized as follows:

AN ORDINANCE OF THE TOWNSHIP OF SOUTH WHITEHALL, COUNTY OF LEHIGH, AND COMMONWEALTH OF PENNSYLVANIA, AMENDING THE AMOUNT OF THE COMPENSATION PAYABLE TO THE BOARD OF COMMISSIONERS AS REFERRED TO IN PART I (“ADMINISTRATIVE LEGISLATION”), CHAPTER 50 (“OFFICERS AND EMPLOYEES”), ARTICLE III (“COMMISSIONERS”) OF THE CODIFIED ORDINANCES OF SOUTH WHITEHALL TOWNSHIP, AND PROVIDING FOR A REPEALER CLAUSE, SEVERABILITY CLAUSE AND EFFECTIVE DATE

- **Background Information**

Article VII, Section 703 et seq., of the First Class Township Code, P.L. 1955, No. 569, as amended, establishes the salary amount that the Board of Commissioners may receive by ordinance. Act 96 of 2020 amended Section 703 (a) of the First Class Township Code to increase the maximum allowable salary of each Township Commissioner to adjust for inflation. The salary amount that the Board of Commissioners may receive is based upon the population figure for South Whitehall Township available as of the latest census, which is 21,080. The salary amount that each Township Commissioner may receive shall not exceed \$6,915.00 for a population of a First Class Township that is between 15,000 and 25,000. Any change in salary, compensation or emoluments of the elected office shall become effective at the beginning of the next term of any newly elected Township Commissioner, as per Section 703 (b) of the First Class Township Code.

- **Budget Line Item (if applicable):** *Please indicate approved budget amount for specified project(s).*

Only advertisement of the ordinance is requested at this time. The revised compensation amounts for the Commissioners will only become effective for any Commissioners that are elected or appointed to office after **November 7, 2023**.

Enclosure (Draft Ordinance; § 55703. of First Class Township Code)

**TOWNSHIP OF SOUTH WHITEHALL
LEHIGH COUNTY, PENNSYLVANIA**

**ORDINANCE NO. ____
(Duly Adopted November ____, 2022)**

AN ORDINANCE OF THE TOWNSHIP OF SOUTH WHITEHALL, COUNTY OF LEHIGH, AND COMMONWEALTH OF PENNSYLVANIA, AMENDING THE AMOUNT OF THE COMPENSATION PAYABLE TO THE BOARD OF COMMISSIONERS AS REFERRED TO IN PART I (“ADMINISTRATIVE LEGISLATION”), CHAPTER 50 (“OFFICERS AND EMPLOYEES”), ARTICLE III (“COMMISSIONERS”) OF THE CODIFIED ORDINANCES OF SOUTH WHITEHALL TOWNSHIP, AND PROVIDING FOR A REPEALER CLAUSE, SEVERABILITY CLAUSE AND EFFECTIVE DATE

WHEREAS, Article VII, Section 703 et seq., of the First Class Township Code, P.L. 1955, No. 569, as amended, establishes the salary amount that the Board of Commissioners may receive by ordinance; and

WHEREAS, Act 96 of 2020 amended Section 703 (a) of the First Class Township Code to increase the maximum allowable salary of each Township Commissioner to adjust for inflation; and

WHEREAS, the salary amount that the Board of Commissioners may receive is based upon the population figure for South Whitehall Township available as of the latest census; and

WHEREAS, the population of South Whitehall Township as of the 2020 Decennial Census was 21,080; and,

WHEREAS, Article VII, Section 703 et seq., of the First Class Township Code, P.L. 1955, No. 569, as amended, provides that the salary amount that each Township Commissioner may receive shall not exceed \$6,915.00 for a population of a First Class Township that is between 15,000 and 25,000; and

WHEREAS, any change in salary, compensation or emoluments of the elected office shall become effective at the beginning of the next term of the Township Commissioner, as per Section 703 (b) of the First Class Township Code.

NOW, THEREFORE, BE IT ENACTED AND ORDAINED by the Board of Commissioners of South Whitehall Township, as follows:

SECTION I – AMENDMENT TO PART I (“ADMINISTRATIVE LEGISLATION”), CHAPTER 50 (“OFFICERS AND EMPLOYEES”), ARTICLE III (“COMMISSIONERS”) OF THE CODIFIED ORDINANCES OF SOUTH WHITEHALL TOWNSHIP

Part I (“Administrative Legislation”), Chapter 50 (“Officers and Employees”), Article III (“Commissioners”) of the Codified Ordinances of South Whitehall Township (§ 50-18) is hereby amended (revised) in its entirety to read as follows:

The compensation for Township Commissioners, elected or appointed to office subsequent to November 6, 1995, is \$4,125 per annum. The compensation for Township Commissioners, elected or appointed to office subsequent to November 7, 2023, shall be increased to \$6,915.00 per annum.

SECTION II - REPEALER

All ordinances or parts of ordinances which are inconsistent herewith are hereby repealed.

SECTION IV - SEVERABILITY

If any sentence, clause, section, or part of this Ordinance is for any reason found to be unconstitutional, illegal or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections or parts of this Ordinance. It is hereby declared as the intent of the Board of Commissioners that this Ordinance would have been adopted had such unconstitutional, illegal or invalid sentence, clause, section or part thereof not been included herein.

SECTION V - EFFECTIVE DATE

This Ordinance shall become effective immediately following its adoption by the Board of Commissioners.

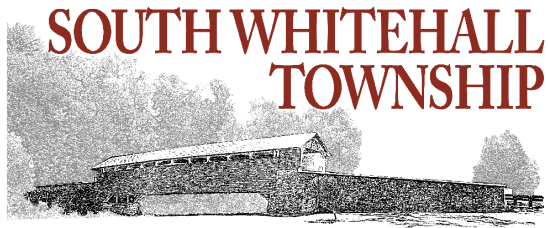
DULY ENACTED AND ORDAINED as an Ordinance this _____ day of _____ 2022 by a majority of the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners at which a quorum was present. As part of this Ordinance, the Board of Commissioners has directed that the President, or Vice-President in the absence of the President, execute this Ordinance on behalf of the Board.

**TOWNSHIP OF SOUTH WHITEHALL
BOARD OF COMMISSIONERS**

Diane Kelly, President

ATTEST:

Tricia L. Dickert, Secretary



**MEMORANDUM FOR
AGENDA ITEMS**

TO:	Board of Commissioners
FROM:	Tom Petrucci, Township Manager
DATE:	October 31, 2022
SUBJECT:	Request for Official Action to Approve Utilizing Univest Bank for Depository for Fiscal Stability Fund (Resolution and Motion)
COPY TO:	H. Bender; T. Dickert; K. Blahnik; T. Fehnel

- **Action Requested:**

1). A **resolution** is requested to be approved by the Board of Commissioners during the **Wednesday, November 2, 2022** Board of Commissioners meeting to add Univest Bank and Trust Co. as a designated depository of Township funds and to memorialize recent signatory changes.

2). A **motion** is requested to be approved by the Board of Commissioners during the **Wednesday, November 2, 2022** Board of Commissioners meeting to authorize the Township Manager, Director of Finance and Fund Balance Specialist to open a Public Funds Elite Liquid Money Market Account with Univest Bank and Trust Co. for the Fiscal Stability Fund.

- **Background Information:**

The current Certificate of Deposit (CD) holding the Fiscal Stability Fund (current balance is approximately \$2,212,698.65) with The Neffs National Bank is locked into a rate of .40% until **2027**. The previous CD with a rate of 1.99% matured in April of 2022. A previous administrator in the Finance Department rolled over the CD at the reduced interest rate. Extrapolated over an entire fiscal year, the reduced CD interest rate results in a loss to the Township of about \$35,000.00 (plus or minus)- \$44,032.70 in anticipated earnings versus \$8,850.00.

Univest Bank and Trust Co. offers a Public Funds Elite Liquid Money Market Account which has a minimum balance requirement of \$1,000,000.00 and a maximum balance of \$25,000,000.00. There are no costs and no fees (transactions are restricted to six transfers per month-which should not present an issue for South Whitehall Township).

The current interest is **3.25%**; the rate will automatically change as the Federal Funds rate changes. This gives the Township future flexibility with respect to the use of the funds depending on what transpires at the level of the Federal Reserve.

All deposits are secured under Act 72 Public Funds and/or a letter of credit for the total amount of the investment; monthly statements are provided.

In order to effectuate this recommended change in depository for the Fiscal Stability Fund, there will be a pre-payment penalty for the current CD in the amount of \$2,212.71 with The Neffs National Bank. This has been calculated through November 30th. It is important to note that this penalty will be almost immediately absorbed by the positive difference in the anticipated additional interest earnings on the Public Funds Elite Liquid Money Market Account with Univest.

The Township should expect to receive about \$71,912 (depending on what happens with respect to future interest rate adjustments at the level of the Federal Reserve). This is a net positive difference from the current .40% interest rate in the amount of about \$63,000.00. As noted, the Township cannot forecast what future interest rate increases (or decreases) will be, but the Township will be well positioned to adjust as necessary due to the funds being held in a liquid account, as opposed to a locked in CD.

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

N/A

**SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2022-__
(Duly Adopted November 2, 2022)**

**A RESOLUTION AMENDING RESOLUTION NO. 2022-01 AND RESOLUTION NO. 2022-69
DESIGNATING DEPOSITORIES FOR TOWNSHIP FUNDS**

WHEREAS, the Township of South Whitehall had, by virtue of the adoption of Resolution No. 2022-01, dated January 4, 2022, and Resolution No. 2022-69, dated July 13, 2022, designated various banking institutions as depositories for funds of the Township; and,

WHEREAS, the Township on occasion makes use of the investment programs of other banking institutions due to competitive interest rates.

NOW, THEREFORE, BE IT RESOLVED that Embassy Bank; Firsttrust Bank; First Niagara Bank; KeyBank; Lafayette Ambassador Bank; M&T Bank; National Penn Bank; BB & T Bank; Pennsylvania Local Government Investment Trust; PNC Bank, NA; Neffs National Bank; Susquehanna Bank; TD Bank; Team Capital Bank; American Bank; Wells Fargo Bank, NA; Truist Financial; Republic Bank; US Bank; Univest Bank and Trust Company; or their respective successors, so long as they meet Commonwealth depository requirements, shall be depositories for funds of the Township, which accounts shall be designated Township of South Whitehall, Treasurer/Deputy Treasurer or Township Manager; and,

BE IT FURTHER RESOLVED that all checks, drafts, notes or orders drawn against said accounts be signed by Treasurer/Deputy Treasurer or Township Manager AND one (1) of the following two (2) Township officials:

1. President, Board of Commissioners; or
2. Vice President, Board of Commissioners

Said signatures shall be duly certified to said banks, and that no checks, drafts, notes or orders drawn against said bank shall be valid unless signed as set forth above.

BE IT FURTHER RESOLVED that the said depositories shall provide the security required by law.

DULY ADOPTED the 2nd day of **November 2022** by the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, in lawful session duly assembled.

ATTEST:

TOWNSHIP OF SOUTH WHITEHALL
BOARD OF COMMISSIONERS

Tricia Dickert, Twp. Secretary

Diane Kelly, President, SWT Board of
Commissioners

AUTHORIZED SIGNATURES:

South Whitehall Township Resolution No. 2022-__
Duly Adopted November 2, 2022

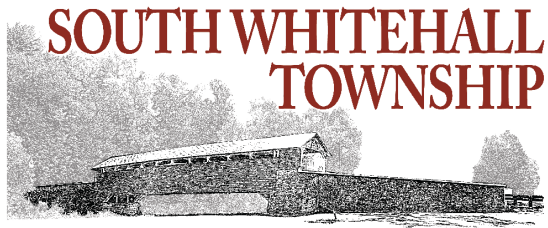
Diane Kelly, President,
SWT Board of Commissioners

David M. Kennedy, Vice President,
SWT Board of Commissioners

Thomas Petrucci, Township Manager

Herbert Bender, Direction of Operations, Township Treasurer

Diana Valkova, Deputy Treasurer



**MEMORANDUM FOR
AGENDA ITEMS**

TO:	Board of Commissioners
FROM:	Tom Petrucci, Township Manager
DATE:	October 28, 2022
SUBJECT:	Request for Approval of Resolution for Commitment of \$2,000,000.00 Towards Kline’s Island Future Anticipated Capital Costs
COPY TO:	H. Bender; T. Dickert; K. Blahnik; T. Fehnel

- **Action Requested:**

A resolution is requested to be approved by the Board of Commissioners to effectuate the previous request of the governing body to commit \$2,000,000.00 towards the future anticipated capital costs associated with the Kline’s Island Wastewater Treatment Plant that is owned and maintained by the Lehigh County Authority

- **Background Information:**

The Government Standards Accounting Board (GASB) has issued Statement No. 54 establishing a hierarchy of fund balance classifications guiding the use of resources reported in governmental funds. Consistent with GASB 54, the Board of Commissioners has adopted a Fund Balance Policy by way of Resolution No. 2022-68, which was duly adopted at a public meeting held on June 15, 2022.

In accordance with GASB Statement No. 54 and the adopted Fund Balance Policy, a committed fund balance classification includes amounts that can be used only for specific purposes determined by a formal action of the government’s highest level of decision-making authority. The Board of Commissioners is the highest level of decision-making governing body and has the authority to commit a fund balance (or a portion thereof) towards a specific purpose.

The Board of Commissioners has determined it is necessary to commit \$2,000,000.00 of the fund balance of the Sewer Fund towards future anticipated capital costs associated with the Kline’s Island Wastewater Treatment Plant that is owned and maintained by the Lehigh County Authority.

It is important to note that only the Board of Commissioners can approve changing (modifying) the commitment of these funds by a subsequent resolution.

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

N/A

SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PENNSYLVANIA

RESOLUTION 2022-__
(Duly Adopted November 2, 2022)

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TOWNSHIP TO COMMIT A PORTION OF THE SEWER FUND BALANCE TOWARDS FUTURE ANTICIPATED CAPITAL COSTS ASSOCIATED WITH THE KLINE'S ISLAND WASTEWATER TREATMENT PLANT THAT IS OWNED AND MAINTAINED BY THE LEHIGH COUNTY AUTHORITY

WHEREAS, the Government Standards Accounting Board (GASB) has issued Statement No. 54 establishing a hierarchy of fund balance classifications guiding the use of resources reported in governmental funds; and

WHEREAS, the Board of Commissioners has adopted a *Fund Balance Policy* by way of Resolution No. 2022-68, which was duly adopted at a public meeting held on June 15, 2022; and

WHEREAS, in accordance with GASB Statement No. 54 and the adopted *Fund Balance Policy*, a committed fund balance classification includes amounts that can be used only for specific purposes determined by a formal action of the government's highest level of decision-making authority; and

WHEREAS, the Board of Commissioners is the highest level of decision-making authority, and has the authority to commit a fund balance (or a portion thereof) towards a specific purpose; and

WHEREAS, South Whitehall Township is a member and signatory of the regional sewer service and infrastructure network that is owned and maintained by the Lehigh County Authority; and

WHEREAS, the Board of Commissioners has determined it is necessary to commit \$2,000,000.00 of the fund balance of the Sewer Fund towards future anticipated capital costs associated with the Kline's Island Wastewater Treatment Plant that is owned and maintained by the Lehigh County Authority.

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED by the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, as follows:

1. All "WHEREAS" clauses are incorporated herein as though more fully set forth at length.
2. That the Board of Commissioners of South Whitehall Township, Lehigh County, Commonwealth of Pennsylvania hereby commits \$2,000,000.00 towards the future anticipated capital costs associated with the Kline's Island Wastewater Treatment Plant that is owned and maintained by the Lehigh County Authority. The costs of this project are currently unknown to Township officials because all required sanitary sewer modeling has not yet been completed by the Lehigh County Authority. It is the intention of the Board of Commissioners to commit proactively these funds within the Sewer Fund.

3. These committed funds in the Sewer Fund cannot be used for any purpose other than as directed in paragraph 2 above unless the Board of Commissioners adopts another resolution to remove or change the committed classification.

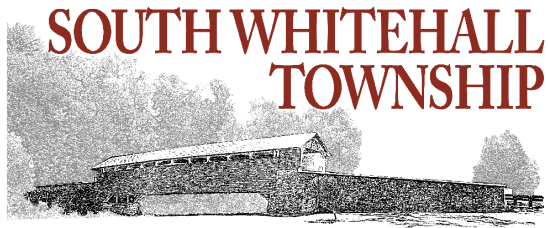
DULY ADOPTED, this 2nd day of November, 2022 by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners at which a quorum was present. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice-President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH WHITEHALL
BOARD OF COMMISIONERS**

ATTEST:

Diane Kelly, President

Tricia Dickert, Secretary



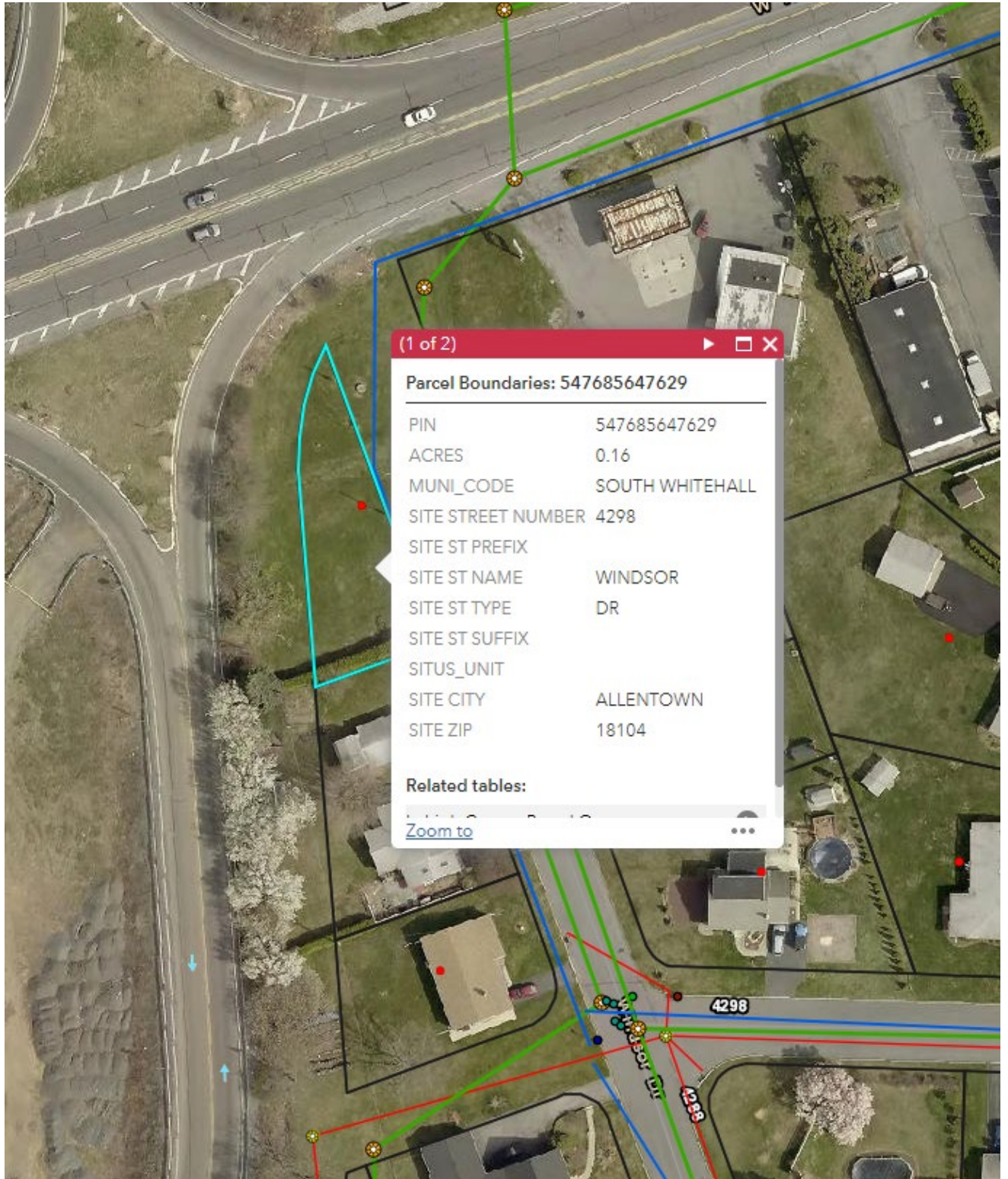
**MEMORANDUM FOR
AGENDA ITEMS**

TO:	Board of Commissioners
FROM:	Herb Bender
DATE:	October 24, 2022
SUBJECT:	PennDot Land Acquisition
COPY TO:	T.Putrucci, T.Dickert

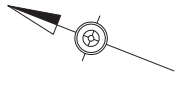
- **Background Information and/or Justification of Expense:**
This piece of land is located at 4298 Windsor Dr identified as Lehigh County Parcel ID 547685647629-1. The Pennsylvania Department of Transportation (PennDOT) is seeking to acquire this from South Whitehall Township as part of their Route 309 Interchange Project. PennDOT has offered the Township \$104,500.00 for this parcel of land.

- **Action Requested:**
The Administration is seeking approval from the Board of Commissioners so we can proceed with finalizing this transaction.

- **Budget Line Item (if applicable):**



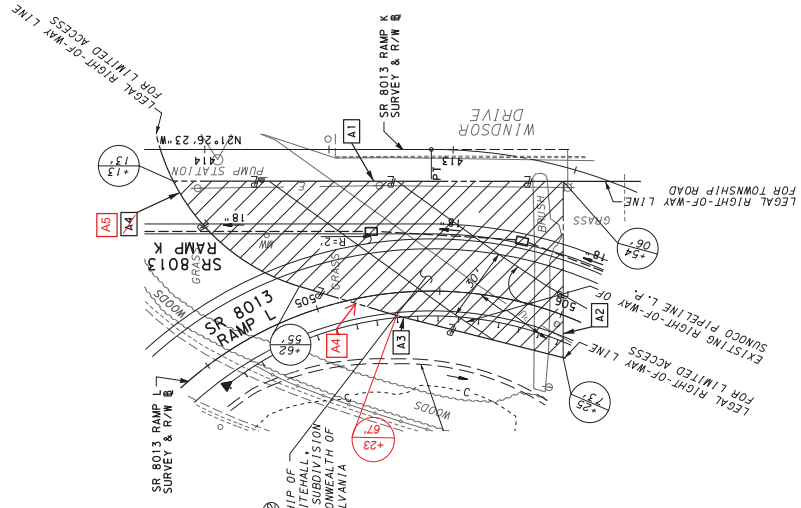
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
5-0	LEHIGH	0309	12M GR/W	38 OF 47
SOUTH WHITEHALL TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	



**PARCEL ID 547685647629
METES AND BOUNDS**

COURSE	CALCULATED BEARING	CALCULATED DISTANCE
A1	S27°24'03"E (DEED)	156.99' (195.00' ±)
A2	S68°35'58"W (DEED)	70.99' (85.00' ±)
A3	N07°14'39"W (DEED)	69.26' (167.00' ±)
A4	N08°44'53"W (DEED)	40.76' (66.74' (CHD))
A5	R=84.00' (DEED R=84.00')	ARC LENGTH=67.98'

SR 8013 RAMP K
SURVEY & R/W 6
PT STA. 412+26.48
A = 281°46'46" RT
R = 150.00'
T = 1.00'
E = 737.00'
SE = 6.02'
PC STA. 503+10.98
PT STA. 510+48.68



TOWNSHIP OF
SOUTH WHITEHALL
A POLITICAL SUBDIVISION
OF THE COMMONWEALTH OF
PENNSYLVANIA

ALL BREAK POINTS ARE MEASURED FROM THE SR 8013 RAMP K SURVEY & R/W BASELINE.
ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD. RECORDED SUBDIVISION OR LOT
PLANS, DEEDS, EASEMENTS, EGRESS RIGHTS, AND SURVEYS ARE RESPONSIBLE FOR THE DETERMINED
NECESSARY BY THE PROFESSIONAL SURVEYOR. THE SURVEYOR IS NOT RESPONSIBLE FOR THE PROJECTED
PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING
TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.
THIS PROPERTY PLOT PLAN IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY.
EXISTING SUNOCO PIPELINE EASEMENT WITH RIGHT OF INGRESS, EGRESS, AND REGRESS
AS REFERENCED IN DEED BOOK 239, PAGE 334.
• INCLUDES 3230 SF OF EXISTING RIGHT-OF-WAY OF SUNOCO PIPELINE L. P.

RIGHT-OF-WAY CLAIM INFORMATION
COMMONWEALTH OF PENNSYLVANIA - DEPARTMENT OF TRANSPORTATION
STATE RTE 0309 SEC NO. 12M GR/W SOUTH WHITEHALL TWP LEHIGH COUNTY
PARCEL NO. 72 SHEET NO. 20 CLAIM NO. _____
PROPERTY OWNER(S) TOWNSHIP OF SOUTH WHITEHALL, A POLITICAL SUBDIVISION OF THE
COMMONWEALTH OF PENNSYLVANIA
GRANTOR(S) OAKLEIGH DEVELOPMENT CO., A PENNSYLVANIA CORPORATION

DEED BOOK NO.	DEED NO.	DEED DATE	DEED ADVERSE	DEED EFFECTIVE	DEED TAX STAMPS	DEED TOTAL RESIDUE	DEED RESIDUE LT	DEED RESIDUE RT	DEED REQUIRED AREA	DEED SF
1081	0388	07-27-1965	12-20-1965	810	-	-	-	-	RIGHT OF WAY (LA)	7459
CHANNEL										
SLOPE										
DRAINAGE										
TEMP. CONSTR.										
UTILITY										
VERIFICATION DATE 09/17/2029										
DRAWN BY JMT										



LEGEND

○ PARCEL IDENTIFICATION NUMBER

▨ REQUIRED RIGHT-OF-WAY FOR LIMITED ACCESS

ROW OFFICE PROJ NO	050380
COUNTY	Lehigh
S.R. – SECTION	0309-12M
MUNICIPALITY	South Whitehall Township
PARCEL NO.	72
CLAIM NO.	3900813000
CLAIMANT	Township of South Whitehall, a Political Subdivision of the Commonwealth of Pennsylvania

SETTLEMENT STATEMENT

Final Settlement

PROJECTED DISTRIBUTION DATE

Date:

ADDRESS OF CLAIMANT(S) 4444 Walbert Avenue Allentown, PA 18104-1619	LOCATION (ADDRESS) OF PROPERTY Deed Book 1081 Page 0388	CLAIMANT'S ATTORNEY AND ADDRESS
---	--	---------------------------------

Final Settlement		\$104,500.00
Commonwealth's Pro-Rata Share of Current Realty Taxes	_____ estimated	\$1,567.50
Mortgage Pre-Payment Penalty	_____	\$0.00
Mortgage Satisfaction Fee	_____	\$0.00
Less Monies Previously Paid	(paid into court) _____	\$0.00
Less Monies Credited for Owner Retained Items	_____	\$0.00
Withheld Pending Building Removal by Owner	_____	0
Total Available for Distribution		\$106,067.50

CHARGES:

Mortgage(s):		
Mortgagee:	0.00	
Principal:	0.00	
Interest (to date: _____) _____	0.00	
Pre-Payment Penalty*:	0.00	
Satisfaction Fee*:	0.00	
Unpaid Current Taxes:		
Claimant(s) Pro-Rata Share _____	0.00	
Commonwealth's Pro-Rata Share* _____	0.00	
TOTAL _____	0.00	
Liens and/or Delinquent Taxes and Municipal Claims: _____	0.00	
Judgment(s): _____	0.00	
TOTAL CHARGES _____	0	

*Paid by Pennsylvania Department of Transportation

Minus Total Charges _____ **\$0.00**

Balance Due Claimant(s) \$106,067.50

The distribution of funds as shown on the reverse hereof is approved and the "Balance Due Claimant(s)" is acknowledged to be correct. I hereby acknowledge receipt of a copy of this settlement statement.

INDIVIDUALS

ENTITIES*

GRANTOR:
Township of South Whitehall, a Political

(Name of Entity)

BY: _____

BY: _____

* Use this block for a corporation, partnership, LLC, government entity, school district, church, trust, club, association, POA, attorney-in-fact, executor, administrator or any other entity. See R/W Manual Section 3.06.

I Hereby Certify That The Information On This Form Is True And Correct, According To The Records Of The Pennsylvania Department of Transportation.

Signature

Right-of-Way Agent

Title

Date -



ROW OFFICE PROJ. NO.	050380
COUNTY	Lehigh
S.R. - SECTION	0309-12M
MUNICIPALITY	South Whitehall Township
PARCEL NO.	72
CLAIM NO.	3900813000
CLAIMANT	Township of South Whitehall, a Political Subdivision of the Commonwealth of Pennsylvania

AGREEMENT OF SALE (Fee Simple)

THIS AGREEMENT OF SALE ("Agreement") is made this ____ day of _____, by Township of South Whitehall, a Political Subdivision of the Commonwealth of Pennsylvania, 4444 Walbert Avenue, Allentown, PA 18104-1619, owner(s) of property affected by the construction or improvement of the above referenced State Route, its heirs, executors, administrators, successors and/or assigns ("SELLER"), and the Commonwealth of Pennsylvania, through Department of Transportation ("COMMONWEALTH").

WITNESSETH:

WHEREAS, the COMMONWEALTH recorded a plan in the Recorder of Deeds Office of the aforesaid County indicating its authorization to condemn SELLER's property for transportation construction or improvement on the above referenced State Route and Section; and

WHEREAS, the parties have agreed that, in lieu of condemnation, the SELLER will convey in fee simple and such other lesser estate(s) as designated, if any, to the COMMONWEALTH the property or a portion thereof required by the COMMONWEALTH.

NOW, THEREFORE, the parties, intending to be legally bound, agree as follows:

1. **Sale and Conveyance.** The SELLER shall sell and convey to the COMMONWEALTH in fee simple:

- the premises described by metes and bounds in Exhibit A which is attached hereto.
- that portion of the property designated as required right-of-way or as acquired in fee simple for other purposes on the plot plan which is attached hereto as Exhibit A; and those areas, if any, designated as required for easement purposes as identified in the plot plan.

Being all or a portion of the property conveyed or devised to the SELLER by Deed of Oakleigh Development Co., a Pennsylvania Corporation, dated July 27, 1965 and recorded in Deed Book 1081 Page 0388, together with the improvements, hereditaments, and appurtenances to the property, except those that are identified in Section 3 below to be retained by the SELLER, free and clear of all liens, charges, delinquent taxes and assessments, and of all leases, agreements and other encumbrances that the SELLER has the right to terminate or remove. The SELLER shall assign to the COMMONWEALTH all of the SELLER's right, title and interest in those leases, agreements, and other encumbrances that cannot be terminated or removed. This conveyance contains approximately 7,459 square feet of Required Right-of-Way for Limited Access, and the property is identified on COMMONWEALTH plans as Parcel 71, being part of Tax Map Parcel No. 547685647629.

2. **Warranty.** The SELLER warrants GENERALLY the property interest conveyed.

3. **Reservation.** The SELLER hereby excepts and reserves from this conveyance all right, title and interest in and to all minerals, including oil, gas, subsurface gas storage and subsurface gas storage protection together with the right to produce, inject, store subsurface, withdraw and protect natural gas and oil; said mining, removal, storage and storage protection activities to be accomplished from a minimum depth to be determined by the COMMONWEALTH, from mine shafts, wells or other facilities located off the right-of-way, it being the intent of this provision that the COMMONWEALTH owns the right of support and no mineral activities may take place on the surface of the land acquired by the COMMONWEALTH.

4. **Purchase Price and Expenses.** The COMMONWEALTH shall pay to the SELLER the purchase price of \$104,500.00 within ninety (90) days of the date of execution of this Agreement. The COMMONWEALTH shall also pay all expenses of examination of the title and of preparation and recording of the deed.

5. **Risk of Loss.** The SELLER shall bear the risk of loss or damage to the property by fire or other casualty until possession of the property has been delivered to the COMMONWEALTH. The SELLER may continue to insure the property after possession has been delivered until title has passed to the COMMONWEALTH under this Agreement. The SELLER shall ensure that any insurance policy(ies) on such building(s) shall be amended to provide for payment thereunder (by means of a standard mortgage clause) to the COMMONWEALTH of the amount paid to the SELLER under this Agreement.

6. **Notice to Vacate.** If this sale will result in a residential or business displacement, the COMMONWEALTH will not require vacation of the property for at least ninety (90) days from the date of execution of this Agreement. The COMMONWEALTH will issue a NOTICE TO VACATE to the SELLER at least thirty (30) days before the COMMONWEALTH takes possession of the property.

7. **Continued Possession.** The SELLER may remain in possession, on a rent-free basis, until N/A. After that date the SELLER shall pay rent to the COMMONWEALTH in the amount of \$0.00 per month. The SELLER shall pay the rent, in advance, beginning N/A, on a month-to-month basis until possession of the property has been delivered to the COMMONWEALTH. The SELLER may relocate prior to this date. The SELLER shall execute the COMMONWEALTH's standard Lease Agreement, Form RW-670. Upon the expiration of one year, the amount of rental may be changed at the discretion of the COMMONWEALTH.

8. **Right of Entry.** Upon execution of this Agreement, the COMMONWEALTH, its agents and contractors, shall have the right to enter upon the premises to be conveyed for making studies, tests, soundings and appraisals.

9. **Settlement and Release.** The SELLER does further remise, release, quitclaim and forever discharge the COMMONWEALTH or any agency or political subdivision thereof or its or their employees or representatives of and from all suits, damages, claims and demands which the SELLER might otherwise have been entitled to assert under the provisions of the Eminent Domain Code, 26 Pa.C.S. § 101 et seq., for or on account of this conveyance and any injury to or destruction of the aforesaid property of the SELLER through or by reason of the aforesaid highway construction or improvement, except damages, if any, under Section 710 (Limited Reimbursement of Appraisal, Attorney and Engineering Fees) and Section 711 (Payment on Account of Increased Mortgage Costs) of the Eminent Domain Code; provided, however, that if relocation of a residence or business or farm operation is involved, this release shall likewise not apply to damages, if any, under Section 902 (Moving Expenses) and/or Section 903, 904 (Replacement Housing) and/or Section 905 (Housing Replacement Authorization) of the Eminent Domain Code.

10. **Tenant Indemnification.**

No tenants.

The SELLER shall indemnify the COMMONWEALTH against any claim made by any lessee of the property who has not entered into a Settlement Agreement with the COMMONWEALTH.

11. **Binding Effect.** This Agreement shall accrue to the benefit of and be binding upon the parties to this Agreement and their respective heirs, executors, administrators, representatives, successors and assigns.

12. **Applicable Law.** This Agreement shall be governed by and interpreted and enforced in accordance with the laws of the Commonwealth of Pennsylvania (without regard to any conflict of laws provisions).

13. **Severability.** The provisions of this Agreement shall be severable. If any phrase, clause, sentence or provision of this Agreement is declared to be contrary to the Constitution of Pennsylvania or of the United States or of the laws of the Commonwealth the applicability thereof to any government, agency, person or circumstance is held invalid, the validity of the remainder of this Agreement and the applicability thereof to any government, agency, person or circumstance shall not be affected thereby.

14. **No Waiver.** Either party may elect not to enforce its rights and remedies under this Agreement in the event of a breach by the other party of any term or condition of this Agreement. In any event, the failure by a party to enforce its rights and remedies under this Agreement shall not be construed as a waiver of any subsequent breach of the same or any other term or condition of this Agreement.

15. **Assignment.** This Agreement may not be assigned by the SELLER, either in whole or in part, without the written consent of the COMMONWEALTH.

16. **Third Party Beneficiary Rights.** The parties to this Agreement understand that this Agreement does not create or intend to confer any rights in or on persons or entities not a party to this Agreement.

17. **Right-To-Know Law.** The Pennsylvania Right-to-Know Law, 65 P.S. §§ 67.101-3104, applies to this Agreement.

18. **Integration and Merger.** This Agreement, when executed, approved and delivered, shall constitute the final, complete and exclusive Agreement between the parties containing all the terms and conditions agreed on by the parties. All representations, understandings, promises and agreements pertaining to the subject matter of this Agreement made prior to or at the time this Agreement is executed are superseded by this Agreement unless specifically accepted by any other term or provision of this Agreement. There are no conditions precedent to the performance of this Agreement except as expressly set forth herein.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the parties have executed this Agreement below.

INDIVIDUALS

ENTITIES*

SELLER:

Township of South Whitehall, a Political
Subdivision of the Commonwealth of Pennsylvania
(Name of Entity)

BY: _____

BY: _____

* Use this block for a corporation, partnership, LLC, government entity, school district, church, trust, club, association, POA, attorney-in-fact, executor, administrator or any other entity. See R/W Manual Section 3.06.

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION

BY: _____
District Right-of-Way Administrator

Prepared By: ARROW Land Solutions, LLC
for the Commonwealth of Pennsylvania
1002 Hamilton Street
Allentown, PA 18101-1013



Return To: ARROW Land Solutions, LLC
190 Welles St., Ste. 203
Forty Fort, PA 18704-4900

Site Location: Part of Tax Map Parcel No. 547685647629

RW-317F (10/21)
18-FA-48.1

ROW OFFICE PROJ. NO.	050380
COUNTY	Lehigh
S.R. - SECTION	0309-12M
MUNICIPALITY	South Whitehall Township
PARCEL NO.	72
CLAIM NO.	3900813000
CLAIMANT	Township of South Whitehall, a Political Subdivision of the Commonwealth of Pennsylvania

DEED
(Fee Simple)

THIS INDENTURE is made this ___ day of _____, by Township of South Whitehall, a Political Subdivision of the Commonwealth of Pennsylvania, 4444 Walbert Avenue, Allentown, PA 18104-1619, owner(s) of property affected by the construction or improvement of the above referenced State Route, its heirs, executors, administrators, successors, and/or assigns (“GRANTOR”), and the Commonwealth of Pennsylvania, through the Department of Transportation (“COMMONWEALTH” or “GRANTEE”).

WITNESSETH:

WHEREAS, the COMMONWEALTH recorded a plan in the Recorder of Deeds Office of the aforesaid County indicating its authorization to condemn GRANTOR’s property for transportation construction or improvement on the above referenced State Route and Section; and

WHEREAS, the parties have agreed that, in lieu of condemnation, the GRANTOR will convey in fee simple and such other estate(s) as designated, if any, to the COMMONWEALTH the property or portion thereof required by the COMMONWEALTH.

NOW, THEREFORE, in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, the GRANTOR does hereby grant and convey in fee simple to the COMMONWEALTH:

- the premises described by metes and bounds in Exhibit A which is attached hereto.
- that portion of the premises designated as required right-of-way or as acquired in fee simple for other purposes on the plot plan which is attached hereto as Exhibit A; and those areas, if any, designated as required for easement purposes as identified in the plot plan.

BEING all or a portion of the same property conveyed or devised to the GRANTOR by Deed of Oakleigh Development Co., a Pennsylvania Corporation, dated July 27, 1965 and recorded in Deed Book 1081 Page 0388, together with the improvements, hereditaments and appurtenances thereto. This conveyance contains approximately 7,459 square feet of Required Right-of-Way for Limited Access and is identified on COMMONWEALTH plans as Parcel 71, being part of Tax Map Parcel No. 547685647629. The GRANTOR warrants GENERALLY the property hereby conveyed.

The GRANTOR hereby excepts and reserves from this conveyance all right, title, and interest in and to all minerals, including oil, gas, subsurface gas storage, and subsurface gas storage protection together with the right to produce, inject, store subsurface, withdraw, and protect natural gas and oil; said mining, removal, storage and storage protection activities to be accomplished from a minimum depth to be determined by the COMMONWEALTH, from mine shafts, wells or other facilities located off the right-of-way, it being the intent of this provision that the COMMONWEALTH owns the right of support and no mineral activities may take place on the surface of the land acquired by the COMMONWEALTH.

The GRANTOR does further remise, release, quitclaim and forever discharge the COMMONWEALTH or any agency or political subdivision thereof or its or their employees or representatives of and from all suits, damages, claims and demands which the GRANTOR might otherwise have been entitled to assert under the provisions of the Eminent Domain Code, 26 Pa.C.S. § 101 et seq., for or on account of this conveyance and any injury to or destruction of the aforesaid property of the GRANTOR through or by reason of the aforesaid highway construction or improvement, except damages, if any, under Section 710 (Limited Reimbursement of Appraisal, Attorney and Engineering Fees) and Section 711 (Payment on Account of Increased Mortgage Costs) of the Eminent Domain Code; provided, however, that if relocation of a residence or business or farm operation is involved, this release shall likewise not apply to damages, if any, under Section 902 (Moving Expenses) and/or Section 903, 904 (Replacement Housing) and/or Section 905 (Housing Replacement Authorization) of the Eminent Domain Code.

The GRANTOR does further indemnify the COMMONWEALTH against any claim made by any lessee of the aforesaid property who has not entered into a Settlement Agreement with the COMMONWEALTH.

The covenants, terms, and conditions of this Indenture shall be binding upon the GRANTOR and the GRANTOR's heirs, executors, administrators, successors and assigns.

Certificate of Residence

I hereby certify the Grantee's precise residence to be:

1002 Hamilton St.
Allentown, PA 18101-1013

Witness my hand this _____ day of _____, _____

Agent for the Commonwealth of Pennsylvania
Department of Transportation

IN WITNESS WHEREOF, the GRANTOR has executed or caused to be executed these presents, intending to be legally bound thereby.

INDIVIDUALS

ENTITIES*

GRANTOR:
Township of South Whitehall, a Political
(Name of Entity)

BY: _____

BY: _____

* Use this block for a corporation, partnership, LLC, government entity, school district, church, trust, club, association, POA, attorney-in-fact, executor, administrator or any other entity. See R/W Manual Section 3.06.

INDIVIDUAL

ENTITY

<p>STATE OF PENNSYLVANIA COUNTY OF _____</p> <p>On this _____ day of _____, 20____, before me, _____, the undersigned officer, personally appeared _____, known to me (or satisfactorily proven) to be the person(s) whose name(s) _____ subscribed to the within instrument, and acknowledged that _____ executed the instrument for the purposes contained in it.</p> <p>In witness whereof, I hereto set my hand and official seal.</p> <p>_____ [Signature] _____ [Title]</p> <p>[Seal]</p>	<p>STATE OF PENNSYLVANIA COUNTY OF _____</p> <p>On this _____ day of _____, 20____, before me, _____, the undersigned officer, personally appeared _____, who acknowledged _____ self to be the _____ [title] of _____ [name of entity], and that as such _____ [title], being authorized to do so, executed the foregoing instrument for the purposes contained in it by signing on behalf of the entity as _____ [title].</p> <p>In witness whereof, I hereto set my hand and official seal.</p> <p>_____ [Signature] _____ [Title]</p> <p>[Seal]</p>
---	---

RW-317F (10/21) 3900813000
Claim Number

Township of South Whitehall, a Political
Claimant

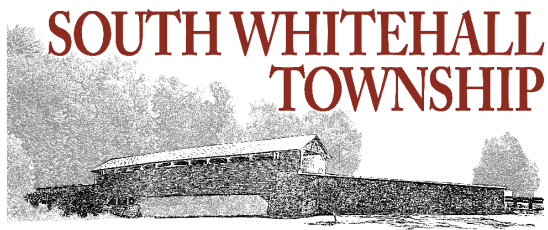
Date

Page 4 of 4

APPROVED AS TO FORM AND LEGALITY:

For Chief Counsel

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**MEMORANDUM FOR
AGENDA ITEMS**

TO:	Board of Commissioners
FROM:	Chief Glen Dorney
DATE:	25 October 2022
SUBJECT:	Conditional offer of employment for entry level patrol officer
COPY TO:	Tom Petrucci, Township Manager

- **Background Information and/or Justification of Expense:**
 The Police Department is in the hiring process for vacant entry-level patrol officer positions via Civil Service guidelines and need the Board of Commissioners to extend conditional offer of employment to the next eligible candidates on the civil service list.

- **Action Requested:**
 I am requesting the Board of Commissioners to extend a conditional offer of employment for entry-level patrol officer in the South Whitehall Township Police Department to applicant #81457, conditioned upon the individuals satisfactorily completing the background investigation, polygraph examination, medical examination, and psychological examination to confirm their fitness for duty.

- **Budget Line Item (if applicable):** *Please indicate approved budget amount for specified project(s).* 01-41-410-4102-000-000-0000-01-40112 Patrol Wages

**BOARD OF COMMISSIONERS OF
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PENNSYLVANIA**

**Resolution 2022-__
(Duly Adopted November 2, 2022)**

A RESOLUTION EXTENDING A CONDITIONAL OFFER OF EMPLOYMENT FOR ENTRY-LEVEL POSITION OF PATROL OFFICER IN THE TOWNSHIP'S POLICE DEPARTMENT TO APPLICANT: #81457, CONDITIONED UPON THE INDIVIDUAL SATISFACTORILY COMPLETING THE BACKGROUND INVESTIGATION, POLYGRAPH EXAMINATION, MEDICAL EXAMINATION, AND PSYCHOLOGICAL EXAMINATION TO CONFIRM THEIR FITNESS FOR DUTY

WHEREAS, South Whitehall Township ("**Township**") is subject to the Civil Service provisions of the First Class Township Code 53 PA. STAT. ANN. § 56101 *et seq.* with respect to its Police Department since there are more than two full-time members in the department; and

WHEREAS, The Board of Commissioners ("**Board**") of the Township has appointed a Civil Service Commission ("**Commission**") in accordance with the Code, and the Commission and the Board have adopted rules and regulations ("**Rules**") pursuant to Code § 630, 53 PA. STAT. ANN. § 55630; and

WHEREAS, pursuant to the Rules, the Commission has conducted examinations for the entry-level position of Patrol Officer in the Township's Police Department, has established an Eligibility List for that position, and has certified individuals to the Board for appointment to that position, including Applicant: **#81457**.

WHEREAS, based solely on the merits and fitness of the applicants certified by the Commission to the Board, and considering the veterans' preference to which these individuals are entitled, the Board desires to extend a conditional offer of employment to Applicant: **#81457** for the entry-level position of Patrol Officer in the Township's Police Department.

NOW, THEREFORE, BE IT RESOLVED by the Board of Commissioners of South Whitehall Township that Applicant: **#81457** is hereby appointed to the entry-level position of Patrol Officer in the Township's Police Department, conditioned upon candidate successfully completing a Background Investigation, Polygraph Examination, Medical Examination, and Psychological Examination, which will confirm that they can perform the essential duties of the Patrol Officer position, with or without reasonable accommodation, in accordance with the procedures set forth in Section 5.4 of the Rules. Once employment commences, candidate shall be subject to an initial one (1) year probationary period pursuant to Section 5.5 of the Commission's Civil Service Rules.

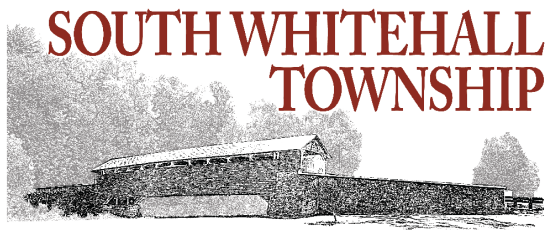
DULY RESOLVED by the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, the **2nd** day of **November 2022**, in lawful session duly assembled.

SOUTH WHITEHALL TOWNSHIP
BOARD OF COMMISSIONERS

Diane Kelly, President

ATTEST:

Tricia Dickert, Twp. Secretary



**MEMORANDUM FOR
AGENDA ITEMS**

TO:	Board of Commissioners
FROM:	Tom Petrucci, Township Manager
DATE:	October 31, 2022
SUBJECT:	Request for Official Action to Approve Utilizing Univest Bank for Depository for Fiscal Stability Fund (Resolution and Motion)
COPY TO:	H. Bender; T. Dickert; K. Blahnik; T. Fehnel

- **Action Requested:**

1). A **resolution** is requested to be approved by the Board of Commissioners during the **Wednesday, November 2, 2022** Board of Commissioners meeting to add Univest Bank and Trust Co. as a designated depository of Township funds and to memorialize recent signatory changes.

2). A **motion** is requested to be approved by the Board of Commissioners during the **Wednesday, November 2, 2022** Board of Commissioners meeting to authorize the Township Manager, Director of Finance and Fund Balance Specialist to open a Public Funds Elite Liquid Money Market Account with Univest Bank and Trust Co. for the Fiscal Stability Fund.

- **Background Information:**

The current Certificate of Deposit (CD) holding the Fiscal Stability Fund (current balance is approximately \$2,212,698.65) with The Neffs National Bank is locked into a rate of .40% until **2027**. The previous CD with a rate of 1.99% matured in April of 2022. A previous administrator in the Finance Department rolled over the CD at the reduced interest rate. Extrapolated over an entire fiscal year, the reduced CD interest rate results in a loss to the Township of about \$35,000.00 (plus or minus)- \$44,032.70 in anticipated earnings versus \$8,850.00.

Univest Bank and Trust Co. offers a Public Funds Elite Liquid Money Market Account which has a minimum balance requirement of \$1,000,000.00 and a maximum balance of \$25,000,000.00. There are no costs and no fees (transactions are restricted to six transfers per month-which should not present an issue for South Whitehall Township).

The current interest is **3.25%**; the rate will automatically change as the Federal Funds rate changes. This gives the Township future flexibility with respect to the use of the funds depending on what transpires at the level of the Federal Reserve.

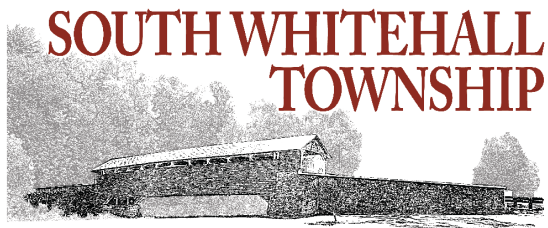
All deposits are secured under Act 72 Public Funds and/or a letter of credit for the total amount of the investment; monthly statements are provided.

In order to effectuate this recommended change in depository for the Fiscal Stability Fund, there will be a pre-payment penalty for the current CD in the amount of \$2,212.71 with The Neffs National Bank. This has been calculated through November 30th. It is important to note that this penalty will be almost immediately absorbed by the positive difference in the anticipated additional interest earnings on the Public Funds Elite Liquid Money Market Account with Univest.

The Township should expect to receive about \$71,912 (depending on what happens with respect to future interest rate adjustments at the level of the Federal Reserve). This is a net positive difference from the current .40% interest rate in the amount of about \$63,000.00. As noted, the Township cannot forecast what future interest rate increases (or decreases) will be, but the Township will be well positioned to adjust as necessary due to the funds being held in a liquid account, as opposed to a locked in CD.

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

N/A



**MEMORANDUM FOR
AGENDA ITEMS**

TO:	Board of Commissioners
FROM:	Tom Petrucci, Township Manager
DATE:	October 28, 2022
SUBJECT:	Request for Motion to Accept Resignation of Commissioner Michael Wolk; Request for Motion of Advertisement/Interview Schedule to Appoint Commissioner Wolk’s Successor
COPY TO:	H. Bender; T. Fehnel

• **Action Requested (Two Separate Motions):**

1). A motion is requested to be approved by the Board of Commissioners to accept the resignation of Commissioner Michael Wolk.

Provided the above motion is approved by governing, a second separate motion is also requested for approval.

2) A motion is requested to be approved by the Board of Commissioners to approve the advertisement and interview process/schedule to fill the vacant seat on the Board of Commissioners created by the resignation of Commissioner Michael Wolk.

• **Background Information:**

Recognizing that this may be the first time that some of you have dealt with a vacant elected position as a member of the Board of Commissioners (BOC), I wanted to inform you that the vacancy does not technically occur until . . . “the date that the resignation is accepted by a majority vote of a quorum of the board of commissioners at a public meeting **or** the effective date of the tendered resignation, **whichever is later**”, as per Section 530 (a)(1) of the First Class Township Code.

In this particular case (in which Commissioner Wolk tendered his resignation with an effective date of 10/23/2022 at 11:59 PM), the resignation will not take effect until the 11/2/2022 regular meeting (provided of course that the resignation is accepted by the BOC members at that meeting, which is solely in your discretion). As per First Class Township Code requirements, the members of the BOC must accept a resignation of a member of the BOC no later than forty-five (45) days after it has been tendered in writing to the BOC, unless it is withdrawn in writing prior to acceptance.

Once the resignation is formally accepted by the BOC, the BOC members will then have thirty (30) days to appoint a successor to fill the remainder of Commissioner Wolk’s current term,

which expires at the end of 2023. If the BOC does not appoint the successor within that thirty (30) day window, the appointment responsibility is then sent to the Vacancy Board, which has another fifteen (15) days to fill the vacancy. If the Vacancy Board fails to fill the vacancy, the appointment is then referred to the Lehigh County Court of Common Pleas (following a petition to said court).

This message is intended to be merely informative in nature to make sure all of you (the Commissioners who are now going to have the responsibility of overseeing this vacancy) were all aware of the date when the vacancy is considered technically created in accordance with the provisions of the First Class Township Code.

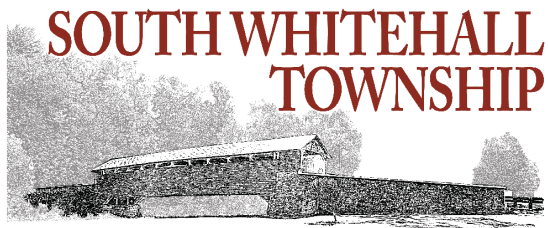
Tentative Timeline:

Action	Date
Board Accepts Resignation of Commissioner Wolk	11/2/2022 Board of Commissioners Meeting
Board Approves Advertisement of Public Notice of Applications/Interviews	11/2/2022 Board of Commissioners Meeting
Application Deadline	11/16/2022 (Wednesday) at 4:00 PM
Interviews	Between 11/21/2022 and 11/22/2022
Appointment via Resolution	Special Board of Commissioners Meeting-TBD

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

Sufficient funding is provided for within the 2022 Budget for the cost of advertisement.

Enclosures



**MEMORANDUM FOR
AGENDA ITEMS**

TO:	Board of Commissioners
FROM:	Tom Petrucci, Township Manager
DATE:	October 28, 2022
SUBJECT:	Request for Official Action: Motion to Approve Codification Update
COPY TO:	H. Bender; T. Dickert; D. Zackeru; T. Fehnel; T. Harper

- **Action Requested (Two Separate Motions):**

A motion is requested to be approved by the Board of Commissioners to authorize Township personnel to proceed with executing a proposal with General Code to update the Code of the Township of South Whitehall. The relevant proposal is attached.

- **Background Information:**

The Code of the Township of South Whitehall is current through December 18, 2019. Codification is the professional service to take adopted ordinances and incorporate them into the codified ordinances (both online and the hard copy) of South Whitehall Township. It is recommended that the Township should update the Code on an annual basis going forward.

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

01404102-40952 is the budgeted line item. \$10,000.00 is currently available for 2022.

TO: Thomas R. Petrucci, MPA
Township Manager
petruccit@southwhitehall.com

FROM: Donna Post
Client Care
DPost@generalcode.com

Tom Harper
Enforcement Program Manager
harpert@southwhitehall.com

Tracy J. Fehnel
Insurance Administrator & Executive Assistant to
Thomas Petrucci Township Manager/ORO
fehnel@southwhitehall.com

CLIENT: Township of South Whitehall, PA
(SO2458)

RE: Supplement No. 9 Estimate

Thank you for the opportunity to provide an estimate for your current supplementation project. Please review the information below, and then sign and return to proceed with the codification.

Source Files:

We have reviewed 12 pieces of legislation for an update to the Township Code.

There were also 6 pieces of legislation that do not need to be codified.

For a detailed listing of the included legislation, refer to the Appendix at the end of this estimate.

Supplementation:

General Code will codify and supplement the legislation listed above which includes but is not limited to:

- Analysis of the new legislation and proper placement in the Code
- Removal of repealed or superseded provisions
- Updates to the Title Page, Officials Page, Appendixes, Key(s), Index, Histories, Tables, Charts, and other items as necessary
- Review of statutory citations regarding the new legislation
- Any conflicts, inconsistencies, issues or questions identified at this point will be brought to the attention of the municipality for resolution prior to publication
- Insertion of cross reference and editor's notes, as appropriate
- Creation of instruction page for removing and inserting revised Code pages
- Printing of up to 6 sets of supplemental pages
- Update to eCode360

Price:

Between \$8,475.00 and \$8,995.00, which includes shipping and handling.

The final invoice will follow completion of the supplement.

- Any missing legislation received may result in additional costs.
- Any newly adopted legislation received after authorization for this supplement will be held until the next supplement, unless otherwise noted.

Payment Terms:

Available upon request

Authorization:

To authorize the supplement as outlined above, please sign and return to ezsupp@generalcode.com.

This order is subject to General Code's Codification Terms and Conditions, which are available at <https://www.generalcode.com/terms-and-conditions-documents/>.

Signature: _____ Date: _____

If you have any questions, please feel free to contact me.

Donna Post, Client Care
DPost@generalcode.com

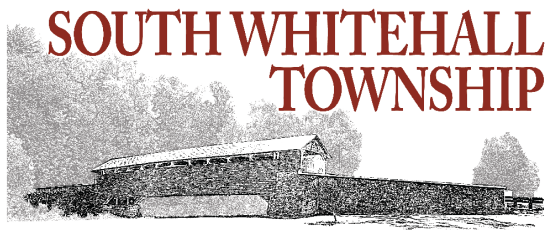
Appendix

Legislation to be included in the code

Legislation Name	Adoption Date
Ordinance No. 1049	05/20/2020
Ordinance No. 1050	06/03/2020
Ordinance No. 1051	08/19/2020
Ordinance No. 1052	09/02/2020
Ordinance No. 1053	11/04/2020
Ordinance No. 1055	01/20/2021
Ordinance No. 1059	09/01/2021
Ordinance No. 1062	06/15/2022
Ordinance No. 1063	06/15/2022
Ordinance No. 1064	06/15/2022
Ordinance No. 1065	06/15/2022
Ordinance No. 1066	09/21/2022

Legislation that does not need to be codified

Legislation Name	Adoption Date
Ordinance No. 1054	12/16/2020
Ordinance No. 1056	
Ordinance No. 1057	
Ordinance No. 1058	08/18/2021
Ordinance No. 1060	
Ordinance No. 1061	12/15/2021



**MEMORANDUM FOR
AGENDA ITEMS**

To:	Board of Commissioners
FROM:	Herb Bender
DATE:	October 24, 2022
SUBJECT:	Sewer Main Repairs, Manhole Rehab., Manhole to Manhole Lining
COPY TO:	T.Petrucci, M.Elias, T.Dickert

- **Background Information and/or Justification of Expense:**
This contract is used to do cast in place repairs to the sewer mains also to repair sewer manholes that might have water infiltrating through the walls. This is also used for lining sewer main from manhole to manhole.

- **Action Requested:**
To extend the contract for one year. Contractor is going to hold the same pricing from previous year.

- **Budget Line Item (if applicable):**

08431003/40322

MUNICIPAL CONTRACT

PART A

THIS IS THE CONTRACT AND AGREEMENT entered into on the **22nd** day, the month of **November, 2021**, by and between: **Utility Services Group of 1304 Slate Hill Road, Camp Hill, PA 17011**, herein after called the **Vendor**, and **SOUTH WHITEHALL TOWNSHIP**, of Lehigh County, Pennsylvania, hereinafter called the **Purchaser**. The Vendor agrees to sell and the Purchaser agrees to buy the following upon the terms and conditions hereinafter set forth:

PROJECT NAME: BID #2020-04: SEWER MAIN REPAIRS, MANHOLE REHABILITATION AND MANHOLE TO MANHOLE LINING

SEWER MAIN REPAIR	
CURED IN PLACE POINT REPAIRS BY LINEAR FOOT ALONG CENTER LINE OF PIPE PER PIPE	PRICE PER LINEAR FOOT
8"	\$585.00
10"	\$600.00
12"	\$635.00
14"	\$680.00
16"	\$715.00
18"	\$725.00
20"	\$750.00
24"	\$760.00
30"	\$830.00
LATERAL REINSTATEMENTS PER UNIT	\$575.00
CUTTING PROTRUDING SERVICE LATERALS PER UNIT	\$450.00
BYPASS PUMPMING PER HORIZONTAL LINEAR FOOT ALONG CENTERLINE OF PIPE PER SIZE	PRICE PER LINEAR FOOT
8"	\$ 4.00
10"	\$ 4.00
12"	\$ 5.00
14"	\$ 7.00
16"	\$ 7.00
18"	\$ 12.00
20"	\$ 12.00
24"	\$ 14.00
30"	\$ 15.00
TRAFFIC CONTROL – PRICE PER HOUR	\$150.00

MANHOLE TO MANHOLE LINING	
MANHOLE TO MANHOLE LINING BY LINEAR FOOT	PRICE PER LINEAR FOOT
8"	\$ 75.00
10"	\$ 85.00
12"	\$100.00
14"	\$125.00
16"	\$150.00
18"	\$190.00
20"	\$240.00
24"	\$290.00
30"	\$350.00
LATERAL REINSTATEMENTS PER UNIT	\$575.00
CUTTING PROTRUDING SERVICE LATERALS PER UNIT	\$450.00
BYPASS PUMPING PER HORIZONTAL LINEAR FOOT ALONG CENTERLINE OF PIPE PER SIZE	PRICE PER LINEAR FOOT
8"	\$ 4.00
10"	\$ 4.00
12"	\$ 5.00
14"	\$ 7.00
16"	\$ 7.00
18"	\$ 12.00
20"	\$ 12.00
24"	\$ 14.00
30"	\$ 15.00
TRAFFIC CONTROL – PRICE PER HOUR	\$150.00

MANHOLE REHABILITATION			
ITEM DESCRIPTION		UNIT OF MEASURE	PRICE PER UNIT
PARSON MHLINER OR EQUAL PER VERTICAL FOOT	PRICE SHOULD INCLUDE ALL NECESSARY OPERATIONS	PRICE PER VERTICAL FOOT	\$185.00
PARSON HYDRO GROUT OR EQUAL (EXPANSIVE HYDROPHOBIC URETHANE) PER GALLON	PRICE SHOULD INCLUDE ALL NECESSARY OPERATIONS	PRICE PER GALLON	\$185.00
PARSON COMPOSITE LINER OR EQUAL	PRICE SHOULD INCLUDE ALL NECESSARY OPERATIONS	PRICE PER VERTICAL FOOT	\$425.00
PARSONPOXY OR EQUAL PER VERTICAL FOOT	PRICE SHOULD INCLUDE ALL NECESSARY OPERATIONS	PRICE PER VERTICAL FOOT	\$240.00
BENCH AND CHANNEL PER UNIT EPOXY	PRICE SHOULD INCLUDE ALL NECESSARY OPERATIONS	PRICE PER UNIT	\$500.00
BENCH AND CHANNEL PER UNIT CEMENTITIOUS	PRICE SHOULD INCLUDE ALL NECESSARY OPERATIONS	PRICE PER UNIT	\$335.00
TRAFFIC CONTROL	PRICE SHOULD INCLUDE ALL NECESSARY OPERATIONS	PRICE PER HOUR	\$150.00

The Vendor and the Purchaser agree to be bound by the terms of the Scope of Work, Specifications, Instructions to Bidders, and Technical Specifications and Plans, if any, attached hereto and delivery shall be made when and as directed by the Purchaser.

The Vendor further agrees to furnish one of the following: a Performance Bond, Cashiers or Certified Check, Standby Irrevocable Letter of Credit, using Township form, or Certificate of Deposit or Escrow Account, or equivalent, with sufficient surety, in the amount of not less than 50% nor more than 100% of the amount of this Contract, as prescribed by the Purchaser, guaranteeing performance of the Contract or delivery to be made in satisfactory manner which, of the aforementioned instruments, is attached and made a part hereof.

THE AMOUNT OF PERFORMANCE SURETY MUST BE 100%

The Purchaser agrees to make payment in accordance with the terms of the acceptance and payment clause. This Contract, which shall be deemed to include the Scope of Work, Specifications, Instructions to Bidders, and Technical Specifications and Plans, if any, shall constitute the entire agreement between the parties hereto and its provisions shall not be changed, except in writing, and executed by both parties.

This Contract shall expire: November 21, 2022. The Township reserves the right to extend the contract period for one (1) additional one (1) year term if the Contractor agrees to hold the prevailing price.

END PART A

MUNICIPAL CONTRACT

PART B

IN TESTIMONY WHEREOF, said parties have hereunto set their hands the day and year above written, intending to be legally bound hereby.

*CONTRACTOR: Utility Services Group, Inc

BY: [Signature]
(Vendor Signature)

William D. Friedrich PC.
(Print Name)

ADDRESS: 1304 Slate Hill Rd
Camp Hill PA 17011

TELEPHONE #: 717-730-6092 DATE: 12-13-21.

SOUTH WHITEHALL TOWNSHIP

BY: [Signature]
Township Manager

TOWNSHIP SEAL:

ATTEST: [Signature]
Township Secretary

PROJECT TITLE: BID #2020-04: SEWER MAIN REPAIRS, MANHOLE REHABILITATION AND MANHOLE TO MANHOLE LINING

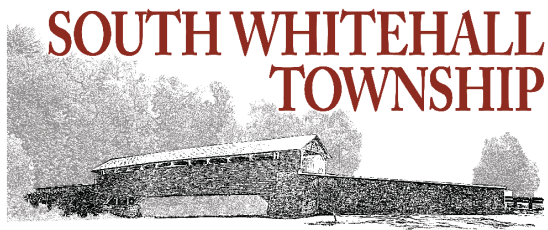
*Corporate Contractors shall execute the following and affix their corporate seals:

ATTEST: [Signature]
VICE President

CORPORATE SEAL:

ATTEST: [Signature]
Asst. Secretary

END PART B



**MEMORANDUM FOR
AGENDA ITEMS**

To:	Board of Commissioners
FROM:	Herb Bender
DATE:	October 25, 2022
SUBJECT:	Moratorium Exemption Request
COPY TO:	T. Petrucci, T. Dickert

- **Background Information and/or Justification of Expense:**
Aqua is requesting to lift the road moratorium on Americus Ave to replace the water main. Americus Ave was paved in 2019 Aqua has agreed to repave the whole width of the road.

- **Action Requested:**
Requesting a motion to approve the lifting of the 5-year road moratorium

- **Budget Line Item (if applicable):**

South Whitehall Township

Street Moratorium Exemption Request

Date: 10/24/2022

Applicant Name: Aqua Pennsylvania, Inc.

Reason For Street Opening: Watermain Replacement Project

Property Address: 831 Americus Ave to Country Club Drive Intersection

Phone Number: (570) 443-7099 Ext: 55502

E Mail Address: JPShoff@aquaamerica.com

Street Name: Americus Avenue

Paving Date: 10/2019

Moratorium expiration date: 10/2024

Permit Number:

Permit Cost: \$125 - **Non refundable**

Zoning Review: \$25 – If required- Non **Refundable**

Maintenance Escrow Fee: \$1,000 -

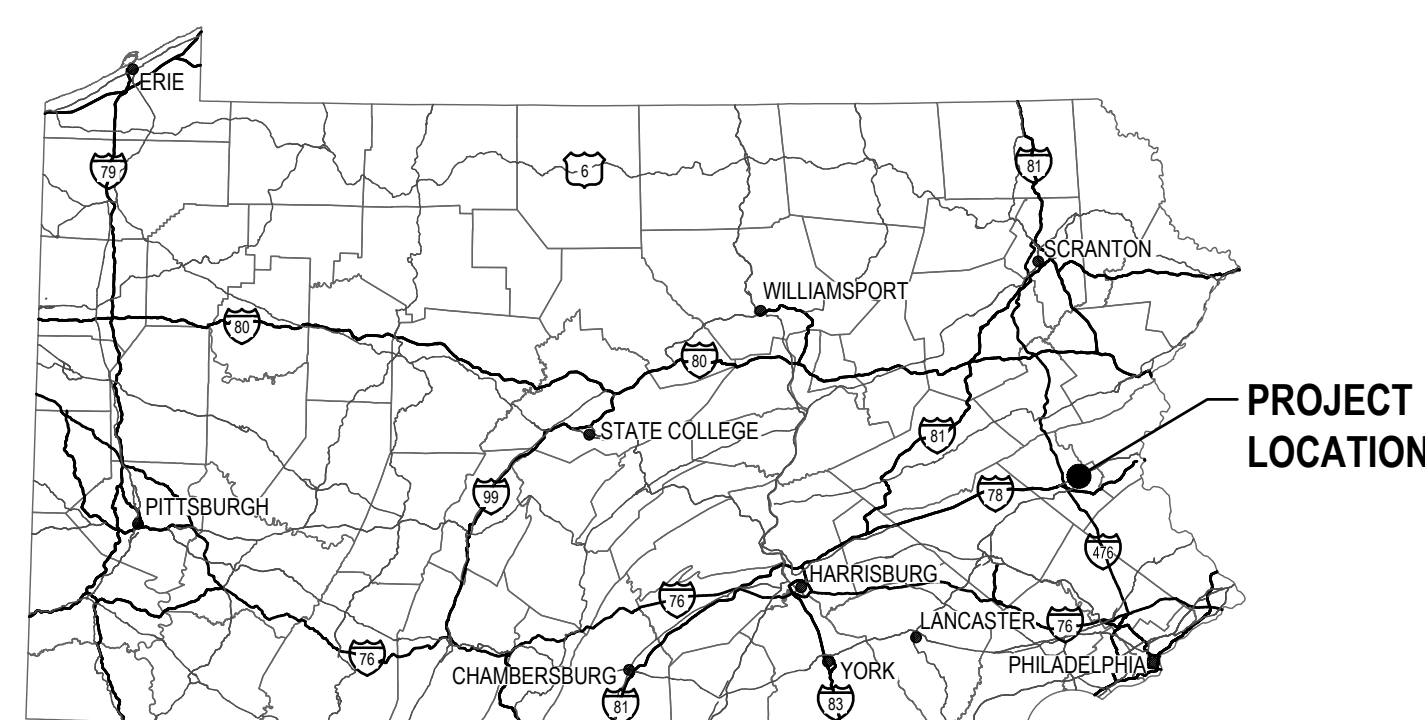
Inspection Escrow Fee: \$250 -

New street opening fee: \$250 – **Non refundable**

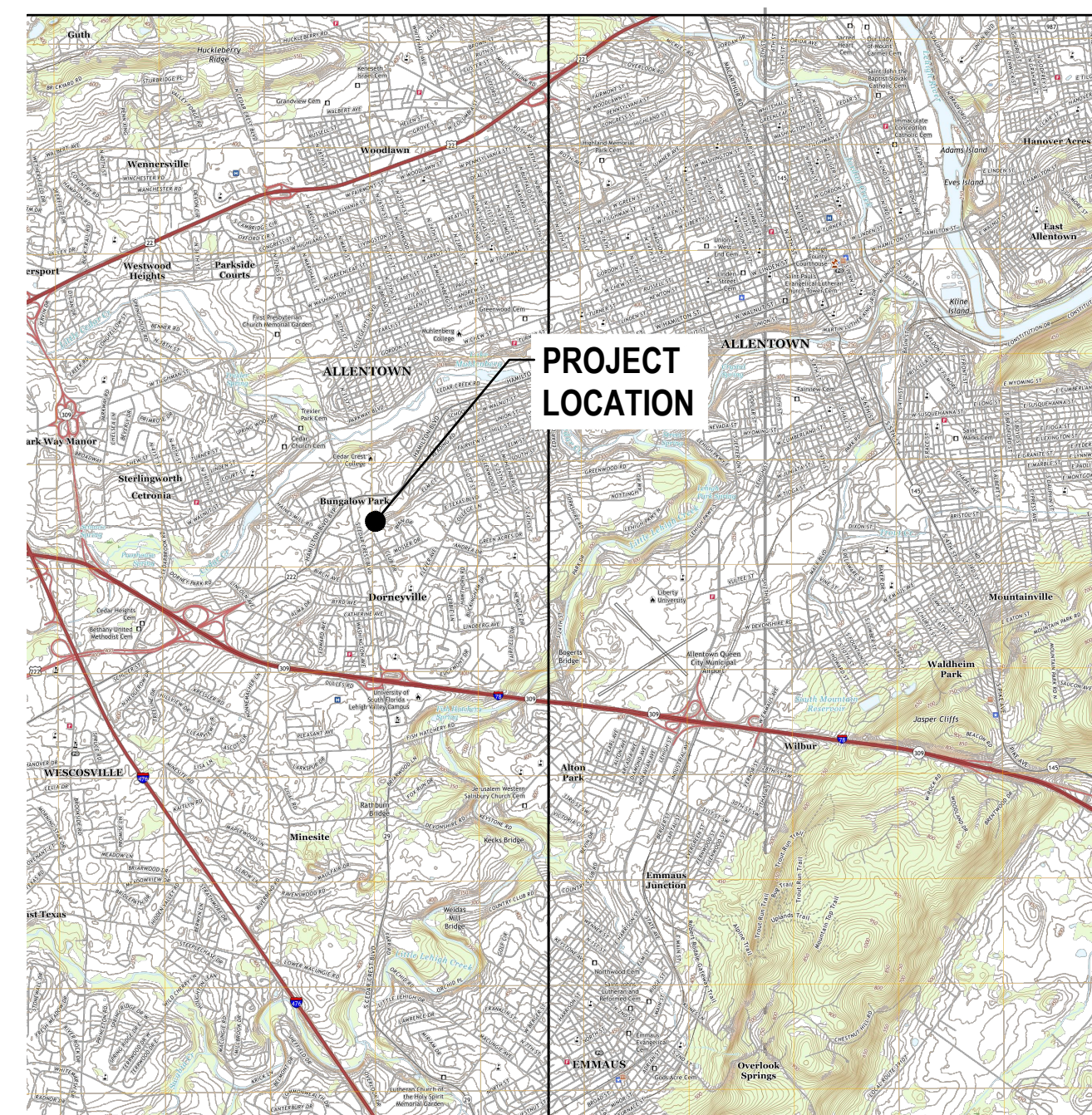


AQUA PENNSYLVANIA, INC COUNTRY CLUB GARDENS WATERMAIN REPLACEMENT

SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PA BID DOCUMENTS JANUARY 2022



AREA MAP
NO SCALE



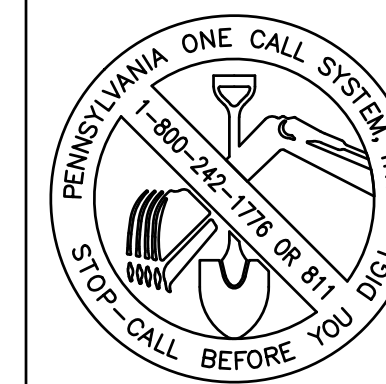
LOCATION MAP
SCALE: 1" = 5000'

SITE ADDRESS:
SOUTH WHITEHALL TOWNSHIP,
LEHIGH COUNTY, PA

CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE
FOR CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL

PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776 OR 811

POCS SERIAL NUMBERS:
20213372195
20213372196



UNDERGROUND UTILITIES ACT:

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE PENNSYLVANIA GENERAL ASSEMBLY UNDERGROUND UTILITY LINE PROTECTION ACT, PA ACT 287 OF 1974, AS AMENDED BY ACT 50 OF 2017, 73 P.S. § 176 ET SEQ. FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN THE CONTRACT AREA, THE ONE UNDERGROUND UTILITIES CALL NUMBER IS 800-242-1776 OR 811.

INDIVIDUAL LOCAL UTILITIES ARE AS FOLLOWS:

AQUA PENNSYLVANIA
1 AQUA WAY
WHITE HAVEN, PA 18661
CONTACT: JOSHUA SHOFF
EMAIL: jshoff@aquamerica.com

PPL ELECTRIC UTILITIES CORPORATION
503 NEW MARKET ST
WILKES BARRE, PA 18702
CONTACT: MARK SANTAYANA
EMAIL: mcsantayana@pplweb.com

SERVICE ELECTRIC CABLE TV INC
2260 AVENUE A LVIP 1
BETHLEHEM, PA 18017
CONTACT: RICH PERHICH
EMAIL: rperich@sectv.com

BETHLEHEM CITY
10 E CHURCH ST
BETHLEHEM, PA 18018
CONTACT: ROBERT TAYLOR
EMAIL: rtaylor@bethlehem-pa.gov

SALISBURY TOWNSHIP
3000 S PIKE AVE
ALLENTOWN, PA 18103
CONTACT: JIM LEVERNIER
EMAIL: jlevernier@salisburytownship.org

UGI
2121 CITY LINE RD
BETHLEHEM, PA 18017
CONTACT: TAREK SAYEGH
EMAIL: tsayegh@ugi.com

VERIZON PENNSYLVANIA LLC
1050 VIRGINIA DR
FORT WASHINGTON, PA 19034
CONTACT: DARLINE LEPPERD JOHNSON

AT&T
7555 E PLEASANT VALLEY ROAD SUITE 140
INDEPENDENCE, OH 44131
CONTACT: MIKE DIEDDERICH
EMAIL: md4145@att.com

SOUTH WHITEHALL TOWNSHIP
4444 WALBERT AVENUE
ALLENTOWN, PA 18104
CONTACT: JAMES BALLIET
EMAIL: balliet@southwhitehall.com

VERIZON BUSINESS FORMLY
400 INTERNATIONAL PARKWAY
RICHARDSON, TX 75081
CONTACT: DEAN BOYERS
EMAIL: investigations@verizon.com

RCN TELECOM SERVICES INC
5508 NOR BATH BLVD
NORTHHAMPTON, PA 18067
CONTACT: MIKE BOZLESKY
EMAIL: michael.bozlesky@rcn.net

Project No. 414.20	Plate -	Ext No. -V	Activity No. 15744013036	A-
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0	BID DOCUMENTS	JAM	JWM	01/18/2022
No.	Issue	Drawn	Approved	Date



Reuse of Documents
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GHD Inc.
321 Washington Street
Huntingdon PA 16652 USA
T 1 814 643 8260 F 1 814 643 8269 W www.ghd.com

Drawn	J. MCCADDEN	Designer	C. WINSLOW
Drafting Check	R. CALHOUN	Design Check	J. MORRIS
Project Manager	J. MORRIS	Date	JANUARY 2022
This document shall not be used for construction unless signed and sealed for construction.		Scale	AS SHOWN

Client	AQUA PENNSYLVANIA, INC.
Project	COUNTRY CLUB GARDENS WATERMAIN REPLACEMENT
Title	COVER SHEET
Project No.	11216973
Original Size	Arch D
Sheet No.	G001
Sheet	1 of 9

Project Description

Aqua Pennsylvania, Inc. proposes to install new 6" ductile iron watermain along Elm Drive, South Drive, South Cedar Crest Blvd and Americus Drive in South Whitehall Township and Americus Drive in Salisbury Township, Lehigh County, Pennsylvania. The total disturbed area measures approximately 0.49 acres. The proposed facilities will be as shown on the drawings. Past, present and future land use is residential. No changes to land use or topography are proposed.

Topographic Features

The topography of the project area is shown in the attached drawings.

Receiving Stream

The receiving bodies of water for this project is Lehigh River which is classified as a Cold Water Fishery (CWF) and a migratory fishery (MF) by the DEP - Chapter 93 Water Quality Standards.

Soil Description

Approximate boundaries of the soil-mapping units are shown on the attached drawings; this information is obtained from the USDA NRCS online Websoil Survey (<http://websoilsurvey.nrcs.usda.gov/app/>). The soils found within the project area are summarized in Table 1.

Table 1 Summary of soil type and soil characteristics mapped in the project area.

Soil Map Unit	Soil Series Name	Texture	Slope (%)	Soil Limitations	Hydric Rating
CmA	Clarksburg	Silt Loam	0 - 3%	Depth to saturated zone, dusty, unstable excavation walls	5
UmB	Urban lan-Duffield	Complex	0 - 8%	-	2
WaB	Washington	Silt Loam	3 - 8%	Slope, Dusty, Unstable excavation walls	1
WaD	Washington	Silt Loam	15 - 25%	Slope, Dusty, Unstable excavation walls, Depth to saturated zones	1

Soil limitation resolutions:

- Slope limitations will be addressed by limiting the amount of the soil that is exposed. An erosion control blanket will be used on all slopes 3:1 or greater. Any and all areas disturbed during construction shall be stabilized using temporary seeding.
- Contractor is required by law to follow OSHA requirements; this will address any limitations associated with unstable excavation walls.
- Depth to saturated zone, flooding, ponding, slow percolation, and wetness limitations will be addressed by the use of a pumped water filter bag, if necessary. Pumped water filter bags must be placed at least 50 feet from any stream bank in a well vegetated, flat area. Pumped water filter bags shall not create a point source discharge.
- Exposed soils will be watered, if necessary, to control dust.

Erosion and Sedimentation Control Notes

- A copy of the erosion and sedimentation control plan must be available at the site of the earth moving activity during construction and until the site is stabilized.
- The contractor is responsible for installation and maintenance of all erosion and sediment Best Management Practices (BMPs).
- Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter. Stockpiles to be surrounded by compost filter sock. Excess excavated material is to be hauled away immediately to a disposal area having an approved erosion and sediment control plan.
- Before initiating any revision to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval from the Lehigh County Conservation District.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and sediment pollution, the operator shall implement appropriate BMPs to minimize the potential for erosion and sediment pollution and notify Lehigh County Conservation District immediately.
- Failure to correctly install sediment control facilities or failure to prevent sediment laden runoff from leaving the construction site or failure to take corrective actions to immediately resolve failures of sediment control facilities may result in administrative, civil and/or criminal penalties being instituted by the Pennsylvania Department of Environmental Protection as defined in Section 602 of the Clean Streams Law of Pennsylvania. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.
- The Contractor is responsible for the removal of any excess excavated material and must ensure that the site used for disposal has an E&S Plan, approved by Lehigh County Conservation District. The Contractor shall assure that an erosion and sediment control plan has been prepared and approved by the Conservation District, and is being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their locations.
- Until the site achieves final stabilization, the contractor shall assure that the BMPs are implemented, operated, and maintained properly and completely. Maintenance shall include inspections of all BMP facilities and maintain and make available to the Lehigh County Conservation District complete, written inspection logs of all those inspections. All maintenance work, including cleaning, repair, replacement, regrading, and restabilization shall be performed immediately.
- The contractor is advised to become thoroughly familiar with the provisions of Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection, Subpart C, Protection of Natural Resources, Article III, Water Resources, Chapter 102, Erosion Control.
- All off-site waste and borrow areas must have an erosion and sediment control plan approved by the Lehigh County Conservation District and E&S measures must be fully implemented prior to being activated. The Notice to Proceed (NTP) will not be issued until the Contractor has submitted the approved E&S Plan(s) to the Owner and Engineer.
- The Contractor is responsible for ensuring that any material brought on site is clean fill or is otherwise authorized for use on the project site. Form FP-001, Certification of Clean Fill, must be completed and submitted to DEP (electronically on the DEP website) prior to movement of clean fill to the receiving site. Form FP-001 must be completed and submitted regardless of whether sampling and analysis are performed as part of environmental due diligence. Both the donor site and the receiving site must retain copies of the completed Form FP-001 for a period of five (5) years.

Staging of Construction Activities

- At least 7 days prior to starting any earth disturbance activities, (including clearing and grubbing), the owner shall invite all contractors, the landowner, appropriate municipal officials, the E&S plan preparer, and a representative of the Lehigh County Conservation District for on-site pre-construction meeting. Construction is expected to be conducted in 2020.
- Upon installation or stabilization of all perimeter sediment control BMPs and at least 3 days prior to proceeding with the bulk earth disturbance activities, the operator shall provide notification to Lehigh County Conservation District.
- At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
- Erosion and sediment BMPs must be constructed, stabilized, and functional before site disturbance begins within the tributary areas of those BMPs.
- All earth disturbance activities shall proceed in accordance with the following staging of earthmoving activities. Deviation from that sequence must be approved by the Lehigh County Conservation District prior to implementation. Each stage shall be completed before a subsequent stage is initiated.

The construction sequence will be as follows:

Watermain Installation

- Install temporary erosion and sediment BMPs before any earth moving activity.
- Areas within the limit of disturbance are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material. Clearing and grubbing shall be limited to the length of pipe placement and backfilling that can be completed in one day.
- Excavate trench to the subgrade elevation as required and shown on the drawings. Excavated material is to be placed on upslope side of trench until opening is backfilled.
 - Excavated trenches shall be the minimum width necessary to install the waterline, in compliance with all OSHA requirements. Any trench dewatering shall be pumped to a sediment removal filter bag. Filter bag discharge shall be to a well vegetated area beyond any stream channel.
- Install new water line and backfill. Excess excavated material is to be hauled away immediately to a disposal area having an approved erosion and sediment control plan.
 - Cessation of activity for at least four days requires temporary stabilization.
- At the end of each workday, the excavated trenches shall be completely backfilled and/or steel plates shall be placed over the excavation. There will be no discharge from trench dewatering to streams and filtration of the discharge is to be provided.
- At the end of each workday, any sediment tracked or conveyed onto a public roadway to be removed and redeposited on the construction site. Washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage is not acceptable.
- Restore paving where applicable. Place topsoil, seed, and mulch on all construction-disturbed areas that are not paved.
 - Areas which are to be topsoiled shall be scarified to a minimum depth of 3-5 inches (6-12 inches on compacted soil) prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Backfill outsoles shall have a minimum of 2 inches of topsoil.
- As soon as disturbed areas reach final grade they must be stabilized immediately. During non-growing seasons, mulch must be applied at the recommended rate of three tons per acre. Disturbed areas which are not at finished grade and will be redisturbed within one year may be stabilized in accordance with temporary seeding specifications.
 - An area shall be considered to have achieved final stabilization when it has a minimum of a uniform 70 % perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics to resist sliding or other movements.
- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the Lehigh County Conservation District shall be contacted to schedule a final inspection.
- After final site stabilization has been achieved and the site has been inspected, temporary erosion and sediment BMPs must be removed. Areas disturbed during the removal of controls must be stabilized immediately.

Temporary Measures

- All Temporary Erosion and Sedimentation BMPs are to be located and constructed as shown on the drawings.
- Any required pumping of water shall be discharged to a sediment filter bag for pumped water prior to discharge.
- All unpaved areas disturbed during construction to be protected by mulching and temporary seeding according to the Temporary Seeding and Fertilizing section on this plan. Hay or straw mulch must be applied at 3 tons per acre. Mulch with mulch control netting or erosion control blankets must be installed on all slopes 3:1 and steeper. Straw mulch shall be applied in long strands, not chopped or finely broken.
- See other control measures indicated in the Erosion and Sedimentation Control Notes.

Permanent Measures

All areas disturbed during construction and not paved are to be topsoiled, seeded, fertilized, and mulched according to the seeding and fertilizing section.

Staging, Laydown, and Equipment Storage Areas

The Contractor is to coordinate all staging, laydown and equipment storage areas with the Owner. The Contractor is required to provide adequate erosion and sedimentation control for these areas.

Storage and Disposal Areas for Excess Excavated Material

Areas used for storage and disposal of excess excavated material will be determined by the Contractor. The Contractor will be responsible for the removal of any excess material and must ensure that the site receiving the excess material has an approved erosion and sedimentation control plan that meets the conditions of Chapter 102 and/or other state and federal regulations and, if required by the size of the area, an NPDES permit for Stormwater Discharges Associated with Construction Activities. The Lehigh County Conservation District is to be notified of the location of all soils removed from the project site.

Recycling

Wherever possible, recycling of waste materials is preferred rather than disposal. The contractor shall ensure that mechanisms are in place to control waste materials. Construction wastes include, but are not limited to, excess soil materials, building materials, concrete wash water, sanitary wastes, etc. that could adversely impact water quality. The contractor shall remove from site, and recycle or dispose of all building materials and wastes in accordance with PA DEP's Solid Waste Management regulations at 25 PA Code 260.1 et seq., 271.1 et seq., and 287.1 et seq. The contractor shall not illegally bury, dump, or discharge any building material or waste at the site.

Maintenance of Erosion and Sedimentation Control BMPs

- Until the site is stabilized, all erosion and sediment BMPs must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean-out, repair, replacement, regrading, reseeding, remulching and renetting, must be performed immediately. If erosion and sediment control BMPs fail to perform as expected, replacement BMPs or modifications of those installed will be required.
- Sediment must be removed from storm water inlet protection after each runoff event.
- Sediment removed from BMPs shall be disposed of in landscaped areas outside of steep slopes, wetlands, floodplains or drainage swales and immediately stabilized, or placed in topsoil stockpiles.
- All compost filter socks shall be inspected after each storm event for washouts, overtopping, and physical damage. Any damage shall be repaired immediately. Accumulated sediments shall be removed as required to keep the barrier functional. In all cases, remove deposits where accumulations reach 1/2 of the above-ground height of the barrier.

Fill Material

- All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems.
- All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
- Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
- Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
- Fill shall not be placed on saturated or frozen surfaces.

Fill Requirements

- With the exception of sites enrolled in DEP's Land Recycling and Environmental Remediation Standards (Act 2) program, all fill material excavated and used on-site, imported to the site, and exported from the site, should meet the definition of clean fill contained in DEP's Management of Fill Policy (Document ID No. 258-2182-773). Regulated fill may only be used on Act 2 sites, in accordance with standards established by DEP's Land Recycling and Environmental Remediation Standards program.
- Clean Fill is defined as: Uncontaminated, nonwater-soluble, nondecomposable, inert solid material used to level an area or bring an area to grade. The term does not include materials placed in or on the waters of the Commonwealth. Although the placement of clean fill in or on waters of the Commonwealth cannot be managed under this policy, placement of clean fill in or on waters of the Commonwealth may be approved under a separate DEP authorization. The term includes only those materials that are identified as "fill," as the term is defined in this policy. The term does not include fill that has been blended, mixed or treated with the purpose of meeting the definition of "clean fill" and that without being blended, mixed or treated would fail to meet the numeric limits identified in the definition of "uncontaminated material" contained in this policy.
- Environmental due diligence must be performed to determine if the fill materials associated with the project qualify as clean fill. Environmental due diligence is defined as: Investigative techniques used to determine whether fill from a donor site has been affected by a release of a regulated substance. Investigative techniques including, but not limited to, visual property inspections, electronic data base searches, review of ownership and historical use of a property, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments, audits, or procedures outlined in ASTM standard E 1527-13. A single investigative technique may not be used as the basis for environmental due diligence. Environmental due diligence includes visual property inspection and a review of ownership and historical property use, at a minimum, unless analytical sampling is performed in lieu of a review of ownership and historical property use. Analytical testing is not a required part unless environmental due diligence indicates that the fill may have been affected by a release of a regulated substance. If due diligence shows evidence that the fill may have been affected by a release of a regulated substance, the fill must be tested to determine if it is clean fill or regulated fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Clean Fill."
- The contractor is responsible for ensuring that any material brought on site is clean fill or is otherwise authorized for use on the project site. Form FP-001, Certification of Clean Fill must be completed and submitted to DEP (electronically on the DEP website) prior to movement of clean fill to the receiving site. Form FP-001 must be completed and submitted regardless of whether sampling and analysis are performed as part of environmental due diligence. Both the donor site and the receiving site must retain copies of the completed Form FP-001 for a period of five (5) years and must be made available upon request by DEP or CCD.
- No regulated fill requiring a permit from DEP's Waste Management Program will be imported to, exported from, or otherwise utilized on the project site.

Seeding and Fertilizing

Temporary Seeding

Temporary seed is to be annual ryegrass with 95% purity, 85% germination, and 0.10% max weed seed. Seeding rate is to be 40 lbs/acre. Seeding dates March 15 to October 15.

Mulch

- Mulch material, mulch binders, construction and maintenance will be in accordance with PennDOT Publication 408 Section 805 and with the PA DEP Erosion and Sediment Pollution Control Program Manual, dated March 2012. Mulch rate for hay and straw to be 3 tons/acre.
- Straw and hay mulch are to be anchored or tackified immediately after application to prevent being windblown; anchoring may be done by "crimping" the straw or hay into the soil, stapling biodegradable mulch control netting over the mulch or using recycled cellulose fiber binder. If "crimping" is used, slopes must be less than 3H:1V, and the machinery is to be operated on the contour. Straw mulch shall be applied in long strands, not chopped or finely broken. Mulch on slope of 8% or steeper should be held in place with biodegradable netting. If mulch control netting is used, it is to be stapled according to the manufacturer's recommendations. Binder rate to be 160 lbs/1,000 sq. yd. for recycled cellulose binder.
- Mulching without seeding is to be used as an interim stabilization control during non-growing seasons of the year.

Permanent Seeding

- Seed mixture is per the Penn State "Erosion Control and Conservation Plantings on Noncropland." The seed mixture is shown on Table 2:

Table 2 Minimum Permanent Seed Specifications

Table 2: Minimum Seed Specifications					
Species	Purity (%)	Ready Germ (%)	Total Germ (%)	Seeds/Lb (1,000s)	Seeding Rate - Pure Live Seed (lb/A)
Annual Ryegrass	95	85	85	227	10
Perennial Ryegrass	95	85	227	400	15
Kentucky Bluegrass	85	75	75	2200	25

- Minimum seed lots are truly minimum, and seed lots to be used for revegetation purposes should equal or exceed these standards.
- Pure Live Seed (PLS) is the product of the percentage of pure seed times the percentage germination divided by 100. To determine the actual planting rate, divide the pounds PLS by the PLS percentage shown on the seed tag or calculated as previously discussed.
- Seeding dates: March 15 to June 1 and August 1 to October 15. Ryegrass portion: March 15 to October 15.
- After seeding, fertilizer and mulch have been applied, all slopes 3H:1V or greater shall have erosion control mat installed as per PennDOT Publication 408.

Fertilizing and Liming

- Commercial fertilizer conforming to the requirements of the Pennsylvania Soil Conditioner and Plant Growth Substance law. Pulverized agricultural limestone conforming to the requirements of the Agricultural Liming Materials Act.
- Temporary seeding fertilizer to be 10-10-10 analysis commercial fertilizer; fertilizer rate to be 500 lb/acre; agricultural limestone rate to be 1 ton/acre.
- Permanent seeding fertilizer to be 10-20-20 analysis commercial fertilizer; fertilizer rate to be 1000 lb/acre; agricultural limestone rate to be 6 tons/acre.

Post Construction Storm Water Management

No post construction storm water management plan has been provided, since all excavated trenches are to be restored to their original conditions.


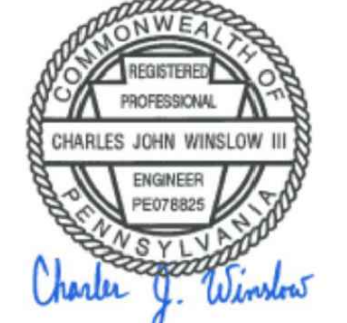

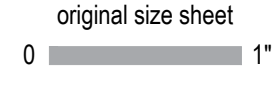
Calculations and Amount of Runoff

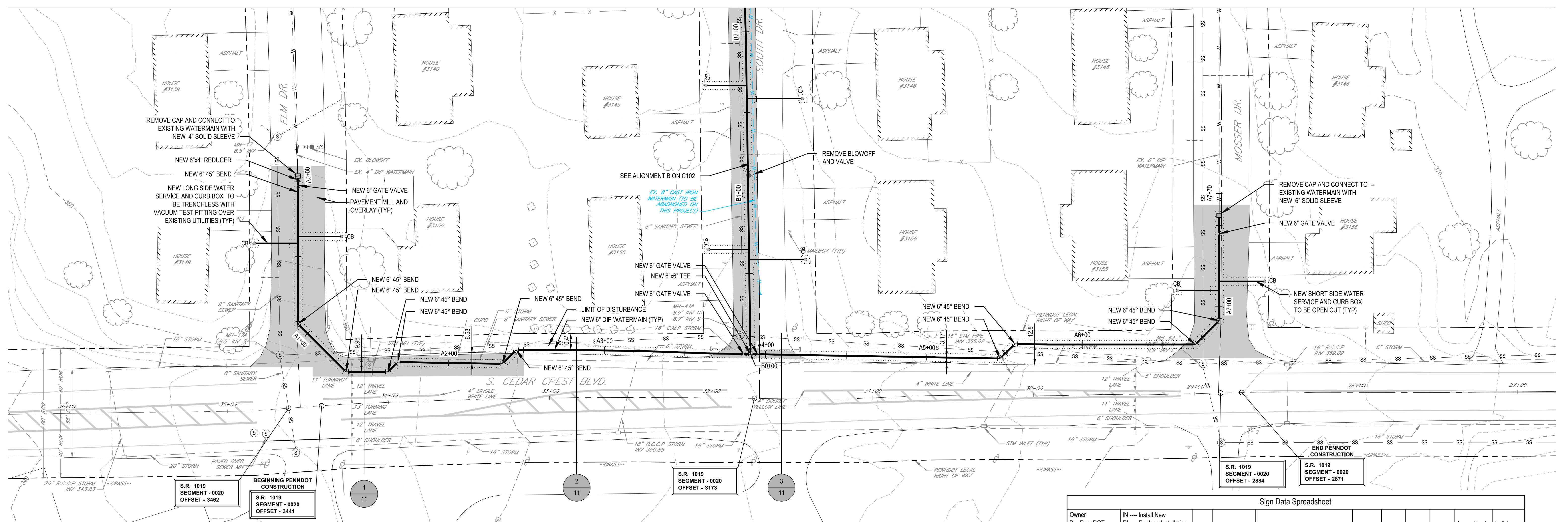
Runoff calculations are not provided, since the project is linear in nature. The watermain will be located below existing grade and will not change the amount of runoff.

Qualifications of Plan Preparer

The person reviewing the plan is a Registered Professional Engineer licensed in the Commonwealth of Pennsylvania. The plan was prepared by Charles J Winslow, 1140 Welsh Road, North Wales, PA 19454. 215-853-3300.

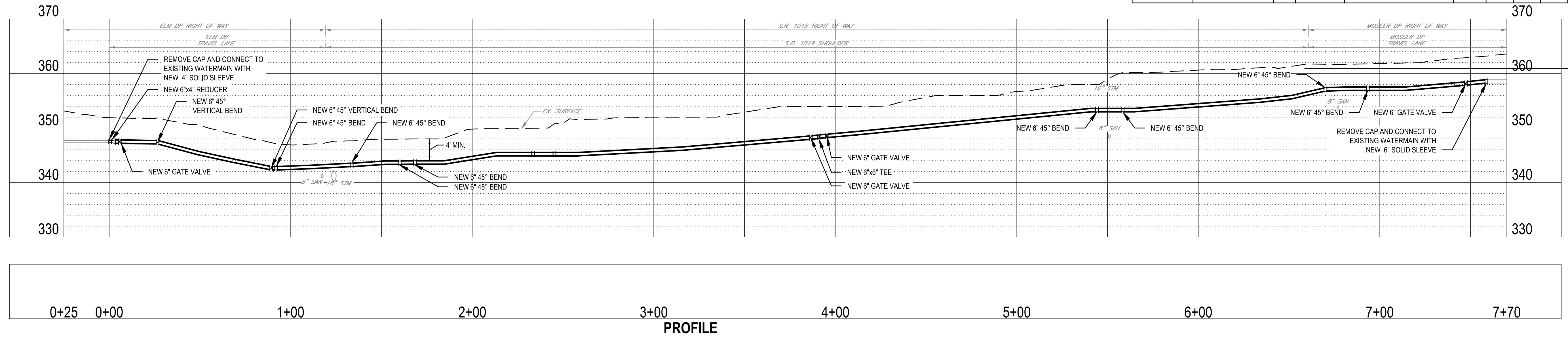
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Client AQUA PENNSYLVANIA, INC.	Project COUNTRY CLUB GARDENS WATERMAIN REPLACEMENT	Title SOIL EROSION AND SEDIMENTATION CONTROL - NOTES	Project No. 11216973	
Original Size Arch D	Sheet No. CE101	Scale AS SHOWN	Sheet 3 of 9	

							 <p>GHD Inc. 321 Washington Street Huntingdon PA 16652 USA T 1 814 643 8260 F 1 814 643 8269 W www.ghd.com</p>		Drawn J. MCCADDEN Designer K. HARTMAN Drafting Check R. CALHOUN Design Check K. HARTMAN Project Manager J. MORRIS Date JANUARY 2022		This document shall not be used for construction unless signed and sealed for construction.	
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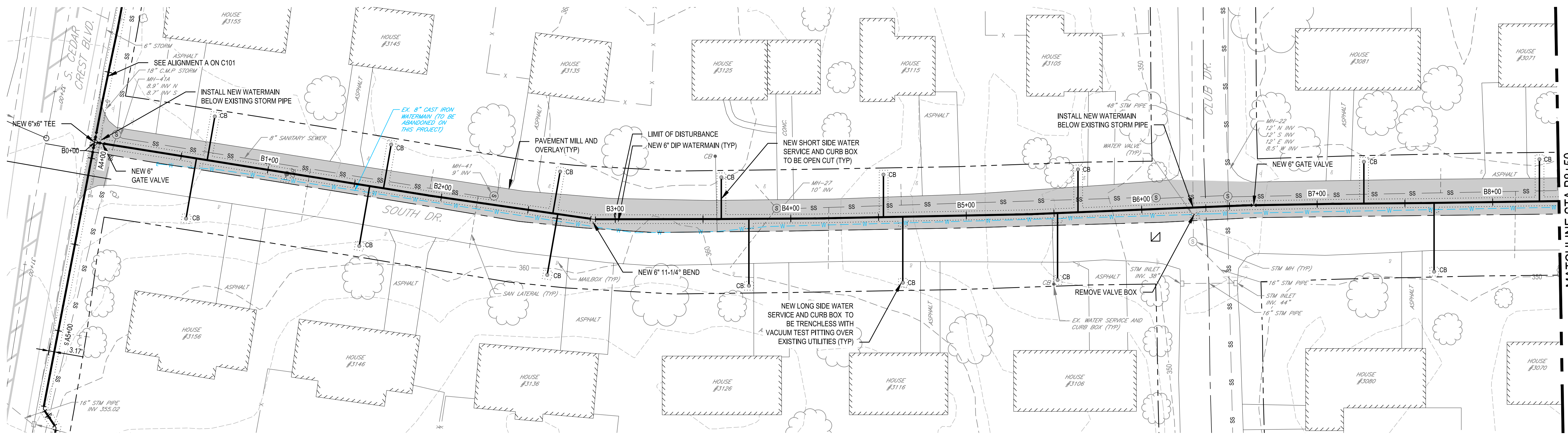


Sign Data Spreadsheet

Owner	SR	Description / Nomenclature	Sign Type / Description	Segment	Offset	Width	Height	Ascending / Descending / Intersection	Left / Right / Overhead
M	ER	1019 N/A	NO THRU STREET	0020	3440	N/A	N/A	A	R
M	ER	1019 R10-7	DO NOT BLOCK INTERSECTION	0020	3415	24"	30"	A	R
M	ER	1019 R3-5B	LEFT LANE MUST TURN LEFT	0020	3395	30"	30"	A	R
P	ER	1019 M1-5	PA ROUTE MARKER JCT 222	0020	3250	24"	24"	A	R
M	ER	1019 N/A	STREET INTERSECTION	0020	3190	N/A	N/A	A	R
M	ER	1019 N/A	NO THRU STREET	0020	3135	N/A	N/A	A	R
M	ER	1019 R10-7	DO NOT BLOCK INTERSECTION	0020	3130	24"	30"	A	R
M	ER	1019 R1-1	STOP SIGN	0020	2870	30"	30"	I	R
M	ER	1019 N/A	STREET INTERSECTION	0020	2975	N/A	N/A	A	R



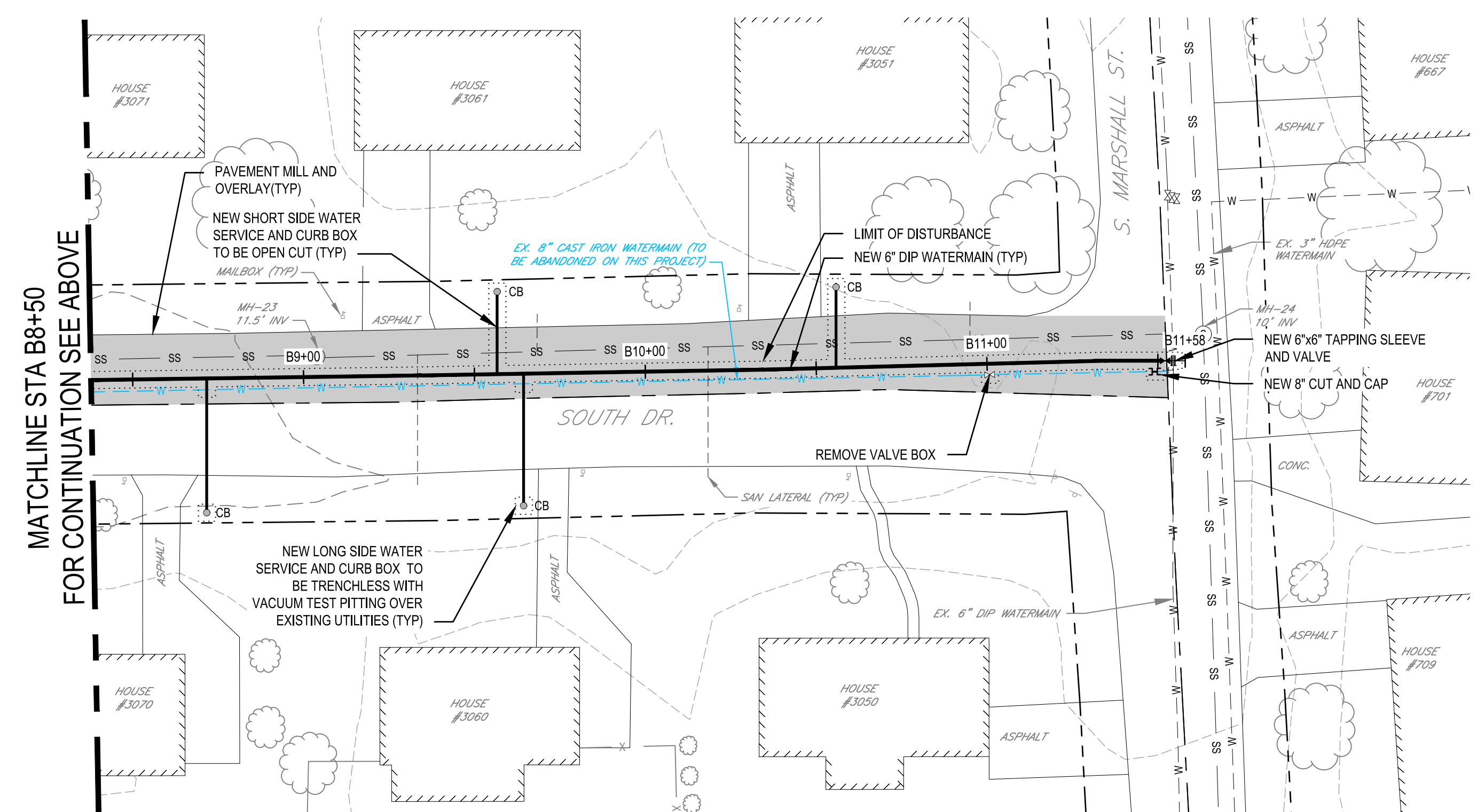
Project No. 414.20		Plate -	Ext No. -V	Activity No. 15744013036	A-
Client AQUA PENNSYLVANIA, INC. Project COUNTRY CLUB GARDENS WATERMAIN REPLACEMENT Title PLAN 1					
Project No. 11216973		Original Size Arch D		Sheet No. C101	Sheet 5 of 9
Drawn J. MCCADDEN		Designer C. WINSLOW		Project Manager J. MORRIS	
Drafting Check R. CALHOUN		Design Check J. MORRIS		Date JANUARY 2022	Scale AS SHOWN
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MATCHLINE STA B8+50
FOR CONTINUATION SEE BELOW



PLAN 2
SCALE: 1" = 30'



MATCHLINE STA B8+50
FOR CONTINUATION SEE ABOVE



PLAN 2
SCALE: 1" = 30'

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No.	Issue	Drawn	Approved	Date



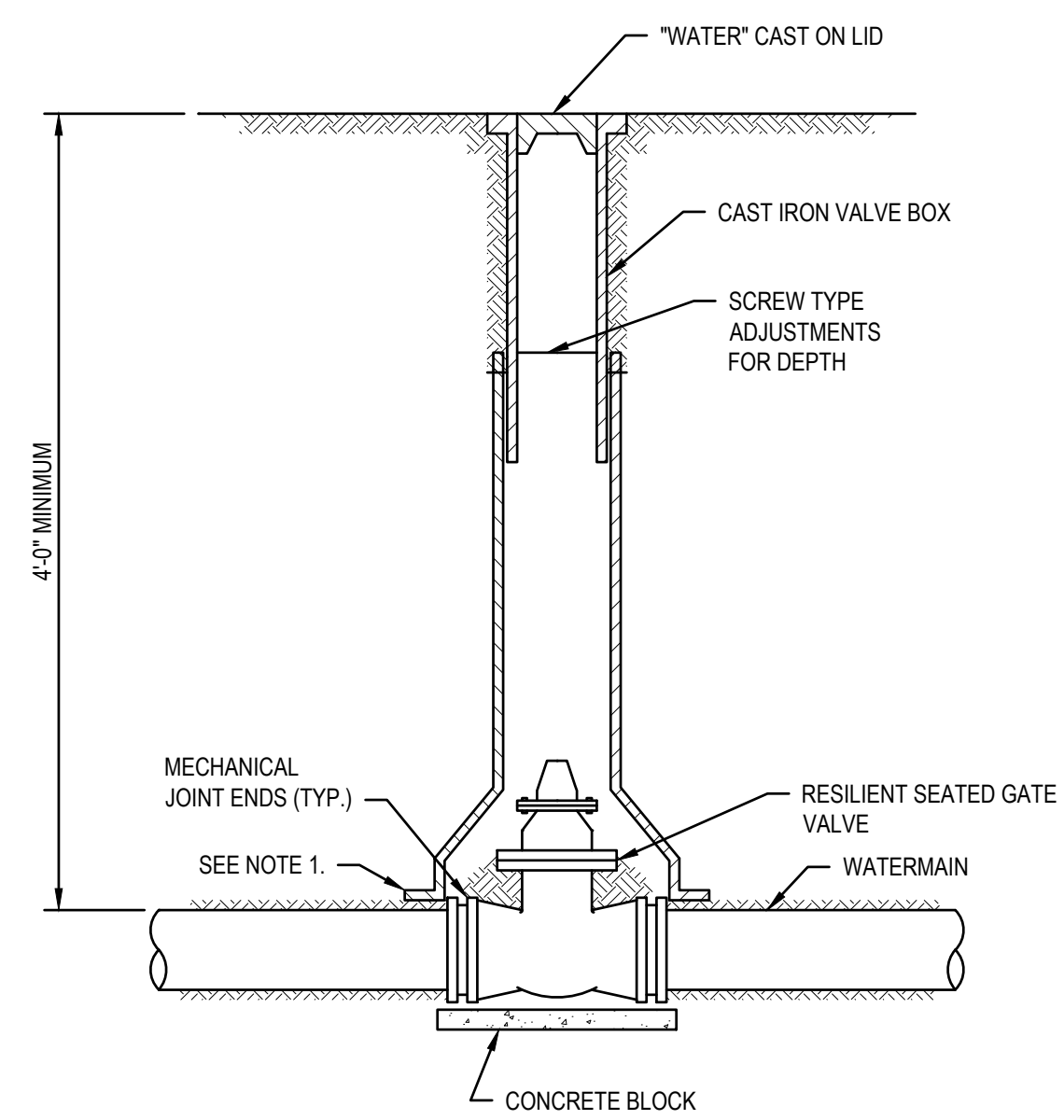
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0 30' 60'
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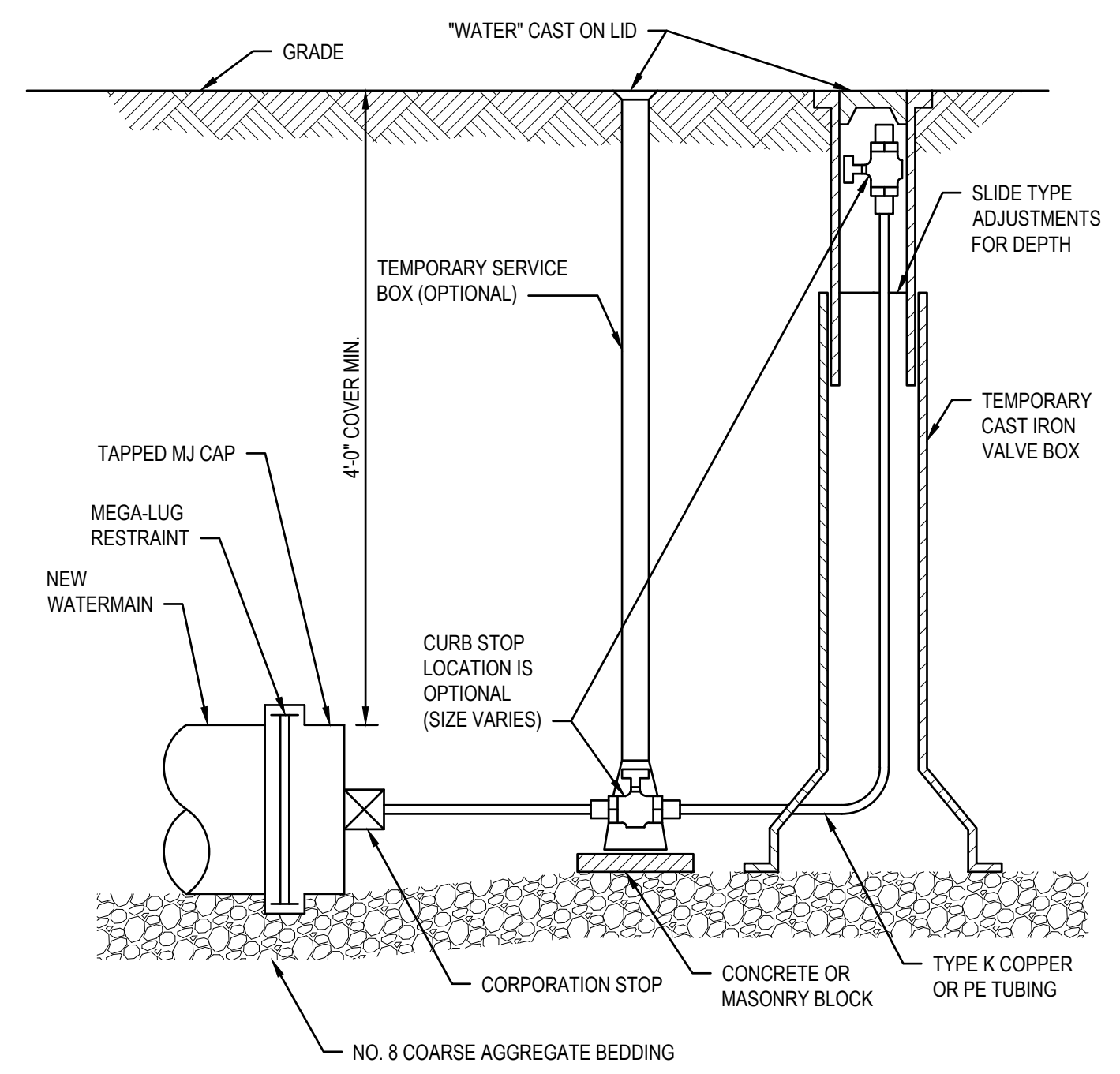
Drawn	J. MCCADDEN	Designer	C. WINSLOW
Drafting Check	R. CALHOUN	Design Check	J. MORRIS
Project Manager	J. MORRIS	Date	JANUARY 2022
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Client	AQUA PENNSYLVANIA, INC.							
Project	COUNTRY CLUB GARDENS WATERMAIN REPLACEMENT							
Title	PLAN 2							
Project No.	11216973	Original Size	Arch D	Sheet No.	C102			



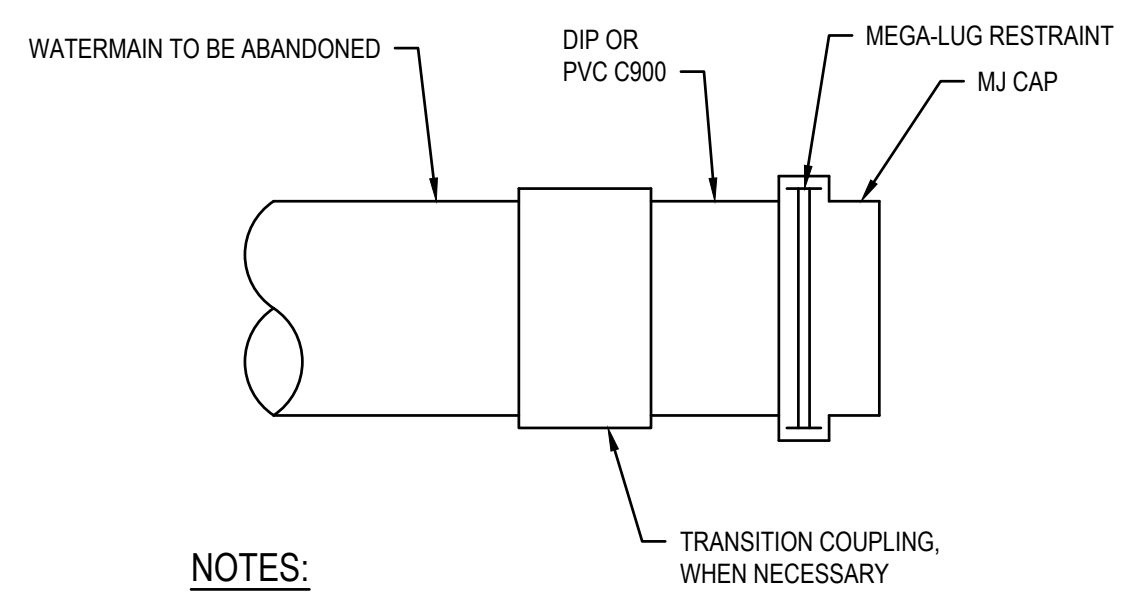
NOTES:
 1. BOTTOM OF VALVE BOX TO BE PLACED ON COMPACTED PIPE COVER BUT NOT IN CONTACT WITH THE PIPE OR VALVE.

1 VALVE BOX DETAIL
 NO SCALE



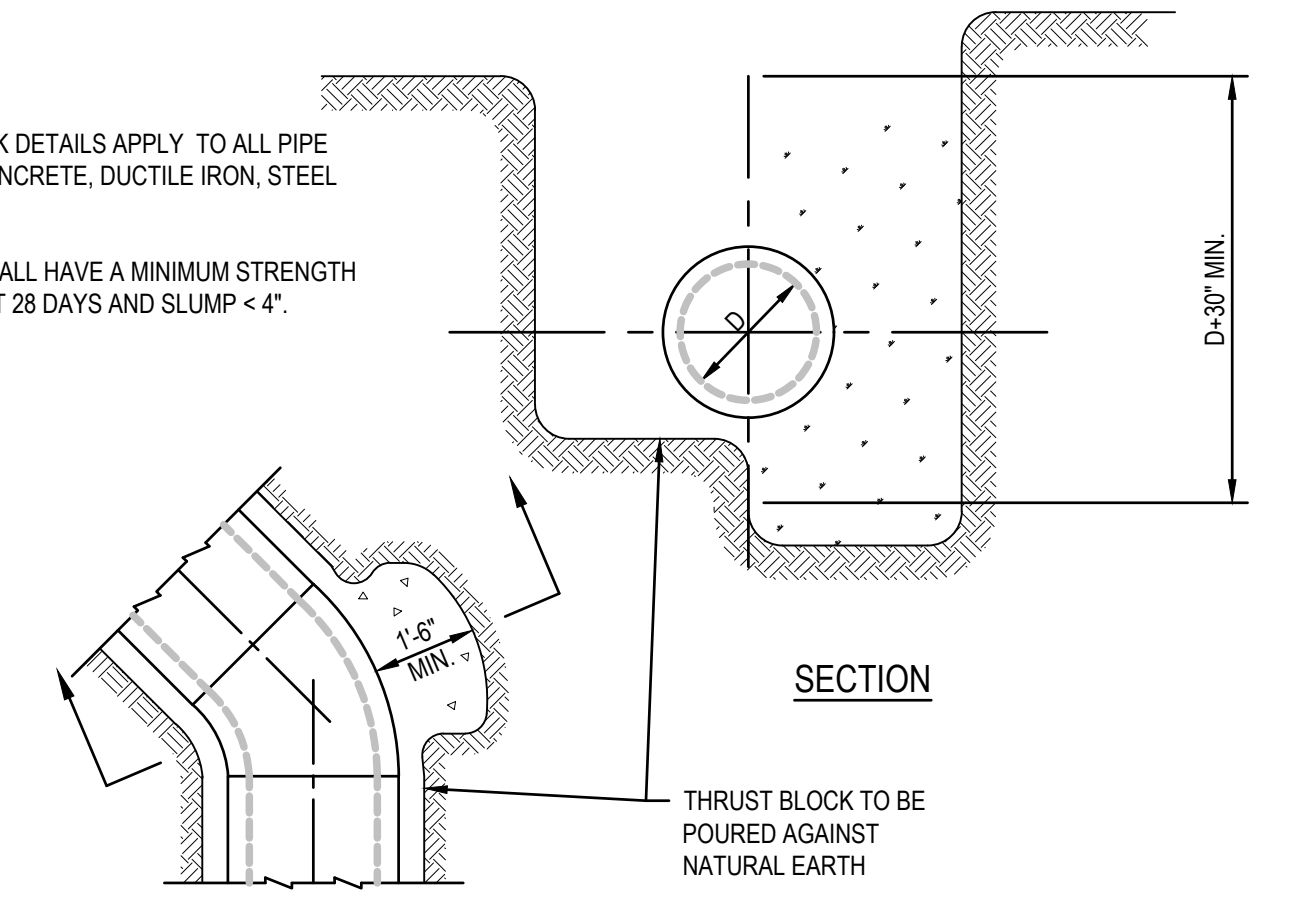
NOTES:
 1. THIS DETAIL IS INTENDED TO BE UTILIZED WHEN TESTING WHIP IS LOCATED IN THE ROADWAY.
 2. ALTERNATE MEANS OF FLUSHING AND TESTING MAY BE UTILIZED BY THE CONTRACTOR UPON APPROVAL OF ENGINEER AND OWNER.
 3. ALL PIPE SHALL BE TESTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
 4. ALL FLUSHING AND TESTING COSTS ARE INCIDENTAL TO THE CONTRACTOR'S BID.
 5. FOLLOWING COMPLETION OF TESTING AND FLUSHING, ALL MATERIAL TO BE REMOVED BY CONTRACTOR.

2 FLUSHING AND TESTING WHIP DETAIL
 NO SCALE



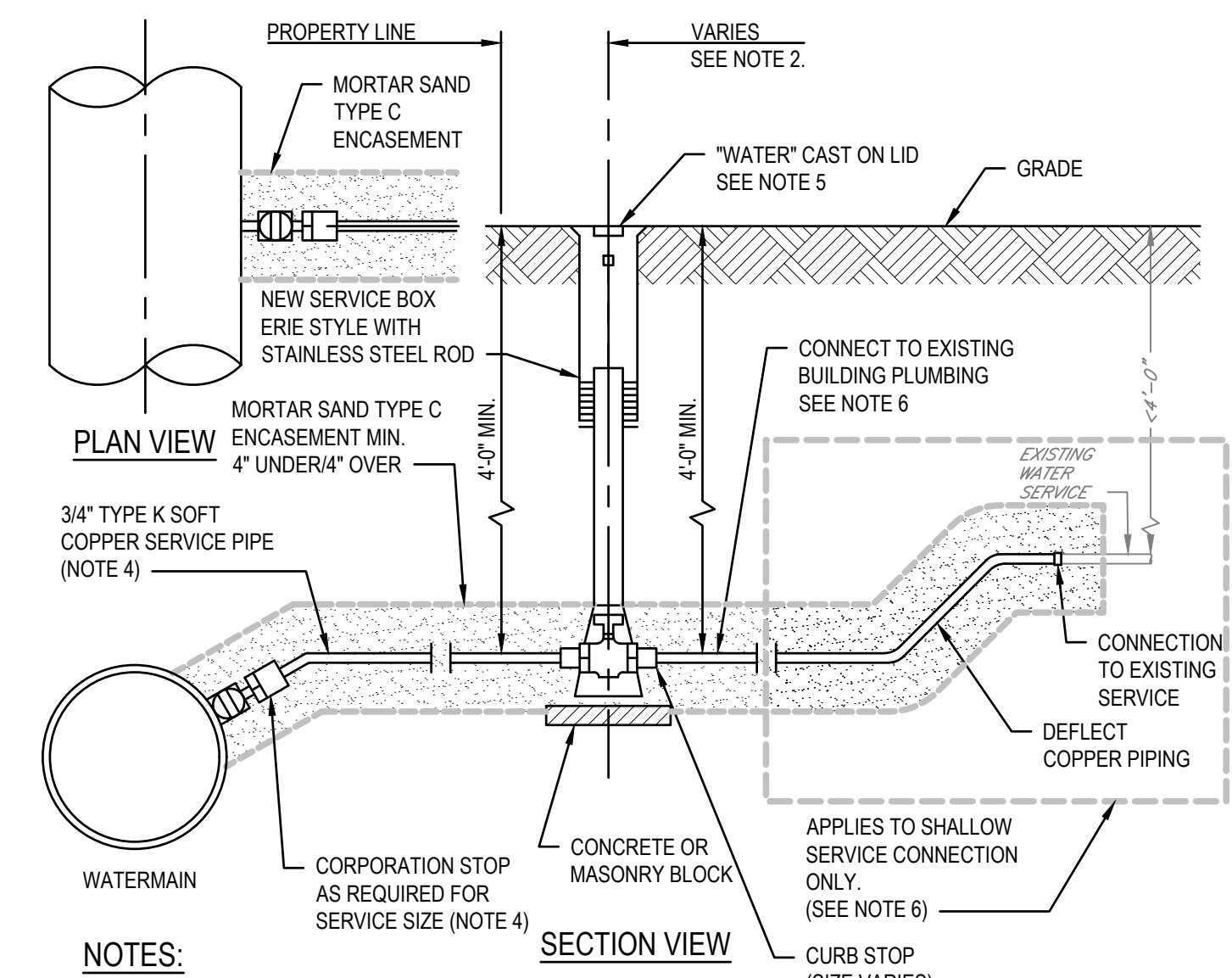
NOTES:
 1. TRANSITION END CAP MAY BE USED IN LIEU OF A TRANSITION COUPLING.

3 WATERMAIN ABANDONMENT DETAIL
 NO SCALE



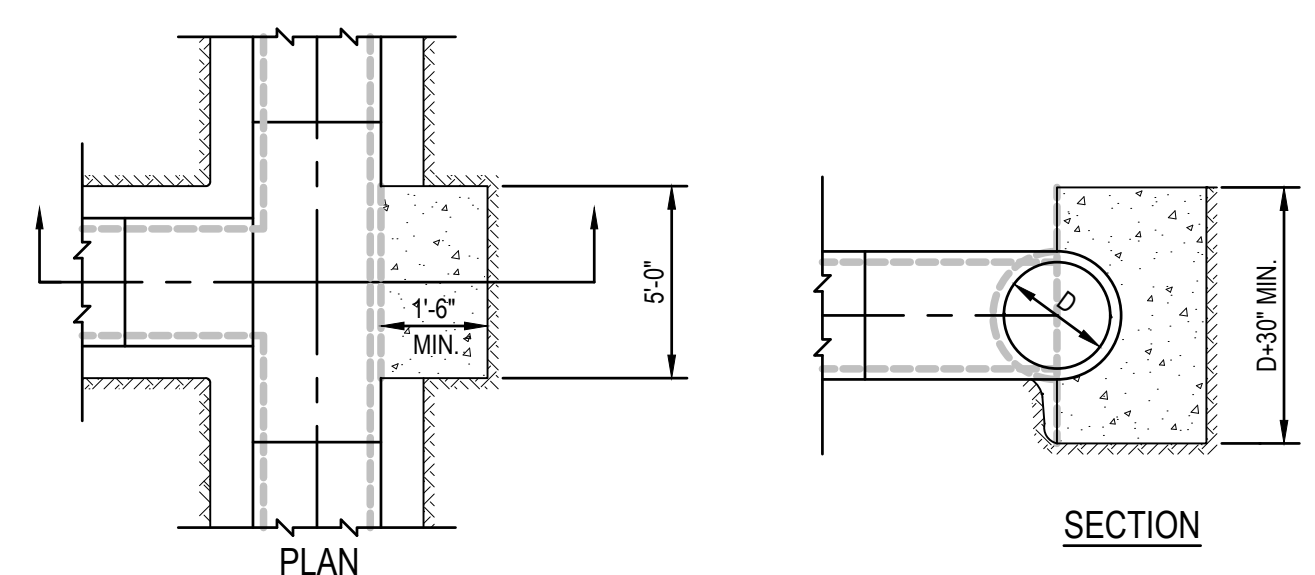
NOTES:
 1. THRUST BLOCK DETAILS APPLY TO ALL PIPE INCLUDING CONCRETE, DUCTILE IRON, STEEL AND PVC.
 2. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI AT 28 DAYS AND SLUMP < 4\"/>

4 TYPICAL THRUST BLOCK FOR HORIZONTAL BENDS DETAIL
 NO SCALE



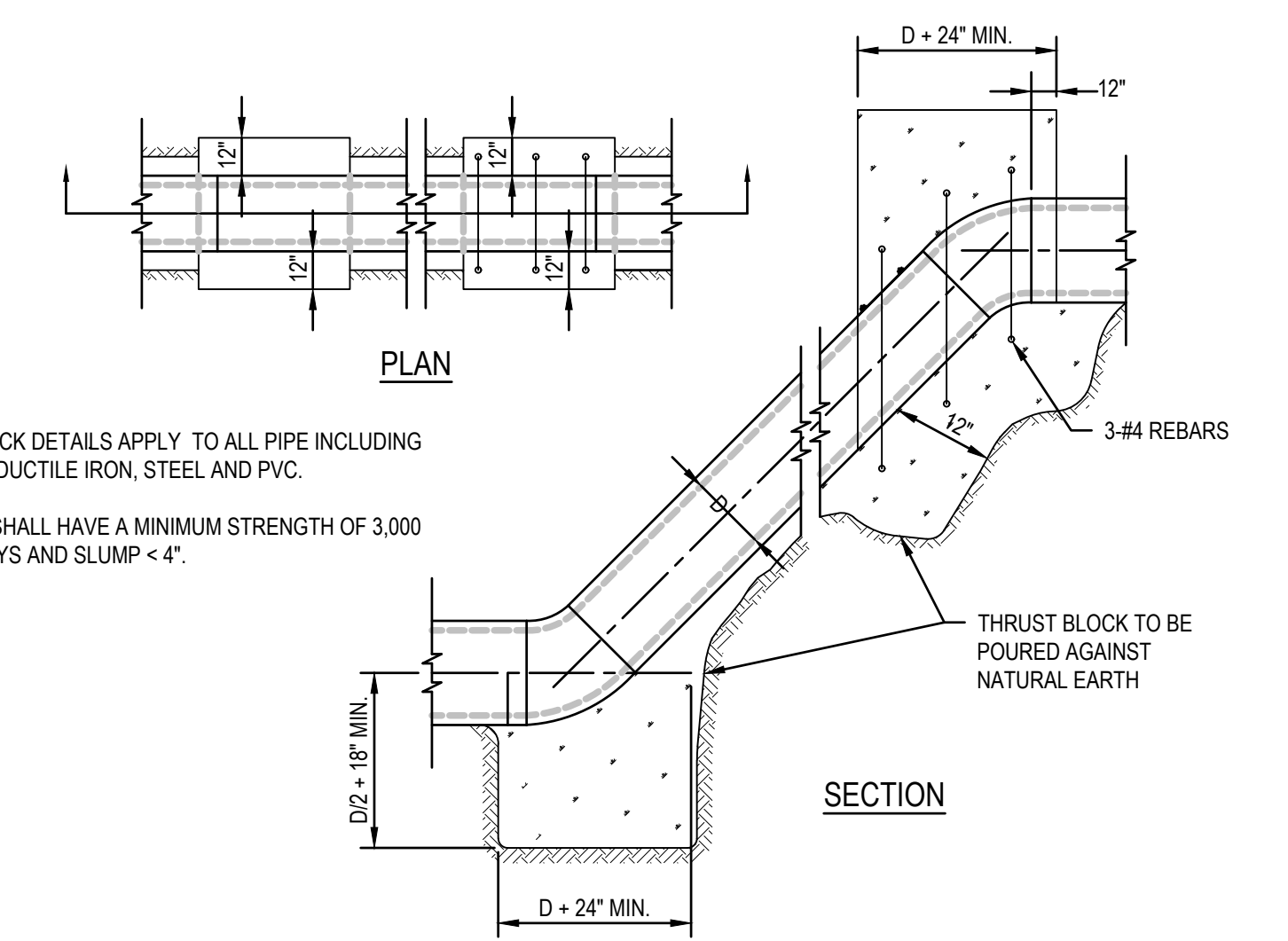
NOTES:
 1. EXISTING SERVICE BOXES AND RODS TO BE REMOVED AND DISPOSED.
 2. NEW SERVICE LINE TO EXTEND FROM NEW MAIN TO EXISTING CURB STOP. IF NO CURB BOX EXISTS, SERVICES TO EXTEND TO 1'-0\"/>

5 SERVICE CONNECTION DETAIL
 NO SCALE



NOTES:
 1. THRUST BLOCK DETAILS APPLY TO ALL PIPE INCLUDING CONCRETE, DUCTILE IRON, STEEL AND PVC.
 2. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI AT 28 DAYS AND SLUMP < 4\"/>

6 TYPICAL THRUST BLOCK FOR TEES DETAIL
 NO SCALE



NOTES:
 1. THRUST BLOCK DETAILS APPLY TO ALL PIPE INCLUDING CONCRETE, DUCTILE IRON, STEEL AND PVC.
 2. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI AT 28 DAYS AND SLUMP < 4\"/>

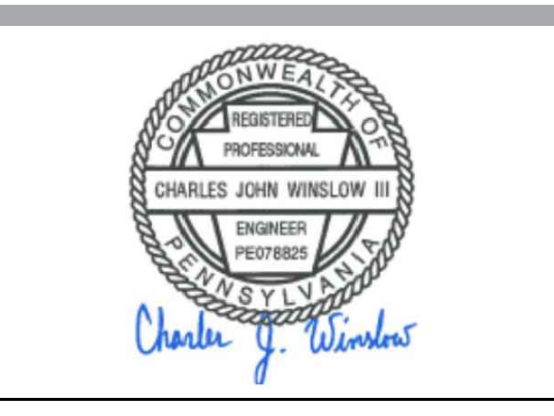
7 TYPICAL THRUST BLOCK FOR VERTICAL BENDS DETAIL
 NO SCALE

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AQUA

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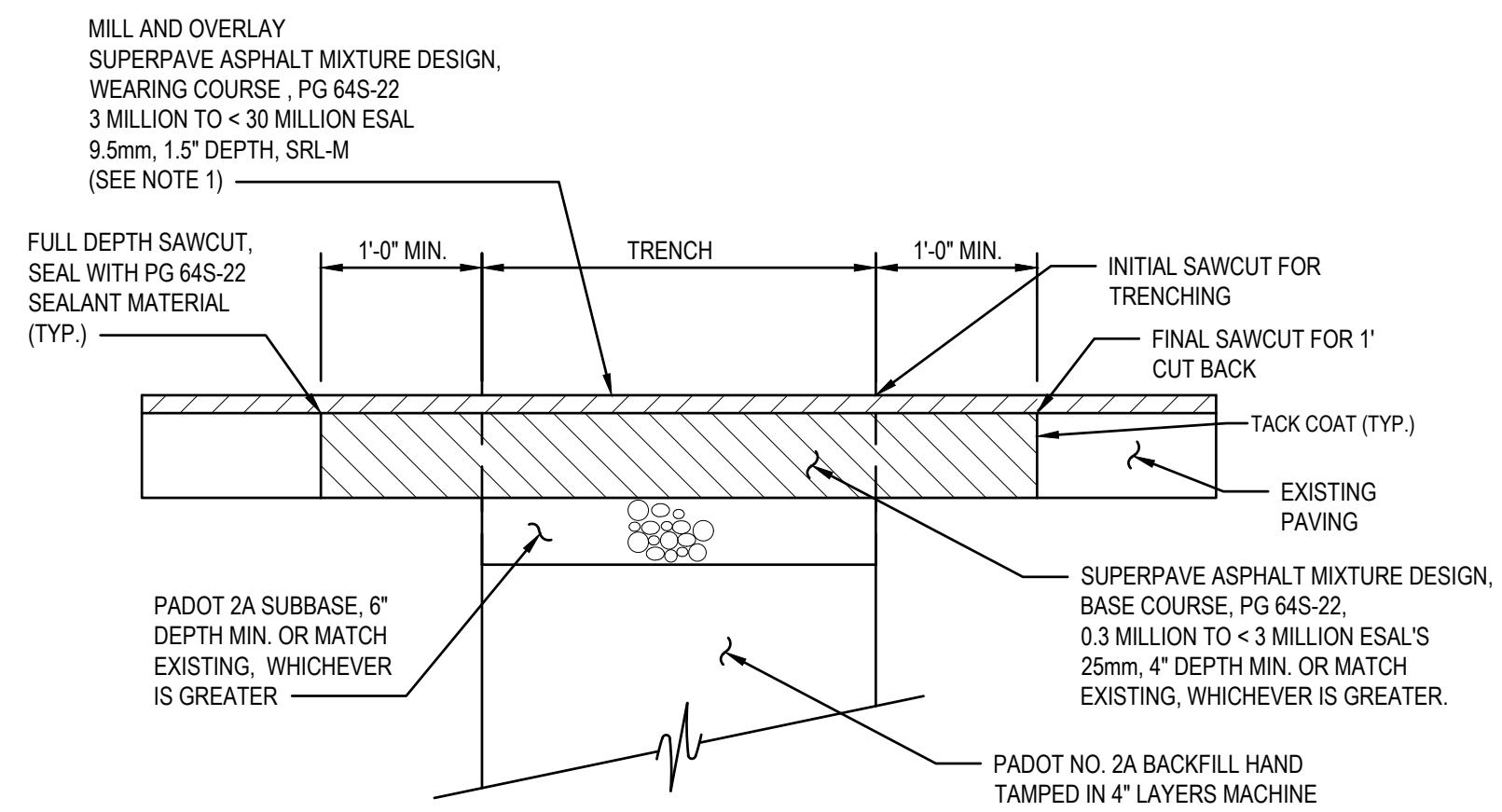


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Drafting Check	R. CALHOUN	Design Check	K. HARTMAN
Project Manager	J. MORRIS	Date	JANUARY 2022
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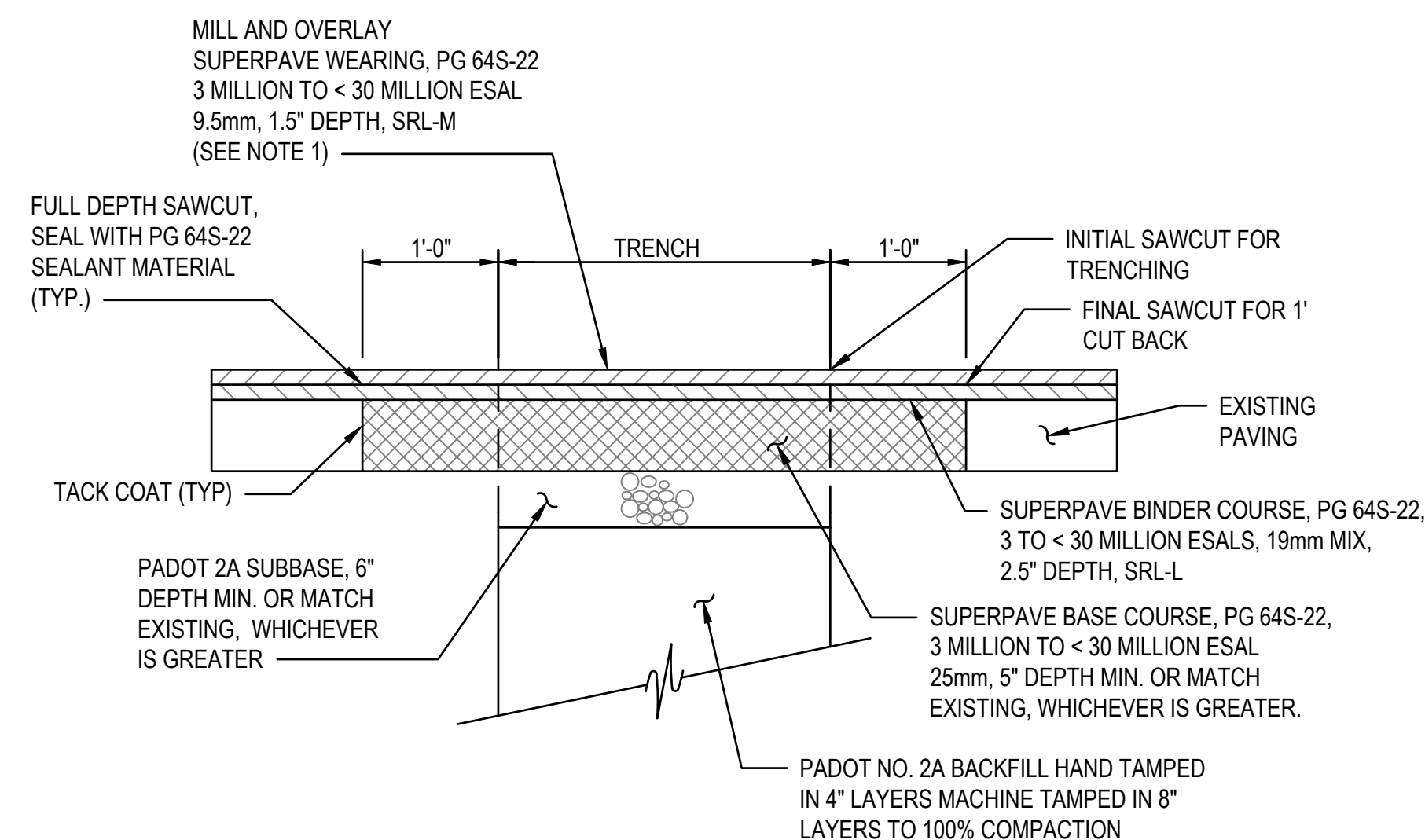
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Client	AQUA PENNSYLVANIA, INC.							
Project Title	COUNTRY CLUB GARDENS WATERMAIN REPLACEMENT AQUA DETAILS							
Project No.	11216973							
Original Size	Arch D	Sheet No.	C501					Sheet 8 of 9



NOTES:

- MILL AND OVERLAY AREA SHALL BE AS SHOWN ON THE PLAN SHEETS.
- ALL EDGES, INCLUDING MANHOLES, VALVE BOXES, AND STORM BASINS TO BE SEALED WITH PG 64S-22, INCLUDING TACK COAT.
- EXPOSED VERTICAL AND HORIZONTAL SURFACES SHALL BE PREPARED AS PER PUB. 408, SECTION 316.3 AND 412.3g, INCLUDING TACK COAT.
- MINIMUM 1\"/>

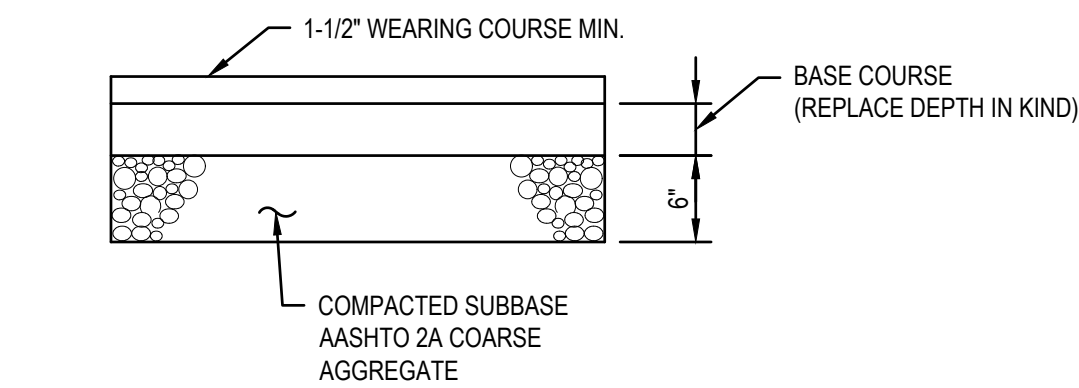
7 TOWNSHIP PAVING RESTORATION MILL & OVERLAY DETAIL
NO SCALE



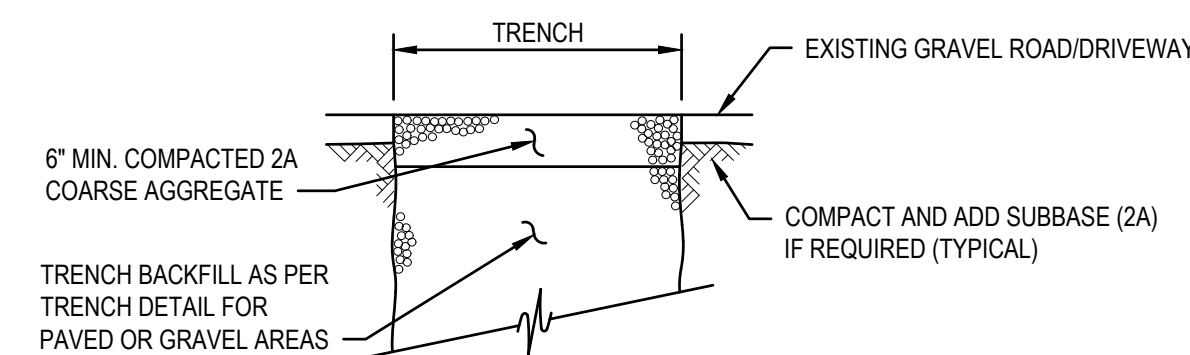
NOTES:

- MILL AND OVERLAY AREA SHALL BE AS SHOWN ON THE PLAN SHEETS.
- ALL EDGES, INCLUDING BUT NOT LIMITED TO MANHOLES, VALVE BOXES, AND STORM BASINS TO BE SEALED BY CONTRACTOR.
- EXPOSED VERTICAL AND HORIZONTAL SURFACES SHALL BE PREPARED AS PER PUB. 408, SECTION 401.31
- MINIMUM 1\"/>

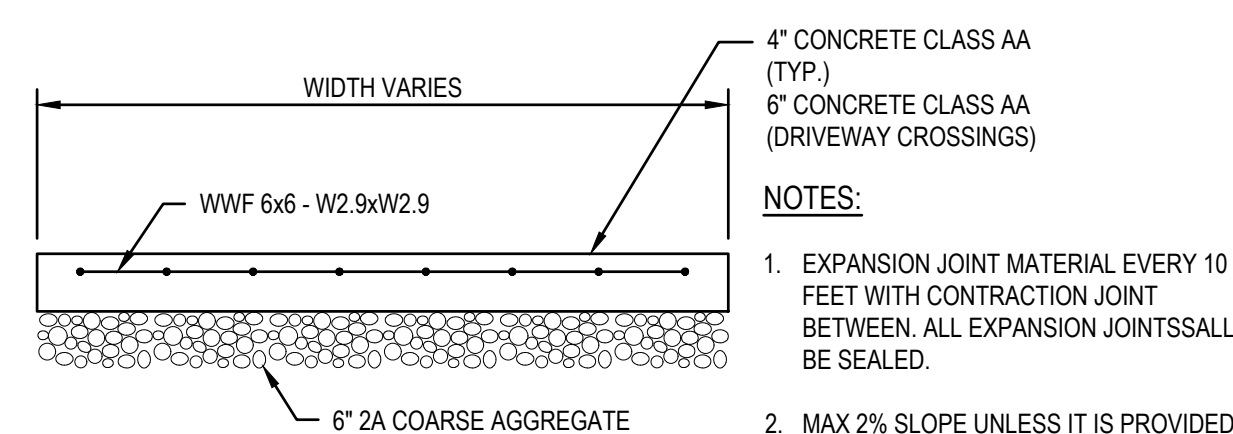
14 PENNDOT PAVING RESTORATION DETAIL (MILL AND OVERLAY)
NO SCALE



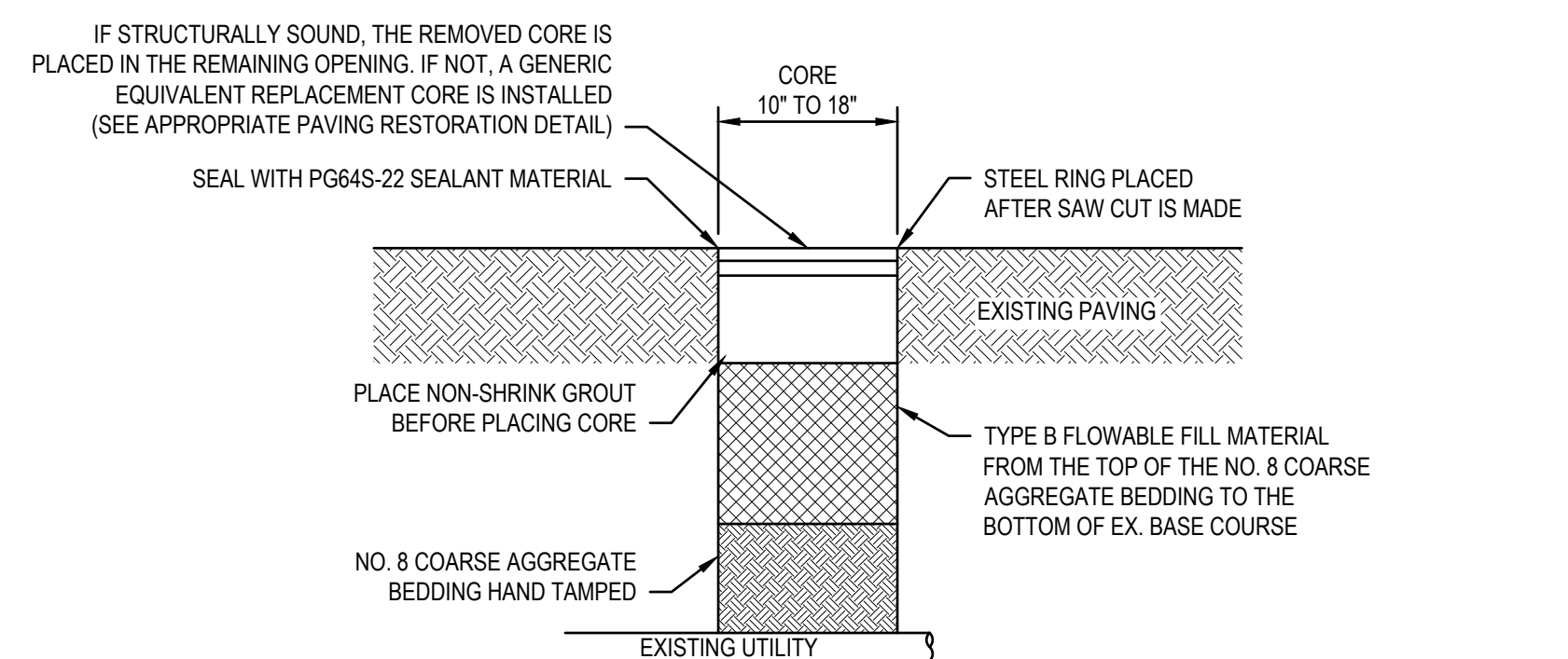
8 ASPHALT DRIVEWAY DETAIL
NO SCALE



10 GRAVEL ROAD/DRIVEWAY RESTORATION DETAIL
NO SCALE



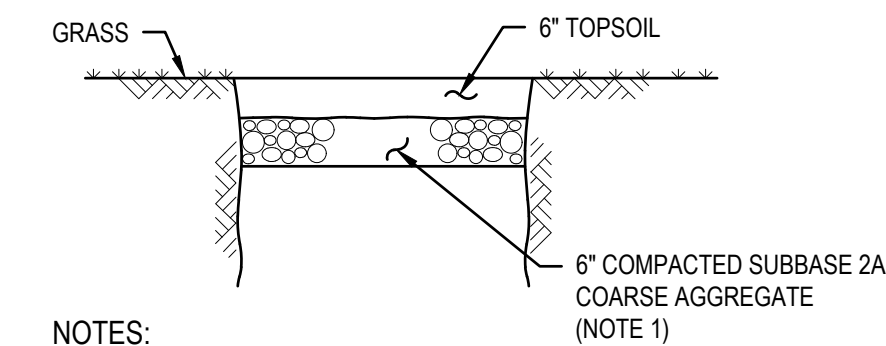
12 CONCRETE DRIVEWAY & SIDEWALK DETAIL
NO SCALE



NOTES:

- PAVEMENT IS SAW CUT FULL DEPTH, WITH A BIT RANGE FROM 10\"/>

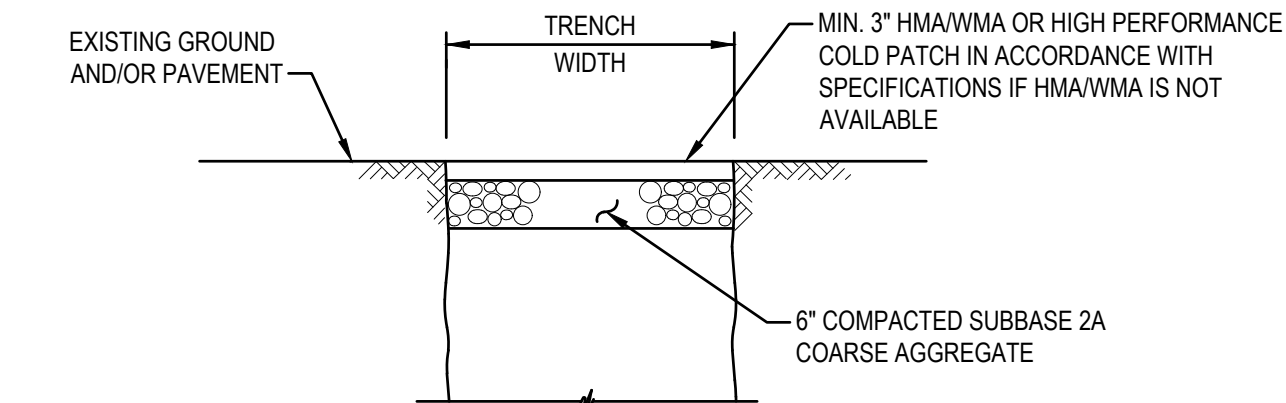
15 TYPICAL TEST CORE FOR ASPHALT DETAIL
NO SCALE



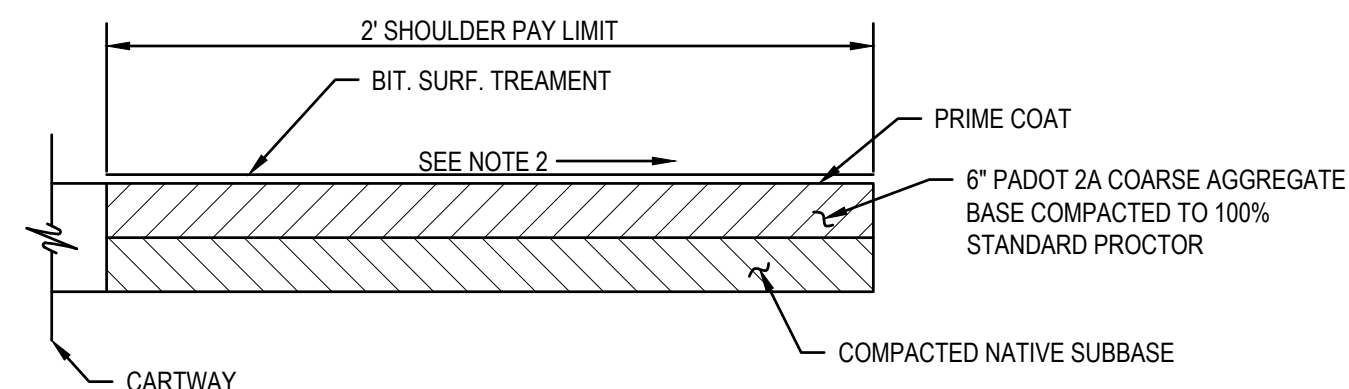
NOTES:

- FOR LAWN RESTORATION WITHIN 3'-0\"/>

9 LAWN RESTORATION DETAIL
NO SCALE



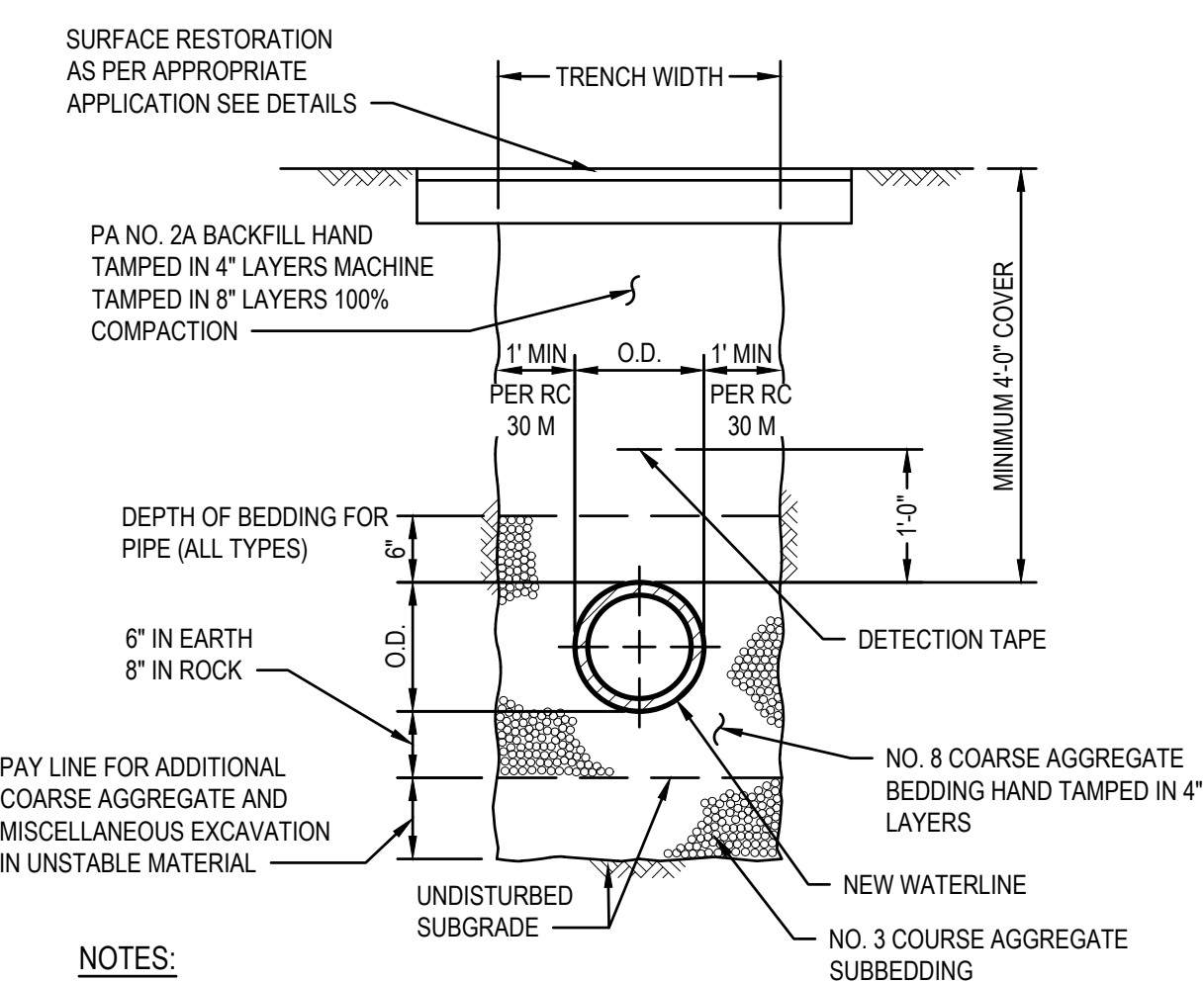
11 TEMPORARY PAVING RESTORATION
NO SCALE



NOTES:

- CONSTRUCT AGGREGATE BASE AS SPECIFIED IN PUBLICATION 408, SEC. 350.3 AND CONSIDER AS PART OF THE SHOULDER.
- SLOPE SHOULDER AT 6.00% FOR EFFECTIVE SHOULDER WIDTHS < 8'. SLOPE SHOULDER AT 4.00% FOR EFFECTIVE SHOULDER WIDTHS > 8'.

13 TYPE 3 SHOULDER DETAIL
NO SCALE



NOTES:

- ALL STONE GRADATIONS ARE AASHTO CLASSIFICATION.
- PAVEMENT MUST BE SAW-CUT FOR TRENCHING AND AGAIN FOR 1 FOOT CUTBACK AT FINAL RESTORATION.

16 TRENCH DETAIL
NO SCALE

Project No. 414.20	Plate -	Ext No. -V	Activity No. 15744013036	A-
Client AQUA PENNSYLVANIA, INC.				
Project COUNTRY CLUB GARDENS WATERMAIN REPLACEMENT				Title MISCELLANEOUS DETAILS
Project Manager J. MORRIS				
Project No. 11216973				Original Size Arch D
Date JANUARY 2022				
Scale AS SHOWN				Sheet No. C502
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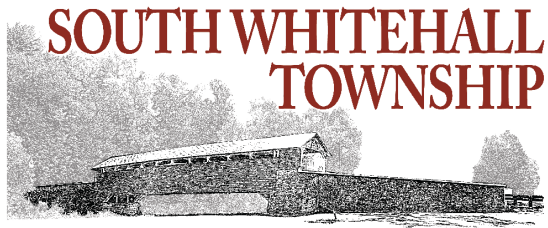
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Drafting Check **R. CALHOUN**
Project Manager **J. MORRIS**

Designer **K. HARTMAN**
Design Check **K. HARTMAN**
Date **JANUARY 2022**



**MEMORANDUM FOR
AGENDA ITEMS**

TO:	Board of Commissioners
FROM:	Herb Bender
DATE:	October 18, 2022
SUBJECT:	Request to Transfer Budgets in Fire Funds
COPY TO:	T.Dickert, T.Petrucci

- **Background Information and/or Justification of Expense:**

The Fire Fund is in need of budget transfers in order to cover costs for the remainder of the 2022 year. There are a few line items that are already over budget, as well as some that we project will go over budget if transfers do not occur.

- **Action Requested:**

Transfer \$9,500 from 03411002/40452 & \$500 from 03411002/40460 to cover expenses in 03411002/40450

Transfer \$3,000 from 03411002/40460 to 03411002/40241 to cover expenses

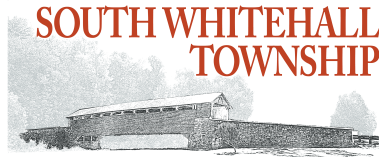
Transfer \$400 from 03411002/40460 to 03411002/40260 to cover expenses

Transfer \$20,000 from 03411003/40800 to 03411002/40230

Transfer \$400 from 03411002/40800 to 03411002/40240 to cover expenses

Transfer \$1,600 from 03411003/40800 to 03411002/40791 to cover expenses

- **Budget Line Item (if applicable):**



Agenda Item Details

Meeting Nov 02, 2022 - Board of Commissioners

Category 10. CORRESPONDENCE AND INFORMATION ITEMS

Subject A. Upcoming Meetings

Access Public

Type Action (Consent), Information

Recommended Action Explanation by Township Manager, Tom Petrucci.

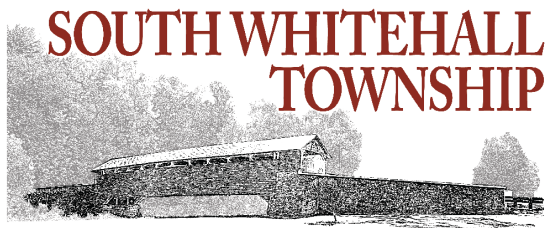
Public Content

UPCOMING MEETINGS: Details posted on website.

- Monday, November 7, 2022 - Public Safety Commission, 7P
- Tuesday, November 8, 2022 - Planning Commission, 7P
- Wednesday, November 9, 2022 - Civil Service Commission, 10A
- Monday, November 14, 2022 - Parks & Recreation Board, 7P

Administrative Content

Executive Content



**MEMORANDUM FOR
AGENDA ITEMS**

TO:	Board of Commissioners
FROM:	Tom Petrucci, Township Manager
DATE:	October 25, 2022
SUBJECT:	2023 Board of Commissioners Meeting Schedule
COPY TO:	H. Bender; T. Fehnel

- **Action Requested:**

No official action is requested at this time; I am only seeking direction from the Board of Commissioners in order to discuss a recommended meeting schedule change for Board of Commissioners (BOC) meetings to be held in 2023.

The First Class Township Code states the following regarding monthly meetings:

Section 702. Monthly Meetings, Quorum, Voting.--(a) The board of commissioners shall meet at least once a month, at a time and place designated by ordinance.

(b) A majority of the members of the board of commissioners shall constitute a quorum. Except as provided in subsection (b.1)(1)(i), only members of the board of commissioners physically present at a meeting place within the township shall be counted in establishing a quorum.

The South Whitehall Code states the following regarding monthly meetings:

§ 17-29 Commission meetings.

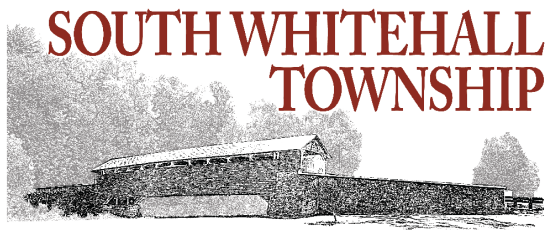
The Commissioners of the Township of South Whitehall shall meet regularly on the first and third Wednesdays of each month, at 7:30 p.m., at their municipal building located on Walbert Avenue, east of the intersection of Walbert Avenue and U.S. Route 309, South Whitehall Township, Lehigh County, Pennsylvania. Regularly scheduled meetings of the Board may be augmented by additional meetings, canceled or postponed, from time to time, by agreement of a majority of the Board when it is deemed advisable because of inclement weather, a better opportunity for a quorum or any other reason that may facilitate prudent and efficient conduct of normal business.

Recommendation/Topic of Discussion: It is suggested to eliminate the monthly workshop meeting of the Board of Commissioners. The Board of Commissioners would still schedule/advertise regular meetings on the first and third Wednesdays of month. § 17-29 needs to be amended to correct the time to **7:00 PM**. The third Wednesday meeting could be organized as a workshop from time to time, as per the needs of the Township. However, regular business could also be conducted at the meeting to ensure that the approval of bills is still handled in a timely

manner. In instances where workshop topics would be discussed, the recommendation would be to conduct any “regular” business at the beginning of the meeting and then move the workshop discussion topics to the end of the meeting.

- **Budget Line Item(s) (if applicable):** *Please indicate approved budget amount for specified project(s).*

N/A



**MEMORANDUM FOR
AGENDA ITEMS**

TO:	Board of Commissioners
FROM:	Herb Bender
DATE:	October 25, 2022
SUBJECT:	Single Axle Freightliner Truck
COPY TO:	T. Petrucci, T. Dickert

- **Background Information and/or Justification of Expense:**
The single axle Freightliner truck has arrived and is ready to get to the upfitter for the hydraulics, dump body and snow equipment to be installed. I said I would come back and let the Board of Commissioners know if there was a price increase. The increase for the total upfit will be \$800.00 bring the total to 73,209.00 and the total for the complete truck \$199,087.70. This was budgeted for \$192,500 in State Highway Aid. This truck is \$6,587.70 higher due to the rising costs.

- **Action Requested:**

- **Budget Line Item (if applicable):**

35430003/40760 Major Machinery and equipment fund for \$192,500



TRIAD TRUCK EQUIPMENT, INC.

3380 West Ridge Pike
 Pottstown, PA 19464
 TEL (610) 495-1600 FAX (610) 495-7611
 www.triadtruck.com

QUOTE NUMBER: 0111359
 ORDER DATE: 10/18/2022
 TERMS: NET 10 DAYS

QUOTED BY: CG
 CUSTOMER NO: HOR106
 CUSTOMER ORDER:
 TELEPHONE: (610) 261-2220
 ATTENTION: JEFF KOKINDA

HORWITH FREIGHTLINER
 P.O. BOX 7, ROUTE 329
 NORTHAMPTON, PA 18067

SHIP TO:
 HORWITH FREIGHTLINER, INC.
 1449 NOR-BATH BLVD.
 NORTHAMPTON, PA 18067

**** Due to the current and volatile international trade environment, pricing on this quotation/ order is subject to change based on potential surcharges or increases from our suppliers, and regardless of product origin. We will take all reasonable steps not to invoke this. ****

QTY	ITEM NUMBER/DESCRIPTION	LIST PRICE	NET PRICE	TOTAL
0.00	<p>NOTE: THE VOLATILITY EXPERIENCED WITH PRICING AND AVAILABILITY OF MANY MATERIALS/COMPONENTS LAST YEAR HAS CARRIED OVER INTO 2022. DUE TO ONGOING CHASSIS DELAYS, MANUFACTURING LEAD TIMES AND SUPPLY CHAIN DISRUPTIONS, WE ARE NO LONGER ABLE TO GUARANTEE THIS ESTIMATE FOR MORE THAN 90 DAYS PRIOR TO CHASSIS ARRIVAL. BECAUSE OF UNPREDICTABLE EVENTS WITHIN THE TRADE ENVIRONMENT, PRICING AND COMPONENTS ARE SUBJECT TO CHANGE. PLEASE NOTE THAT WE MAY NEED TO PASS ON TO OUR CUSTOMERS THE EXTRA COSTS INCURRED FROM SURCHARGES AND INCREASES FROM OUR SUPPLIERS. IN THE EVENT OF CHANGES IN MARKET CONDITIONS WHICH IMPACT PRICES OR PARTS AVAILABILITY, CUSTOMER WILL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO CONFIRM ACCEPTANCE OF CHANGES AND SIGN A REVISED QUOTE/ ORDER.</p> <p>DATE: _____ TITLE: _____</p> <p>SIGNATURE: _____</p>	\$0.00	\$0.00	\$0.00

Continued

TRIAD TRUCK EQUIPMENT, INC.

QUOTE NUMBER: 0111359
 ORDER DATE: 10/18/2022

QTY	ITEM NUMBER/DESCRIPTION	LIST PRICE	NET PRICE	TOTAL
0.00	COSTARS COSTARS # 025-060	0.00	0.00	0.00
0.00	SERIAL NUMBER 2	0.00	0.00	0.00
*** CHASSIS & ORDER INFORMATION ***				
P.O. # JEFF KOKINDA MAKE: FREIGHLINER MODEL: SD114 SERIAL # TBD DUE @ TTE: 9/01/2022 TRANS. # AUTO CAB COLOR: YELLOW PAINT BODY: NONE / STAINLESS BODY WIDTH: 96				
END USER: SOUTH WHITEHALL TOWNSHIP				
P.T.O. / MODEL # SERIAL #				
BODY / MODEL # SERIAL #				
PUMP / MODEL # SERIAL #				
CYLINDER / MODEL # SERIAL #				
TARP MOTOR / MODEL # SERIAL #				
SPREADER CONTROL / MODEL # SERIAL #				
SPREADER / MODEL # SERIAL #				
PLOW HITCH / MODEL # SERIAL #				
PLOW / MODEL #: SERIAL #				
				Continued

QTY	ITEM NUMBER/DESCRIPTION	LIST PRICE	NET PRICE	TOTAL
0.00	### PLEASE NOTE: PRICING IS GOOD FOR TEN (10) DAYS. PRICING IS SUBJECT TO REVIEW AFTER AND ADJUSTMENT AFTER TEN (10) DAYS.	\$0.00	\$0.00	\$0.00
1.00	### SUPPLY AND INSTALL 10'6" BEAU-ROC SSM1 MUNICIPAL DUMP BODY PACKAGE STAINLESS STEEL, CROSS MEMBERLESS DESIGN. CONSTRUCTION: UNIBODY, LIGHT WEIGHT LONGSILLS: 7 GAUGE 201 STAINLESS STEEL WITH RUBBER MOUNT ISOLATION KIT FLOOR: .177" HARDOX 450 STEEL (82" FLAT FLOOR) CUSTOM 82" FLAT FLOOR FOR LEAF BOX APPLICATION FRONT: 7 GAUGE, 201 S.S., 2B, 45 DEGREE CORNERS CAB SHIELD: 24" 10 GAUGE, 201, 2B S.S. SIDES: 7 GAUGE, FOLDED TOP RAIL, 201, 2B S.S. SMOOTH TAILGATE: 7 GAUGE, 201 S.S., STRAIGHT SLOPE, BARN DOOR STYLE TAILGATE WITH MANUAL SIDE LATCH IN REAR 42" SIDES WITH 42" TAILGATE LIFTING DEE RING INSIDE TAILGATE FULL LENGTH GRIP STRUT CS-100-4.5-3DA DOUBLE ACTING TELESCOPIC HOIST THREE OVER CENTER STYLE COAL DOORS AIR OPERATED TAILGATE 4 LED STROBE LIGHTS IN CAB SHIELD 1 LED OVAL STOP-TAIL-TURN LIGHT IN EACH REAR POST 1 LED OVAL BACK UP LIGHT IN EACH REAR POST 1 LED OVAL STROBE LIGHT IN REAR POST STATE AND D.O.T.LIGHTS, FLAPS, CONSPICUITY TAPE, AND REFLECTORS. STAINLESS STEEL FOLD DOWN LADDER ON DRIVERS SIDE INSIDE BODY STEP ANGLED FROM SIDE TO BULKHEAD STANDARD BODY PROP BODY RUBBER MOUNTED RUBBER MUD FLAPS FRONT WITH CROME ANTI SAIL BRACKET AND REAR FLAPS WITH HOOKS AERO 575 ELECTRIC TARP SYSTEM WITH ALUMINUM SIDE ARMS, ASPHALT RATED TARP WITH SIDE FLAPS, AND WIND DEFLECTOR (TARP SWITCH SHALL BE MOUNTED TO CENTER CONSOLE) DO NOT MOUNT NEXT TO SEAT LIKE PRIOR BUILDS 3/4" PINTLE HOOK PLATE WITH 25 TON PINTLE HOOK, DEE RINGS, AND CUSTOMER SPECIFIED TRAILER SOCKETS IN CAB ELECTRIC BRAKE CONTROLLER 2 LED SPREADER WORK LIGHTS (ONE EACH SIDE)	0.00	73,209.00	73,209.00

Continued

QTY	ITEM NUMBER/DESCRIPTION	LIST PRICE	NET PRICE	TOTAL
1.00	LED HEATED FENDER MOUNT PLOW LIGHTS BODY UP LIGHT BACK UP ALARM STAINLESS STEEL SPRING LOADED SHOVEL HOLDER 24" X 24" X24" ALUMINUM TOOLBOX WITH FOLDING LATCH UNDERSIDE OF BODY AND HOIST SHALL BE PAINTED BLACK ### CENTRAL HYDRAULICS: SUPPLY AND INSTALL CENTRAL HYDRAULICS TO OPERATE DUMP BODY, SNOW PLOW AND MATERIAL SPREADER HYDRAULIC FUNCTIONS. HOT SHIFT, TRANSMISSION MOUNTED PTO LOAD SENSING DIRECT MOUNT PUMP 35 GALLON VT STAINLESS STEEL HYDRAULIC / VALVE ENCLOSURE (GENERATION II) RESERVOIR WITH INTERNAL RETURN FILTER, EXTERNAL MOUNTED SIGHT GAUGE, AND HIGH CAPACITY SUCTION STRAINER. SINGLE PNEUMATIC CONTROLLED BODY LEVER SINGLE PNEUMATIC CONTROLLED JOYSTICK PLOW LEVER PUMP SHUT DOWN OVER-RIDE SWITCH WITH LOW OIL AND OIL TEMP LIGHTS. FULL PORT 2" BRASS BALL VALVE DOUBLE ACTING HOIST, DOUBLE ACTING PLOW RAISE/ LOWER, DOUBLE ACTING PLOW ANGLE, AND FORCE AMERICA MODEL 5100EX ELECTRIC SPREADER CONTROLLER.	0.00	0.00	0.00
1.00	### ** STAINLESS STEEL UNDER TAILGATE SPREADER** SUPPLY AND INSTALL BUYERS PRODUCTS MODEL #92420SSA STAINLESS STEEL UNDER TAILGATE SPREADER BOX TO INCLUDE: #304 STAINLESS STEEL - 96" WIDE. HYDRAULIC LOCKOUT SYSTEM (KEEPS AUGER STOPPED FOR MAINTENANCE). HINGED TOP LID AND CLEAN OUT TROUGH 6" REVERSE FLIGHT AUGER DIRECT DRIVE AUGER MOTOR MOUNTING BRACKETS BOLTED TO REAR CORNER TAILGATE CLOSURE SPILL PLATES SIDE GUSSETS ON SPREADER SUPPORTS. STAINLESS STEEL ADJUSTABLE SPINNER BRACKET POLY SPINNER DISC	0.00	0.00	0.00

Continued

QTY	ITEM NUMBER/DESCRIPTION	LIST PRICE	NET PRICE	TOTAL
1.00	<p>### SUPPLY AND INSTALL BONNELL 29" HUSTING HITCH WITH 3" X 2" X 10" DOUBLE ACTING LIFT CYLINDER. HITCH SHALL BE MOUNTED APPROXIMATELY 14" FROM GROUND TO BOTTOM OF HITCH.</p>	\$0.00	\$0.00	\$0.00
<p>Sales Receipt Only ** Invoice to Follow No Returns on Electrical or Special Order Parts SEE US FOR YOUR SNOWPLOW NEEDS</p>			<p>Net Order: \$73,209.00 Less Disc: 0.00 Freight: 0.00 Sales Tax: 0.00</p>	<p>Order Total: \$73,209.00</p>



HORWITH TRUCKS, INC.

P.O. BOX 7 - RT. 329
NORTHAMPTON, PA. 18067-0007

P: (610) 261-2220

F: (610) 261-2916



BILL TO
SOUTH WHITEHALL TOWNSHIP
4444 WALBERT AVE - LEHIGH
ALLENTOWN, PA 18104
P: (610) 398-0401
F:
EMAIL: AP@SOUTHWHITEHALL.COM

DELIVER TO
SOUTH WHITEHALL TOWNSHIP
4444 WALBERT AVE
ALLENTOWN, PA 18104
P: (610) 398-0401
F:

SALES INVOICE: V101000589

DELIVERY DATE	INVOICE DATE	SALESPERSON	CUSTOMER REFERENCE
10/24/2022	10/24/2022	CONVERSION	verbal

NEW

YR - MAKE - MODEL	SERIAL NUMBER / ITEM DESCRIPTION	UNIT#: 108609	PRICE
2023 - FREIGHTLINER - 114SD	1FVAG3DV1PHUJ5044		
	Vehicle - Price		125,878.70
	INCLUDES EW4 - 7 YEARS 100K MILES		0.00
	INCLUDES TC4 -7 YEARS 100K MILES		0.00
	TRANSMISSION 7 YEARS 100K MILES		0.00
Total Price:			\$125,878.70

<input type="checkbox"/> FACTORY WARRANTY- The factory warranty constitutes all of the warranties with respect to the sale of this item/items. The seller hereby expressly disclaims all warranties, either expressed or implied including any implied warranty of merchantability or fitness for a particular purpose, and the seller neither assumes nor authorizes any other person to assume it for any liability in connection with the sale of this item/items. <hr/> <hr/> PURCHASER SIGNATURE X	<input type="checkbox"/> USED TRUCK WARRANTY- Used truck is covered by a limited warranty detailed in a separate document. <hr/> <hr/> PURCHASER SIGNATURE X	<input type="checkbox"/> AS IS- This motor vehicle is sold "AS IS" without any warranty either expressed or implied. The purchaser will bear the entire expense of repairing or correcting any defect that presently exists or that may occur in the vehicle. <hr/> <hr/> PURCHASER SIGNATURE X
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THERE ARE NO WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING THE IMPLIED WARRANTY OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, MADE BY THE SELLER HEREIN, OR THE MANUFACTURER, ON THE VEHICLE OR CHASSIS DESCRIBED ON THE FACE HEREOF EXCEPT IN THE CASE OF A NEW VEHICLE OR CHASSIS. THE PRINTED NEW VEHICLE WARRANTY DELIVERED TO PURCHASER WITH SUCH VEHICLE OR CHASSIS AND HEREBY MADE A PART HEREOF AS THOUGH FULLY SET FORTH HEREIN IS THE ONLY WARRANTY APPLICABLE TO SUCH NEW VEHICLE OR CHASSIS AND IS EXPRESSLY IN LIEU OF ALL OTHER WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. IN THE CASE OF A USED VEHICLE OR CHASSIS, THE APPLICABILITY OF AN EXISTING MANUFACTURER'S WARRANTY THERON IF ANY, SHALL BE DETERMINED SOLELY BY THE TERMS OF SUCH WARRANTY. ASK SALES PER FOR COPY OF COMPLETE WARRANTY. THIS CONTRACT IS NOT BINDING UPON EITHER THE DEALER OR THE PURCHASER UNTIL SIGNED BY AN AUTHORIZED DEALER REPRESENTATIVE. YOU, THE BUYER, MAY CANCEL THIS CONTRACT AND RECEIVE A FULL REFUND ANY TIME BEFORE RECEIPT OF A COPY OF THIS CONTRACT SIGNED BY AN AUTHORIZED DEALER REPRESENTATIVE BY GIVING WRITTEN NOTICE OF CANCELLATION TO DEALER.

WE CANNOT INCREASE THE CONTRACT PRICE OF A MOTOR VEHICLE AFTER THE CONTRACT HAS BEEN ACCEPTED BY THE DEALER OR THE AUTHORIZED DEALER REPRESENTATIVE UNLESS THE INCREASE IS DUE TO THE PASSAGE OF A LAW OR REGULATION OF THE UNITED STATES OR THE COMMONWEALTH WHICH REQUIRES THE ADDITION OF NEW EQUIPMENT TO CERTAIN VEHICLES: OR, IN THE CASE OF FOREIGN MADE VEHICLES, IS DUE TO A REVALUATION OF THE UNITED STATES DOLLAR VIS-A-VIS THE CURRENCY OF THE COUNTRY OF MANUFACTURE: HOWEVER, WE HAVE THE RIGHT TO REAPPRAISE THE VALUE OF A TRADE IN VEHICLE IF THE DEALER CAN ESTABLISH THAT THE VEHICLE HAS SUFFERED DAMAGE OR SERIOUS MECHANICAL DETERIORATION SINCE THE DATE OF THE VALUATION BUT PRIOR TO ITS DELIVERY TO THE DEALER OR UNLESS PARTS OR ACCESSORIES, OR BOTH, INCLUDING TIRES, HAVE BEEN REMOVED OR REPLACED WITH PARTS OR ACCESSORIES OF INFERIOR QUALITY.

SALES PRICE	\$125,878.70
SALES TAX	+ \$0.00
FET	+ \$0.00
TOTAL PRICE	= \$125,878.70
TRADE EQUITY	- \$0.00
LESS DOWNPAYMENT	- \$0.00
BALANCE DUE	= \$125,878.70

I CERTIFY THAT I AM 18 YEARS OF AGE OR OLDER AND HEREBY ACKNOWLEDGE A COPY OF THIS ORDER.

FINANCED BY: NET 30

CREDIT SALE: IF A CREDIT SALE, REQUIRED INFORMATION CONTAINED ON A SEPARATE DISCLOSURE STATEMENT IS MADE A PART OF THIS ORDER INCLUDING BUT NOT LIMITED TO HORWITH PRIVACY POLICY, FAIR CREDIT POLICY, RISK BASED PRICING, ETC. IS MADE A PART OF THIS ORDER FORM.

X _____ Buyer Signature	X _____ Seller Signature
_____ Date	_____ Date

Please Remit Payment To:
 HORWITH TRUCKS INC.
 P.O. BOX 7 - RT. 329
 NORTHAMPTON, PA. 18067-0007