

Wednesday, January 19, 2022
Board of Commissioners

Public Meeting Room, 7:00 p.m.
South Whitehall Township Building
4444 Walbert Avenue
Allentown, PA 18104

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ANNOUNCEMENTS

A. All public sessions of the South Whitehall Township Board of Commissioners are electronically recorded, filed, and posted to the website for Public access.

B. Public/Virtual Meeting Rules

C. Board of Commissioners Met in Executive Session on the following dates to discuss Legal and Personnel Matters: January 4th, after regular BOC Meeting; January 14th; January 18th; and January 19th.

4. COURTESY OF THE FLOOR - Public Comment on Non-Agenda Items

5. MINUTES

A. December 15, 2021 - Board of Commissioners Meeting Minutes

B. January 4, 2022 - Board of Commissioners Re-Organization Meeting Minutes

6. ORDINANCES

7. RESOLUTIONS

A. A Resolution Appointing the Township Auditor for Audit Year 2021

B. A Resolution of the Governing Board of South Whitehall Township, Lehigh County, Pennsylvania, Authorizing, Empowering, and Directing the Proper Officers of the Governing Board to Appoint a Liaison between it and Berkheimer, the Duly Appointed Collector of Local Taxes for the District, for the Express Purpose of Sharing Confidential Tax Information with the District for Official Purposes.

C. A Resolution Granting Preliminary/Final Approval To A Major Plan Entitled "Kratzer Elementary School"

D. A Resolution Granting Preliminary/Final Approval To A Major Plan Entitled "Long's Water Technology"

E. See Motion 8-C First, followed by 7-E: A Resolution Extending Conditional Offer Of Employment To The Entry-Level Position Of Patrol Officer In The Township's Police Department To Candidate Number 43797 Conditioned Upon The Individual Satisfactorily Completing Medical And Psychological Examinations To Confirm Their Fitness For Duty

8. MOTIONS

A. Motion to Appoint ___ and ___ to the Budget, Finance, and Audit Subcommittee.

B. Motion to Appoint ___ and ___ to the Fire Services Subcommittee

C. Motion to Proceed with Adoption of the Entire Civil Service Eligibility List for Patrol Officer in the SWT Police Department

D. A Resolution Approving Sewer Planning Module - 4815 Crackersport Road

E. Motion to Proceed with Vehicle Purchases for Public Works, Police Department, & Fire Departments

9. CORRESPONDENCE AND INFORMATION ITEMS

A. Boards and Commissions - Informational Items/Vacancies

B. Welcome - New Police Officer, David Lawrence

10. DIRECTION/DISCUSSION ITEMS

11. OLD BUSINESS

A. Wehr's Dam

B. Route 309/Ridgeview Intersection

C. Comprehensive Plan Update

12. DEPARTMENT REPORTS

A. Executive Department

B. Community Development Department

C. Finance Department

D. Parks & Recreation Department

E. Public Works Department

F. Police Department

G. Township Engineer

13. MOTION TO AUTHORIZE PAYMENT OF INVOICES & DISBURSEMENTS

A. Invoices and Disbursements

14. EXECUTIVE SESSION

15. ADJOURNMENT

**SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2022-__
(Duly Adopted January 19, 2022)**

**A RESOLUTION APPOINTING THE TOWNSHIP AUDITOR
FOR AUDIT YEAR 2021**

WHEREAS, the Commissioners of the Township of South Whitehall, by Ordinance No. 325, duly ordained on the 13th day of April, 1981, (amending Ordinance No. 138, enacted October 12, 1970), created the Office of the Township Auditor; and,

WHEREAS, the First Class Township Code has been amended to authorize the Commissioners of the Township of South Whitehall to appoint and establish the compensation to be paid to the Township Auditor; and,

WHEREAS, the Commissioners of the Township of South Whitehall, by adoption of Ordinance No. 325, Section 1.91 et seq., have set forth the conditions requisite for appointing a Township Auditor; and,

WHEREAS, Herbein + Company, Inc., has indicated their availability to act as Independent Auditor for South Whitehall Township.

NOW, THEREFORE, BE IT RESOLVED that Herbein + Company, Inc., of 2763 Century Boulevard, Reading, PA 19610, is hereby appointed as Township Auditor for the Township of South Whitehall, Lehigh County, Pennsylvania, for the audit year of 2021, per the attached engagement letter—APPENDIX—A.

DULY ADOPTED this 19th day of **January 2022**, by the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, in lawful session duly assembled.

**TOWNSHIP OF SOUTH WHITEHALL
BOARD OF COMMISSIONERS**

Diane Kelly, President

ATTEST:

Scott Boehret, Twp. Secretary

From: [Scott Boehret](#)
To: [Tracy J. Fehnel](#)
Subject: FW: 2021 Twp Engagement Letter
Date: Friday, January 14, 2022 11:30:58 AM
Attachments: [image001.png](#)
[South Whitehall Township 2021 Engagement Letter.pdf](#)

From: Christopher M. Turtell <cmturtell@herbein.com>
Sent: Friday, January 14, 2022 10:42 AM
To: Scott Boehret <boehrets@southwhitehall.com>
Subject: 2021 Twp Engagement Letter

Scott,

Attached is the engagement letter. As I noted yesterday, the base audit fee is \$25,000. This includes preparation of the financial statements and the DCED report. The additional fee for analyzing and reporting the pension and OPEB benefit obligations in the proprietary funds and the government-wide statements is \$5,000. If you have any questions, please let me know.

Chris

Christopher M. Turtell, CPA

Partner - Accounting and Auditing Services

Herbein + Company, Inc.

An Independent Member of Allinial Global
2763 Century Boulevard | Reading, PA 19610
D: 484-525-4640 | T: 610-378-1175 | F: 610-378-0999
cmturtell@herbein.com | www.herbein.com
[Facebook](#) | [LinkedIn](#) | [Twitter](#) | [Blog](#)

COVID-19 Updates

For the latest on COVID-19, please visit [our website](#) and register for our blog updates.

Herbein Today. Herbein Tomorrow.

[Stay up to date with our recent blog posts.](#)





Herbein + Company, Inc.
2763 Century Boulevard
Reading, PA 19610
P: 610.378.1175
F: 610.378.0999
www.herbein.com

January 7, 2022

To the Board of Commissioners and Management
South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104

We are pleased to confirm our understanding of the services we are to provide South Whitehall Township for the year ended December 31, 2021.

Audit Scope and Objectives

We will audit the financial statements of the governmental activities, the business-type activities, each major fund, and the aggregate remaining fund information, including the related notes to the financial statements, which collectively comprise the basic financial statements of South Whitehall Township as of and for the year ended December 31, 2021. Accounting standards generally accepted in the United States of America provide for certain required supplementary information (RSI), such as management's discussion and analysis (MD&A), to supplement South Whitehall Township's basic financial statements. Such information, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. As part of our engagement, we will apply certain limited procedures to South Whitehall Township's RSI in accordance with auditing standards generally accepted in the United States of America (GAAS). These limited procedures will consist of inquiries of management regarding the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We will not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance. The following RSI is required by U.S. generally accepted accounting principles (GAAP) and will be subjected to certain limited procedures, but will not be audited:

- 1) Budgetary Comparison Schedule for the General Fund
- 2) Schedule of Changes in Net Pension Liability and Related Ratios -
 - a) Police Pension Plan
 - b) Works Union Employees' Pension Plan
 - c) Office Personnel Pension Plan
- 3) Schedule of Township Contributions and Investment Returns
- 4) Schedule of Changes in Total OPEB Liability and Related Ratios

We have also been engaged to report on supplementary information other than RSI that accompanies South Whitehall Township's financial statements. We will subject the following supplementary information to the auditing procedures applied in our audit of the financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the financial statements or to the financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America, and we will provide an opinion on it in relation to the financial statements as a whole, in a report combined with our auditor's report on the financial statements:

- 1) Combining Balance Sheet - Nonmajor Governmental Funds
- 2) Combining Statement of Revenues, Expenditures, and Changed in Fund Balances - Nonmajor Governmental Funds
- 3) Combining Statement of Net Position - Fiduciary Funds
- 4) Combining Statement of Changes in Net Position - Fiduciary Funds

The objectives of our audit are to obtain reasonable assurance as to whether the financial statements as a whole are free from material misstatement, whether due to fraud or error; issue an auditor's report that includes our opinion about whether your financial statements are fairly presented, in all material respects, in conformity with GAAP. Reasonable assurance is a high level of assurance but is not absolute assurance and therefore is not a guarantee that an audit conducted in accordance with GAAS will always detect a material misstatement when it exists. Misstatements, including omissions, can arise from fraud or error and are considered material if there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment of a reasonable user made based on the financial statements.

Auditor Responsibilities for the Audit of the Financial Statements

We will conduct our audit in accordance with GAAS and will include tests of your accounting records and other procedures we consider necessary to enable us to express such opinions. As part of an audit in accordance with GAAS, we exercise professional judgment and maintain professional skepticism throughout the audit.

We will evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management. We will also evaluate the overall presentation of the financial statements, including the disclosures, and determine whether the financial statement represent the underlying transaction and events in a manner that achieves fair presentation. We will plan and perform the audit to obtain reasonable rather than absolute assurance about whether the financial statements are free of material misstatement, whether from (1) errors, (2) fraudulent financial reporting, (3) misappropriation of assets, or (4) violations of laws or governmental regulations that are attributable to the government or to acts by management or employees acting on behalf of the government.

Because of the inherent limitations of an audit, combined with the inherent limitations of internal control, and because we will not perform a detailed examination of all transactions, there is a risk that material misstatements may exist and not be detected by us, even though the audit is properly planned and performed in accordance with GAAS. In addition, an audit is not designed to detect immaterial misstatements, or violations of laws or governmental regulations that do not have a direct and material effect on the financial statements. However, we will inform the appropriate level of management of any material errors, any fraudulent financial reporting, or misappropriation of assets that come to our attention. We will also inform the appropriate level of management of any violations of laws or governmental regulations that come to our attention, unless clearly inconsequential. Our responsibility as auditors is limited to the period covered by our audit and does not extend to any later periods for which we are not engaged as auditors.

We will also conclude, based on the audit evidence obtained, whether there are conditions or events, considered in the aggregate, that raise a substantial doubt about the government's ability to continue as a going concern for a reasonable period of time.

Our procedures will include tests of documentary evidence supporting the transactions recorded in the accounts, and direct confirmation of receivables and certain other assets and liabilities by correspondence with selected individuals, funding sources, creditors, and financial institutions. We will request written representations from your attorneys as part of the engagement, and they may bill you for responding to this inquiry.

We may, from time to time and depending on the circumstances, use third-party service providers in serving your account. We may share confidential information about you with these service providers but remain committed to maintaining the confidentiality and security of your information. Accordingly, we maintain internal policies, procedures, and safeguards to protect the confidentiality of your personal information. In addition, we will secure confidentiality agreements with all service providers to maintain the confidentiality of your information and we will take reasonable precautions to determine that they have appropriate procedures in place to prevent the unauthorized release of your confidential information to others. In the event that we are unable to secure an appropriate confidentiality agreement, you will be asked to provide your consent prior to the sharing of your confidential information with the third-party service provider. Furthermore, we will remain responsible for the work provided by any such third-party service providers.

Audit Procedures - Internal Control

We will obtain an understanding of the government and its environment, including internal control relevant to the audit, sufficient to identify and assess the risks of material misstatement of the financial statements, whether due to error or fraud, and to design and perform audit procedures responsive to those risks and obtain evidence that is sufficient to provide a basis for our opinions. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. An audit is not designed to provide assurance on internal control or to identify deficiencies in internal controls. Accordingly, we will express no such opinion. However, during the audit, we will communicate to management and those charged with governance internal control related matters that are required to be communicated under AICPA professional standards.

Our audit standards require we communicate significant risks identified in the planning phase and that we design our audit to provide reasonable assurance that the financial statements are free of material misstatement whether caused by error or fraud. Accordingly, we have identified improper revenue recognition, management override of controls, lack of reconciliations in certain balance sheet accounts, and turnover in key management positions.

Audit Procedures - Compliance

As part of obtaining reasonable assurance about whether the financial statements are free of material misstatement, we will perform tests of South Whitehall Township's compliance with the provisions of applicable laws, regulations, contracts, and agreements. However, the objective of our audit will not be to provide an opinion on overall compliance, and we will not express such an opinion.

Other Services

We will also prepare the financial statements and related notes of South Whitehall Township in conformity with accounting principles generally accepted in the United States of America, the DCED report, and the annual audit notice based on information provided by you. We will also assist with tracking depreciation schedules/fixed asset listings, certain cash to accrual entries including GASB 34 conversion entries and GASB 67/68 and GASB 75 adjustments, assist with account reconciliations, and propose adjusting journal entries for misstatements as a result of audit procedures.

We will perform the services in accordance with applicable professional standards. The other services are limited to the services previously defined unless agreed to by you. We, in our sole professional judgment, reserve the right to refuse to perform any procedure or take any action that could be construed as assuming management responsibilities.

You may request that we perform additional services not contemplated by this engagement letter. If this occurs, we may communicate with you regarding the scope of the additional services and estimated fees. We also may issue a separate engagement letter covering the additional services. In the absence of any written communication from us documenting such additional services, our services will continue to be governed by the terms of this engagement letter.

Responsibilities of Management for the Financial Statements

Our audit will be conducted on the basis that you acknowledge and understand your responsibility for designing, implementing, and maintaining internal controls relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error, including monitoring ongoing activities; for the selection and application of accounting principles; and for the preparation and fair presentation of the financial statements in conformity with accounting principles generally accepted in the United States of America.

Management is responsible for making drafts of financial statements, all financial records, and related information available to us and for the accuracy and completeness of that information (including information from outside of the general and subsidiary ledgers). You are also responsible for providing us with (1) access to all information of which you are aware that is relevant to the preparation and fair presentation of the financial statements, such as records, documentation, identification of all related parties and all related-party relationships and transactions, and other matters; (2) additional information that we may request for the purpose of the audit; and (3) unrestricted access to persons within the government from whom we determine it necessary to obtain audit evidence. At the conclusion of our audit, we will require certain written representations from you about the financial statements and related matters.

Your responsibilities include adjusting the financial statements to correct material misstatements and confirming to us in the management representation letter that the effects of any uncorrected misstatements aggregated by us during the current engagement and pertaining to the latest period presented are immaterial, both individually and in the aggregate, to the financial statements of each opinion unit taken as a whole.

You are responsible for the design and implementation of programs and controls to prevent and detect fraud, and for informing us about all known or suspected fraud affecting the government involving (1) management, (2) employees who have significant roles in internal control, and (3) others where the fraud could have a material effect on the financial statements. Your responsibilities include informing us of your knowledge of any allegations of fraud or suspected fraud affecting the government received in communications from employees, former employees, grantors, regulators, or others. In addition, you are responsible for identifying and ensuring that the government complies with applicable laws and regulations.

You agree to assume all management responsibilities for the financial statement preparation services and any other nonattest services we provide; oversee the services by designating an individual, preferably from senior management, with suitable skill, knowledge, or experience; evaluate the adequacy and results of the services; and accept responsibility for them.

Engagement Administration, Fees, and Other

We understand that your employees will prepare all cash, accounts receivable, and other confirmations we request and will locate any documents selected by us for testing.

The audit documentation for this engagement is the property of Herbein + Company, Inc. and constitutes confidential information. However, subject to applicable laws and regulations, audit documentation and appropriate individuals will be made available upon request and in a timely manner to the Department of Community and Economic Development or its designee. We will notify you of any such request. If requested, access to such audit documentation will be provided under the supervision of Herbein + Company, Inc. personnel. Furthermore, upon request, we may provide copies of selected audit documentation to the Department of Community and Economic Development or its designee. The Department of Community and Economic Development or its designee may intend or decide to distribute the copies or information contained therein to others, including other governmental agencies.

Christopher M. Turtell, CPA, is the engagement partner and is responsible for supervising the engagement and signing the report or authorizing another individual to sign it.

Our fee for these services will be at our standard hourly rates plus out-of-pocket costs (such as report reproduction, word processing, postage, travel, copies, telephone, etc.) and will not exceed \$25,000 for the year ended December 31, 2021. These fees do not include the analysis and reporting of the pension and other postemployment benefit obligations. The assistance with pension and other postemployment obligations fee will be \$5,000. These fees also do not cover analysis or recording of debt refundings or depreciation and capital asset updates. Any additional fees will be discussed before we commence work. Due to the uncertainty of the level and compliance requirements of federal awards related to COVID-19, any additional costs for compliance audits required for this funding will be discussed prior to work commencing (if necessary). Our standard hourly rates vary according to the degree of responsibility involved and the experience level of the personnel assigned to your audit. Our invoices for these fees will be rendered each month as work progresses and are payable on presentation. In accordance with our firm policies, work may be suspended if your account becomes 60 days or more overdue and may not be resumed until your account is paid in full. If we elect to terminate our services for nonpayment, our engagement will be deemed to have been completed upon written notification of termination, even if we have not completed our report. You will be obligated to compensate us for all time expended and to reimburse us for all out-of-pocket costs through the date of termination.

In connection with this engagement, we may communicate with you or others via email transmission. We take reasonable measures to secure your confidential information in our email transmissions, including password protecting tax returns and other confidential documents. However, as emails can be intercepted and read, disclosed, or otherwise used or communicated by an unintended third party, or may not be delivered to each of the parties to whom they are directed and only to such parties, we cannot guarantee or warrant that emails from us will be properly delivered and read only by the addressee. Therefore, we specifically disclaim and waive any liability or responsibility whatsoever for interception or unintentional disclosure or communication of email transmissions, or for the unauthorized use or failed delivery of emails transmitted by us in connection with the performance of this engagement. In that regard, you agree that we shall have no liability for any loss or damage to any person or entity resulting from the use of email transmissions, including any consequential, incidental, direct, indirect, or special damages, such as loss of sales or anticipated profits, or disclosure or communication of confidential or proprietary information.

Reporting

We will issue a written report upon completion of our audit of South Whitehall Township's financial statements. Our report will be addressed to the Board of Commissioners of South Whitehall Township. Circumstances may arise in which our report may differ from its expected form and content based on the results of our audit. Depending on the nature of these circumstances, it may be necessary for us to modify our opinions, add a separate section, or add emphasis-of-matter or other-matter paragraph to our auditor's report, or if necessary, withdraw from this engagement. If our opinions on the financial statements are other than unmodified, we will discuss the reasons with you in advance. If, for any reason, we are unable to complete the audit or are unable to form or have not formed opinions, we may decline to express opinions or may withdraw from this engagement.

Record Retention

Record Retention and Ownership

We will return any original records and documents you provide to us by the conclusion of the engagement. Our copies of your records and documents are for our documentation purposes only and are not a substitute for your own records and do not mitigate your record retention obligations under any applicable laws or regulations. You are responsible for maintaining complete and accurate books and records, which may include financial statements, schedules, and other deliverables provided to you by us. If we provide deliverables or other records to you via an information portal, you must download this information within 30 days. Professional standards restrict us from being the sole repository of your original data, records, or information.

Workpapers and other documents created by us are our property and will remain in our control. Copies are not to be distributed without your written request and our prior written consent. Our workpapers will be maintained by us in accordance with our firm's record retention policy and any applicable legal and regulatory requirements. A copy of our record retention policy is available upon request.

Our firm destroys workpaper files after a period of seven (7) years. Catastrophic events or physical deterioration may result in damage to or destruction of our firm's records, causing the records to be unavailable before the expiration of the retention period as stated in our record retention policy.

Working Paper Access Requests

Requests to examine our workpapers may arise with respect to peer review, an ethics investigation, the sale of your organization, or the sale of our accounting practice. If requested, access to such workpapers will be provided under the supervision of firm personnel.

If we receive a request for copies of selected workpapers, provided that we are not prohibited from doing so by applicable laws or regulations, we agree to inform you of such request as soon as practicable. You may, within the time permitted for our firm to respond to any request, initiate such legal action as you deem appropriate, at your sole expense, to attempt to limit the disclosure of information. If you take no action within the time permitted for us to respond, or if your action does not result in a judicial order protecting us from supplying requested information, we may construe your inaction or failure as consent to comply with the request.

If we are not a party to the proceeding in which the information is sought, you agree to reimburse us for our professional time and expenses, as well as the fees and expenses of our legal counsel, incurred in responding to such requests.

By your signature below, you acknowledge and agree that upon the expiration of the seven (7) year period, Herbein + Company, Inc. shall be free to destroy our records related to this engagement.

Acceptance

We appreciate the opportunity to be of service to South Whitehall Township and believe this letter accurately summarizes the significant terms of our engagement. If you have any questions, please let us know. If you agree with the terms of our engagement as described in this letter, please sign and return it to us.

Very truly yours,

Herbein + Company, Inc.

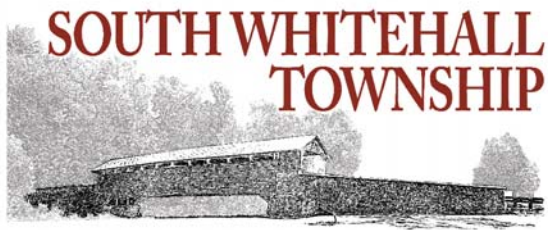
Herbein + Company, Inc.

RESPONSE:

This letter correctly sets forth the understanding of South Whitehall Township.

By: _____

Title: _____



MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Finance Department
DATE:	January 20, 2022
SUBJECT:	Appointment of Berkheimer Liaison
COPY TO:	N/A

- **Background Information and/or Justification of Expense:**

In 2012, Pennsylvania's Act 32 consolidated the collection of Earned Income Tax countywide. The Tax Collection Committee for Lehigh County appointed Berkheimer as the collector of local taxes for their District. Each taxing body must appoint a liaison between it and Berkheimer for the purpose of sharing confidential tax information and reporting.

- **Action Requested:**

The Department of Finance is requesting Tricia Dickert be named as liaison for South Whitehall Township which can only be finalized by way of resolution.

- **Budget Line Item (if applicable):** *Please indicate approved budget amount for specified project(s).*

Accessing this information comes at no cost to the Township.

RESOLUTION

A RESOLUTION OF THE GOVERNING BOARD OF _____, COUNTY, PENNSYLVANIA, AUTHORIZING, EMPOWERING AND DIRECTING THE PROPER OFFICERS OF THE GOVERNING BOARD TO APPOINT A LIAISON BETWEEN IT AND BERKHEIMER, THE DULY APPOINTED COLLECTOR OF LOCAL TAXES FOR THE DISTRICT, FOR THE EXPRESS PURPOSE OF SHARING CONFIDENTIAL TAX INFORMATION WITH THE DISTRICT FOR OFFICIAL PURPOSES.

WHEREAS, Act No. 511 of the 1965 General Assembly of the Commonwealth of Pennsylvania (53 P.S. §6901 et seq.), enacted December 31, 1965, and effective January 1, 1966, authorizes certain political subdivisions, including _____, COUNTY, to provide for the creation of such bureaus or the appointment and compensation of such officers, clerks, collectors and other assistants and employees as may be deemed necessary for the assessment and collection of taxes imposed under the authority of that Act; and

WHEREAS, _____, COUNTY, has entered into contractual agreement with **BERKHEIMER** of Bangor, Pennsylvania, whereby and whereunder _____ appointed Berkheimer to collect **certain local taxes**; and

WHEREAS, said Act 511 specifically mandates that any information gained by the appointed tax officer, his agents or by any other official or agent of the taxing district, as a result of any declarations, returns, investigations, hearings or verifications required or authorized by the taxing municipality's ordinance or resolution, be kept confidential, except for official purposes; and

WHEREAS, any person who divulges any information which is confidential under the provisions of any ordinance or resolution, upon conviction may be subject to fines and/or imprisonment, upon conviction, and dismissal from office or discharge from employment; and

WHEREAS, Berkheimer requires passage of a resolution by the governing body of _____, COUNTY specifying that said confidential information is needed for official purposes and absolving Berkheimer from any liability in connection with the release of said confidential information;

NOW, THEREFORE, BE IT RESOLVED that:

1. _____, COUNTY hereby **appoints** _____ as its **authorized representative to make** requests upon and receive any and all tax information and records **from Berkheimer**, relative to the collection of taxes for _____, as desired and deemed necessary by _____, to be used for official purposes only; and

2. Berkheimer is hereby directed to provide and/or transmit any and all tax information and records, or any portion thereof, relating to the collection of taxes for the _____, upon request, to _____ as the authorized contact representative for it.

3. _____, COUNTY hereby saves harmless, indemnifies and/or absolves Berkheimer from and against any and all liability in connection with the release of said confidential information.

RESOLVED, ENACTED AND ADOPTED at a meeting held on the _____ day of _____, _____.

BY: _____

ATTEST:



MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Gregg R. Adams, Planner
DATE:	January 134, 2022
SUBJECT:	A Resolution Granting Preliminary/Final Approval To A Major Plan Entitled “Kratzer Elementary School”
COPY TO:	R. Cope, D. Manhardt, L. Harrier, H. Bender, M. Elias, J. Zator, Esq., J. Alderfer, Esq., A. Tallarida, S. Pidcock

- **Background Information:**

An application to further develop the property located at 2200 Huckleberry Road. The plan proposes an 18,635 square foot building addition on the north side of the existing elementary school and several stormwater BMPs on the 11.44-acre property. The subject property is zoned R-4 Medium Density Residential. Parkland School District is the owner and applicant.

PREVIOUS TOWNSHIP CONSIDERATION:

At their November 18, 2021 meeting, the Planning Commission reviewed and recommended approval of Major Plan 2021-103 Kratzer Elementary School, with 17 conditions and 9 favorably-recommended waiver/deferral requests. In the interim, the applicant has addressed three of the conditions of approval. Three conditions typical to approving Resolutions have been added.

At their July 15, 2021 meeting, the Planning Commission reviewed and took under advisement Major Plan 2021-103 Kratzer Elementary School.

At their April 4, 2015 meeting, the Board of Commissioners, through Resolution 2015-11, approved Kratzer Elementary School – Parkland School District Major Plan 2013-107, which proposed to reconfigure the parking area to the west of the school building and add an additional parking lot to the south of the school building along Huckleberry Road, resulting in a net increase in 1 parking space and 18,539 square feet of impervious surface.

The Zoning Hearing Board, at their December 30, 2013 hearing, granted: a 41-foot variance to the 250-foot driveway separation distance requirement; a 1.6-foot variance from the 25-foot access driveway setback requirement; a 50-foot variance from the 50-foot parking lot setback requirement; and a Special Exception to permit the reconfiguration, alteration and expansion of the prior-existing nonconforming parking lot.

The Zoning Hearing Board, at their October 28, 1992 meeting, granted a variance of twenty-seven (27) feet from the minimum side yard setback requirement of fifty (50) feet, a variance of forty-four (44) feet from the front yard setback requirement of fifty (50) feet and a Special Exception approval

for impervious surfaces in excess of 10,000 square feet, as part of Appeal A-57-1992 Kratzer Elementary School Parking Lot Expansion.

At their July 17, 1990 meeting, the Board of Commissioners, through Resolution 1990-42, approved Parkland School District Kratzer School Additions and Renovations.

The Kratzer Elementary School was constructed in 1963.

OUTSTANDING REVIEWING AGENCIES COMMENTS:

- A. **Township Engineer** – The comments of the Township Engineer are contained in Mr. Anthony Tallarida’s review dated January 13, 2022. Mr. Tallarida is recommending engineering approval at this time. His comments pertain to waivers and deferral requests, plan detail, stormwater management, traffic, and outside agency reviews.
- B. **Township Water & Sewer Engineer** – The comments of the Township Water and Sewer Engineer are contained in Mr. Jason Newhard’s review dated November 5, 2021. His comments pertain to plan detail, and potential sewage facilities planning.
- C. **Township Geotechnical Consultant** – The comments of the Geotechnical Consultant are contained in Mr. Chris Taylor’s review dated July 9, 2021. His prior comments have been addressed.
- D. **Public Works Department** – The comments from the Public Works Department are contained in Manager Herb Bender’s review dated July 2, 2021. His comments pertain to a water meter pit.
- E. **Lehigh County Conservation District** – The comments of the Lehigh County Conservation District have not been received at the time of this writing.
- F. **Pennsylvania Department of Transportation** – The Pennsylvania Department of Transportation acknowledges receiving and taking under review an application for a Highway Occupancy Permit on October 27, 2021.
- G. **Pennsylvania Department of Environmental Protection** - The applicant is to obtain approvals from the PA Department of Environmental Protection for NPDES Permitting and Sewage Facilities Planning.
- H. **Public Safety Committee** – The Public Safety Commission reviewed the plan at its July 12, 2021 meeting and reported no comments.
- I. **Landscape and Shade Tree Commission** –The Landscape and Shade Tree Commission reviewed the plan at its October 25, 2021 meeting. The Commission recommended that the applicant present a Landscaping Plan and made recommendations on the species and spacing of the proposed Street Trees.
- J. **Parks and Recreation Board** – The Park and Recreation Board reviewed the plan at their January 10, 2022 meeting and recommended that the proposed onsite dedication of open space to the Parkland School District is acceptable.
- K. **Community Development Department** – The Department’s technical review is dated November 12, 2021 and provides comment pertaining to zoning issues, Open Space and Recreation, Water and Sewer service, sidewalk requirements, MS4 Program, plan detail, waiver and deferral commentary, and Comprehensive Plan and Official Map consistency.

- **Action Requested:**

The applicant requests preliminary/final approval of the major plan.

- **Budget Line Item (if applicable):**

Not applicable.

- **Attachments:**

1. Resolution (page 4)
2. Aerial Image and Site Plan (page 11)
3. Township Engineer Review dated January 13, 2022 (page 13)
4. Township Water & Sewer Engineer Reviews dated September 27 and November 5, 2021 (page 19)
5. Township Geotechnical Consultant Reviews dated July 9, November 2 and November 10, 2021 (page 21)
6. Public Works Department Review dated October 27, 2021 (page 32)
7. Community Development Department Review dated November 12, 2021 (page 33)
8. Zoning Officer Review dated November 10, 2021 (page 37)
9. Public Safety Commission Review dated July 13, 2021 (page 38)
10. Landscape and Shade Tree Commission Review dated October 29, 2021 (page 39)
11. Lehigh Valley Planning Commission Review dated December 13, 2021 (page 40)
12. Applicant's Correspondence:
 - A. Project Narrative dated October 21, 2021 (page 43)
 - B. Waiver Request Letter dated October 21, 2021 (page 44)
 - C. TIS Executive Summary dated August 19, 2021 (page 46)

**TOWNSHIP OF SOUTH WHITEHALL
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2022-____
(Duly Adopted January 19, 2022)**

**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL
TO A MAJOR PLAN ENTITLED “KRATZER ELEMENTARY SCHOOL”**

WHEREAS, Parkland School District, pursuant to Article 3 of the South Whitehall Township Subdivision and Land Development Ordinance, submitted an application for preliminary/final approval for a land development on an 11.44-acre property located at 2200 Huckleberry Road, in South Whitehall Township, Lehigh County, Pennsylvania; and,

WHEREAS, this proposal is reflected on plans prepared by Cowan Associates, Incorporated, entitled “**KRATZER ELEMENTARY SCHOOL**”, dated May 28, 2021 and last revised December 14, 2021; and,

WHEREAS, all sections of the Subdivision and Land Development Regulations cited herein refer to sections of the Subdivision and Land Development Regulations that were adopted April 19, 2017, and last revised April 1, 2019, and are applicable to this plan based on the submission of the initial application in June 17, 2021; and

WHEREAS, the South Whitehall Township Planning Commission has reviewed the aforesaid plan on November 18, 2021, and having found it to be in substantial compliance with the Subdivision and Land Development Regulations, has recommended that preliminary/final approval be granted,

WHEREAS, the applicant has requested that the requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

WHEREAS, the applicant has requested that the requirement of Section 312-12(b)(20) of the Subdivision and Land Development Ordinance pertaining to the showing of the location, character and elevation of any building within 100 feet of the tract be waived, and the Planning Commission is persuaded that the waiver is appropriate, as the level of information shown on the plan is acceptable; and,

WHEREAS, the applicant has requested that the requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract be waived, and the Planning Commission is persuaded

that the waiver is appropriate, as the level of information shown on the plan is acceptable; and,

WHEREAS, the applicant has requested that the requirement of Section 312-26(a) of the Subdivision and Land Development Ordinance to require the indication on the plan and construction of all required public improvements along the frontages of Huckleberry Road and Whitehall Avenue, to the extent shown on the plan, be deferred, and the Planning Commission is persuaded that the deferral would be appropriate on the condition that the proposed walkway along Whitehall Avenue be placed within a sidewalk easement; and,

WHEREAS, the applicant has requested that the requirement of Section 312-35(b) of the Subdivision and Land Development Ordinance pertaining to the requirement to construct street right-of-way improvements along Huckleberry Road and Whitehall Avenue, to the extent shown on the plan, be deferred, and the Planning Commission is persuaded that the deferral would be appropriate on the condition that the proposed walkway along Whitehall Avenue be placed within a sidewalk easement; and,

WHEREAS, the applicant has requested that the requirement of Section 296-9.J of the Stormwater Management Ordinance that a basin located within areas identified by the LCCD as sinkhole-prone shall be lined be waived, as the applicant intends that the basin be designed, reviewed and approved as part of a stormwater infiltration system, and the Planning Commission is persuaded that such a waiver is appropriate as testing has determined that infiltration is possible on the site; and,

WHEREAS, the applicant has requested that the requirement of Section 296-9.K of the Stormwater Management Ordinance that the prohibition of groundwater recharge without the written approval of the Township Geotechnical Consultant be waived, and the Planning Commission is persuaded that such a waiver is appropriate as the Township Geotechnical Consultant has indicated his written approval of the proposed groundwater recharge; and,

WHEREAS, the applicant has requested that the requirement of Section 296-12.I(3) of the Stormwater Management requiring that soils intended for infiltration BMPs shall have a permeability greater than or equal to 0.5 inches per hour and less than or equal to 12 inches per hour be waived, and the Planning Commission is persuaded that such a waiver is appropriate as the Township Geotechnical Engineer supports the waiver request; and,

WHEREAS, the applicant has requested that the requirement of Section 296-12.I(4) of the Stormwater Management Ordinance that infiltration facilities be set back 15 feet downgradient or 100 feet upgradient from building foundations be waived, and the Planning Commission is persuaded that such a waiver is appropriate as the Township Geotechnical Engineer supports the waiver request.

NOW, THEREFORE, BE IT ADOPTED AND RESOLVED that the Board of Commissioners of the Township of South Whitehall hereby grants preliminary/final approval to the major subdivision plan entitled ***“KRATZER ELEMENTARY SCHOOL”***, subject to the applicant’s compliance with the following conditions:

1. That the applicant shall execute subdivision improvement, security, maintenance and indemnification agreements acceptable to the Township and its Solicitor, be executed, that sufficient security in a form acceptable to the Township be posted, such security shall be available for draws/presentation no further than 60 miles from the Township’s office, and evidence of necessary insurance coverage shall be provided prior to the plan being recorded.
2. That the applicant address to the satisfaction of the Township Engineer, the comments of Mr. Anthony Tallarida, as contained in his review dated January 13, 2022.
3. That the applicant address to the satisfaction of the Township Geotechnical Consultant, the comments of Mr. Chris Taylor, as contained in his reviews dated July 9, 2021, November 2, 2021 and November 10, 2021.
4. That the applicant address to the satisfaction of the Community Development Department, the comments of Mr. Gregg Adams, as contained in his review dated November 12, 2021.
5. That the applicant address to the satisfaction of the Public Works Department, the comments of Mr. Herb Bender, as contained in his review dated October 27, 2021.
6. That the applicant obtains a letter from the Pennsylvania Department of Environmental Protection and/or the Lehigh County Conservation District approving the NPDES Permit application pursuant to Section 312-39(e) of the Subdivision and Land Development Ordinance.
7. That the applicant obtains a letter from the Pennsylvania Department of Environmental Protection approving a sewage facilities planning module.
8. That the applicant obtains highway occupancy permit(s) from the Pennsylvania Department of Transportation for the work within the right-of-way of Whitehall Avenue.
9. That the applicant complies with the October 29, 2021 recommendation of the Landscape and Shade Tree Commission.
10. That the applicant addresses all issues and obtains all approvals deemed necessary by the South Whitehall Township Board of Commissioners in so far as matters pertaining to the Township’s water and sewer service are concerned.
11. That the Applicant shall dedicate additional right-of-way for Whitehall Avenue to achieve an ultimate right-of-way for a collector road. The dedication of road right-of-way shall occur prior to the plan being recorded. The dedication shall be

by Deed of Dedication in a form acceptable to the Township Solicitor, and shall be provided to the Township, with an Opinion of Record Title prepared by Applicant's counsel, that indicates the right-of-way is free and clear of liens and encumbrances that would adversely affect the Township's use of such right-of-way.

12. That a Declaration of Covenants and Easement for Maintenance of Stormwater Management Facilities prepared by the Township Solicitor be executed for the maintenance of the on-site stormwater management facilities.
13. That the plan be amended to include a note referencing the "State Highway Law" pursuant to Section 508.6 of the PA Municipalities Planning Code and Section 312-12(a)(9) of the Subdivision and Land Development Ordinance.
14. That the applicant reconciles all open invoices for Township engineering and legal services prior to the plan being recorded.
15. The applicant shall meet all conditions of the Preliminary/Final Plan approval, and the Record Plan will be recorded within twelve (12) months of Conditional Preliminary/Final Plan approval, and the applicant agrees that if such conditions are not met, the conditional Preliminary/Final Plan approval will be considered void, and the application for Preliminary/Final Plan approval will be considered void and withdrawn unless otherwise approved by the South Whitehall Township Board of Commissioners.
16. If for any reason any condition or conditions of this Resolution (or any portion(s) thereof) shall be held by a forum of competent jurisdiction to be invalid, illegal, void, or unenforceable in any respect or to any extent: (i) this Resolution shall automatically be deemed to be null and void in its entirety and shall be deemed to have been immediately and automatically repealed as if it had never been passed; (ii) this Resolution shall automatically be deemed to be a resolution denying the application due to the fact that the application does not comply with those sections of the SALDO (or other applicable ordinance(s)) listed herein or in any review letters referred to herein, including any section relating to waivers or deferrals; and (iii), the Applicant is waiving any right to proceed with an action seeking a deemed approval of the plan based upon the automatic repeal of this Resolution identified in this condition. The Applicant acknowledges that each and every term and provision hereof is an essential, material component to the Township's approval of the Applicant's plan.
17. In the event that the Township becomes involved in litigation of any kind relating to the major subdivision other than a direct appeal by the Applicant of the Township's approval of this Resolution, such as an appeal of this Resolution by an adjoining property owner or a third party, or an attempt to collaterally challenge any conditions of this approval by means other than a timely appeal of this Resolution, the Applicant, on behalf of itself and its agents, representatives, successors and assigns, hereby agrees to exonerate, indemnify, protect, defend

(through legal counsel of Township's choice) and save harmless the Township and its boards, committees and commissions (including the individual members thereof), their elected and appointed officers and officials and their employees, contractors, other professional consultants, engineers, solicitors, managers, representatives, advisors, predecessors, successors, agents, independent contractors, insurers and assigns (collectively, the "Township Representatives"), from any and all claims, lawsuits, proceedings, actions, disputes, causes and rights of action, expenses, losses, allegations, demands, charges, injuries, costs (including, without limitation, attorneys' fees, engineers' fees and other costs and expenses incurred, including expert witness fees), damages (including, without limitation, compensatory, consequential or punitive damages), sanctions, and liabilities of every kind, character and manner whatsoever, in law or in equity, civil or criminal, administrative or judicial, contract, tort (including, without limitation, negligence of any kind) or otherwise ("Claims"), pertaining to, relating to, resulting from, caused by or arising out of the Township's approval of the application as evidenced by this Resolution and/or the Township taking any action contemplated by the conditions hereof.

The requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract is hereby waived.

The requirement of Section 312-12(b)(20) of the Subdivision and Land Development Ordinance pertaining to the showing of the location, character and elevation of any building within 100 feet of the tract is hereby waived.

The requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract is hereby waived.

The requirement of Section 312-26(a) of the Subdivision and Land Development Ordinance to require the indication on the plan and construction of all required public improvements along the frontages of Huckleberry Road and Whitehall Avenue, to the extent shown on the plan, is hereby deferred.

The requirement of Section 312-35(b) of the Subdivision and Land Development Ordinance pertaining to the requirement to construct street right-of-way improvements along Huckleberry Road and Whitehall Avenue, to the extent shown on the plan, is hereby deferred.

The requirement of Section 296-9.J of the Stormwater Management Ordinance that a basin located within areas identified by the LCCD as sinkhole-prone shall be lined is hereby waived.

The requirement of Section 296-9.K of the Stormwater Management Ordinance that the prohibition of groundwater recharge without the written approval of the Township Geotechnical Consultant is hereby waived.

The requirement of Section 296-12.I(3) of the Stormwater Management Ordinance requiring that soils intended for infiltration BMPs shall have a permeability greater than or equal to 0.5 inches per hour and less than or equal to 12 inches per hour is hereby waived.

The requirement of Section 296-12.I(4) of the Stormwater Management Ordinance that infiltration facilities be set back 15 feet downgradient or 100 feet upgradient from building foundations is hereby waived. is hereby waived.

The conditions of approval have been made known to the applicant, and final approval is to be deemed expressly contingent upon the applicant's affirmative written acceptance of the conditions on a form prescribed by South Whitehall Township which shall be received at or before the meeting at which the Resolution containing such conditions of approval is considered by the Board of Commissioners for adoption.

DULY ADOPTED this 19th day of **January, 2022**, by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners. As part of this Resolution, the Board of Commissioners has directed that the President, or Vice President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH WHITEHALL
BOARD OF COMMISSIONERS**

Diane Kelly, President

ATTEST:

Scott Boehret, Secretary

APPLICANT ACCEPTANCE OF CONDITIONS

**RESOLUTION NO. 2022-____
(Duly Adopted January 19, 2022)**

**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL
TO A MAJOR PLAN ENTITLED
"KRATZER ELEMENTARY SCHOOL"**

The undersigned, being the applicant for a preliminary/final approval for a land development on an 11.44-acre property located at 2200 Huckleberry Road, in South Whitehall Township, Lehigh County, Pennsylvania, reflected on plans prepared by Cowan Associates, Incorporated, entitled "**KRATZER ELEMENTARY SCHOOL**", dated May 28, 2021 and last revised December 14, 2021, intending to be legally bound hereby, does affirmatively accept all of the conditions set forth in the Resolution granting conditional preliminary/final approval to the major subdivision/land development entitled "**KRATZER ELEMENTARY SCHOOL**" and does waive any and all rights which the applicant would otherwise possess to contest the imposition of said conditions, both at law or in equity. Further, the applicant hereby certifies that as of the date of the Resolution, the applicant does not dispute (as outlined by the Pennsylvania Municipalities Planning Code, including but not limited to §§ 10503(1) and 10510(g)) any professional consultant fee for which it has received an invoice from the Township through the date hereof.

WITNESS/ATTEST:

APPLICANT: Parkland Scholl District

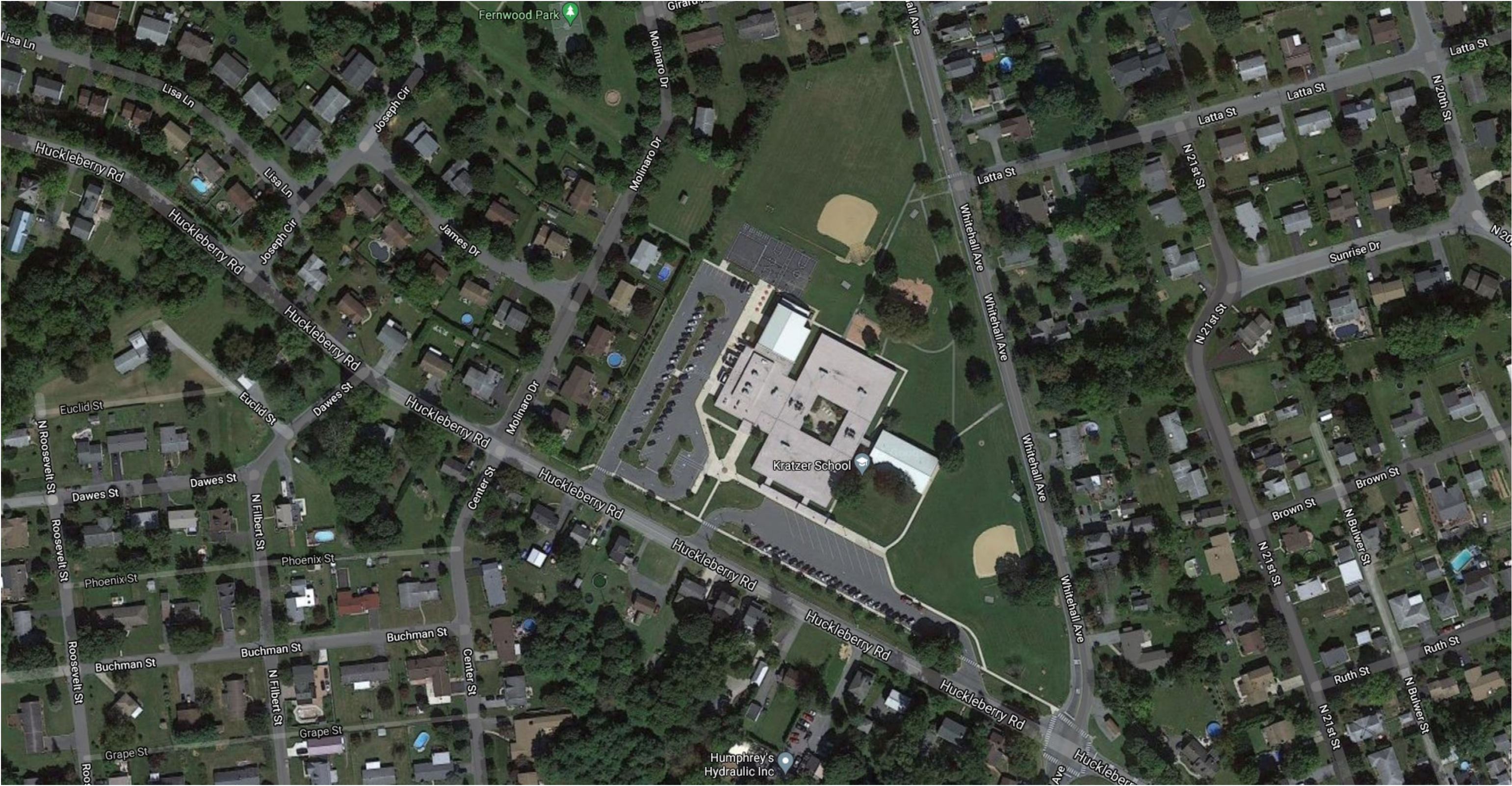
Witness

Applicant

Printed Name

Printed Name

Date: _____



Kratzer Elementary School Major Plan 2021-103

Aerial Image

X:\SURVEILLANCE\KRAZTER ELEMENTARY\ANSREV12-14\21SP-01 RECORD PLAN.dwg

SOUTH WHITEHALL TOWNSHIP NOTE

THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE REQUIRED AS PART OF A REVIEW PROCESS SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHAEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATIONS OR WARRANTIES CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE DEVELOPER AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET, RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC. ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR.

DEVELOPER'S AGREEMENT

I HEREBY ACKNOWLEDGE THAT I WILL PROPERTY GRADE ALL INDIVIDUAL LOTS TO PROVIDE ADEQUATE SURFACE DRAINAGE SO THAT NO LOW SPOTS OR WATER POCKETS CREATE A PUBLIC NUISANCE AND THAT I WILL PLACE PERMANENT CONCRETE REFERENCE MONUMENTS TO GRADE AS NOTED ON THE PLAN UPON COMPLETION OF GRADING.

THE FOLLOWING WAIVERS FROM THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE ARE HEREBY REQUESTED:

1. SALDO SECTION 312-12(b)(20). WAIVER REQUEST OF THE REQUIREMENT TO SHOW LOCATION, CHARACTER, AND ELEVATION OF ANY BUILDING WITH 100 FEET OF THE TRACT.
2. SALDO SECTION 312-12(b)(21). WAIVER OF THE REQUIREMENT TO SHOW SIDEWALKS, TRAILS, DRIVEWAYS, STREETS, EASEMENTS, ETC. WITHIN 400 FEET OF THE TRACT.
3. SALDO SECTION 312-26(a) AND 312-35(b). WAIVER OF THE REQUIREMENT TO INSTALL FRONTAGE IMPROVEMENTS ALONG WHITEHALL AVENUE AND HUCKLEBERRY ROAD (CARTWAY WIDENING, CURB, SIDEWALK, STREET TREES, ETC).

LEGEND

- PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- ULTIMATE RIGHT-OF-WAY LINE
- EXISTING CENTERLINE OF ROADWAY
- ADJOINING LOT LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- EXISTING EDGE OF PAVE
- EXISTING CURB
- EXISTING LIGHT POLE
- PROPOSED SIDEWALK EASEMENT LINE
- PROPOSED FENCE
- PROPOSED CONC. MONUMENT
- PROPOSED BUILDING
- PROPOSED CONC. WALK
- PROPOSED PAVED WALK
- RIGHT-OF-WAY TO BE DEDICATED
- PROPOSED SIDEWALK EASEMENT
- PROPOSED OPEN SPACE/RECREATION EASEMENT

GENERAL NOTES

1. OWNER: PARKLAND SCHOOL DISTRICT
1210 SPRINGHOUSE ROAD
ALLENTOWN, PA 18104-2119
2. SITE ADDRESS: 2200 HUCKLEBERRY ROAD
ALLENTOWN, PA 18104
3. SITE DATA: PARCEL ID 548787607544
D.B.V. 1341, PG. 774
AREA: 498,434.30 SQ. FT. (GROSS)
11.4425 ACRES
480,501.70 SQ. FT. (NET)
11.0308 ACRES
4. ALL USERS OF THIS PLAN ARE REFERRED TO AND CAUTIONED TO COMPLY WITH PA ACT 121, AS PER THE LATEST AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 2, 2008.
5. THIS PLAN CONTAINS INFORMATION PERTAINING TO UNDERGROUND UTILITIES WHICH IS FOR GENERAL INFORMATION ONLY, AND MAY NOT BE BASED ON AN ACTUAL SUBSURFACE LOCATION SURVEY. ALL SUBSURFACE INFORMATION SHOWN ON THIS PLAN NEEDS TO BE VERIFIED BY THE PLAN USER. THE PREPARER OF THIS PLAN ASSUMES NO RESPONSIBILITY FOR AND MAKES NO REPRESENTATIONS OR WARRANTIES AS TO THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES OR OTHER UNDERGROUND FEATURES.
6. THIS PLAN DEPICTS EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS AS THEY WERE SURVEYED AND DESIGNED DURING THE TIME OF PLAN PREPARATION, TO AND INCLUDING THE LAST REVISION DATE. BY THE TIME CONSTRUCTION OCCURS, THE CONDITION OF THE SITE MAY HAVE CHANGED FROM WHAT IS DEPICTED ON THE PLAN, AS SUCH, THERE IS NO EXPRESSED OR IMPLIED REPRESENTATION THAT THE INFORMATION SHOWN IS TO BE CONSIDERED "AS BUILT" AT THE TIME OF CONSTRUCTION.
7. SUBSURFACE SOIL AND GEOLOGICAL INFORMATION INDICATED ON THESE PLANS IS BASED UPON EXISTING AVAILABLE MAPPING RECORDS. PLAN USER IS RESPONSIBLE TO VERIFY THESE CONDITIONS BY PERFORMING A FIELD EXPLORATION.
8. THIS BOUNDARY PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND REPORT. EASEMENTS, RESTRICTIONS, AND COVENANTS MAY BURDEN TITLE TO THIS PLAT, AND PLAN PREPARER ASSUMES NO RESPONSIBILITY FOR AND MAKES NO REPRESENTATIONS OR WARRANTIES AS TO THE ACCURACY OF ANY SHOWN EASEMENTS, RESTRICTIONS, OR COVENANTS.
9. BENCHMARK = FINISHED FLOOR OF EXISTING BUILDING AT GYMNASIUM ENTRANCE
ELEVATION: 400.63 (NAVD 1989 VERTICAL DATUM)
10. WATER: PUBLIC, SEWER: PUBLIC
11. SOIL EXCAVATION, REMOVAL OF SOILS AND PLACEMENT OF SOIL FILL IS BASED ON THE ASSUMPTION THAT SOILS AND ASSOCIATED MATERIALS ARE FREE OF CONTAMINANTS AND HAZARDOUS SUBSTANCES.
12. DETERMINATION OF ABSENCE OR PRESENCE OF THESE SUBSTANCES AND CONDITIONS IS NOT WITHIN THE SCOPE OF CIVIL ENGINEERING PERFORMED IN THE CREATION OF THESE PLANS.
13. SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X", AREA OF MINIMAL FLOOD HAZARD. FLOOD ZONE REFERENCED TO NATIONAL FLOOD INSURANCE RATE MAP NO. 42077C0232F, EFFECTIVE DATE OF JULY 16, 2004.
14. THE OWNER SHALL BE RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE OF THE PERMANENT UNDERGROUND STORM SYSTEM.
15. REFERENCE PLANS UTILIZED: PLANS ENTITLED "KRAZTER ELEMENTARY SCHOOL, PARKLAND SCHOOL DISTRICT", SHEETS 1 THROUGH 20. PLANS PREPARED BY BARRY ISETT & ASSOCIATES, INC. AND DATED 03/20/14 AND LAST REVISED 11/24/14.
16. ON-SITE SURVEY IN THE AREA OF PROPOSED CONSTRUCTION PERFORMED BY COWAN ASSOCIATES, INC. IN APRIL, 2021.
17. THE EXISTING SITE DOES NOT CONSIST OF ANY OF THE FOLLOWING: WATERCOURSES, WETLANDS, BODIES OF WATER, ROCK OUTCROPPS, SLAG PILES, QUARRY HOLES, SPRINGS, AND SWAMPY AREAS.
18. PROPERTY SHOWN IS SUBJECT TO SETBACKS, EASEMENTS AND RESTRICTIONS OF RECORD.
19. ALL PROPOSED SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE OR 5% LONGITUDINAL SLOPE.
20. AREA BETWEEN THE TITLE LINE AND ULTIMATE RIGHT-OF-WAY OF WHITEHALL AVENUE IS TO BE DEDICATED TO THE GOVERNMENTAL BODY HAVING JURISDICTION.
21. THE APPLICANT SHALL NOTIFY THE TOWNSHIP ENGINEER AT LEAST 2 WEEKS IN ADVANCE OF CONSTRUCTION TO ARRANGE A PRE-CONSTRUCTION MEETING.
22. THE COUNTY CONSERVATION DISTRICT REQUIRES A NOTIFICATION OF THREE (3) WORKING DAYS PRIOR TO SITE DISTURBANCE IN ORDER TO PERFORM THE NECESSARY EROSION AND SEDIMENTATION POLLUTION CONTROL INSPECTION.
23. ALL EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE WITHIN TRIBUTARY AREA OF THOSE CONTROLS CAN BEGIN, REFER TO STAGING OF EARTHMOVING ACTIVITIES FOR CORRECT SEQUENCE.
24. ZONING INFORMATION: DISTRICT = R-4 (MEDIUM DENSITY RESIDENTIAL)
USE: ELEMENTARY SCHOOL
25. LOT REQUIREMENTS:
MIN. LOT AREA: 3 ACRES
MIN. LOT FRONTAGE: 200 FT.
MAX. BUILDING HEIGHT: 50 FT.
BUILDING SETBACKS:
FRONT YARD: 50 FT.
SIDE YARD: 50 FT.
REAR YARD: 50 FT.
26. PARKING REQUIREMENTS (ELEMENTARY SCHOOL): 2.5 SPACES PER CLASSROOM; PLUS ONE LARGE OFF-STREET LOADING ZONE.
27. EXISTING CLASSROOMS PLUS 10 PROPOSED CLASSROOMS = 34 CLASSROOMS TOTAL
28. 34 X 2.5 SPACES PER CLASSROOM = 85 REQUIRED PARKING SPACES
29. EXISTING PARKING SPACES = 85 SPACES
30. OUTSIDE AGENCY PERMITS AND APPROVALS FROM OUTSIDE AGENCIES ARE REQUIRED FOR THIS PROJECT. THEY INCLUDE, BUT NOT LIMITED TO: LEHIGH COUNTY CONSERVATION DISTRICT, PA. D.E.P., LEHIGH VALLEY PLANNING COMMISSION AND PENN DOT.
31. THE LOCATIONS OF EXISTING UTILITIES ARE THE RESPONSIBILITY OF THE DEVELOPER/DESIGN ENGINEER AND THE LOCATIONS OF SUCH UTILITIES HAVE NOT BEEN REVIEWED BY THE PIDCOCK COMPANY OR THE TOWNSHIP. THE DEVELOPER/DESIGN ENGINEER IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF ALL UTILITIES AND AVOIDING CONFLICTS OF THE SAME WITH PROPOSED IMPROVEMENTS. SIGNIFICANT EFFORTS TO RESOLVE CONFLICTS, INCLUDING BUT NOT NECESSARILY LIMITED TO REDESIGN, CONSTRUCTION DELAYS, UTILITY RELOCATIONS ETC., MAY RESULT IF CONFLICTS WITH EXISTING UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION.
32. THE APPLICANT SHALL SUBMIT THE PLANS TO PENN DOT FOR REVIEW. COPIES OF ALL CORRESPONDENCE BETWEEN THE APPLICANT AND PENN DOT, AND ALL ISSUED PERMITS, SHALL BE PROVIDED TO THE TOWNSHIP. IF PENN DOT DETERMINED THAT A HIGHWAY OCCUPANCY PERMIT IS NOT NECESSARY, THE APPLICANT SHALL OBTAIN SUCH DETERMINATION IN WRITING AND PROVIDE IT TO THE TOWNSHIP.

- PROPOSED OPEN SPACE/RECREATION EASEMENT
- A S 22°55'16" W 55.90'
 - B S 63°47'25" W 133.62'
 - C S 28°08'55" W 134.98'
 - D S 62°57'22" W 59.01'
 - E S 28°08'55" E 189.93'
 - F S 63°47'25" E 189.47'
- AREA: 18,600.22 SQ. FT.
0.4270 ACRES

- PROPOSED SIDEWALK EASEMENT
- A S 15°41'04" E 19.97'
 - B R=11,494.19' L=184.28'
T=92.02' D=00°55'07"
CHB=S 16°08'38" E 184.28'
 - C S 16°36'11" E 864.53'
 - D R=215.79' L=84.73'
T=42.82' D=22°29'55"
CHB=S 05°21'14" E 84.19'
 - E R=35.00' L=29.55'
T=15.72' D=48°22'49"
CHB=S 30°05'08" W 28.68'
 - F S 63°51'05" W 14.47'
 - G S 28°08'55" E 37.94'
 - H R=27.00' L=20.15'
T=10.57' D=42°45'06"
CHB=N 04°48'22" E 19.88'
 - I S 16°36'11" W 165.20'
 - J S 07°40'35" W 14.53'
 - K S 16°36'11" W 731.60'
 - L R=11,505.19' L=184.46'
T=92.23' D=00°55'07"
CHB=N 16°08'38" E 184.46'
 - M S 15°41'04" W 19.88'
 - N S 73°48'11" E 11.00'
- AREA: 13,748.54 SQ. FT.
0.3156 ACRES

PENNSYLVANIA ONE CALL SYSTEM, INC.
925 IRWIN RUN ROAD
WEST MIFFLIN, PENNSYLVANIA
15122-1078

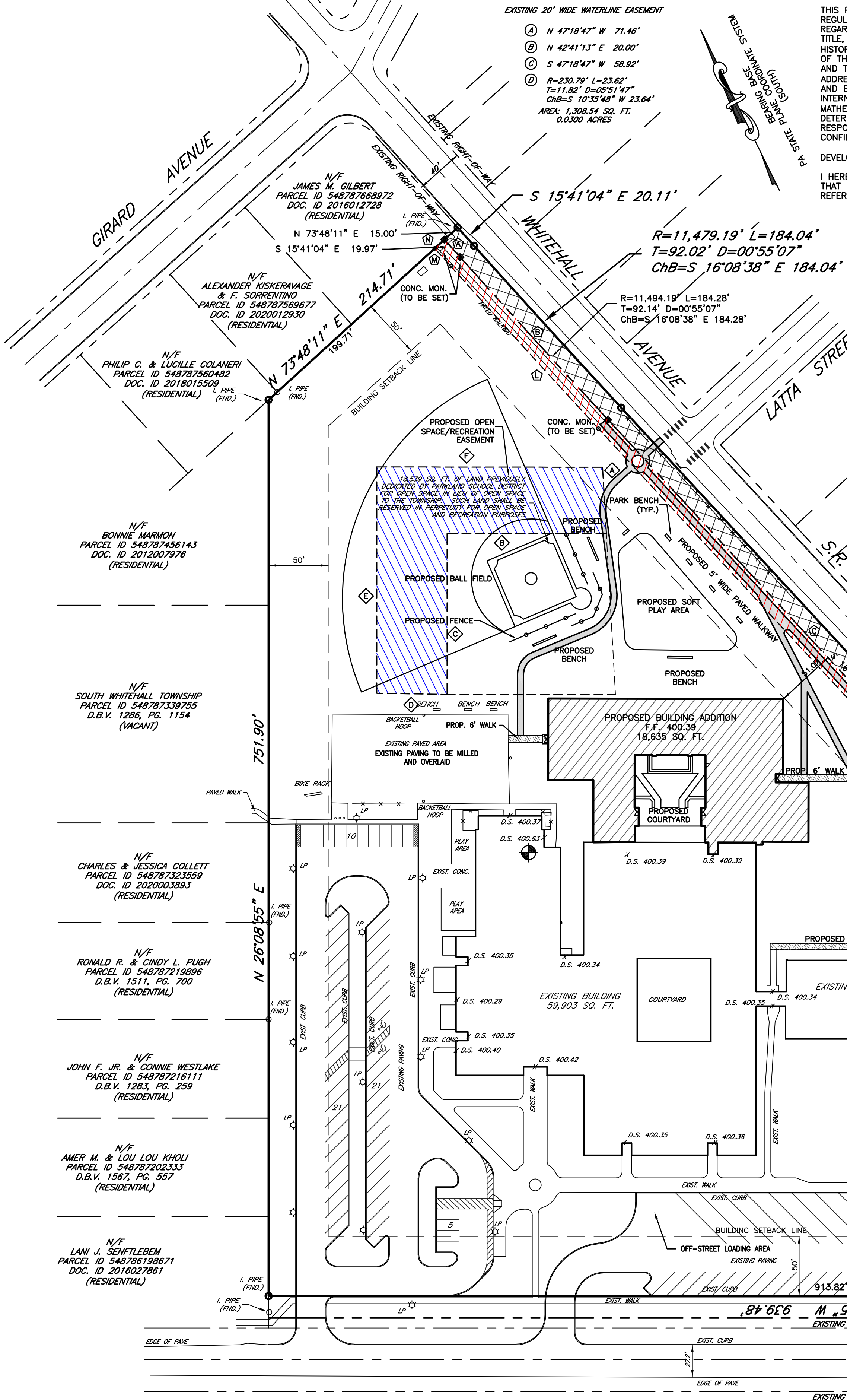
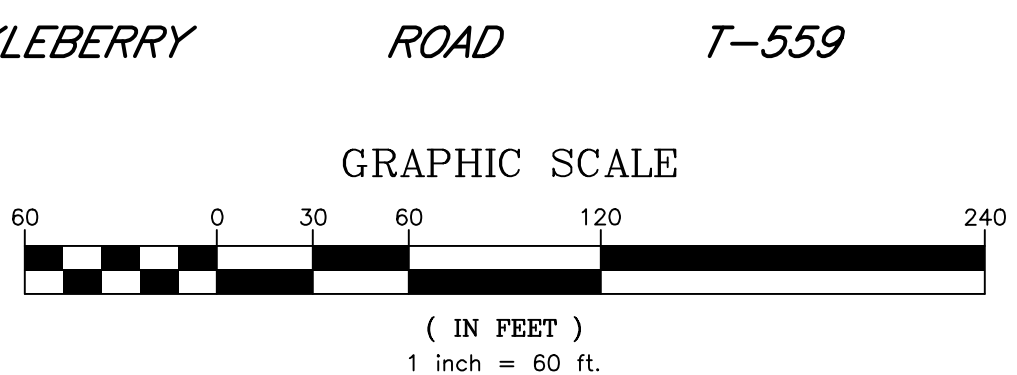


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CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR DEMOLISH.

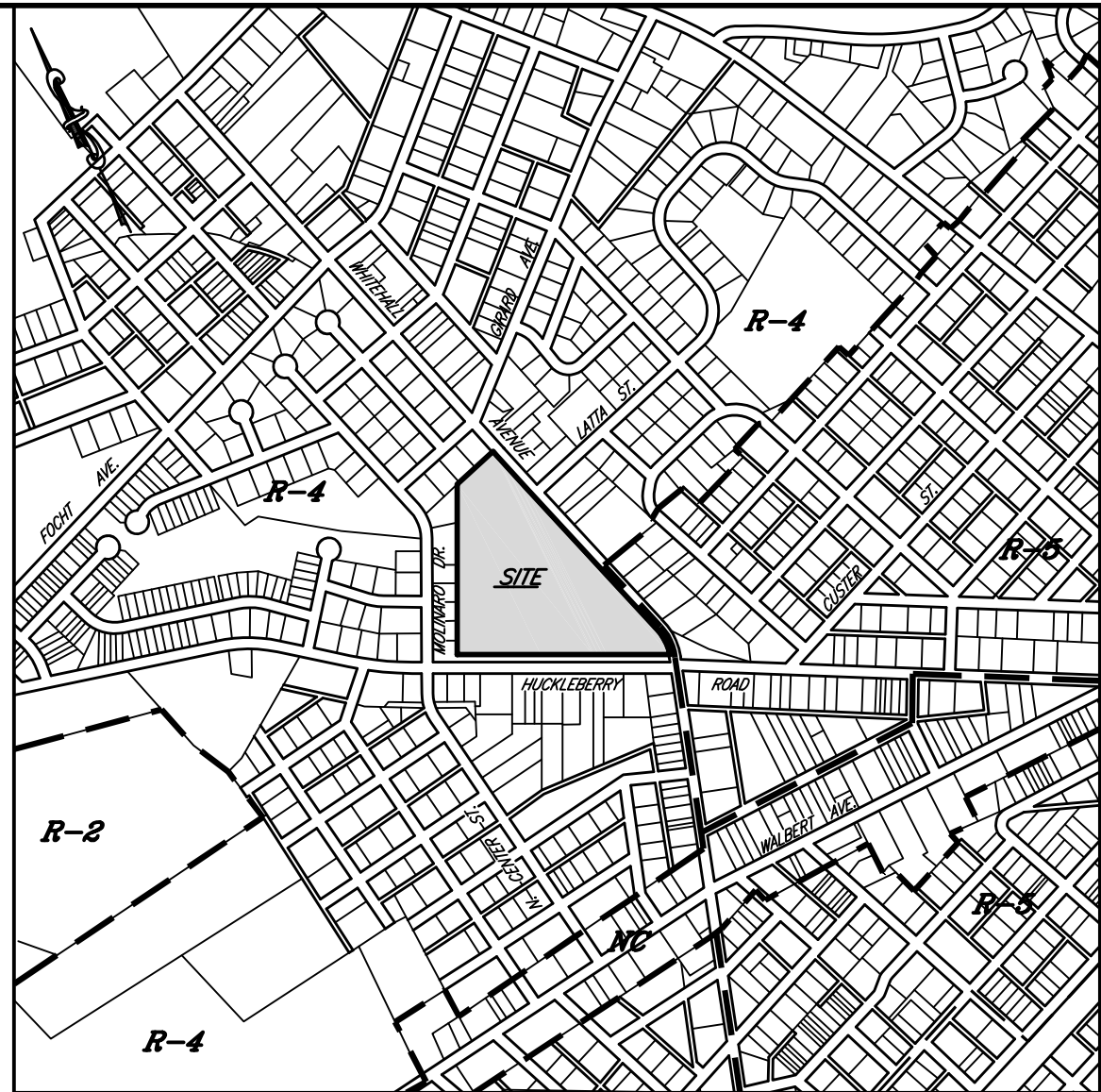
SERIAL NUMBER 20211270225

THIS DRAWING IS COPYRIGHTED AND SHALL REMAIN THE PROPERTY OF COWAN ASSOCIATES, INC. ANY REUSE ON PROJECT EXTENSIONS, ANY OTHER PROJECT, OR ALTERATIONS OR ADDITIONS TO THIS PROJECT SHALL BE MADE AT THE USER'S OWN RISK AND WITHOUT LIABILITY TO COWAN ASSOCIATES, INC. ONLY DRAWINGS BEARING ORIGINAL IMPRESSIONS AND/OR GREEN INK PROFESSIONAL SEALS SHALL BE CONSIDERED AS VALID.



ZONING COMPLIANCE CHART			
ZONING REGULATION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	3 ACRES	11.0308 ACRES	11.0308 ACRES
MIN. LOT FRONTAGE	200 FT.	939.48 FT.	939.48 FT.
MAX. BUILDING HEIGHT	50 FT.	33.8 FT.	33.8 FT.
MIN. FRONT YARD	50 FT.	118.12 FT.	118.12 FT.
MIN. SIDE YARD	50 FT.	114.84 FT.	51.07 FT.
MIN. REAR YARD	50 FT.	376.55 FT.	343.36 FT.
BUILDING COVERAGE	N/A	59,903 SQ. FT. (12.47%)	82,834 SQ. FT. (17.24%)
IMPERVIOUS COVERAGE	N/A	172,333 SQ. FT. (35.87%)	194,154 SQ. FT. (40.41%)

- SP-1 RECORD SITE PLAN
- SP-2 EXISTING FEATURES/DEMOLITION PLAN
- SP-3 IMPROVEMENTS PLAN
- SP-4 EROSION AND SEDIMENT CONTROL PLAN
- SP-5 EROSION AND SEDIMENT CONTROL NOTES
- SP-6 EROSION AND SEDIMENT CONTROL DETAILS
- SP-7 STORM SEWER PROFILES
- SP-8 POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
- SP-9 POST CONSTRUCTION STORMWATER MANAGEMENT NOTES
- SP-10 POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
- SP-11 POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
- SP-12 POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
- SP-13 CONSTRUCTION DETAILS
- SP-14 CONSTRUCTION DETAILS
- SP-15 POST CONSTRUCTION STORMWATER DRAINAGE PLAN



LOCATION MAP
1"=800'

I, _____ OF PARKLAND SCHOOL DISTRICT, BEING DULY SWORN
ACCORDING TO LAW, AND ACTING IN MY CAPACITY AS _____, DO HEREBY
DEPOSE AND SAY THAT THE ABOVE MENTIONED SCHOOL DISTRICT IS THE TRUE AND LAWFUL OWNER OF THE
PROPERTY SHOWN HEREON, THAT THE ABOVE DESCRIBED PROPERTY IS IN PEACEFUL POSSESSION OF SAID
SCHOOL DISTRICT AND THAT THERE ARE NO SUITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

(SIGNATURE)

ON THE _____ DAY OF _____, 20____, BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC
OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____, PERSONALLY APPEARED
_____, KNOWN TO ME (OR SATISFACTORILY PROVEN) TO BE THE PERSONS
WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING PLAN, AND ACKNOWLEDGE THAT THEY ARE THE
REGISTERED OWNERS OF THE DESIGNATED PLAN, AND ALL NECESSARY APPROVALS OF THE PLAN HAVE
BEEN OBTAINED AND IS ENDORSED THEREON, AND THAT THEY DESIRE THAT THE FOREGOING PLAN BE
RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.

OWNER _____ NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

REVIEWED BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION

CHAIRMAN _____ SECRETARY _____ DATE _____

APPROVED BY THE SOUTH WHITEHALL TOWNSHIP BOARD OF COMMISSIONERS.

CHAIRMAN _____ SECRETARY _____ DATE _____

APPROVED BY THE SOUTH WHITEHALL TOWNSHIP ENGINEER.

DATE _____

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

LEHIGH VALLEY PLANNING COMMISSION REVIEWER _____ DATE _____

I, TODD R. MYERS, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY
CERTIFY THAT THE PLAN, PREPARED FROM A FIELD SURVEY ON AUGUST 2019, CORRECTLY REPRESENTS
THE PROPERTY.

Todd R. Myers
TODD R. MYERS, E.L.S. SU-043353-E _____ DATE _____

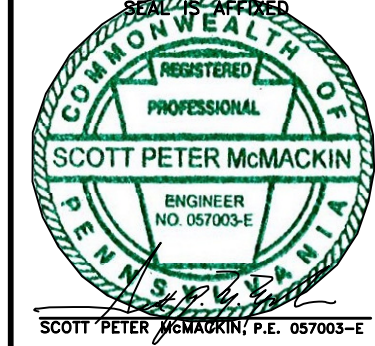
I, SCOTT P. McMACKIN, A LICENSED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA,
DO HEREBY CERTIFY THAT THE ACCOMPANYING APPLICATION, PLANS AND SUPPORTING DOCUMENTATION ARE
TRUE AND ACCURATE, TO THE BEST OF MY KNOWLEDGE.

Scott P. McMackin
SCOTT P. McMACKIN P.E. 057003-E _____ DATE _____

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA, AS
DOCUMENT ID _____ ON THE _____ DAY OF _____, 20____.

NOT TO BE USED FOR CONSTRUCTION UNLESS
SIGNED BY ENGINEER OR PROJECT MANAGER

VOID UNLESS GREEN PROFESSIONAL
SEAL



DRAWN BY: SPM
CHECKED BY: SPM
FINAL CHECK BY: SPM
DATE: 05-28-21
SCALE: 1"=60'

NO.	DATE	REVISIONS	BY	CHE.
4	12-14-21	REVISED PER TOWNSHIP REVIEW	SWW	SPM
3	11-29-21	REVISED PER TOWNSHIP REVIEW	SWW	SPM
2	10-21-21	REVISED PER TOWNSHIP REVIEW	SWW	SPM
1	08-06-21	L.C.C.D. SUBMISSION	SWW	SPM

RECORD SITE PLAN

PROPOSED BUILDING ADDITION AND PLAYFIELD RENOVATIONS

PREPARED FOR

KRAZTER ELEMENTARY SCHOOL

2200 HUCKLEBERRY ROAD

SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY PENNSYLVANIA



PROVIDING A FULL RANGE OF CIVIL
ENGINEERING & SURVEYING SERVICES
120 PENN-AM DRIVE P.O. BOX 949
QUAKERTOWN, PENNSYLVANIA 18951
TELEPHONE (215) 536-7075
FAX (215) 536-1582

DWG. NO.
SP-1
OF 15
JOB NO.
14549.08

SOUTH WHITEHALL TOWNSHIP

4444 Walbert Avenue, Allentown, PA 18104-1699
www.southwhitehall.com • (610) 398-0401

MEMORANDUM

TO: Mr. Gregg R. Adams via e-mail
Planner, Community Development Department
South Whitehall Township

FROM: Mr. Anthony F. Tallarida, P.E. *AFT*
Manager, Municipal Engineering Services

SUBJECT: South Whitehall Township
Kratzer Elementary School
Major Plan #2021-103
Preliminary/Final Land Development
Plan Review

DATE: January 13, 2022

COPIES: Mr. Randy Cope
Interim Township Manager
South Whitehall Township

Mr. David Manhardt, AICP
Director of Community Development
South Whitehall Township

Mr. Herb Bender
Public Works Manager
South Whitehall Township

Mr. Mike Elias
Public Works Utility and MS4 Program Coordinator
South Whitehall Township

Ms. Tracy J.B. Fehnel
Insurance Administrator & Executive Assistant
South Whitehall Township

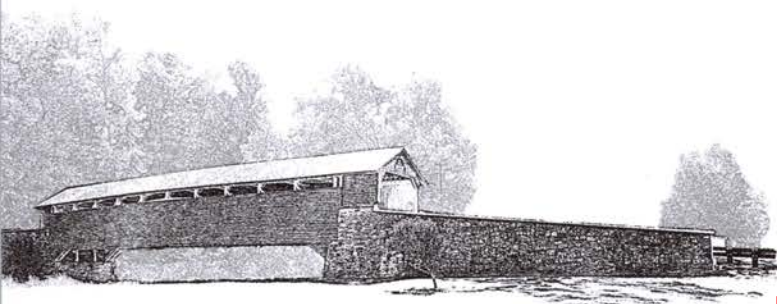
TOWNSHIP ENGINEER

J. Scott Pidcock, P.E., R.A.
The Pidcock Company

2451 Parkwood Drive, Allentown, PA 18103-9608

Phone: (610) 791-2252 • Fax: (610) 791-1256

E-mail: info@pidcockcompany.com



- 2 -

Ms. Laura M. Harrier
Building Code Official/Zoning Officer
South Whitehall Township

Joseph A. Zator, II, Esq.
South Whitehall Township Solicitor
Zator Law

Jennifer R. Alderfer, Esq.
Assistant South Whitehall Township Solicitor
Zator Law

Mr. Christopher A. Taylor, PG
Senior Geologist
Hanover Engineering Associates, Inc.

Mr. Scott P. McMackin, P.E. LEED AP
Vice President
Cowan Associates, Inc.

Mr. David Keppel
Director of School Services
Parkland School District

(all via e-mail)

REPORT:**South Whitehall Township Ordinances:**

Zoning Ordinance (ZO)

Subdivision and Land Development Ordinance (SALDO)

Stormwater Management Plan (SMP)

See attached list for documents reviewed.

Proposal:

11.4± acres lot containing existing Kratzer Elementary School;

Medium-Density (R-4) Zoning District;

18,600± square foot building addition;

Sidewalks and soft play area;

Underground detention basin and stone infiltration bed;

Ballfield with fencing and benches;

Public Water;

Public Sewer.

Waivers/Deferrals Granted:

None to date – see waiver comments below.

Recommendation:

Engineering approval is recommended subject to the following comments being addressed.

jfw/acc

Enclosures

South Whitehall Township
 Kratzer Elementary School
 Major Plan #2021-103
 Preliminary/Final Land Development
 Plan Review

January 13, 2022

REVIEW COMMENTS

A. Planning

1. Waivers requested in writing on October 21, 2021, and recommended by the Planning Commission on November 18, 2021:
 - a. SALDO §312-12(b)(20) – Waiver of the requirement to show location, character, and elevation of any building within 100 feet of the tract;
 - b. SALDO §312-12(b)(15) and §312-12(b)(21) – Waiver of the requirement to show sidewalks, trails, driveways, streets, easements, existing and proposed contours, etc. within 400 feet of the tract;
 - c. SALDO §312-26(a) and §312-35(b) – Waiver of the requirement of property frontage improvements along Whitehall Avenue and Huckleberry Road (cartway widening, curb, sidewalk, street trees, etc.). This was recommended by the Planning Commission as a deferral;
 - d. SMP §296-9(J) – Waiver of the requirement of having a basin liner with a permeability rate of 1×10^{-7} cm/sec. We defer to the Township Geotechnical Consultant for acceptability of this waiver;
 - e. SMP §296-9(K) – Waiver of the requirement that groundwater recharge shall not be permitted in the areas of limestone geology;
 - f. SMP §296-12(I)(3) – Waiver of the requirement of having an infiltration rate no less than 0.5 in./hr.; and
 - g. SMP §296-12(I)(4) – Waiver of the requirement of setbacks for stormwater infiltration facilities.

In the event waivers or deferrals are granted, provide a note on the Plan to include the dates of approval, the SALDO sections, and a brief description of the Ordinance requirements.

B. General

1. The Applicant should contact the Municipality's Building Code Official to confirm the applicability of ADA requirements as they relate to this project;

2. Provide a legal description and exhibit for the proposed open space/recreation easement;
3. An Operations and Maintenance Agreement should be executed for the proposed stormwater BMPs, SMP §296-32;
4. Provide copies of the Plans to PENNDOT for the proposed sidewalk work and the proposed construction access located within the PENNDOT right-of-way along Whitehall Avenue. All correspondence with PENNDOT shall be provided to the Township and our office;
5. The Traffic Impact Assessment (TIA) identifies recommendations to mitigate increased queuing during student drop-off and pick-up. The TIA indicates that based on historical (pre-COVID) data, the anticipated increase in queuing would be accommodated with the existing infrastructure and drop-off/pick-up process. As the queuing observed during the traffic counts (during COVID) backed onto Huckleberry Road, the Township should consider working with Parkland School District to monitor parent drop-off/pick-up operations and mitigate any queuing onto Huckleberry Road;
6. We defer to the Township Geotechnical Consultant to review all geotechnical aspects of the design including, but not limited to, the sinkhole mitigation details, bed areas, infiltration period, loading ratios, dewatering time, setbacks to residential and commercial structures, preliminary site investigation, etc.;
7. Correspondence with all outside agencies regarding required permits and approvals should continue to be provided to the Township and our office. Ultimately upon approval, the agencies should be listed on the Plans with their approval date;
8. Address any comments from the Public Safety Committee to their satisfaction;
9. Address any comments from the Township Shade Tree Commission to their satisfaction, SALDO §312-40 and §312-12(b)(28);
10. Matters pertaining to the design of water distribution and sanitary sewerage systems should be directed to the Township Department of Public Works. We have not reviewed these designs; and
11. Upon submission of plans for recording, all Statements and Certifications shall be signed and sealed/notarized as applicable. Provide Certifications/Statements in accordance with SALDO §312-12(b)(5) and §312-12(b)(6). Also, provide stormwater management statements in accordance with SALDO §312-39(h) on a sheet to be recorded.

The comments noted above are the result of our engineering review. We have not reviewed items associated with legal, geotechnical, lighting, water/sanitary sewerage systems, environmental, building code, public safety, and other non-engineering issues, which should be reviewed by the appropriate Township Staff and Consultants.

South Whitehall Township
Kratzer Elementary School
Preliminary/Final Land Development Plan Review
Major Plan 2021-103

List of Plans and Supplemental Information
Prepared by Cowan Associates, Inc. and
dated or last revised December 14, 2021 (except as noted)

1. Record Site Plan, Sheet SP-1 of 15;
2. Existing Features/Demolition Plan, Sheet SP-2 of 15 (cursory review only);
3. Improvements and Landscape Plan, Sheet SP-3 of 15;
4. Erosion and Sediment Control Plan, Sheet SP-4 of 15 (cursory review only);
5. Erosion and Sediment Control Notes, Sheet SP-5 of 15 (cursory review only);
6. Erosion and Sediment Control Details, Sheet SP-6 of 15 (cursory review only);
7. Storm Sewer Profiles, Sheet SP-7 of 15;
8. Post Construction Stormwater Management (PCSM) Plan, Sheet SP-8 of 15;
9. PCSM Notes, Sheet SP-9 of 15;
10. PCSM Details, Sheets SP-10 through SP-12 of 15;
11. Construction Details, Sheets SP-13 and SP-14 of 15;
12. Post Construction Stormwater Drainage Plan, Sheet SP-15 of 15; and
13. Stormwater Management Report (Report).

In addition, we have received the following information in support of the Application:

1. Highway Occupancy Permit, dated December 10, 2021;
2. Subdivision & Land Development Review Application, dated December 17, 2021;
3. Lehigh Valley Planning Commission Response Letter; and
4. Township Response Letter, dated December 17, 2021.



November 5, 2021

South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104

Re: Kratzer Elementary School
Land Development #2021-103
Review of Preliminary Plan
SSM File 103400.0064

Dear Mr. Adams:

This correspondence is provided as a review of the Preliminary Land Development Plan submitted for the above referenced project revised on October 21, 2021. The project is a proposed addition and play field renovations. We have the following comments regarding the water and sanitary sewer utilities:

We have no additional comments at this time. The applicant has addressed prior comments and is working through the planning module process.

Please contact us should you have any questions, or require any additional information regarding our comments.

Sincerely,
Spotts, Stevens and McCoy

A handwritten signature in blue ink, appearing to read "Jason M. Newhard".

Jason M. Newhard, CMIT, LO
Manager, Operations
Water and Wastewater Engineering
jason.newhard@ssmgroup.com

cc: Herb Bender, SWT
Mike Elias, SWT



September 27, 2021

Angelika Forndran, P.E.
Cowan Associates, Inc.
P.O. Box 949
Quakertown PA 18951

Re: Kratzer Elementary School
South Whitehall Twp.
Willing to Serve Letter
SSM File 103400.0064

Dear Ms. Forndran:

We are in receipt of your request to South Whitehall Township for the water and sanitary sewer willingness to serve letter for the proposed addition to Kartzer Elementary School located at 2200 Huckleberry Road consisting of a building addition of approximately 18,000 square feet. Cowan Associates, Inc., has requested an additonal 850 gallons per day of water and sanitary sewer flows on behalf of the Parkland Area School District.

At this time the water and sanitary sewer systems owned by South Whitehall Township have adequate capacities and will serve the proposed development. Please be advised, the Township reserves the right to analyze and assess any required increases in allocations based upon actual water usage.

Please contact our office should you have any questions or comments.

Sincerely,
Spotts, Stevens and McCoy

A handwritten signature in blue ink, appearing to read "Jason M. Newhard".

Jason M. Newhard, CCM, LO
Manager, Operations
Water and Wastewater Engineering
jason.newhard@ssmgroup.com

cc: SWT

Hanover Engineering

252 Brodhead Road • Suite 100 • Bethlehem, PA 18017-8944
 Phone: 610.691.5644 • Fax: 610.691.6968 • HanoverEng.com

July 9, 2021

Mr. Gregg Adams, Planner
 South Whitehall Township
 4444 Walbert Avenue
 Allentown, PA 18104-1699

RE: Geotechnical Engineering Review of
 Provided Documents
 Kratzer Elementary School
 Infiltration and Soil Evaluation
 Professional Staff Consultation 2021-401
 South Whitehall Township, Lehigh County,
 Pennsylvania
 Hanover Project SWT21-11(005)

Dear Mr. Adams:

Hanover Engineering (Hanover) has reviewed the information received on June 21, 2021 via electronic link. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following:

1. Project Narrative, prepared by Cowan Associates, Inc. (Cowan), undated.
2. Memorandum Report referenced as "Preliminary Site Investigation Kratzer Elementary School Parkland School District," prepared by Cowan, dated May 28, 2021, unrevised.
3. Report entitled "Stormwater Management Report", prepared by Cowan, dated June 17, 2021, unrevised.
4. Engineering plan set entitled "Proposed Building Addition and Playfield Renovations", Sheets SP-1 of 14 through SP-14 of 14 inclusive, prepared by Cowan, dated May 28, 2021, unrevised.

Based on our review, it is our understanding that the subject property contains an existing elementary school and appurtenant improvements such as paved access drives, parking areas, and a stormwater collection system. A building addition of 18,635 square feet is proposed along the north side of the existing school building. A new ballfield is proposed to replace the existing ballfield north of the addition. Stormwater management is proposed in the form of three (3) Best Management practices: two (2) subsurface infiltration beds (BMPs 1 and 2) and amended soils (BMP 3). We offer the following comments:

A. General Comments

The following comments pertain to Chapter 296, Stormwater Management, of the South Whitehall Township Code:

1. Chapter 296-9.J: Within areas containing soils identified by the Soils Conservation Service to be sinkhole prone, basins shall be lined with a material which, after installation, attains a permeability rate of less than or equal to 1×10^{-7} cm/sec. The applicant shall demonstrate compliance or formally request a waiver from this requirement.
2. Chapter 296-9.K: Groundwater recharge methods shall not be permitted in the areas of limestone geology. The applicant shall demonstrate compliance or formally request a waiver of this requirement.
3. Chapter 296-9.N: No earth disturbance activities associated with any regulated activities shall commence until approval by the Township of a plan which demonstrates compliance with the requirements of this chapter.
4. Chapter 296-9.P: Infiltration for stormwater management is encouraged where soils and geology permit, consistent with the provisions of this chapter and, where applicable, the Recommendation Chart for Infiltration Stormwater Management BMPs in Carbonate Bedrock in Appendix D. Infiltration is encouraged for capturing and treating the Water Quality Volume. The applicant shall demonstrate that this proposal is consistent with the Recommendation Chart.
5. Chapter 296-12.H: For each proposed regulated activity where an applicant intends to use infiltration BMPs, the applicant shall conduct a preliminary site investigation as outlined in Appendix G. This investigation shall be documented, and the resulting data provided in a report signed and sealed by a qualified geotechnical professional.
6. Chapter 296-12.I(2): Depth to seasonal high water table below the invert of the BMP shall be greater than or equal to three feet (3'). The data reported is insufficient to demonstrate compliance with this requirement. Provide elevation data for the bottom of each test pit and for the infiltration testing and demonstrate that these coincide with the design elevations for the BMP facilities.
7. Chapter 296-12.I(4): It is not apparent that all setback distance requirements of this section have been met.
8. Chapter 296-12.K: For infiltration areas that appear feasible based on the preliminary site investigation, the applicant shall conduct the additional site investigation and testing as outlined in Appendix G. Demonstrate the required minimum density for each test type or formally request a waiver from these requirements. Provide soil auger testing as required. Address the requirements of the Recommendation Chart.

B. Preliminary Site Investigation Memorandum

1. Provide a copy of each of the published mapping resources that is referenced with the project site location clearly depicted.

C. Stormwater Management Report

1. In the “Recharge Analysis” section, clarify if the figures of $I = 0.80$ for the Infiltration Basin and $I = 0.20$ for the Subsurface Bed denote the infiltration rates. Provide units and the source of these values. Clarify the use of Exfiltration (in/hr) = 1.000 in the Pond Report for the Underground Infiltration Bed.
2. This report contains a memorandum dated May 14, 2021 referenced as “Infiltration Testing – Kratzer Elementary School”. For the infiltration test results reported here, the infiltration rates have been calculated using the arithmetic average. Per the Pennsylvania Stormwater BMP Manual, it is the geometric mean that must be used. Please revise accordingly.
3. The data provided in the memoranda referenced as Preliminary Site Investigation and Infiltration Testing should be combined into one (1) comprehensive report signed and sealed by the licensed professional.

D. Engineering Plans

1. Address the following issues regarding the Subsurface Infiltration Bed:
 - a. The notes on Sheet SP-9 and the detail on Sheet SP-10 should be consistent. The notes call for geotextile – this should be shown and labeled on the detail. The aggregate specification should be the same. Specifications for subgrade preparation (uncompacted, scarified, etc.) should be listed in the notes and labeled on the detail.
 - b. Provide dimensions for all runs, legs, and tie-ins along the six-inch (6”) perforated PVC pipe. Provide a specification for the pipe wall thickness (schedule number).
 - c. The thickness of stone labeled on the plan views is not consistent with the detail.
2. Address the following issues regarding the underground basin:
 - a. Clarify the proposed use/function of this facility. It is labeled as “Subsurface Infiltration Bed” on the plan views but as “Underground Detention Basin” on the details. All labeling/naming shall be consistent.
 - b. The proposed top of stone elevation is not consistent between the plan views (396.5) and details (396.4).

Mr. Gregg Adams
Planner

4

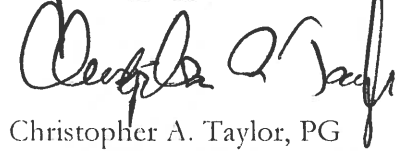
July 9, 2021

- c. Provide dimensioning on Section A-A for thickness of stone below the pipes, over the pipes, and overall. Provide the thickness of the amended soils.
- d. Provide specifications for the make-up of the amended soils and clarify the need/purpose for installing them.
- e. The "Typical Subsurface Det/Ret System Layout Detail" provided from the manufacturer is confusing and seems to conflict with the Underground Detention Basin Plan detail. We suggest providing clarifying notes or removing the detail.

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING



Christopher A. Taylor, PG

cat:rlc/hmc

S:\Secretary-Inbox\SWT Geotech. Kratzer Elementary School cmt rev ltr 1.doc

cc: Mr. Dave Manhardt, Director of Community Development (via e-mail)
Mr. Herb Bender, Public Works Director (via e-mail)
Mr. Anthony F. Tallarida, PE, The Pidcock Company (via e-mail)
Mr. Mark Gnall, PE, The Pidcock Company (via e-mail)
Mr. Richard Sniscak, Superintendent of Parkland School District
Mr. Scott T. McMackin, PE, Cowan Associates, Inc.

Hanover Engineering

252 Brodhead Road • Suite 100 • Bethlehem, PA 18017-8944
 Phone: 610.691.5644 • Fax: 610.691.6968 • HanoverEng.com

November 2, 2021

Mr. Gregg Adams, Planner
 South Whitehall Township
 4444 Walbert Avenue
 Allentown, PA 18104-1699

RE: Geotechnical Engineering Review of
 Provided Documents
 Kratzer Elementary School
 Infiltration and Soil Evaluation
 Professional Staff Consultation 2021-401
 South Whitehall Township, Lehigh County,
 Pennsylvania
 Hanover Project SWT21-11(005)

Dear Mr. Adams:

Hanover Engineering (Hanover) has reviewed the information received on October 26, 2021 via electronic link. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following:

1. Response letter, prepared by Cowan Associates, Inc. (Cowan), dated October 21, 2021.
2. Waiver request letter, prepared by Cowan, dated June 17, 2021, revised October 21, 2021.
3. Report entitled "Preliminary Site Investigation and Infiltration Testing for Kratzer Elementary School," prepared by Cowan, dated October 20, 2021.
4. Report entitled "Stormwater Management Report for Kratzer Elementary School", prepared by Cowan, dated June 17, 2021, revised October 21, 2021.
5. Engineering plan set entitled "Proposed Building Addition and Playfield Renovations", Sheets DA-1 of 3 through DA-3 of 3 inclusive, prepared by Cowan, dated May 28, 2021, last revised October 21, 2021.
6. Engineering plan set entitled "Proposed Building Addition and Playfield Renovations", Sheets SP-1 of 15 through SP-15 of 15 inclusive, prepared by Cowan, dated May 28, 2021, last revised October 21, 2021.

Based on our review, it is our understanding that the subject property contains an existing elementary school and appurtenant improvements such as paved access drives and parking areas and a stormwater collection system. A building addition of 18,635 square feet is proposed along the north side of the existing school building. A new ballfield is proposed to replace the existing ballfield north of the addition. Stormwater management is proposed in the form of three (3) Best Management practices: a subsurface infiltration basin (BMP 1), a subsurface infiltration bed (BMP 2), and Amended Soils (BMP 3). We offer the following review of comments issued in our letter of July 9, 2021, repeated in italics below, and any new comments generated by this submission:

A. General Comments

The following comments pertain to Chapter 296, Stormwater Management, of the South Whitehall Township Code:

1. *Chapter 296-9.J: Within areas containing soils identified by the Soils Conservation Service to be sinkhole prone, basins shall be lined with a material which, after installation, attains a permeability rate of less than or equal to 1×10^{-7} cm/sec. The applicant shall demonstrate compliance or formally request a waiver from this requirement.*

The applicant is requesting a waiver of this requirement. We have no objection to the granting of this waiver.

2. *Chapter 296-9.K: Groundwater recharge methods shall not be permitted in the areas of limestone geology. The applicant shall demonstrate compliance or formally request a waiver of this requirement.*

The applicant is requesting a waiver of this comment. We have no objection to the granting of this waiver.

3. *Chapter 296-9.N: No earth disturbance activities associated with any regulated activities shall commence until approval by the Township of a plan which demonstrates compliance with the requirements of this chapter.*

Informational comment, no response required.

4. *Chapter 296-9.P: Infiltration for stormwater management is encouraged where soils and geology permit, consistent with the provisions of this chapter and, where applicable, the Recommendation Chart for Infiltration Stormwater Management BMPs in Carbonate Bedrock in Appendix D. Infiltration is encouraged for capturing and treating the Water Quality Volume. The applicant shall demonstrate that this proposal is consistent with the Recommendation Chart.*

This comment has not been addressed. Provide the proposed loading ratios to each facility for the impervious area and total tributary area and demonstrate that these ratios comply with the Recommendation Chart.

5. *Chapter 296-12.H: For each proposed regulated activity where an applicant intends to use infiltration BMPs, the applicant shall conduct a preliminary site investigation as outlined in Appendix G. This investigation shall be documented, and the resulting data provided in a report signed and sealed by a qualified geotechnical professional.*

This comment has not been fully addressed. The requested report has been provided but has not been signed and sealed by a qualified geotechnical professional.

6. *Chapter 296-12.I(2): Depth to seasonal high water table below the invert of the BMP shall be greater than or equal to three feet (3'). The data reported is insufficient to demonstrate compliance with this requirement. Provide elevation data for the bottom of each test pit and for the infiltration testing and demonstrate that these coincide with the design elevations for the BMP facilities.*

This comment has been adequately addressed.

7. *Chapter 296-12.I(4): It is not apparent that all setback distance requirements of this section have been met.*

This comment has not been adequately addressed. The applicant is requesting a waiver of this requirement. The consultant has stated in his Waiver Request Letter “Based on site soils testing and analysis, stormwater facilities closer than required setbacks will function adequately”. The concern is not so much with the functioning of the stormwater facilities as it is with the affect upon the structure that is less than the required distance from the stormwater facility. The Underground Infiltration Basin (BMP #1) is less than minimum required fifteen feet (15’) downgradient from the proposed building addition and from portions of the existing main building. The Underground Infiltration Bed (BMP #2) is less than the minimum required one hundred feet (100’) upgradient from the proposed building addition. The consultant shall acknowledge these setback deficiencies and provide a justification for the waiver request that addresses the issue of the structural stability of the portions of the buildings in these areas.

8. *Chapter 296-12.K: For infiltration areas that appear feasible based on the preliminary site investigation, the applicant shall conduct the additional site investigation and testing as outlined in Appendix G. Demonstrate the required minimum density for each test type or formally request a waiver from these requirements. Provide soil auger testing as required. Address the requirements of the Recommendation Chart.*

This comment has been adequately addressed.

B. Preliminary Site Investigation Memorandum

1. *Provide a copy of the each of the published mapping resources that is referenced with the project site location clearly depicted.*

This comment has been adequately addressed.

C. Stormwater Management Report

1. *In the “Recharge Analysis” section, clarify if the figures of $I = 0.80$ for the Infiltration Basin and $I = 0.20$ for the Subsurface Bed denote the infiltration rates. Provide units and the source of these values. Clarify the use of Exfiltration ($\text{in/hr} = 1.000$ in the Pond Report for the Underground Infiltration Bed.*

This comment has not been addressed. The figure of 0.80 has been revised. However, the requested information and clarifications have not been provided. The dewatering time for each facility shall be clarified.

2. *This report contains a memorandum dated May 14, 2021 referenced as “Infiltration Testing – Kratzer Elementary School”. For the infiltration test results reported here, the infiltration rates have been calculated using the arithmetic average. Per the Pennsylvania Stormwater BMP Manual, it is the geometric mean that must be used. Please revise accordingly.*

This comment has been adequately addressed.

3. *The data provided in the memorandum referenced as Preliminary Site Investigation and Infiltration Testing should be combined into one (1) comprehensive report signed and sealed by the licensed professional.*

This comment has been adequately addressed.

D. Engineering Plans

1. *Address the following issues regarding the Subsurface Infiltration Bed:*

- a. *The notes on Sheet SP-9 and the detail on Sheet SP-10 should be consistent. The notes call for geotextile – this should be shown and labelled on the detail. The aggregate specification should be the same. Specifications for subgrade preparation (uncompacted, scarified, etc.) should be listed in the notes and labeled on the detail.*

This comment has not been addressed.

- b. *Provide dimensions for all runs, legs, and tie-ins along the six inch (6") perforated PVC pipe. Provide a specification for the pipe wall thickness (schedule number).*

This comment has been adequately addressed.

- c. *The thickness of stone labelled on the plan views is not consistent with the detail.*

This comment has been adequately addressed.

2. *Address the following issues regarding the Underground Basin:*

- a. *Clarify the proposed use/function of this facility. It is labelled as "Subsurface Infiltration Bed" on the plan views but as "Underground Detention Basin" on the details. All labelling/naming shall be consistent.*

This comment has been adequately addressed.

- b. *The proposed top of stone elevation is not consistent between the plan views (396.5) and details (396.4).*

This comment has been adequately addressed.

- c. *Provide dimensioning on Section A-A for thickness of stone below the pipes, over the pipes, and overall. Provide the thickness of the amended soils.*

This comment has been adequately addressed.

- d. *Provide specifications for the make up of the amended soils and clarify the need/purpose for installing them.*

This comment has been adequately addressed.

Mr. Gregg Adams
Planner

5

November 2, 2021

- e. *The "Typical Subsurface Det/Ret System Layout Detail" provided from the manufacturer is confusing and seems to conflict with the Underground Detention Basin Plan detail. We suggest providing clarifying notes or removing the detail.*

This comment has been adequately addressed.

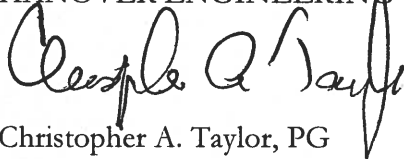
E. NEW COMMENTS (November 2, 2021)

1. Multiple public facilities are located over the proposed Underground Infiltration Bed (BMP #2). Provide a cross section detail(s) showing that the proposed grading for the ballfield and the footers/anchoring for the benches, fences, and backstops will not encroach on the minimum eight-inch (8") topsoil cover designed for the infiltration bed.
2. The applicant is requesting a waiver of Section 296.12I(3) of the South Whitehall Township Subdivision and Land Development Ordinance (SALDO), requiring an infiltration rate of no less than 0.5 inches per hour. The consultant shall clarify the proposed dewatering time for the facility with this infiltration rate per Comment C.1 above before we can evaluate this request.

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING



Christopher A. Taylor, PG

cat:cat/sas

S:\Projects\Municipal\WhitehallTownship\Sw21-11(005)-KratzerElemSchInfilSoilEvalPSC2021-401\Docs\20211102_SWT Geotech, Kratzer Elementary School cmt rev ltr 2.doc

cc: Mr. Dave Manhardt, Director of Community Development (via email)
Mr. Herb Bender, Public Works Director (via email)
Mr. Anthony F. Tallarida, PE, The Pidcock Company (via email)
Mr. Mark Gnall, PE, The Pidcock Company (via email)
Mr. Richard Sniscak, Superintendent of Parkland School District
Mr. Scott T. McMackin, PE, Cowan Associates, Inc.

Gregg R. Adams

From: Chris Taylor <ctaylor@hanovereng.com>
Sent: Wednesday, November 10, 2021 4:04 PM
To: spm@cowanassociates.com
Cc: Gregg R. Adams; Anthony F. Tallarida
Subject: FW: Kratzer
Attachments: SWT Inf testing summary.pdf; 211110 SP-03 IMPROVEMENTS PLAN - FOOTING ELEVATIONS.pdf; Cowan Copier_20211110_112307.pdf

Scott,

Thank you for providing this information and for discussing the below items by telephone earlier today. In accordance with the information provided and the understandings reached during that discussion, I offer the following responses:

Comment A.4 – Based on falling in the 300% to 500% category, your proposed loading ratios are acceptable. This comment is adequately addressed.

Comment A.5 – I will put the attached signed and sealed report cover page with the report in my file. This comment is adequately addressed.

Comment A.7 – Based on the elevation information provided, we have no objection to the granting of this waiver if this verbiage is added to the waiver request as you state. This comment is adequately addressed.

Comment C.1 – Based on the information provided, this comment is adequately addressed.

Comment E.1 – Based on the information provided, this comment will be considered adequately addressed if you provide a detail on the plan showing the sleeving proposed for the posts and bases.

Comment E.2 – Based on the dewatering times provided, we have no objection to the granting of this waiver.

As we discussed, your email did not address the fact that Comment D.1.a is still outstanding. Please provide the requested revisions on the plan.

Gregg and Tony, please let us know if a more formal submission from Cowan and/or more formal comments from me will be required to address these issues.

Thanks. Chris.

Respectfully,

Christopher A. Taylor, PG, SEO



Hanover Engineering Associates, Inc.

252 Brodhead Road, Suite 100

Bethlehem, PA 18017-8944

Telephone – 610.691.5644

Fax – 610.691.6968

E-mail – ctaylor@hanovereng.com

Web – www.hanovereng.com

From: Scott P. McMackin <spm@cowanassociates.com>

Sent: Wednesday, November 10, 2021 11:47 AM

To: Chris Taylor <ctaylor@hanovereng.com>

Subject: Kratzer

External email:

Chris,

When you have a few minutes can you give me a call to discuss the remaining items in your Nov 2 review letter. I am hoping to get them addressed prior to the meeting next Thursday.

To get a head start on the items:

A.4 – I am attaching an infiltration summary sheet which includes the dewatering times as well as the loading ratios. Based on the testing, we are in the “over 8 feet, high buffer, preliminary, 300%-500%, infiltration recommended” section of the Appendix D chart. I think we are good on the ratios, but just want to review them with you.

A.5 – I thought we had the report signed and sealed, but I am attaching a signed and sealed cover page

A.7 – I am attaching a plan with the bottom of footing elevations noted I received from the architect. For the underground basin, the bottom of the basin is 392.50 and the bottom of the footings of the existing building (it's a stepped footing) is 396.15/397.15. The bottom of the new addition is 396.73. The bottom of the basin is well below the footer and will not impact it. For the infiltration bed, the bottom is 399.50. Any seepage will seep out of the bank and get into inlets 4 and 5 which have a top of grate if 398.50. Is this ok if I just add this verbiage to the waiver request?

C.1 - The “I” value is the recharge calcs is the impervious coverage draining to each BMP per 396.12.J.(1). For the infiltration bed, there is 0.9 acres of impervious draining to it. For the bed, there is 0.2 acres draining to it. The exfiltration numbers have been corrected in the software to match the rates calculated. Is this ok to address this comment?

E.1 – The posts and bases will be sleeved and installed in the stone. This will not affect the operation of the bed. Want to discuss any information you need to clarify.

E.2 – Dewatering time shown on the spreadsheet. 15 hours and 44 hours. Is this ok?

Thanks very much,

Scott

Scott P. McMackin, P.E.

Cowan Associates, Inc.

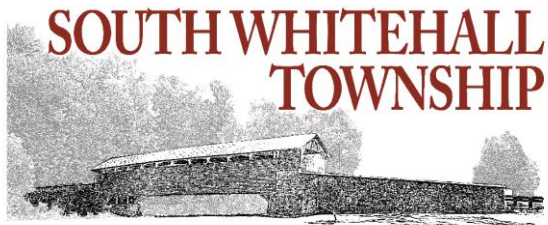
120 Penn-Am Drive

Quakertown, PA 18951

215-536-7075 x 132

spm@cowanassociates.com

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INTEROFFICE MEMORANDUM

TO: DAVE MANHARDT, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: HERB BENDER, PUBLIC WORKS MANAGER

DATE: OCTOBER 27, 2021

SUBJECT: KRATZER ELEMENTARY SCHOOL

MAJOR PLAN 2021-103

The Public Works Dept. reviewed the above project and has the following comments:

1. Install new water meter in pit for Fire and Domestic with Mach 10 meter.

SOUTH WHITEHALL TOWNSHIP

4444 Walbert Avenue, Allentown, PA 18104-1699
www.southwhitehall.com • (610) 398-0401

November 12, 2021

Mr. David Keppel
Parkland School District
1210 Springhouse Road
Allentown, PA 18104

Re: Kratzer Elementary School
 Major Plan #2021-103
 Preliminary Land Development Plan Review

Dear Mr. Keppel:

The purpose of this letter is to report zoning and non-engineering related comments that are to be addressed. My comments follow:

Zoning

1. 350-48(s)(4)(D) Minimum Off-Street Parking Calculations. Elementary: 2.5 spaces per classroom; PLUS 1 Large Off-Street Loading Zone. Indicate on the plan the 1 Large Off-Street Loading Zone required.

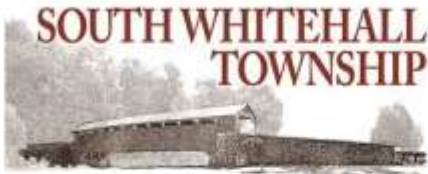
Fire Inspector

1. The Fire Inspector reported no comments. The Fire Inspector reports that the Public Safety Commission in conjunction with the Fire Chief had no comments.

Open Space and Recreation

1. The Parks and recreation Board reviewed the plan at their September 13, 2021 meeting and tentatively recommended that the applicant pay fees in lieu of common open space land dedication to meet the open space and recreation requirements of Section 312-36(d)(4) of SALDO. The amount of fees to be paid in lieu of common open space land dedication in non-residential subdivision or land development shall be Twenty-Five cents (\$0.25) per square foot of additional proposed impervious coverage (post-development impervious surface minus pre-development impervious surface). The Parks and Recreation Board alternately recommended that a dedication of Open Space similar to that which was done both at Cetronia Elementary and previously at Kratzer Elementary – a dedication of perpetual Open Space to the Parkland School District on the elementary school property – would also be acceptable. The Parks and recreation Board requested that the plan be returned for further review at the next submission.



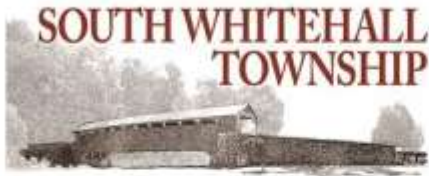


Water & Sewer

1. The applicant is to request allocations for water and sewer from the South Whitehall Township Board of Commissioners. Please be aware that the Board of Commissioners now charges both allocation fees and tapping (connection) fees. The applicant must address all water and sewer service issues, and obtain all approvals deemed necessary by the South Whitehall Township Board of Commissioners. You are advised to contact the Township Public Works Director Herb Bender as soon as practicable to learn of or confirm any or all of:
 - a. The amount of any water and/or sewer **allocation fees**. The application is available on the Township website. The fee for the allocation(s) will be due with the submission of the application.
 - b. The amount of any water and/or sewer **connection fees**. The fees are due at or before the building permit is to be issued. Application is also available on the Township website.
2. The applicant is to contact the PA Department of Environmental Protection to determine what Sewage Facility Planning requirements are to be met for this development.
3. An Erosion and Sediment Control Plan is required for any earth disturbance activity of more than 5,000 square feet pursuant to Section 296-11(B) of the South Whitehall Township Codified Ordinance (Stormwater Management Plan).

Legal and Other

1. Township policy with regard to the deferral of sidewalk and curbing has changed and deferrals shall no longer be granted. The applicant should be prepared to discuss compliance with SALDO Section 312-35(b)(3)(A)(ii). The sidewalk proposed along the frontage of Whitehall Avenue is outside of the right-of-way on PSD property. The sidewalk proposed shall be included within a Sidewalk Easement, which is to be dedicated to the Township and approved by the Township Solicitor's office.
2. The Township Solicitor and Township Engineer may want to comment upon the legal requirements of the MS4 program with regard to any private stormwater management facilities.
3. That the plan be amended to include a note referencing the "State Highway Law" pursuant to Section 508.6 of the PA Municipalities Planning Code and Section 312-12(a)(9) of the Subdivision and Land Development Ordinance.



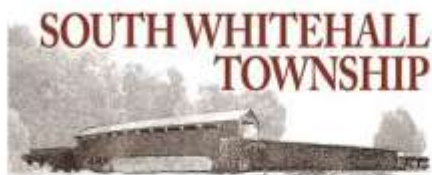
4. That a note be added to the site plan stating that the applicant is responsible for joining the PA One Call system and is responsible for the marking of all underground utilities prior to the utilities being formally accepted by and dedicated to the Township.
5. Confirmation of a plan submittal to PennDOT and LANTA shall be provided.
6. Signature Blocks and Certifications to appear on each plan sheet to be recorded.

Waiver and Deferral Request Commentary

1. Waiver of SALDO Sections 312-11 and 312-12 Waive Preliminary Plan submission requirement – The waiver is not necessary as the Ordinance allows for a preliminary/final plan submission.
2. Waiver of SALDO Section 312-12(b)(20) Show buildings within 100 feet of the Tract - Staff has no objection to this request.
3. Waiver from SALDO Section 312-12(b)(21) Show streets and Easements with 400 feet of the tract – Staff has no objection to this request.
4. Waiver of SALDO Sections 312-26(a) and 312-35(b) Waiver of frontage improvements along Whitehall Avenue and Huckleberry Road. Frontage improvements were completed along Huckleberry Road with Major Plan 2013-107 Access Improvement Kratzer Elementary School. The current plan proposes street trees within the right-of-way of Whitehall Avenue and a sidewalk on private property fronting Whitehall Avenue. Staff has no objections to the waivers to the extent shown on the plan, on the condition that the proposed sidewalk along Whitehall Avenue be placed within a Sidewalk Easement.
5. SMP Section 296-9(J) Waiver of Basin Liner - Staff defers to the Geotechnical Consultant.
6. SMP Section 296-9(K) Waiver to permit groundwater recharge in areas of karst geology – Staff defers to the Geotechnical Consultant.
7. SMP Section 296-12(l)(3) Waiver of infiltration rate no greater than 0.5 in/hr - Staff defers to the Geotechnical Consultant.
8. SMP Section 296-12(l)(4) Waiver of stormwater facility setback requirements - Staff defers to the Geotechnical Consultant.

Official Map & Comprehensive Plan

1. The Official Map depicts the subject parcel as underlain by karst geology and a groundwater recharge basin. It is fronted by two Collector Roads (Whitehall Avenue and Huckleberry Road).



2. The Comprehensive Plan envisions a T4 Character Area, which includes 5,000 to 10,000 square foot lots, residential development with neighborhood services, Traditional Neighborhood Development, existing villages, a mix of lot and house sizes, small-scale commercial (less than 40,000 square feet in residential mixed-use), and live/work units.

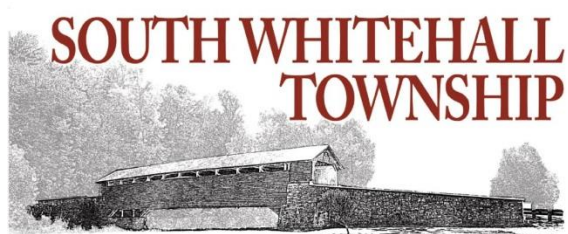
Your plan is scheduled to be reviewed by the Planning Commission on Thursday, November 18, 2021 at 7:30 p.m. in the South Whitehall Township Municipal Building located at 4444 Walbert Avenue.

If you have any questions, please call.

Sincerely,

Gregg R. Adams, Planner
Community Development Department

cc:	R. Cope	D. Manhardt	L. Harrier	H. Bender	J. Frantz
	J. Zator, Esq.	J. Alderfer, Esq.	S. Pidcock	A. Tallarida	File #2021-103



MEMORANDUM

TO: Planning Commission
FROM: Laura Harrier, Zoning Officer
DATE: November 10, 2021
SUBJECT: Kratzer Elementary School
 Major Plan #2021-103
 Plan Dated October 21, 2021
COPIES: D. Manhardt, G. Adams, J. Alderfer, S. Pidcock, Applicant

This project involves the construction of a building addition to the existing Kratzer Elementary School. Schools, Elementary and/or Secondary are permitted by right in the R-4 Zoning District. The proposed addition meets all setback requirements.

1. 350-48(s)(4)(D) Minimum Off-Street Parking Calculations. Elementary: 2.5 spaces per classroom; **PLUS 1 Large Off-Street Loading Zone.** Indicate on the plan the 1 Large Off-Street Loading Zone required.

Laura Harrier, Zoning Officer
 Community Development

Gregg R. Adams

From: John G. Frantz
Sent: Tuesday, July 13, 2021 9:00 AM
To: Gregg R. Adams
Subject: Kratzer Elementary School - 2021-103

Gregg,

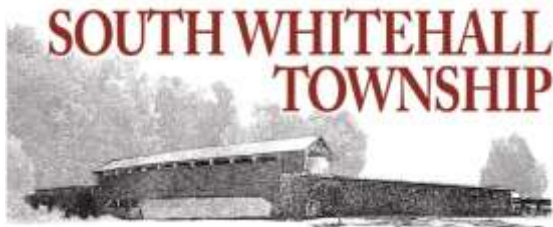
The PSC made no recommendations to the plan.

John G. Frantz, CFEI, BCO

Fire Marshal, Building Code Official
South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104-1699
610-398-0401 (office)
610-398-1068 (fax)
www.southwhitehall.com



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MEMORANDUM

TO: Planning Commission
FROM: Gregg Adams, Planner
DATE: October 29, 2021
SUBJECT: Landscaping Plan Review
 Kratzer Elementary
 Major Plan 2021-103
 Plan dated October 21, 2021

COPIES: Landscape and Shade Tree Commission, D. Manhardt, J. Alderfer, S. Pidcock, Applicant

At their October 25, 2021 meeting, the Landscape and Shade Tree Commission reviewed the above-mentioned plan and recommended the following:

The applicant shall submit a Landscaping Plan for review. Such a plan shall include the locations of overhead and underground utilities to assist with the review. Based upon the plantings shown on the Improvements plan sheet, the tree species proposed are acceptable, but are typically planted at thirty to thirty-five (30-35) foot intervals. If there are no overhead utilities present in the planting area, larger species may be preferable at the proposed forty (40) foot intervals

Respectfully submitted,

Gregg Adams, Planner
 Community Development Department



GREG ZEBROWSKI
Chair

STEVEN GLICKMAN
Vice Chair

PAMELA PEARSON
Treasurer

BECKY A. BRADLEY, AICP
Executive Director

November 23, 2021

Mr. David Manhardt, Director
Community Development Department
South Whitehall Township
4444 Walbert Avenue
Allentown, Pennsylvania 18104

**Re: Kratzer Elementary School Addition
Plans Revised October 21, 2021
South Whitehall Township
Lehigh County**

Dear Mr. Manhardt:

The proposed storm drainage concept presented in the plans and storm drainage calculations revised October 21, 2021, has been reviewed for consistency with the *Jordan Creek Watershed Act 167 Storm Water Management Ordinance*, May 1992. A checklist of the Act 167 review items is attached for your information. As indicated on the checklist, each item of the Drainage Plan has been reviewed for consistency with the Act 167 Ordinance. A brief narrative of the review findings is as follows:

The proposed development is located within drainage districts 129 and 134 of the Jordan Creek Watershed as delineated in the Act 167 Plan. As such, the runoff control criteria for the site are 30% Release Rate for the 2-year storm and a 100% Release Rate for the 10-, 25- and 100-year return period storms. Based on review of the plans and calculations, the Drainage Plan has been found to be consistent with the Act 167 requirements.

Note that only those details of the Drainage Plan included on the checklist have been covered by this review. **Therefore, notable portions of the Drainage Plan not reviewed include any aspect of the post-construction storm water management plan concerning water quality, the details and design of any proposed water quality BMPs, the Erosion and Sedimentation Control Plan and the details of the runoff collection system (piping).** These items are reviewed by the municipal engineer and/or others, as applicable.

Mr. David Manhardt
South Whitehall Township
November 23, 2021
Page 2

Please call me with any questions regarding these comments.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Geoffrey A. Reese". The signature is fluid and cursive, with the first name "Geoffrey" being more prominent than the last name "Reese".

Geoffrey A. Reese, PE
Director of Environmental Planning

Attachment

cc: Randy Cope, Interim Manager, South Whitehall Township
Ron Gawlik, PE, The Pidcock Company
Anthony Tallarida, PE, The Pidcock Company
Scott McMackin, PE, Cowan Associates, Inc.
Lehigh County Conservation District

LVPC ACT 167 REVIEW CHECKLIST

Development Name: Kratzer Elementary School Addition
Municipality: South Whitehall Township
Date: November 23, 2021

Watershed: Jordan Creek
Reviewer: Denjam Khadka
Checked by: Geoffrey A. Reese, PE

Ordinance Reference	Item	Consistency w/Ordinance Yes No N/A	Comment
---------------------	------	---------------------------------------	---------

301.A-G. General storm water management requirements X / /

H. Consideration of volume controls X / /

302.A,B. Applicable Storm Water Management Provisions

Subarea(s)	129	134	
Criteria	30%/100% RR	30%/100% RR	

Criteria Key: RR = release rate; PND = provisional no detention

303.A. Design consistency with applicable provisions from 302.A. and B. X / /
B. Mapping of Storm Water Management District Boundaries X / /
C. Downstream capacity analysis / / X
D. Multiple discharge points within a single subarea / / X
E,F. Multiple discharge points within multiple subareas / / X
G. Documentation of "no harm" downstream / / X
H. Regional or subregional detention analysis / / X
I. Capacity improvements analysis / / X

304.A. Computation method (rational or soil-cover-complex) X / /
B. Verification of detention design by routing X / /
Check rational method detention volume vs. TR55 / / X
C. Minimum detention pond freeboard specifications X / /
D. Soil-cover-complex method design rainfall X / /
E. Rainfall intensities for rational method / / X
F. Curve Numbers for soil-cover-complex method X / /
G. Runoff coefficients for the rational method / / X
H. Manning equation to calculate watercourse capacity X / /

403. Drainage Plan Contents X / /

Soil-cover-complex method used.



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Project Narrative

Kratzer Elementary School
2200 Huckleberry Lane
South Whitehall Township
Lehigh County
CAI 14549.08
June 17, 2021
Revised October 21, 2021

Richard S. Cowan, PE (1910-1997)
James R. Leister, PE/PLS (1936-2006)
William D. Kee, PE (Retired)
Johann F. Szautner, PE/PLS (Retired)
Todd R. Myers, PLS
Charles R. Tomko, PE
Scott P. McMackin, PE
Michael R. Smith, PE
Wayne V. Doyle, PE

Site Location: 2200 Huckleberry Lane
Allentown, PA 18104
PIN 548787607544

Site Owner & Applicant: Parkland School District
1210 Spring House Road
Allentown, PA 18104

Site Zoning District and Existing Use: R-4, Medium Density Residential, Use Elementary School

Frontage Streets: Huckleberry Lane (T-559)
Whitehall Avenue (S.R. 1021)

Proposed Use: Elementary School

Existing Lot Size: 11.44 acres (1 Lot)

Proposed Lot Size: 11.44 acres (1 Lot)

Existing Building Size: 59,903 sq. ft.

Proposed Building Addition: 18,635 sq. ft.

Existing and Proposed Water Service: Public – South Whitehall Township Authority

Existing and Proposed Sewer Service: Public – South Whitehall Township Authority

Proposed Types of Stormwater BMPs: Infiltration Basin
Subsurface Infiltration Bed
Amended Soils

V:\PROJECTS\14549.08 Kratzer Elementary School\Project Narrative 6-2-21.docx



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June 17, 2021
Revised October 21, 2021

South Whitehall Township Planning Commission
South Whitehall Township Board of Commissioners
South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104

Richard S. Cowan, PE (1910-1997)
James R. Leister, PE/PLS (1936-2006)
William D. Kee, PE (Retired)
Johann F. Szautner, PE/PLS (Retired)
Todd R. Myers, PLS
Charles R. Tomko, PE
Scott P. McMackin, PE
Michael R. Smith, PE
Wayne V. Doyle, PE

Subject: Waiver Requests
Kratzer Elementary School
2200 Huckleberry Road (PIN 548787607544)
South Whitehall Township, Lehigh County
CAI 14549.08

Dear Planning Commission Members and Commissioners:

Please accept this correspondence as a Request for Waivers for the Kratzer Elementary School project from the following sections of the South Whitehall Township Subdivision and Land Development Ordinance:

1. Section 312-11 and 312-12 requiring preliminary plan submission.

Waiver is requested to process the application as preliminary/final.

2. Section 312-12(b)(20) Requiring location, character and elevation of any building within 100 feet of the tract.

Given the minor nature of the development, a waiver of this requirement is requested to use aerial photographic information.

3. Section 312-12(b)(15) and (21) Requiring location contours and sidewalks, trails, driveways, streets, easements, etc. within 400 feet of the tract.
4. Section 312-26(a) and 312-35(b) requiring property frontage improvements. Additional sidewalk along Whitehall Avenue is proposed, waiver for remaining improvements requested.

5. Section 296-9.J. requiring permeability rate of 1x10⁻⁷ cm/SEC or less.

Based on on-site soils testing and analysis, infiltration is possible on this site.

6. Section 296-9.K requiring ground water recharge not be permitted in limestone geology.

Based on site soils testing and analysis, groundwater recharge is possible on this site.

7. Section 296.12.I(3) requiring a perc rate of no less than 0.5 in/hr.

Based on site soils testing and analysis, infiltration rate of 0.35 in/hr. is adequate for this site.

8. Section 296.12.I(4) requiring setback distances for stormwater facilities.

Based on site soils testing and analysis, stormwater facilities closer than required setbacks will function adequately.

Very truly yours,

COWAN ASSOCIATES, INC.



Scott P. McMackin, P.E.

SPM:rmo

V:\PROJECTS\14549.08 Kratzer Elementary School\Correspondence\10-21-21_South Whitehall Twp_Ltr.docx

KRATZER ELEMENTARY SCHOOL EXPANSION TRANSPORTATION IMPACT ASSESSMENT

FOR SUBMISSION TO:

South Whitehall Township, Lehigh County, PA

Prepared For:

Parkland School District

1210 Springhouse Road

Allentown, PA 18104

August 19, 2021

TPD # COWA.00017

Prepared By:

Traffic Planning and Design, Inc.

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Robert Hoffman, P.E., PTOE

Regional Manager

Pennsylvania License Number PE 075571

EXECUTIVE SUMMARY

The purpose of this study is to examine the potential traffic impact associated with the Kratzer Elementary School Expansion on the roadway network in South Whitehall Township, Lehigh County, PA. Based on this evaluation, the following conclusions were reached:

1. The study area intersections included in this Transportation Impact Assessment (TIA) are listed below:
 - » Huckleberry Road & Whitehall Avenue;
 - » Huckleberry Road & the eastern bus loop driveway;
 - » Huckleberry Road & the western bus loop driveway;
 - » Huckleberry Road & the western parking lot access.
2. The project site is located at 2200 Huckleberry Road, on the northeast corner of the intersection of Whitehall Avenue and Huckleberry Road. The Kratzer Elementary School expansion is being designed to accommodate an increased student population of 544 students. The current student population is 484 students. The expansion will accommodate an additional 60 students.
3. Access to the site is currently provided via three (3) driveway locations:
 - » Huckleberry Road & the eastern bus loop driveway;
 - » Huckleberry Road & the western bus loop driveway;
 - » Huckleberry Road & the western parking lot access.
4. Under 2024 opening year projected conditions, the study area intersections will operate at overall intersection level of service (ILOS) B or better, similar to 2024 base conditions, during the weekday A.M. and P.M. school peak hours. Furthermore, all critical movements will operate at the same levels of service when compared to base conditions.
5. All approaches and turning movements at the site driveway intersections will operate at LOS B or better under 2024 projected conditions during the weekday A.M. and P.M. school peak hours.
6. The proposed driveway locations exceed PennDOT's Desirable and Safe Stopping Sight Distance (SSSD) criteria for cars and trucks.
7. With the addition of 60 students, the proposed expansion is expected to generate 40 new vehicle-trips during the weekday A.M. peak hour and 20 new vehicle-trips during the weekday P.M. school peak hour. It should be noted that these trip generation estimates include one new bus.
8. Under 2024 projected conditions, the auxiliary left-turn and right-turn lane warrants are not satisfied at the site driveways.
9. Levels of Service (LOS) for the study area intersections have been summarized in matrix form. **Table I** details the overall intersection (ILOS) for each study area intersection.
10. It should be noted that based on discussions with representatives from Parkland School District, it was confirmed that Kratzer Elementary School was operating under normal (full in person learning) conditions at the time the traffic counts were conducted.
11. The school district may wish to consider operational changes that could be implemented to aid in the reduction of on-site queuing. The following options were identified:
 - » Loading more than three to four vehicles consecutively. Increasing the loading rate may decrease the peak queue.
 - » Lengthening the sidewalk around the southeastern corner of the parking lot to allow staging along the southern side of the lot would increase the storage length significantly, equating to additional storage to accommodate the queue on site.

TABLE I
LEVEL OF SERVICE DELAY (SECONDS) SUMMARY

Intersection	Movement	Weekday A.M. Peak Hour			Weekday P.M. School Peak Hour		
		Existing Conditions	2024 Future Conditions		Existing Conditions	2024 Future Conditions	
			Base	Projected		Base	Projected
Huckleberry Road & Whitehall Avenue	EB LTR	A	A	A	B	B	B
	WB LTR	A	A	A	B	B	B
	NB LTR	B	B	B	C	C	C
	SB LTR	B	B	B	B	B	B
	ILOS	B (10.4)	B (10.8)	B (11.1)	B (13.6)	B (14.6)	B (14.9)
Huckleberry Road & Eastern bus loop driveway	EB LT	A	A	A	A	A	A
	WB TR	A	A	A	A	A	A
	ILOS	A (0.4)	A (0.4)	A (0.4)	A (0.1)	A (0.0)	A (0.1)
Huckleberry Road & Western bus loop driveway	EB T	A	A	A	A	A	A
	WB T	A	A	A	A	A	A
	SB LR	B	B	B	B	B	B
	ILOS	A (0.7)	A (0.6)	A (0.6)	A (0.8)	A (0.7)	A (0.7)
Huckleberry Road & Western parking lot access	EB LT	A	A	A	A	A	A
	WB TR	A	A	A	A	A	A
	SB LR	B	B	B	A	B	B
	ILOS	A (4.3)	A (4.0)	A (4.5)	A (2.3)	A (2.0)	A (2.3)

Base = No-Build scenario / Projected = Build scenario



MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Gregg R. Adams, Planner
DATE:	January 14, 2022
SUBJECT:	A Resolution Granting Preliminary/Final Approval To A Major Plan Entitled “Long’s Water Technology”
COPY TO:	R. Cope, D. Manhardt, L. Harrier, H. Bender, M. Elias, J. Zator, Esq., J. Alderfer, Esq., A. Tallarida, S. Pidcock

- **Background Information:**

An application to further develop the property located at 1567 Hausman Road. The plan proposes the razing of all existing structures on the lot and the construction of a 5,600 square foot commercial building, a 14-space parking lot, and associated stormwater management facilities on the 1.2833-acre lot. The subject property is served by public water and sewer and is zoned Highway Commercial. Carroll & Warrick, Inc. is the owner and Long’s Water Technology is the applicant.

PREVIOUS TOWNSHIP CONSIDERATION:

At their December 16, 2021 meeting, the Planning Commission reviewed and recommended approval of Major Plan 2021-106 Long’s Water Technology to the Board of Commissioners with 22 conditions and 9 favorably-recommended waiver/deferral requests. In the interim, the applicant has addressed one condition of approval. Three conditions typical to approving Resolutions have been added.

At their November 18 and September 16, 2021 meetings, the Planning Commission reviewed and took under advisement Major Plan 2021-106 Long’s Water Technology.

At their December 3, 2008 meeting, the Board of Commissioners, through Resolution 2008-63, approved a preliminary/final plan for Major Subdivision #2007-108 Long’s Water Technology. The project subsequently went dormant and has not been recorded. The approval for the plan expired on June 6, 2021.

At their August 22, 2007 meeting, the Zoning Hearing Board granted the following for zoning appeal ZHB-2007-50 Long’s Water Technology Inc.:

1. A favorable interpretation that their use is a household appliance sales, repair, and service shop as permitted by right by Section 12.28(c)(9).
2. A variance of twenty-six (26) feet to the minimum lot frontage requirements from Section 12.28(c)(9).

3. A variance waiving the requirements of Sections 12.33(d), 12.36(a)(1) & (5) pertaining to buffer strips and screening for the RT 309 exposure.
4. A variance for Section 12.39(g)(5)(B) to place an illuminated sign on the wall exposing to RT 309, approval conditioned that the illumination be turned off by 10:00 PM each day.

The variances were not acted upon and have subsequently expired.

OUTSTANDING REVIEWING AGENCIES COMMENTS:

- A. Township Engineer – The comments of the Township Engineer are contained in Mr. Anthony Tallarida’s review dated January 13, 2022. Mr. Tallarida is recommending engineering approval at this time. His comments pertain to waivers and deferrals, plan detail, roadway restoration, and outside agency approvals.
- B. Township Water & Sewer Engineer – The comments of the Township Water & Sewer Engineer are contained in Mr. Jason Newhard’s review dated November 5, 2021. His comments pertain to plan detail and sewer module requirements.
- C. Township Geotechnical Consultant – The comments of the Geotechnical Consultant are contained in Mr. Chris Taylor’s review dated December 3, 2021. His comments pertain to the provision of an underdrain for the proposed stormwater basin.
- D. Public Works Department – The comments from the Public Works Department are contained in Manager Herb Bender’s review dated December 8, 2021. His comment pertains to water meter requirements.
- E. Lehigh Valley Planning Commission – The comments of the Lehigh Valley Planning Commission are contained in Ms. Jillian Seitz’ review dated September 28, 2021 and Mr. Goeffrey Reese’s review dated November 23, 2021. Ms. Seitz notes that the plan is consistent with the Lehigh Valley Regional Plan. Mr. Reece notes that the Drainage Plan has been found to be consistent with the Act 167 requirements.
- F. Lehigh County Conservation District – The comments of the Lehigh County Conservation District are contained in Ms. Holly Kaplan’s review dated October 13, 2021. She notes that the E&SC Plan has been found to be inadequate for erosion and sedimentation control.
- G. Pennsylvania Department of Environmental Protection - The applicant is to obtain approvals from the PA Department of Environmental Protection for Sewage Facilities Planning.
- H. Public Safety Committee – The Public Safety Commission reviewed the plan at its November 1, 2021 meeting and reported no comments.
- I. Landscape and Shade Tree Commission –The Landscape and Shade Tree Commission reviewed the plan at their December 20, 2021 meeting and determined the plan to be acceptable.
- J. Parks and Recreation Board – The Park and Recreation Board reviewed the plan at its September 13, 2021 meeting and recommended that the developer pays fees in lieu of common open space land dedication to meet the open space requirements of Section 312-36(d)(4) of SALDO.
- K. Community Development Department – The Department’s technical review is dated December 10, 2021 and provides comment pertaining to open space requirements, water and sewer requirements, erosion and sedimentation control, curbing and sidewalk, MS4, plan detail, waiver and deferral commentary, and Official Map and Comprehensive Plan consistency.

- **Action Requested:**

The applicant requests preliminary/final approval of the plan.

- **Budget Line Item (if applicable):**

Not applicable.

- **Attachments:**

1. Resolution (page 4)
2. Aerial Image, Site Plan and RP-1 Plan (page 13)
3. Township Engineer Review dated January 13, 2022 (page 16)
4. Township Water and Sewer Engineer Review dated November 5, 2021 (page 22)
5. Township Geotechnical Consultant Review dated December 3, 2021 (page 23)
6. Public Works Department Review dated December 8, 2021 (page 26)
7. Community Development Department Review dated December 10, 2021 (page 27)
8. Zoning Officer Review dated December 10, 2021 (page 31)
9. Public Safety Commission Review dated November 2, 2021 (page 32)
10. Parks and Recreation Board Review dated September 14, 2021 (page 33)
11. Lehigh Valley Planning Commission Review dated November 23, 2021 (page 34)
12. Lehigh County Conservation District Review dated October 13, 2021 (page 38)
13. LANTA Review dated November 1, 2021 (page 41)
14. Applicant's Correspondence:
 - A. Waiver Request Letter dated November 24, 2021 (page 42)

**TOWNSHIP OF SOUTH WHITEHALL
LEHIGH COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2022-____
(Duly Adopted January 19, 2022)**

**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL
TO A MAJOR PLAN ENTITLED “LONG’S WATER TECHNOLOGY”**

WHEREAS, Carroll & Warrick, Incorporated, pursuant to Article 3 of the South Whitehall Township Subdivision and Land Development Ordinance, submitted an application for preliminary/final approval for a land development on a 1.2833-acre property located at 1567 Hausman Road, in South Whitehall Township, Lehigh County, Pennsylvania; and,

WHEREAS, this proposal is reflected on plans prepared by Barry Isett and Associates, entitled “**LONG’S WATER TECHNOLOGY**”, dated August 19, 2021 and last revised December 27, 2021; and,

WHEREAS, all sections of the Subdivision and Land Development Regulations cited herein refer to sections of the Subdivision and Land Development Regulations that were adopted April 19, 2017, and last revised April 1, 2019, and are applicable to this plan based on the submission of the initial application in August 17, 2021; and

WHEREAS, the South Whitehall Township Planning Commission has reviewed the aforesaid plan on December 16, 2021, and having found it to be in substantial compliance with the Subdivision and Land Development Regulations, has recommended that preliminary/final approval be granted,

WHEREAS, the applicant has requested that the requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

WHEREAS, the applicant has requested that the requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver is appropriate, as the level of information shown on the plan is acceptable; and,

WHEREAS, the applicant has requested that the requirement of Section 312-35(b)(3)(A)(i)(1) of the Subdivision and Land Development Ordinance pertaining to the requirement for the installation of curbing on all public and private streets and for the ingress and egress of all parking lot access drives and non-residential driveways, specifically for the frontage of Hausman Road, be deferred, and the Planning

Commission is persuaded that the deferral would be appropriate until such time as required by Condition 19; and,

WHEREAS, the applicant has requested that the requirement of Section 312-35(b)(3)(A)(ii)(1)(A) of the Subdivision and Land Development Ordinance pertaining to the requirement for sidewalks within all subdivisions, specifically for the frontage of Hausman Road, be deferred, and the Planning Commission is persuaded that the deferral would be appropriate until such time as required by Condition 19; and,

WHEREAS, the applicant has requested that the requirement of Section 312-35(b)(3)(C)(i) of the Subdivision and Land Development Ordinance requiring that Collector Streets be constructed in accordance with Township Standard Construction Documents (latest revision) for Collector Streets, specifically for the frontage of Hausman Road, be deferred, and the Planning Commission is persuaded that a deferral would be appropriate until such time as required by Condition 19; and,

WHEREAS, the applicant has requested that the requirement of Section 312-41(a)(1)(A) of the Subdivision and Land Development Ordinance that the developer shall be responsible for making necessary arrangements with the municipality and the public service company involved for street lights as approved by the Board of Commissioners and shall further be responsible for providing utility easements for lighting standards and fixtures be deferred, and the Planning Commission is persuaded that the deferral would be appropriate until such time as it is determined that more street lighting is required; and,

WHEREAS, the Subdivision and Land Development Ordinance that concrete curb ramps shall be constructed at all crosswalk locations and between the parking area and sidewalk area of commercial, industrial, institutional and public buildings, and that such ramps shall be constructed or installed in accordance with the Township Standard Construction Documents (latest revision), the designs and specifications currently utilized by the Pennsylvania Department of Transportation, the Americans with Disabilities Act, and the International Building Code (as applicable) be deferred, and the Planning Commission is persuaded that a deferral would be appropriate until such time as required by Condition 19; and,

WHEREAS, the applicant has requested that the requirement of Section 312-35(b)(3)(A)(iv) of the Subdivision and Land Development Ordinance pertaining to the requirement for concrete aprons be waived, and the Planning Commission is persuaded that the waiver would be appropriate given the design of the driveway; and,

WHEREAS, the applicant has requested that the requirement of Section 312-40 of the Subdivision and Land Development Ordinance to plant street trees within the right-of-way of streets along the perimeter of the property be deferred, and the Planning Commission is persuaded that a deferral would be appropriate until such time as required by Condition 19.

NOW, THEREFORE, BE IT ADOPTED AND RESOLVED that the Board of Commissioners of the Township of South Whitehall hereby grants preliminary/final approval to the major subdivision plan entitled ***“LONG’s WATER TECHNOLOGY”***, subject to the applicant’s compliance with the following conditions:

1. That the applicant shall execute subdivision improvement, security, maintenance and indemnification agreements acceptable to the Township and its Solicitor, that sufficient security in a form acceptable to the Township be posted, such security shall be available for draws/presentation no further than 60 miles from the Township’s office, and evidence of necessary insurance coverage shall be provided prior to the plan being recorded.
2. That the applicant address to the satisfaction of the Township Engineer, the comments of Mr. Anthony Tallarida, as contained in his review dated January 13, 2022.
3. That the applicant address to the satisfaction of the Township Water & Sewer Engineer, the comments of Mr. Jason Newhard, as contained in his review dated November 5, 2021.
4. That the applicant address to the satisfaction of the Township Geotechnical Consultant, the comments of Mr. Chris Taylor, as contained in his review dated December 3, 2021.
5. That the applicant address to the satisfaction of the Community Development Department, the comments of Mr. Gregg Adams, as contained in his review dated December 10, 2021.
6. That the applicant address to the satisfaction of the Public Works Department, the comments of Mr. Herb Bender, as contained in his review dated December 8, 2021.
7. That the applicant obtains a letter from the Lehigh County Conservation District approving the Soil Erosion and Sedimentation Control Plan pursuant to Section 312-39(e) of the Subdivision and Land Development Ordinance.
8. If deemed to be necessary, the applicant shall obtain a letter from the Pennsylvania Department of Environmental Protection and/or the Lehigh County Conservation District approving the NPDES Permit application pursuant to Section 312-39(e) of the Subdivision and Land Development Ordinance.
9. That the applicant obtains a letter from the Pennsylvania Department of Environmental Protection approving a sewage facilities planning module.
10. That the applicant contributes fees in lieu of parkland dedication, in the amount of \$3,113.50 in order to meet the parkland and open space requirements of the Subdivision and Land Development Ordinance.
11. That the applicant complies with the forthcoming recommendation of the Landscape and Shade Tree Commission.

12. That the applicant addresses all issues and obtains all approvals deemed necessary by the South Whitehall Township Board of Commissioners in so far as matters pertaining to the Township's water and sewer service are concerned.
13. That the applicant shall dedicate to the Township additional right-of-way along the frontage of Hausman Road at a width acceptable to the Township. The dedication shall occur prior to the plan being recorded. The dedication shall be by Deed of Dedication in a form acceptable to the Township Solicitor, and an Opinion of Record Title prepared by applicant's counsel indicating that the dedication is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the dedication that has been approved by the Township Engineer, a copy of the current deed for the property showing current ownership and recites the deed book volume and page reference.
14. That the applicant shall dedicate to the Township a utility easement of sufficient size in an area acceptable to the Township for accessing the water meter pit. The dedication shall occur prior to the plan being recorded. The dedication shall be by Deed of Easement in a form acceptable to the Township Solicitor, and an Opinion of Record Title prepared by applicant's counsel indicating that the easement is free and clear of liens and encumbrances that would affect the Township's use of said property. The applicant shall furnish to the Township Solicitor a description for the easement that has been approved by the Township Engineer, a copy of the current deed for the property showing current ownership and recites the deed book volume and page reference.
15. That a Declaration of Covenants and Easement for Maintenance of Stormwater Management Facilities prepared by the Township Solicitor be executed for the maintenance of the on-site stormwater management facilities.
16. That a complete design plan for the improvements portrayed on Plan Sheet RP-1 Future Right-Of-Way Improvements shall be reviewed and approved by the Township prior to the commencement of the construction of the improvements proposed.
17. That a complete design plan for the improvements portrayed on Plan Sheet RP-1 Future Right-Of-Way Improvements shall be reviewed and approved by the Lehigh County Conservation District prior to the commencement of the construction of the improvements proposed.
18. That the improvements proposed on Plan Sheet RP-1 Future Right-Of-Way Improvements shall be secured as part of the project, in a manner acceptable to the Township.
19. That the improvements proposed on Plan Sheet RP-1 Future Right-Of-Way Improvements shall be deferred until the completion of the proposed building and the stabilization of the site, as determined by the Lehigh County

Conservation District (LCCD). Work on said improvements shall commence not more than 12 months after such determination by the LCCD or the issuance of the Certificate of Occupancy for the building, whichever is first.

20. If deemed to be necessary, that the Applicant shall be required to provide the Township with an engineered record plan of Plan Sheet RP-1 Future Right-Of-Way Improvements, signed by the Applicant and sealed by a registered professional engineer and/or professional land surveyor, as applicable, to be recorded with the Lehigh County Recorder of Deeds Office prior to the release of performance guarantees.
21. That the applicant reconciles all open invoices for Township engineering and legal services prior to the plan being recorded.
22. The applicant shall meet all conditions of the Preliminary/Final Plan approval, and the Record Plan will be recorded within twelve (12) months of Conditional Preliminary/Final Plan approval, and the applicant agrees that if such conditions are not met, the conditional Preliminary/Final Plan approval will be considered void, and the application for Preliminary/Final Plan approval will be considered void and withdrawn unless otherwise approved by the South Whitehall Township Board of Commissioners.
23. If for any reason any condition or conditions of this Resolution (or any portion(s) thereof) shall be held by a forum of competent jurisdiction to be invalid, illegal, void, or unenforceable in any respect or to any extent: (i) this Resolution shall automatically be deemed to be null and void in its entirety and shall be deemed to have been immediately and automatically repealed as if it had never been passed; (ii) this Resolution shall automatically be deemed to be a resolution denying the application due to the fact that the application does not comply with those sections of the SALDO (or other applicable ordinance(s)) listed herein or in any review letters referred to herein, including any section relating to waivers or deferrals; and (iii), the Applicant is waiving any right to proceed with an action seeking a deemed approval of the plan based upon the automatic repeal of this Resolution identified in this condition. The Applicant acknowledges that each and every term and provision hereof is an essential, material component to the Township's approval of the Applicant's plan.
24. In the event that the Township becomes involved in litigation of any kind relating to the major subdivision other than a direct appeal by the Applicant of the Township's approval of this Resolution, such as an appeal of this Resolution by an adjoining property owner or a third party, or an attempt to collaterally challenge any conditions of this approval by means other than a timely appeal of this Resolution, the Applicant, on behalf of itself and its agents, representatives, successors and assigns, hereby agrees to exonerate, indemnify, protect, defend (through legal counsel of Township's choice) and save harmless the Township and its boards, committees and commissions (including the individual members thereof), their elected and appointed

officers and officials and their employees, contractors, other professional consultants, engineers, solicitors, managers, representatives, advisors, predecessors, successors, agents, independent contractors, insurers and assigns (collectively, the "Township Representatives"), from any and all claims, lawsuits, proceedings, actions, disputes, causes and rights of action, expenses, losses, allegations, demands, charges, injuries, costs (including, without limitation, attorneys' fees, engineers' fees and other costs and expenses incurred, including expert witness fees), damages (including, without limitation, compensatory, consequential or punitive damages), sanctions, and liabilities of every kind, character and manner whatsoever, in law or in equity, civil or criminal, administrative or judicial, contract, tort (including, without limitation, negligence of any kind) or otherwise ("Claims"), pertaining to, relating to, resulting from, caused by or arising out of the Township's approval of the application as evidenced by this Resolution and/or the Township taking any action contemplated by the conditions hereof.

The requirement of Section 312-12(b)(15) of the Subdivision and Land Development Ordinance pertaining to the showing of existing and proposed contours on the entire tract and adjacent land within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver would be appropriate, as the level of information shown on the plan is acceptable; and,

The requirement of Section 312-12(b)(21) of the Subdivision and Land Development Ordinance pertaining to the showing of the locations and widths of all sidewalks, trails, driveways, streets, easements, and rights-of-way within 400 feet of the tract be waived, and the Planning Commission is persuaded that the waiver is appropriate, as the level of information shown on the plan is acceptable; and,

The requirement of Section 312-35(b)(3)(A)(i)(1) of the Subdivision and Land Development Ordinance pertaining to the requirement for the installation of curbing on all public and private streets and for the ingress and egress of all parking lot access drives and non-residential driveways, specifically for the frontage of Hausman Road, be deferred, and the Planning Commission is persuaded that the deferral would be appropriate until such time as required by Condition 21; and,

The requirement of Section 312-35(b)(3)(A)(ii)(1)(A) of the Subdivision and Land Development Ordinance pertaining to the requirement for sidewalks within all subdivisions, specifically for the frontage of Hausman Road, be deferred, and the Planning Commission is persuaded that the deferral would be appropriate until such time as required by Condition 19; and,

The requirement of Section 312-35(b)(3)(C)(i) of the Subdivision and Land Development Ordinance requiring that Collector Streets be constructed in

accordance with Township Standard Construction Documents (latest revision) for Collector Streets, specifically for the frontage of Hausman Road, be deferred, and the Planning Commission is persuaded that a deferral would be appropriate until such time as required by Condition 19; and,

The requirement of Section 312-41(a)(1)(A) of the Subdivision and Land Development Ordinance that the developer shall be responsible for making necessary arrangements with the municipality and the public service company involved for street lights as approved by the Board of Commissioners and shall further be responsible for providing utility easements for lighting standards and fixtures be deferred, and the Planning Commission is persuaded that the deferral would be appropriate until such time as it is determined that more street lighting is required; and,

The requirement of Section 312-35(b)(3)(A)(iii) of the Subdivision and Land Development Ordinance that concrete curb ramps shall be constructed at all crosswalk locations and between the parking area and sidewalk area of commercial, industrial, institutional and public buildings, and that such ramps shall be constructed or installed in accordance with the Township Standard Construction Documents (latest revision), the designs and specifications currently utilized by the Pennsylvania Department of Transportation, the Americans with Disabilities Act, and the International Building Code (as applicable) be deferred, and the Planning Commission is persuaded that a deferral would be appropriate until such time as required by Condition 19; and,

The requirement of Section 312-35(b)(3)(A)(iv) of the Subdivision and Land Development Ordinance pertaining to the requirement for concrete aprons be waived, and the Planning Commission is persuaded that the waiver would be appropriate given the design of the driveway; and,

The requirement of Section 312-40 of the Subdivision and Land Development Ordinance to plant street trees within the right-of-way of streets along the perimeter of the property be deferred, and the Planning Commission is persuaded that a deferral would be appropriate until such time as required by Condition 19; and,

The conditions of approval have been made known to the applicant, and final approval is to be deemed expressly contingent upon the applicant's affirmative written acceptance of the conditions on a form prescribed by South Whitehall Township which shall be received at or before the meeting at which the Resolution containing such conditions of approval is considered by the Board of Commissioners for adoption.

DULY ADOPTED this 19th day of January, 2022, by a majority of the Board of Commissioners of the Township of South Whitehall, Lehigh County, Pennsylvania, at a duly advertised meeting of the Board of Commissioners. As part of this Resolution, the

Board of Commissioners has directed that the President, or Vice President in the absence of the President, execute this Resolution on behalf of the Board.

**TOWNSHIP OF SOUTH WHITEHALL
BOARD OF COMMISSIONERS**

Diane Kelly, President

ATTEST:

Scott Boehret, Secretary

APPLICANT ACCEPTANCE OF CONDITIONS

**RESOLUTION NO. 2022-____
(Duly Adopted January 19, 2022)**

**A RESOLUTION GRANTING PRELIMINARY/FINAL APPROVAL
TO A MAJOR PLAN ENTITLED *"LONG'S WATER TECHNOLOGY"***

The undersigned, being the applicant of the preliminary/final plan prepared by Barry Isett and Associates, entitled ***"LONG'S WATER TECHNOLOGY"***, dated August 19, 2021 and last revised December 27, 2021, for a land development on a 1.2833-acre property located at 1567 Hausman Road, intending to be legally bound hereby, does affirmatively accept all of the conditions set forth in the Resolution granting conditional preliminary/final approval to the major plan entitled ***"LONG'S WATER TECHNOLOGY"*** and does waive any and all rights which the applicant would otherwise possess to contest the imposition of said conditions, both at law or in equity. Further, the applicant hereby certifies that as of the date of the Resolution, the applicant does not dispute (as outlined by the Pennsylvania Municipalities Planning Code, including but not limited to §§ 10503(1) and 10510(g)) any professional consultant fee for which it has received an invoice from the Township through the date hereof.

WITNESS/ATTEST:

APPLICANT: Carroll & Warrick, Incorporated

Witness

Applicant

Printed Name

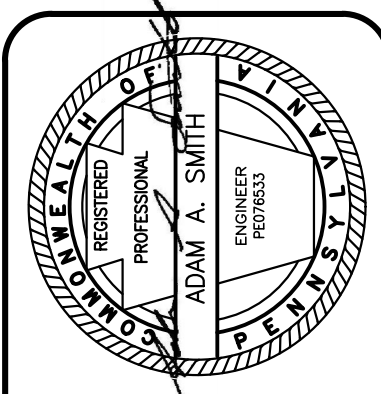
Printed Name

Date: _____



Long's Water Technology Major Plan 2021-106

REVISIONS	DATE	BY
1. TOWNSHIP COMMENTS	10/21/21	DFG/JAZ
2. TOWNSHIP COMMENTS	11/24/21	JJH



 610.398.0904
 barryisett.com
 85 South Route 100
 Allentown, PA 18106



PRELIMINARY/FINAL

FUTURE RIGHT-OF-WAY IMPROVEMENTS PLAN

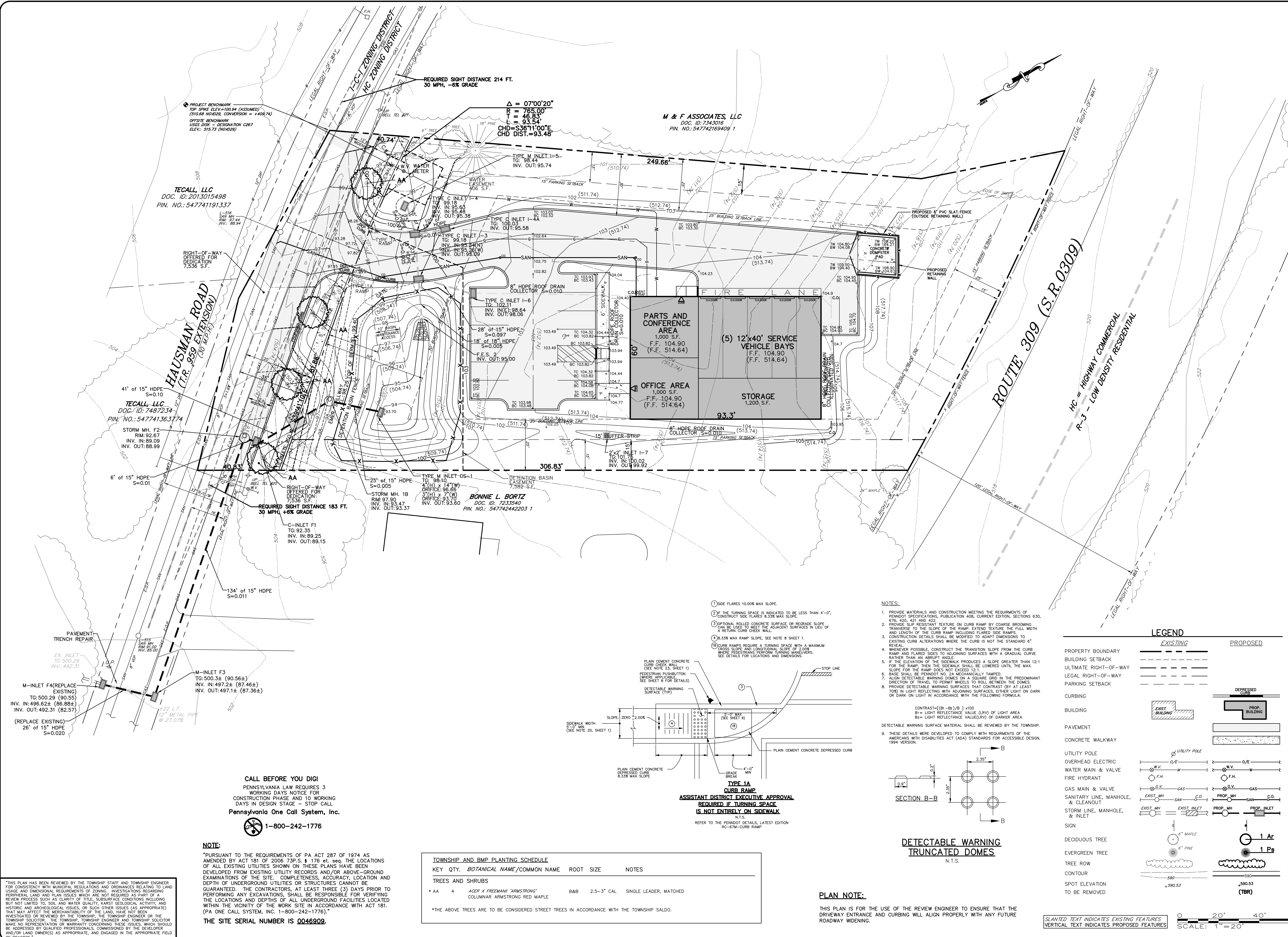
ING'S WATER TECHNOLOGY, INC.
1567 HAUSMAN ROAD
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY PA

DATE: 8/19/2021	DSGN: DWR
SCALE: 1"=20'	CHK: AAS
DRAWN: DFG	APPRD: AAS
JOB: 137407.001	P MGR: AAS

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SHEET: 1 of 2

RP-1

F.B. 269, PG. 6



SOUTH WHITEHALL TOWNSHIP

16

4444 Walbert Avenue, Allentown, PA 18104-1699
www.southwhitehall.com • (610) 398-0401

MEMORANDUM

TO: Mr. Gregg R. Adams via e-mail
Planner, Community Development Department
South Whitehall Township

FROM: Mr. Anthony F. Tallarida, P.E. *AFT*
Manager, Municipal Engineering Services

SUBJECT: South Whitehall Township
Long's Water Technology, Inc.
1567 Hausman Road
Major Plan #2021-106
Preliminary/Final Land Development Plan Review

DATE: January 13, 2022

COPIES: Mr. Randy Cope
Interim Township Manager
South Whitehall Township

Mr. David Manhardt, AICP
Director of Community Development
South Whitehall Township

Mr. Herb Bender
Public Works Manager
South Whitehall Township

Mr. Mike Elias
Public Works Utility and MS4 Program Coordinator
South Whitehall Township

Ms. Tracy J.B. Fehnel
Insurance Administrator & Executive Assistant
South Whitehall Township

TOWNSHIP ENGINEER

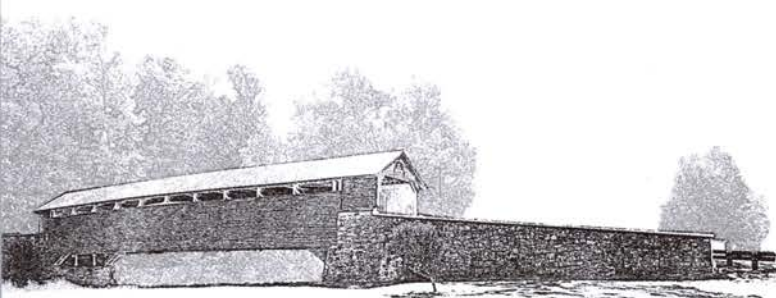
J. Scott Pidcock, P.E., R.A.

The Pidcock Company

2451 Parkwood Drive, Allentown, PA 18103-9608

Phone: (610) 791-2252 • Fax: (610) 791-1256

E-mail: info@pidcockcompany.com



Ms. Laura M. Harrier
Building Code Official/Zoning Officer
South Whitehall Township

Joseph A. Zator, II, Esq.
South Whitehall Township Solicitor
Zator Law

Jennifer R. Alderfer, Esq.
Assistant South Whitehall Township Solicitor
Zator Law

Mr. Christopher A. Taylor, PG
Senior Geologist
Hanover Engineering Associates, Inc.

Mr. Adam A. Smith, P.E.
Senior Project Manager
Barry Isett & Associates, Inc.

Mr. Jim Carroll
Long's Water Technology, Inc.

(all via e-mail)

REPORT:

South Whitehall Township Ordinances:

Zoning Ordinance (ZO)

Subdivision and Land Development Ordinance (SALDO)

Street Excavation Ordinance (SEO)

Stormwater Management Plan (SMP)

Standard Construction Documents (SCD)

See attached list for documents reviewed.

Proposal:

Raze existing house, garage, shed, and supporting improvements;

A 5,600± square foot (s.f.) building with 12,600± s.f. of parking lot, driveway, and sidewalk on a 1.1± acre parcel;

HC Zoning District;

Public Water;

Public Sewer.

Waivers/Deferrals Granted:

None to date – see waiver/deferral comments below.

Recommendation:

Engineering approval is recommended subject to the following comments being addressed.

jfw/acc

Enclosures

South Whitehall Township
 Long's Water Technology, Inc.
 1567 Hausman Road
 Major Plan #2021-106
 Preliminary/Final Land Development Plan Review

January 13, 2022

REVIEW COMMENTS

A. Planning

1. A similar plan for this site received conditional approval with Resolution 2008-63 on December 3, 2008. The Township determined the prior plan be formally withdrawn; and
2. At its meeting on December 16, 2021, the Planning Commission recommended the listed relief from the requirements of the following sections of the SALDO:
 - a. §312-12(b)(15) – Waiver from providing existing contours for 400 feet surrounding the site;
 - b. §312-12(b)(21) – Waiver from showing all streets, easements, and rights-of-way within 400 feet of the site;
 - c. §312-35(b)(3)(A)(i)(1) – Deferral from constructing curb along Hausman Road;
 - d. §312-35(b)(3)(A)(ii)(1)(A) – Deferral from constructing sidewalk along Hausman Road;
 - e. §312-35(b)(3)(C)(i) – Deferral from widening Hausman Road to the standards for a collector street;
 - f. §312-41(a)(1)(A) – Deferral from providing streetlights along Hausman Road;
 - g. §312-35(b)(3)(A)(iii) – Deferral from constructing sidewalk ramps;
 - h. §312-35(b)(3)(A)(iv) – Waiver from constructing a concrete driveway apron; and
 - i. §312-40(c) – Deferral from installing street trees.

These relief requests are included in a Waiver/Deferral Note on Plan Sheet 1. In the event waivers/deferrals are granted, revise the Waiver/Deferral Note to include the dates of approval.

B. General

1. Revise Note 18 to reference no obstructions between 2 feet and 10 feet;
2. Provide a legal description and exhibit for the 23 s.f. proposed sight triangle easement; and
3. Accessibility is subject to further review and comment by the Township's Accessibility Code Official during building permitting.

C. Policy and Information

1. Proposed roadway restoration should meet the requirements of SEO §304-26.J. We recommend that the Township reserve the right to require additional pavement repairs – including full-depth pavement reconstruction to current standards – if it determines the proposed construction has caused deterioration warranting such additional work as determined by the Township Department of Public Works (DPW). Address any comment regarding the proposed removal of the water and sanitary sewerage laterals to the satisfaction of the DPW;
2. The Design Engineer has indicated that a fee in lieu of open space will be provided;
3. Address any concerns of the Township Public Safety Commission;
4. Address any concerns of the Landscape and Shade Tree Commission, SALDO §312-12(b)(28);
5. Continue to provide copies of all correspondence, including all data submitted to outside agencies (LVPC, LCCD, LANTA) regarding required permits and approvals, to the Township and our office;
6. We defer to the Township Geotechnical Consultant to review all geotechnical aspects of the design;
7. Execute a Declaration of Covenants and Easements for Maintenance of Stormwater Management Facilities. Address any comments from the Township Solicitor's office to their satisfaction; and
8. Upon submission of plans for recording, all Statements and Certifications shall be signed and sealed/notarized as applicable.

The comments noted above are the result of our engineering review. We have not reviewed items associated with legal, geotechnical, lighting, water/sanitary sewerage systems, environmental, building code, public safety, and other non-engineering issues, which should be reviewed by the appropriate Township Staff and Consultants.

South Whitehall Township
Long's Water Technology, Inc.
1567 Hausman Road
Major Plan #2021-106
Preliminary/Final Land Development Plan Review

List of Plans and Supplemental Information
Prepared by Barry Isett and Associates, Inc.
dated or last revised December 27, 2021, except as noted

1. Site Plan, SP-1, Sheet 1 of 14;
2. Existing Features/Demolition Plan, EF-1, Sheet 2 of 14 (cursory review only);
3. Grading Plan, GP-1, Sheet 3 of 14;
4. Utility Plan, UP-1, Sheet 4 of 14;
5. Plan and Profiles, PP-1, Sheet 5 of 14;
6. Landscaping Plan, LP-1, Sheet 6 of 14 (cursory review only);
7. Lighting Plan, Sheet 7 of 14, LI-1 (cursory review only);
8. Erosion and Sediment Control Plan, ES-1, Sheet 8 of 14, last revised November 24, 2021 (cursory review only);
9. Erosion and Sediment Control Plan, ES-2, Sheet 9 of 14, last revised November 24, 2021 (cursory review only);
10. Erosion and Sediment Control Notes, ESD-1, Sheet 10 of 14, last revised November 24, 2021 (cursory review only);
11. Soil Erosion and Sediment Control Details, ESD-2, Sheet 11 of 14, last revised November 24, 2021 (cursory review only);
12. Construction Details, DE-1, Sheet 12 of 14;
13. Construction Details, DE-2, Sheet 13 of 14;
14. Construction Details, DE-3, Sheet 14 of 14 (cursory review only);
15. Future Right-of-Way Improvements Plan, RP-1, Sheet 1 of 2;
16. Future Storm Sewer Profile, RP-2, Sheet 2 of 2;
17. Letter of Transmittal to South Whitehall Township;
18. Subdivision & Land Development Review Application, dated December 12, 2021;
19. Long's Water Technology, Inc. Site Boundary (Exhibiting 1.1± acres); and
20. Comment Response Letter.



November 5, 2021

Mr. Gregg Adams, Planner
South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104

Re: Long's Water Technology Inc.
Land Development #2021-106
Review of Preliminary Plan
SSM File: 103400.0068

Dear Mr. Adams:

This correspondence is provided as a review of the Preliminary Land Development Plan submitted for the above referenced project on 10/21/2021. We have the following comments regarding the water and sanitary sewer utilities:

Water Comments:

1. Sheet 2 of 14 EF-1 Existing water lateral corporation must be capped at SWT water main. [Must us Stainless Steel Abandoned Corporation Cap] Also note the removal of the water lateral from the main to the curb stop. Curb stop should also be removed.
2. Sheet 4 of 14 UP-1 note 9 should read Existing water lateral corporation must be capped at SWT water main. [Must us Stainless Steel Abandoned Corporation Cap]
3. DE-3 Sheet 14 of 14 Add the Stainless Steel Abandoned Corporation Cap detail.

Sanitary Sewer Comments:

1. Sheet 2 of 14 EF-1 Add note: Old sanitary sewer lateral to be removed and capped at SWT Sanitary Sewer main.
2. A sewer planning module will be required. The applicant shall submit proposed flow estimates for review.

Please contact us should you have any questions, or require any additional information regarding our comments.

Sincerely,
Spotts, Stevens and McCoy

A handwritten signature in blue ink that reads "Jason M. Newhard".

Jason M. Newhard, CMIT, LO
Manager, Operations
Water and Wastewater Engineering
jason.newhard@ssmgroup.com

cc: Herb Bender, SWT
Mike Elias, SWT

Hanover Engineering

5920 Hamilton Boulevard • Suite 108 • Allentown, PA 18106-8942
 Phone: 610.395.9222 • Fax: 610.395.9262 • HanoverEng.com

December 3, 2021

Mr. Gregg Adams, Planner
 South Whitehall Township
 4444 Walbert Avenue
 Allentown, PA 18104-1699

RE: Geotechnical Engineering Review of
 Provided Documents
 Long's Water Technology
 Major Plan 2021-106
 South Whitehall Township, Lehigh County,
 Pennsylvania
 Hanover Project SWT21-11(007)

Dear Mr. Adams:

Hanover Engineering (Hanover) has reviewed the information received on November 24, 2021 via electronic link. Reviewed documents pertaining to the geotechnical aspects of the proposed project at the above-referenced site consisted of the following:

1. Report entitled "Post Construction Stormwater Management Plan for Long's Water Technology," prepared by Barry Isett & Associates Inc (BIA), dated August 19, 2021 last revised November 24, 2021.
2. Engineering Plan entitled "Future Right-of-Way Improvements Plan," Sheet 1 of 1, prepared by BIA, dated August 19, 2021 revised November 24, 2021.
3. Engineering Plan set entitled "Preliminary/Final Long's Water Technology, Inc.," Sheets 1 of 14 through 14 of 14 inclusive, prepared by BIA, dated August 19, 2021 revised November 24, 2021.
4. Response letter prepared by BIA, dated November 24, 2021.

Based on our review, it is our understanding that the subject property consists of a single tax parcel 1.28 acres in size located at 1567 Hausman Road. It contains an existing dwelling, garage, and shed structures and a paved driveway. The applicant proposes to remove all existing structures and construct a 3,200 square foot office building with parts and storage areas and an attached garage structure housing five (5) vehicle bays. This is a second submission of these documents for review, except as noted. We offer the following review of comments issued in our review letters of September 3, 2021, and November 5, 2021, repeated below in italics and any new comments generated by this submission:

1. *Revise the owner information in the Owner Responsibility Note.*

This comment has been adequately addressed.

This comment was previously addressed.

2. *Clarify the intent/function of the amended soil proposed per the detail and plan view on Sheet 6. The geometry of the basin represented in the detail does not match that depicted on the plan view. The use of amended soil is not indicated on the Detention Basin Outfall detail on Sheet 13 – please clarify.*

The consultant states in his response letter that the amended soil has been removed from the plan. This comment is, therefore, no longer applicable.

This comment was previously determined to be no longer applicable.

3. *In the Construction Schedule, the installation of amended soil is not indicated. Also, revise the starting and ending dates in the schedule.*

This comment has been adequately addressed.

This comment was previously addressed.

4. *Quantify the maximum rate of discharge from the level spreader and confirm that soil reinforcing measures are not required immediately downstream to prevent erosion.*

The consultant states in his response letter that the level spreader has been removed from the plans. This comment is, therefore, no longer applicable.

This comment was previously determined to be no longer applicable.

5. *SALDO Section 312.12(b)(18): Provide and label the location of all significant features listed or provide a note stating which features do not exist on the site.*

This comment has been adequately addressed.

This comment was previously addressed.

New Comments (November 5, 2021)

6. *It is not clear that the proposed detention basin meets the requirement for a minimum longitudinal slope of two percent (2%) across the basin floor (SALDO 312-39.D.2).*

This comment has been adequately addressed.

7. *A detail has been provided for the proposed retaining wall around the dumpster pad. The consultant shall provide wall design, specifications and details, signed by a Professional Engineer, to the Township for review and approval. This is required before a building permit for the wall is issued.*

Mr. Gregg Adams
Planner

3

December 3, 2021

This comment has been acknowledged by the consultant in his response letter. He states that the design will be submitted during the building permit review process.

New Comments (December 3, 2021)

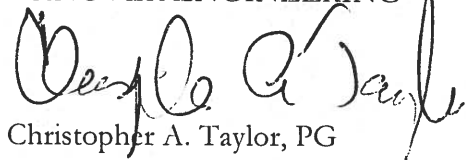
8. The Pidcock Company memorandum dated November 12, 2021, Item C.1, directed this office to review the infiltration feasibility of this site. We have, therefore, reviewed the soil testing data provided by the consultant in the report entitled "Stormwater Infiltration Evaluation for Long's Ecowater Systems," prepared by BIA, dated January 17, 2007 and included as Appendix I in the PCSM Report. The soil testing generally covers the outer periphery of the site and documents a shallow seasonal high-water table (SHWT) ranging from thirteen to thirty-six inches (13"- 36") below grade. The South Whitehall Township stormwater management regulations (Chapter 296) require the depth to SHWT below the invert of the BMP to be greater than or equal to three feet (3'). Based on this, we find that infiltration of stormwater is infeasible on this site.

The review of the soil testing data described above indicates that the seasonal high-water table is above the bottom of the proposed stormwater basin. The consultant shall provide an underdrain or other measures to ensure that the water table will not interfere with or adversely affect the basin liner system.

We trust that this is the information that you require. Should you have any questions or concerns regarding this information, please do not hesitate to contact our office.

Respectfully,

HANOVER ENGINEERING

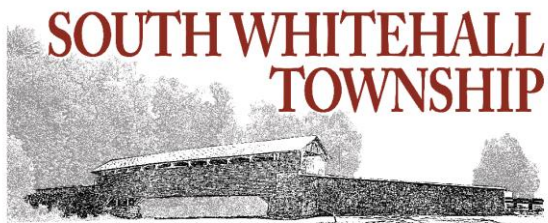


Christopher A. Taylor, PG

cat:hmc

S:\Projects\Municipal\WhitehallTownship\Sw\21-11(007)-Long's Water Technology\Inc\Major Plan 2021-106\Docs\SWT Geotech, Long's Water Technology geotech review cmt ltr 3.doc

cc: Mr. Dave Manhardt, Director of Community Development (via e-mail)
Mr. Herb Bender, Public Works Director (via e-mail)
Mr. Anthony F. Tallarida, PE, The Pidcock Company (via e-mail)
Mr. Mark Gnall, PE, The Pidcock Company (via e-mail)
Mr. Jim Carroll, Vice President, Long's Ecowater Systems
Mr. Adam A. Smith, PE, Barry Isett & Associates, Inc.



INTEROFFICE MEMORANDUM

TO: DAVE MANHARDT, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: HERB BENDER, PUBLIC WORKS MANAGER

DATE: DEC 8, 2021

SUBJECT: LONGS WATER MAJOR PLAN 2021-106

The Public Works Dept. reviewed the above project and has the following comments:

1. A Neptune Mach 10 water meter is required.

SOUTH WHITEHALL TOWNSHIP

4444 Walbert Avenue, Allentown, PA 18104-1699
www.southwhitehall.com • (610) 398-0401

27

December 10, 2021

Mr. Jim Carroll
Carroll & Warrick, Inc.
2782 Route 309
Orefield, PA 18069-9774

**Re: Long's Water Technology 1567 Hausman Road
Major Plan #2021-106
Preliminary/Final Land Development Plan Review**

Dear Mr. Carroll:

The purpose of this letter is to report zoning and non-engineering related comments that are to be addressed. My comments follow:

Zoning

1. All zoning comments have been previously addressed. There are no additional zoning comments for this plan review.

Fire Inspector

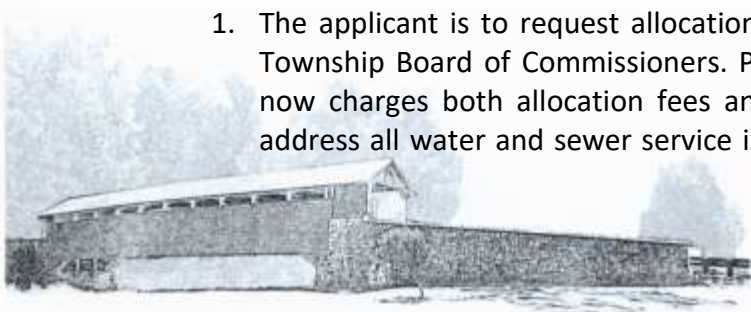
1. The Fire Inspector reported no comments. The Public Safety Commission reported no comments.

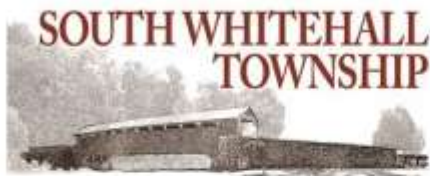
Open Space and Recreation

1. The Parks and Recreation Board reviewed the plan at their September 13, 2021 meeting and determined that the developer pay fees in lieu of common open space dedication to meet the requirements of Section 312-36(d)(4) of SALDO. For non-residential subdivisions or land developments, the fee shall be Twenty-Five Cents (\$0.25) per square foot of additional proposed impervious coverage (post-development impervious surface minus pre-development impervious surface). Per the Zoning Data Block on the Site Plan, the additional proposed impervious coverage is 12,454 square feet. The fee in lieu of Open Space dedication would be **\$3,113.50** (\$0.25 x 12,454).

Water & Sewer

1. The applicant is to request allocations for water and sewer from the South Whitehall Township Board of Commissioners. Please be aware that the Board of Commissioners now charges both allocation fees and tapping (connection) fees. The applicant must address all water and sewer service issues, and obtain all approvals deemed necessary





by the South Whitehall Township Board of Commissioners. You are advised to contact the Public Works Manager Herb Bender, as soon as practicable, to learn of, or confirm any or all of:

- a. The amount of any water and/or sewer **allocation fees**. The application is available on the Township website under Water/Sewer Forms/FAQs/Links. The fee for the allocation(s) will be due with the submission of the application;
- b. The amount of any water and/or sewer **connection fees**. The fees are due at or before the building permit is to be issued. Application is also available on the Township website under Water/Sewer Forms/FAQs/Links;
2. The applicant is to contact the PA Department of Environmental Protection to determine what Sewage Facility Planning requirements are to be met for this development.
3. An Erosion and Sediment Control Plan is required for any earth disturbance activity of more than 5,000 square feet pursuant to Section 296-11(B) of the South Whitehall Township Codified Ordinance (Stormwater Management Plan).

Legal and Other

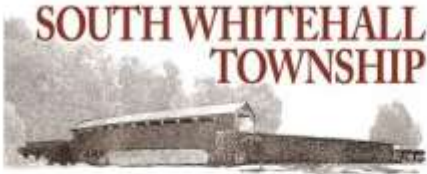
1. There is an active Land Development plan for the tract: Long's Ecowater Systems Major Plan 2007-108. The applicant shall submit a formal withdrawal of the prior project before the current plan is to be considered for approval by the Board of Commissioners.
2. The Township Solicitor and Township Engineer may want to comment upon the legal requirements of the MS4 program with regard to any private stormwater management facilities.
3. Please consider the following in placement locations for street trees:
 - a. Placement over inlets should be avoided;
 - b. Provide ample clearance from street lights and hydrants.
4. Signature Blocks and Certifications to appear on each plan sheet to be recorded.

Waiver and Deferral Request Commentary

1. SALDO Section 312-12(b)(15) – To provide contours on adjacent land within 400 feet of the site. A waiver is requested to accept the plans as presented. Additional offsite contours are provided on the D-2 drainage plan and the USGS location map. **Staff defers to the Township Engineer.**



2. SALDO Section 312-12(b)(21) – Plan should show all streets, easements, and rights-of-way within 400 feet of the site. A waiver is requested to accept the plans as presented. All relevant off-site information is shown on the plan and showing additional information within 400 feet of the site would require the plan to be shown at a smaller scale, which would reduce legibility. **Staff defers to the Township Engineer.**
3. SALDO Section 312-35(b)(3)(A)(i)(1) – A waiver/deferral is being requested for the construction of curbing along Hausman Road. It should be noted that curbing has not been installed on the properties adjacent to this site. **Curbing was required with the Self-Storage project previously proposed on the parcel. Staff recommends that the curbing be deferred until the building is constructed and the site is deemed stabilized by LCCD.**
4. SALDO Section 312-35(b)(3)(A)(ii)(1)(A) – A waiver/deferral is being requested for the construction of sidewalks along Hausman Road. Please note that sidewalk has not been installed along the frontage of the properties adjacent to this site. **Sidewalk was required with the Self-Storage project previously proposed on the parcel. Staff recommends that the sidewalk be deferred until the building is constructed and the site is deemed stabilized by LCCD.**
5. SALDO Section 312-35(b)(3)(C)(i) – A waiver/deferral is being requested from widening the existing cartway to the cartway standards for a collector street. Please note that Hausman Road has not been widened along the properties adjacent to this site. **Road widening was required with the Self-Storage project previously proposed on the parcel. Staff recommends that the r be deferred until the building is constructed and the site is deemed stabilized by LCCD.**
6. SALDO Section 312-41(a)(1)(A) – A waiver is requested from the requirement of providing street lights along Hausman Road, since there are no other streetlights in the surrounding neighborhood. **Staff notes that there are no street lights along the entire length of Upper Hausman Road and that it is typical in such situations to place street lights at intersections. Staff has no objection with this request.**
7. SALDO Section 312-35(b)(3)(A)(iii) – A waiver is requested from constructing ramps in the public sidewalk. **Sidewalk was required with the Self-Storage project previously proposed on the parcel. Staff recommends that the curbing be deferred until the building is constructed and the site is deemed stabilized by LCCD.**
8. SALDO Section 312-35(b)(3)(A)(iv) – A waiver is requested from the requirement of constructing a concrete driveway apron. **Staff defers to the Township Engineer.**



9. SALDO Section 312-40(c) – A waiver is requested from the requirement of installing street trees. **Street trees were required with the Self-Storage project previously proposed on the parcel. Staff recommends that the installation of the street trees be deferred until the building is constructed and the site is deemed stabilized by LCCD.**

Official Map & Comprehensive Plan

1. The Official Map depicts the subject parcel as fronted by a Collector Road and underlain by karst geology.
2. The Comprehensive Plan envisions a T3 Character Area, which includes low-density residential with neighborhood services, conservation design and cluster development, a mix of lot and house sizes, and predominantly single-family dwellings (both detached and semi-detached). The parcel is also within a Growth Opportunity Zone.

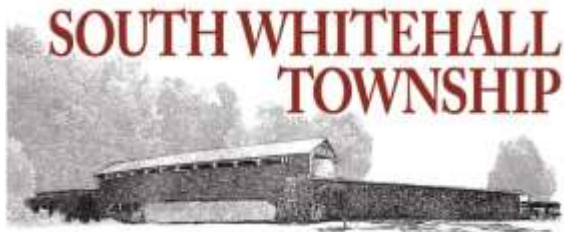
Your plan is scheduled to be reviewed by the Planning Commission on Thursday, December 16, 2021 at 7:30 p.m. in the South Whitehall Township Municipal Building located at 4444 Walbert Avenue.

If you have any questions, please call.

Sincerely,

**Gregg R. Adams, Planner
South Whitehall Township**

cc:	D. Manhardt	R. Cope	L. Harrier	H. Bender
	M. Elias	J. Frantz	J. Alderfer, Esq.	S. Pidcock
	A. Tallarida	A. Smith, Barry Isett	File #2021-106	File #2021-105



MEMORANDUM

TO: Planning Commission
FROM: Laura Harrier, Zoning Officer
DATE: December 10, 2021
SUBJECT: Subdivision Plan Review
 Long's Water Technology
 Major Plan 2021-106
 Plan Dated November 24, 2021
COPIES: D. Manhardt, G. Adams, J. Alderfer, A. Tallarida, Applicant

The Applicant proposes to construct a new building for a current business operation established as Long's Water Technology to be located at 1567 Hausman Road. The Applicant proposed to raze the existing residential structures on the property and construct a 5,598 square foot commercial building, with accessory parking lots. The parcel is located within the HC (Highway Commercial) Zoning District. A Service Business, Section 350-48(s)(7), is a permitted use by right in this district. The primary use is to provide services to customers or clients that are primarily off-site.

Appeal Docket No. ZHB-2007-50. On September 12, 2007, zoning relief was granted for a favorable interpretation for the proposed use which involved the retail sales, installation, servicing, and repair of water softeners to fall under a category of "Household Appliance Sales, Repair, and Service Shop". This relief is moot today as the Use is permitted by right under Section 350-48(s)(7) as a "Service Business".

Additional items of relief granted were from the buffer strip and screen requirements, and to maintain an illuminated wall sign along the North face of the proposed building. Zoning Hearing Board relief is good for one (1) year from date of signature. This relief has expired.

1. All zoning comments have been previously addressed. There are no additional zoning comments for this plan review.

Laura Harrier
 Zoning Officer for Community Development

Gregg R. Adams

From: John G. Frantz
Sent: Tuesday, November 2, 2021 8:26 AM
To: Gregg R. Adams
Subject: Long's Water Technology - 2021-106

Gregg,

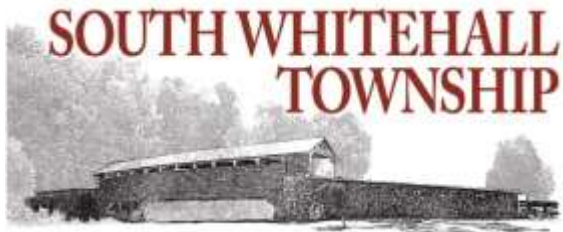
The Commission made no recommendations to the plan.

John G. Frantz, CFEI, BCO

Fire Marshal, Building Code Official
South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104-1699
610-398-0401 (office)
610-398-1068 (fax)
www.southwhitehall.com



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MEMORANDUM

TO: Planning Commission
FROM: Gregg Adams, Planner
DATE: September 14, 2021
SUBJECT: Subdivision Plan Review
 Long's Water Technology
 Major Plan 2021-105
 Plan Dated August 19, 2021
COPIES: Parks and Recreation Board, R. Cope, M. Kukitz, D. Manhardt,
 J. Alderfer, S. Pidcock, Applicant

At their September 13, 2021 meeting, the Parks and Recreation Board reviewed the plan and determined the following:

The Parks and Recreation Board recommended that the developer pay fees in lieu of common open space land dedication to meet the open space and recreation requirements of Section 312-36(d)(4) of the Subdivision and Land Development Ordinance. The amount of fees to be paid in lieu of common open space land dedication in non-residential subdivision or land development shall be Twenty-Five Cents (\$0.25) per square foot of additional proposed impervious coverage (post-development impervious surface minus pre-development impervious surface). The plan proposes 17,452 square feet of impervious surface, but does not appear to take into account existing impervious surface. The developer is requested to provide the existing impervious surface on the lot and the total additional impervious surface proposed so that a fee can be calculated.

Respectfully submitted,

Gregg Adams, Planner
 Community Development Department

September 28, 2021

Mr. David Manhardt, Director
Community Development Department
South Whitehall Township
4444 Walbert Avenue
Allentown, Pennsylvania 18104

**RE: Long's Water Technology – Land Development
South Whitehall Township
Lehigh County**

Dear Mr. Manhardt:

The subject application proposes to construct a 5,598-square-foot commercial building with an attached garage for household appliance sales, repair and service. The project is located at 1567 Hausman Road (parcel number 547742353359).

This proposal exhibits consistency with *FutureLV: The Regional Plan* because it supports the development of a vacant, underutilized property in a developing area (of Policy 1.1), and the proposed use supports 'diversification of the regional economy' (of Policy 4.2).

The LVPC commends the sidewalk proposed along the property frontage in the future right-of-way improvements plan that improves pedestrian connections to the existing LANTA bus stop approximately 765 feet to the north at Route 309 and Church Road (of Policy 2.3).

The project site is located within the Little Lehigh Creek Watershed. This watershed has a fully implemented Act 167 Stormwater Management Ordinance. Comments relative to our review of the project's stormwater management plan are included as Attachment 1.

Municipalities, when considering subdivision/land developments, should reasonably attempt to be consistent with *FutureLV: The Regional Plan*, as required by the Pennsylvania Municipalities Planning Code (MPC) [Article I§105, Article III§303, §304 & §306(a), Article VI§603(j)]. The LVPC review does not include an in-depth examination of plans relative to subdivision design standards or ordinance requirements since these items are covered in the municipal review.

If this proposal moves forward for approval, you can reach me at jseitz@lvpc.org or 610-264-4544 for information on how to obtain LVPC signatures on the final plans.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Jillian Seitz', with a stylized, cursive script.

Jillian Seitz
Senior Community Planner

cc: Randy Cope, Interim South Whitehall Township Manager; Gregg Adams, South Whitehall Township Planner; Scott Pidcock, PE, South Whitehall Township Engineer; Jim Carroll, Long's Water Technology, Applicant; Adam Smith, PE, Barry Isett & Associates, Inc.; Garrett Cook, Lehigh County Conservation District Engineer; Geoff Reese, LVPC Director of Environmental Planning

November 23, 2021

Mr. David Manhardt, Director
Community Development Department
South Whitehall Township
4444 Walbert Avenue
Allentown, Pennsylvania 18104

**Re: Long's Water Technology
Plans Revised October 21, 2021
South Whitehall Township
Lehigh County**

Dear Mr. Manhardt:

The proposed storm drainage concept presented in the plans and storm drainage calculations revised October 21, 2021 has been reviewed for consistency with the *Little Lehigh Creek Watershed Act 167 Storm Water Management Ordinance*, June 1999. A checklist of the Act 167 review items is attached for your information. As indicated on the checklist, each item of the Drainage Plan has been reviewed for consistency with the Act 167 Ordinance. A brief narrative of the review findings is as follows:

The proposed development is located within drainage district 173 of the Little Lehigh Creek Watershed as delineated in the Act 167 Plan. As such, the runoff criteria for the site are a 30% Release Rate for the 2-year storm and a 100% Release Rate for the 10-, 25- and 100-year return period storms. Based on review of the plans and calculations, the Drainage Plan has been found to be consistent with the Act 167 requirements.

Note that only those details of the Drainage Plan included on the checklist have been covered by this review. **Therefore, notable portions of the Drainage Plan not reviewed include any aspect of the post-construction storm water management plan concerning water quality, the details and design of any proposed water quality BMPs, the Erosion and Sedimentation Control Plan and the details of the runoff collection system (piping).** These items are reviewed by the municipal engineer and/or others, as applicable. Please call me with any questions regarding these comments.

Sincerely yours,



Geoffrey A. Reese, PE
Director of Environmental Planning

Attachment

cc: Randy Cope, Interim Manager, South Whitehall Township
Ron Gawlik, PE, The Pidcock Company
Anthony Tallarida, PE, The Pidcock Company
Adam Smith, PE, Barry Isett & Associates, Inc.
Lehigh County Conservation District

LVPC ACT 167 REVIEW CHECKLIST

Development Name: Long's Water Technology Watershed: Little Lehigh Creek
Municipality: South Whitehall Township Reviewer: Geoffrey A. Reese, PE
Date: November 23, 2021 Checked by: _____

Ordinance Reference	Item	Consistency w/Ordinance		Comment
		Yes	No N/A	

301.A-G. General storm water management requirements X / /
H. Consideration of volume controls X / /

302.A,B. Applicable Storm Water Management Provisions

Subarea(s)	173		
Criteria	30%/100% RR		

Criteria Key: RR = release rate; CND = conditional no detention

303.A. Design consistency with applicable provisions from 302.A. and B. X / /
B. Mapping of Storm Water Management District Boundaries..... X / /
C. Downstream capacity analysis / / X
D. Multiple discharge points within a single subarea / / X
E,F. Multiple discharge points within multiple subareas / / X
K. Documentation of "no increase in peak or volume" / / X
L. Documentation of "no harm" downstream..... / / X
M. Regional or subregional detention analysis / / X
N. Capacity improvements analysis / / X

304.A. Computation method (rational or soil-cover-complex) X / /
B. Verification of detention design by routing X / /
C. Minimum detention pond freeboard specifications X / /
E. Soil-cover-complex method design rainfall / / X
F. Rainfall intensities for rational method X / /
G. Curve Numbers for soil-cover-complex method..... / / X
H. Runoff coefficients for the rational method..... X / /
I. Volume control storage volume / / X
K. Common time of concentration..... X / /
L. Manning equation to calculate watercourse capacity / / X

403. Drainage Plan Contents..... X / /

Rational method used.



Lehigh County Conservation District

Lehigh County Agricultural Center, Suite 102
4184 Dorney Park Road, Allentown, PA 18104 - 5728
Telephone (610) 391-9583
FAX (610) 391-1131

October 13, 2021

Jim Carroll
Long's Water Technology
2782 Route 309
Orefield, PA 18069-9774

RE: Erosion and Sediment Control (E&SC) Plan Technical Review
Long's Water Technology
Plan Date: 8/31/2020
South Whitehall Township
Lehigh County, PA

Dear Mr. Carroll:

The submitted E&SC Plan have been found to be inadequate for erosion and sediment control and does not meet the minimum requirements of the Department of Environmental Protection's (DEP) rules and regulations, Chapter 102, Erosion and Sediment Control and The Clean Streams Law. The following additional information and/or corrections must be provided in order to continue processing the requested plan review. Please address each comment in writing upon resubmission.

- 1) **102.4(b)(5)(iii) "The characteristics of the earth disturbance activity, including past, and present land uses and proposed alteration to the project site."**
 - a) Provide the square footage of earth disturbance on the ES plan drawings.
 - b) Provide elevations for catch basins including pipe invert and top of grate.
 - c) Provide additional information for stormwater piping including pipe length, slope, material and diameter.
- 2) **102.4(b)(5)(v) "The location of waters of the Commonwealth which may receive runoff within or from the project site and their classification pursuant to Chapter 93 of this title."**
 - a) Clarify the stream designation of the receiving watercourse (migratory fishes) in the ES narrative.
- 3) **102.4(b)(5)(vii) "A sequence of Best Management Practices (BMPs) installation and removal in relation to the scheduling of earth disturbance activities, prior to, during and after earth disturbance activities."**

- a) The ES sequence of construction should specify that the sediment trap conversion should occur after permanent stabilization of tributary areas.
- b) The ES sequence of construction should include the installation of basin matting.

4) 102.4(b)(5)(viii) “Supporting Calculations”

- a) Clarify slope lengths used for compost filter sock sections on ES worksheet 1; slope lengths used do not appear to be consistent with plan drawings for maximum during construction.
- b) ES worksheet 19 for sediment trap; clarify spillway elevation and provide consistency with calculations and detail on plan drawings (principal spillway).

5) 102.4(b)(5)(ix) “Plan Drawings”

- a) ES plans sheet ES-2; clarify the location of the proposed rock construction entrance. Location indicated on sheet ES-1 appears to conflict with proposed compost filter socks.
- b) Sheet ESD-2, Table 4.1; indicate which type of sock material is to be used onsite.
- c) Provide silt fence/hay bale details on the ES plan drawings in accordance with the stockpile detail.
- d) Provide adequate ES BMPs; adequate ES BMPs have not been provided downslope of earth disturbances once compost filter socks #4 and #5 have been removed.
- e) Provide separate fill and topsoil stockpile locations on the ES plans.

NOTE: Please keep in mind that any subsequent submittals will incur an additional fee. The first revision fee is 10% of the original fee and second and all subsequent submittals will be 15% of the original fee (for clarification, please refer to our web site - www.lehighconservation.org <<http://www.lehighconservation.org>>) or contact our office.

Additional information and/or corrections must be provided in order to continue processing your application. Only complete E&SC Plan resubmissions that address all of the above deficiencies will be reviewed. Resubmissions must include a full set of all plans, accompanying narratives and specifications. Please resubmit the necessary information by **November 12, 2021**.

If you have any questions regarding the identified deficiencies or wish to schedule a meeting, please call (610) 391-9583 within the next 30 calendar days.

If no written response letter is received by **November 12, 2021**, the Conservation District may return your E&SC Plan and consider it withdrawn.

If there are comments or questions, you may contact this office at the above phone number.

Respectfully,

Holly Kaplan
Resource Conservationist

cc: Adam Smith, Barry Isett & Associates (e-mail)
Gregg Adams, South Whitehall Township (e-mail)
Anthony Tallarida, The Pidcock Co., South Whitehall Township Engineer (e-mail)
Geoff Reese, P.E., Lehigh Valley Planning Commission (e-mail)
Conservation District File

Gregg R. Adams

Subject: FW: Long's Water Technology

From: Molly Wood <mwood@lantabus-pa.gov>

Sent: Monday, November 01, 2021 12:46 PM

To: Adam Smith, PE <asmith@barryisett.com>

Subject: RE: Long's Water Technology

Caution: External email. If unexpected, **verify source via phone** before accessing links/attachments.

Hi Adam,

Thank you for contacting me – I appreciate you sending me the plan. We currently don't serve on Hausman north of 22, and I don't believe we plan to in the future. We're aware of the growth that is occurring in this northwest area of 309/22 in which we'll keep on a radar that perhaps we'll deviate our routes in the future, but it is difficult to predict that at this time. We always encourage sidewalks for that possibility one day, and any pedestrian connectivity along a corridor, and from the corridor to the main entrances of the destinations. This may not apply to this particular project given the shorter length of property along the corridor, but something to consider from LANTA in the way we evaluate sites.

Thanks Adam, open to further discussion if you have questions or additional input.

Molly



Molly S. Wood, AICP

Planner/Land Use Specialist

Lehigh and Northampton Transportation Authority

1060 Lehigh Street, Allentown, PA 18103

PH: 610-439-1376

mwood@lantabus-pa.gov

www.lantabus.com

Follow LANta on: [Facebook](#) | [Twitter](#) | [LinkedIn](#) | [YouTube](#)



85 South Route 100, Allentown, PA 18106

610.398.0904 610.481.9098

barryisett.com

Revised November 23, 2021
Project #137407.002-CT-02LDPSD

South Whitehall Township Planning Commission
4444 Walbert Avenue
Allentown, PA 18104

Dear Planning Commission Members:

RE: LONG'S WATER TECHNOLOGY

South Whitehall Township, Lehigh County, Pennsylvania
Waiver Request Letter

On behalf of the applicant for the above referenced project, please accept this letter as Barry Isett & Associates, Inc. (Isett) formal request for the following waivers and deferrals from the requirements of the South Whitehall Township Subdivision and Land Development Ordinance:

1. SALDO Section 312-12(B)(15) – To provide contours on adjacent land within 400 feet of the site. A waiver is requested to accept the plans as presented. Additional offsite contours are provided on the D-2 drainage plan and the USGS location map.
2. SALDO Section 312-12(B)(21) – Plan should show all streets, easements, and rights-of-way within 400 feet of the site. A waiver is requested to accept the plans as presented. All relevant off-site information is shown on the plan and showing additional information within 400 feet of the site would require the plan to be shown at a smaller scale, which would reduce legibility.
3. SALDO Section 312-35(b)(3)(A)(i)(1) – A deferral is being requested for the construction of curbing along Hausman Road. It should be noted that curbing has not been installed on the properties adjacent to this site.
4. SALDO Section 312-35(b)(3)(A)(ii)(1)(A) – A deferral is being requested for the construction of sidewalks along Hausman Road. Please note that sidewalk has not been installed along the frontage of the properties adjacent to this site.
5. SALDO Section 312-35(b)(3)(C)(i) – A deferral is being requested from widening the existing cartway to the cartway standards for a collector street. Please note that Hausman Road has not been widened along the properties adjacent to this site.
6. SALDO Section 312-41(a)(1)(A) – A waiver is requested from the requirement of providing streetlights along Hausman Road, since there are no other streetlights in the surrounding neighborhood.

7. SALDO Section 312-35(b)(3)(A)(iii) – A deferral is being requested from constructing ramps in the public sidewalk. Since a deferral is requested for sidewalk construction, ramps would not be necessary at this time. It is understood that ramps will be needed in the future when the public sidewalk is constructed.
8. SALDO Section 312-35(b)(3)(A)(iv) – A waiver is requested from the requirement of constructing a concrete driveway apron. In the future when public sidewalk is installed, accessible concrete ramps will be utilized in lieu of a concrete driveway apron. Concrete driveway aprons would not typically be applicable for this site, due to the low density of driveways in this neighborhood.
9. SALDO Section 312-40(c) – A deferral is requested from installing street trees. At the suggestion of Township Staff, street trees will be installed at a later date when the sidewalk is installed so that they can be placed in the proper location in accordance with the Township standard cross section.

If you have any questions or comments, please contact our office at 610-398-0904.

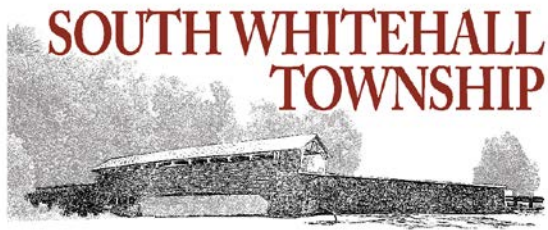
Respectfully,



Adam Smith, PE
Senior Project Manager
Civil Department

cc: Long's Water Technology

\\biaces.com\work\Land_Serv\TTOWN\Projects\2007\137407\docs\Ltr\20211124-WaiverRequest-ltr-AAS.docx(vea)



MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Chief Glen Dorney
DATE:	13 January 2022
SUBJECT:	Conditional offer of employment for entry level patrol officer
COPY TO:	Randy Cope, Interim Township Manager

- **Background Information and/or Justification of Expense:**

The Police Department is in the hiring process for vacant entry-level patrol officer positions via Civil Service guidelines and needs the Board of Commissioners to extend conditional offer of employment to the next eligible candidates on the civil service list.

- **Action Requested:**

I am requesting the Board of Commissioners to extend a conditional offer of employment for entry-level patrol officer in the South Whitehall Township Police Department to applicant #43797, conditioned upon the individuals satisfactorily completing the background investigation, polygraph examination, medical examination, and psychological examination to confirm their fitness for duty.

- **Budget Line Item (if applicable):** *Please indicate approved budget amount for specified project(s).*

01-41-410-4102-000-0000-01-40112 Patrol Wages

**BOARD OF COMMISSIONERS OF
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PENNSYLVANIA**

**Resolution 2022-__
(Duly Adopted January 19, 2022)**

**A RESOLUTION EXTENDING A CONDITIONAL OFFER OF EMPLOYMENT FOR
ENTRY-LEVEL POSITION OF PATROL OFFICER IN THE TOWNSHIP'S POLICE
DEPARTMENT TO APPLICANT: #43797 CONDITIONED UPON THE INDIVIDUAL
SATISFACTORILY COMPLETING THE BACKGROUND INVESTIGATION, POLYGRAPH
EXAMINATION, MEDICAL EXAMINATION, AND PSYCHOLOGICAL EXAMINATION
TO CONFIRM THEIR FITNESS FOR DUTY**

WHEREAS, South Whitehall Township ("**Township**") is subject to the Civil Service provisions of the First Class Township Code 53 PA. STAT. ANN. § 56101 *et seq.* with respect to its Police Department since there are more than two full-time members in the department; and

WHEREAS, The Board of Commissioners ("**Board**") of the Township has appointed a Civil Service Commission ("**Commission**") in accordance with the Code, and the Commission and the Board have adopted rules and regulations ("**Rules**") pursuant to Code § 630, 53 PA. STAT. ANN. § 55630; and

WHEREAS, pursuant to the Rules, the Commission has conducted examinations for the entry-level position of Patrol Officer in the Township's Police Department, has established an Eligibility List for that position, and has certified individuals to the Board for appointment to that position, including Applicant: **#43797**.

WHEREAS, based solely on the merits and fitness of the applicants certified by the Commission to the Board, and considering the veterans' preference to which these individuals are entitled, the Board desires to extend a conditional offer of employment to Applicant: **#43797** for the entry-level position of Patrol Officer in the Township's Police Department.

NOW, THEREFORE, BE IT RESOLVED by the Board of Commissioners of South Whitehall Township that Applicant: **#43797** is hereby appointed to the entry-level position of Patrol Officer in the Township's Police Department, conditioned upon candidate successfully completing a Background Investigation, Polygraph Examination, Medical Examination, and Psychological Examination, which will confirm that they can perform the essential duties of the Patrol Officer position, with or without reasonable accommodation, in accordance with the procedures set forth in Section 5.4 of the Rules. Once employment commences, candidate shall be subject to an initial one (1) year probationary period pursuant to Section 5.5 of the Commission's Civil Service Rules.

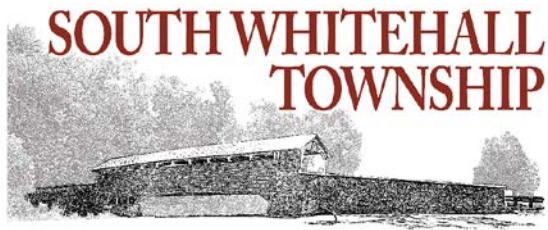
DULY RESOLVED by the Board of Commissioners of South Whitehall Township, Lehigh County, Pennsylvania, the **19th** day of **January 19, 2022**, in lawful session duly assembled.

SOUTH WHITEHALL TOWNSHIP
BOARD OF COMMISSIONERS

Diane Kelly, President

ATTEST:

Scott Boehret, Twp. Secretary



MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Chief Glen Dorney
DATE:	13 January 2022
SUBJECT:	Board of Commissioners adoption of Certified Civil Service List
COPY TO:	Randy Cope, Interim Township Manager

- **Background Information and/or Justification of Expense:**

The South Whitehall Township Police Department has conducted entry level testing for patrol officer positions pursuant to Civil Service Commission guidelines. The Civil Service Commission has certified the list on January 12, 2022. In order to proceed with the hiring process, the Board of Commissioners must adopt the Civil Service list for use in the future hiring process for entry level patrol officer positions.

- **Action Requested:**

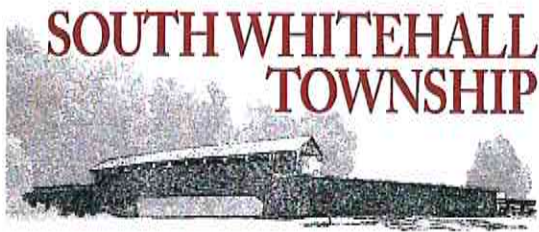
A motion adopting the civil service list for Entry Level Patrol Officer positions, which has been certified by the Civil Service Commission on January 12, 2022.

- **Budget Line Item (if applicable):** *Please indicate approved budget amount for specified project(s).*

01-Not Applicable

SOUTH WHITEHALL TOWNSHIP
Entry-Level Patrol Officer
Eligibility List approved by Civil Service Commission January 12, 2022

<u>Rank</u>	<u>ID#</u>	<u>Written</u>	<u>Oral</u>	<u>Weighted Oral 60% Written 40%</u>
1	45830	89.08	88.67	98.84
2	43797	83.41	90.00	97.36
3	80325	81.39	88.67	95.76
4	29811	84.80	86.33	95.72
5	29717	90.60	95.33	93.44
6	89425	90.70	86.33	88.08
7	09093	88.98	87.33	87.99
8	89288	78.41	91.33	86.16
9	45330	81.86	88.67	85.94
10	49614	81.30	88.00	85.32
11	00749	88.77	81.00	84.11
12	86636	89.27	78.67	82.91
13	48231	84.12	80.00	81.65
14	86427	84.29	78.67	80.92
15	63190	87.67	70.67	77.47



MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Mike Elias
DATE:	January 10, 2022
SUBJECT:	4815 Crackersport Rd
COPY TO:	H Bender, R Cope, D Manhardt

- **Background Information and/or Justification of Expense:**

Triple Net Investments LXIV, LLC is proposing a 13,500 square foot building addition to be located on the North end of the existing 9882 square foot building located on the currently developed site at 4815 Crackersport Rd. The developer is requesting Board approval for 1,115 GPD or 5 EDU's of sewer allocation.

- **Action Requested:**

Resolution approval by Board of Commissioners

- **Budget Line Item (if applicable):**

PANY & LENTZ ENGINEERING COMPANY

609 Hamilton Street • Allentown, PA 18101
PHONE: 610/433-1634 • FAX: 610/433-1636

SOUTH WHITEHALL TOWNSHIP

JAN 04 2022

RECEIVED
RECEPTIONIST

Email: Mike 1/4/22
rsd

LETTER OF TRANSMITTAL

TO: South Whitehall Township

4444 Walbert Avenue

Allentown, PA 18104

Date: 01/04/2022

Attention: Mike Elias

RE: 4815 Crackersport Road

Building Addition Land Development

Sewage Facilities Planning Module

Cc: Dominick Baker, JGP

P & L Project No. 2020299

WE ARE SENDING YOU: ☒ Attached

☐ Under separate cover via hand deliver the following:

☐ Shop Drawings

☐ Prints

☒ Plans

☐ Samples

☐ Specifications

☐ Copy of letter

☐ Change Order

☐

COPIES	DATE	DWG. NO.	DESCRIPTION
1			PADEP Sewage Facilities Planning Module Package including:
			Component 3, Component 4A, 4B, completeness checklist
			Public sewer system available capacity letter
			PNDI and clearance letter
			Financial Security memo
			Will serve letter
			Project Narrative
			Alternative Sewage Facilities Analysis
			PHMC letter
			Transmittal Letter
			Draft Resolution
1	1/04/22	5 of 19	Utility Plan
1	1/04/22	11 of 19	Utility Profiles

THESE ARE TRANSMITTED as checked below:

☒ For approval

☐ Approved as submitted

☐ For your use

☐ Approved as noted

☐ As requested

☐ For review & comment

☐

Signed:

Pany & Lentz Engineering Company



TRANSMITTAL LETTER FOR SEWAGE FACILITIES PLANNING MODULE

DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH. ID #

TO: Approving Agency (DEP or delegated local agency)

Date _____

PADEP Bethlehem District Office

4530 Bath Pike

Bethlehem, PA 18017

Dear Sir/Madam:

Attached please find a completed sewage facilities planning module prepared by Martin F. Smith, Jr. P.E.

Civil Project Manager

(Name)

for Building Addition for 4815 Crackersport Road

(Title)

(Name)

a subdivision, commercial, or industrial facility located in _____

South Whitehall Township, Lehigh

County.

(City, Borough, Township)

Check one

- ☐ (i) The planning module, as prepared and submitted by the applicant, is approved by the municipality as a proposed ☐ revision ☐ supplement for new land development to its Official Sewage Facilities Plan (Official Plan), and is ☐ adopted for submission to DEP ☐ transmitted to the delegated LA for approval in accordance with the requirements of 25 Pa. Code Chapter 71 and the *Pennsylvania Sewage Facilities Act* (35 P.S. §750),

OR

- ☐ (ii) The planning module will not be approved by the municipality as a proposed revision or supplement for new land development to its Official Plan because the project described therein is unacceptable for the reason(s) checked below:

Check Boxes

- ☐ Additional studies are being performed by or on behalf of this municipality which may have an effect on the planning module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.
- ☐ The planning module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g., zoning, land use, 25 Pa. Code Chapter 71). Specific reference or applicable segments of such laws or plans are attached hereto.
- ☐ Other (attach additional sheet giving specifics).

Municipal Secretary: Indicate below by checking appropriate boxes which components are being transmitted to the approving agency.

- | | | |
|--|---|--|
| <input type="checkbox"/> Resolution of Adoption | <input type="checkbox"/> 3 Sewage Collection/Treatment Facilities | <input type="checkbox"/> 4A Municipal Planning Agency Review |
| <input type="checkbox"/> Module Completeness Checklist | <input type="checkbox"/> 3s Small Flow Treatment Facilities | <input type="checkbox"/> 4B County Planning Agency Review |
| <input type="checkbox"/> 2 Individual and Community Onlot Disposal of Sewage | | <input type="checkbox"/> 4C County or Joint Health Department Review |

Municipal Secretary (print)

Signature

Date



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

DEP Code No.

2-39919178-3

Completeness Checklist

The individual completing the component should use the checklist below to assure that all items are included in the module package. The municipality should confirm that the required items have been included within 10 days of receipt, and if complete, sign and date the checklist.

Sewage Collection and Treatment Facilities

- ☒ Name and Address of land development project.
- ☒ U.S.G.S. 7.5 minute topographic map with development area plotted.
- ☒ Project Narrative.
- ☒ Letter from water company (if applicable).
- ☒ Alternative Analysis Narrative.
- ☒ Details of chosen financial assurance method.
- ☐ Proof of Public Notification (if applicable).
- ☒ Name of existing collection and conveyance facilities.
- ☒ Name and NPDES number of existing treatment facility to serve proposed development.
- ☒ Plot plan of project with required information.
- ☒ Total sewage flows to facilities table.
- ☒ Signature of existing collection and/or conveyance Chapter 94 report preparer.
- ☒ Signature of existing treatment facility Chapter 94 report preparer.
- ☒ Letter granting allocation to project (if applicable).
- ☒ Signature acknowledging False Swearing Statement.
- ☒ Completed Component 4 (Planning Agency Review) for each existing planning agency and health department.
- ☒ Information on selected treatment and disposal option.
- ☐ Permeability information (if applicable).
- ☐ Preliminary hydrogeology (if applicable).
- ☐ Detailed hydrogeology (if applicable).

Municipal Action

- ☒ Component 3 (Sewage Collection and Treatment Facilities).
- ☒ Component 4 (Planning Agency Comments and Responses).
- ☐ Proof of Public Notification.
- ☐ Long-term operation and maintenance option selection.
- ☐ Comments, and responses to comments generated by public notification.
- ☒ Transmittal Letter

 Signature of Municipal Official

 Date submittal determined complete

ate 11/12/2021

ame PANY & LENTZ ENGINEERING CO.,
ddress 609 HAMILTON STREET
ALLENTOWN, PA 18101 C/O STEVE PANY

E: Planning Module for New Land Development
Subdivision 4815 CRACKERSPORT ROAD
COMMERCIAL 1050 GPD
SOUTH WHITEHALL TWP, LEHIGH County
DEP Code No: 2-39919178-3

ear:

In response to your postcard application, enclosed are the applicable planning modules required for the proposed development. Please submit the completed planning module and supporting information to the municipality(ies) in which the project is located. The Department must receive 3 copies. Please answer all questions. Do Not answer "N/A" or "Not Applicable". If you find a question does not apply, explain all reasons to support that answer.

A copy of the letter MUST be attached to the planning module when resubmitted through the municipality to the Department. This letter is to be used as a completion checklist and guide to completing the planning modules and does not supersede the rules and regulations found in Chapter 71. The municipality must submit the complete module package to the Department, (see end of letter for certification statement).

Effective December 15, 1995 Act 149 required the Department to assess planning module review fees. This fee is based on the type of development and total equivalent dwelling units proposed. The applicant will be billed upon Department approval or denial of the project.

If you are applying for a planning module exemption for this project, the exemption was not granted for the following reason(s):

<u>Materials required</u>	<u>Municipal Checklist</u>		<u>DEP Completeness Review</u>
<u>X</u>		Department cover/Checklist letter	
<u>X</u>		Transmittal letter, completed and signed by the Municipal Secretary.	
<u>X</u>		Resolution of Adoption completed and signed by the Municipal Secretary and containing the municipal seal.	
		Component 2-Follow attached guidance.	
<u>X</u>		Component 3-Follow attached guidance.	
		Component 3s-Follow attached guidance.	
<u>X</u>		Component 4a-Municipal Planning Agency Review	
<u>X</u>		Component 4b-County Planning Agency Review	
		Potential Impact(s) has occurred based on your search of the PA Natural Diversity Inventory. These issues must be resolved with each agency before the Department's review of Planning Modules can occur.	
		Sewage management program as per 25 Pa. Code Subsection 71.72	
		Hydrogeologic Study - Analysis of interbasin transfer of water between a Special Protection watershed into a Non-Special Protection watershed.	
		Delaware River Basin Commission Notice of Applications Received (NAR) for projects with sewage flows exceeding 10,000 GPD.	
		Preliminary hydrogeology	
		Permeability testing, to be determined at site testing	
		Detailed hydrogeologic study	

Required

Comments

Completeness
Review

Socio-economic justification

If the project is located in a Special
Protection Watershed, please submit an
Antidegradation Analysis meeting the
Requirement of Chapter 93.4(b), 93.4(a)
and 93.4c(b)(2)

In all cases, address the immediate and long range sewage disposal needs of the proposal and comply with 25 Pa Code, Chapter 71, Subchapter C relating to New Land Development Plan Revisions.

Please note that the Department will return the planning module package if an incomplete revision is submitted.

Sincerely,

Robert T. Corby, Jr.

Robert T. Corby, Jr.
Sewage Planning Specialist
Clear Water Program

CERTIFICATION STATEMENT

I certify that this submittal is complete and includes all requested items. Failure to submit a complete module package will result in return of package.

Municipal Address _____

Municipal Telephone Number _____

Signed: _____ Municipal Secretary

List below any individuals and address that should be copied if the planning module is returned to the municipality (If address is not provided, no copy will be sent):



RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF THE ~~(SUPERVISORS)~~ ~~(COMMISSIONERS)~~ ~~(COUNCILMEN)~~ of South Whitehall
(TOWNSHIP) ~~(BOROUGH)~~ ~~(CITY)~~, Lchigh COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the *Pennsylvania Sewage Facilities Act*, as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (DEP) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

WHEREAS Triple Net Investments LXIV, LLC has proposed the development of a parcel of land identified as
land developer

Building Addition for 4815 Crackersport Road, and described in the attached Sewage Facilities Planning Module, and
name of subdivision

proposes that such subdivision be served by: (check all that apply), ☒ sewer tap-ins, ☐ sewer extension, ☐ new treatment facility, ☐ individual onlot systems, ☐ community onlot systems, ☐ spray irrigation, ☐ retaining tanks, ☐ other, (please specify). _____

WHEREAS, South Whitehall Township finds that the subdivision described in the attached
municipality

Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the ~~(Supervisors)~~ ~~(Commissioners)~~ ~~(Councilmen)~~ of the (Township)
~~(Borough)~~ ~~(City)~~ of South Whitehall hereby adopt and submit to DEP for its approval as a revision to the
"Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I _____, Secretary, _____
(Signature)

Township Board of Supervisors (Borough Council) (City Councilmen), hereby certify that the foregoing is a true copy of
the Township (Borough) (City) Resolution # _____, adopted, _____, 20____.

Municipal Address:

4444 Walbert Avenue
Allentown, PA 18104

Telephone 610-398-0401

Seal of
Governing Body

4815
CRACKERSPORT
ROAD SITE



January 3, 2022

Martin F. Smith, Jr., P.E.
Pany & Lentz Engineering Co.
609 Hamilton St.
Allentown PA 18101

Re: 4815 Crackersport Rd.
South Whitehall Twp.
Willing to Serve Letter
SSM File 103400.0065

Dear Mr. Smith:

We are in receipt of your request to South Whitehall Township for the water and sanitary sewer willingness to serve letter for the proposed addition to the existing transport building located at 4815 Crackersport Road consisting of a building addition of approximately 13,500 square feet. Pany & Lentz has requested an additional 1,050 gallons per day of water and sanitary sewer flows on behalf of Triple Net Investments LXIV, LLC.

At this time the water and sanitary sewer systems owned by South Whitehall Township have adequate capacities and will serve the proposed development. Please be advised, the Township reserves the right to analyze and assess any required increases in allocations based upon actual water usage.

Please contact our office should you have any questions or comments.

Sincerely,
Spotts, Stevens and McCoy

A handwritten signature in blue ink, appearing to read "Jason M. Newhard", is written over a light blue horizontal line.

Jason M. Newhard, CCM, LO
Manager, Operations
Water and Wastewater Engineering
jason.newhard@ssmgroupp.com

cc: SWT



December 23, 2021

To: Marty Smith, Pany & Lentz Engineering

From: Dominick Baker, J.G. Petrucci Co., Inc, Triple Net Investments

Re: 4815 Crackersport Road Expansion Financial Security

Mr. Smith:

J.G. Petrucci Co., Inc. understands financial assurance/security for the proposed expansion project will be required for construction, and is prepared to provide an adequate bond or letter of credit, as required by the local municipality or agency.

Please let me know if you have any questions.

Thank you,

Dominick Baker
J.G. Petrucci Company, Inc.

**Re: Building Addition
4815 Crackersport Road, PIN #547649535183-1
South Whitehall Township, Lehigh County
Sanitary Sewer Request Project Narrative**

The site is approximately 11.87 acres in size and is located on the north side of Crackersport Road (T.R. 555) within the IC-1 Industrial Commercial Zoning District. The applicant proposes a 13,500 square foot building addition to be located on the north end of the existing 9,882 SF building. The building addition will contain a maintenance shop, associated offices for the shop, parts storage area, truck wash bay and driver support areas. The proposed addition is located on existing impervious surfaces. Approximately 940 SF of impervious area is proposed for a sidewalk along Crackersport Road.

It is estimated there will be 20 shop employees on site during the day. Up to 30 drivers may utilize the site daily. The total potential employee count of 50 was utilized for parking calculations. 57 car parking spaces are proposed. The site is currently paved and striped for truck and trailer parking. After construction of the building addition there will be 1 oversized space (12'x65'), 84 trailer storage spaces (12'x60' and 12'x55') and 46 tractor spaces (12'x30').

The site is currently and historically served with public water and public sewer. Public water and sewer services are proposed to continue. The domestic water service will be extended internally to the building addition. The existing sewer lateral will be extended on site to the new building addition. A new water tap for fire service is proposed and requested.

Estimated Sewer Flows

The site has been historically utilized as a motor freight terminal in accordance with past Township approvals. The existing building contains shower and laundry facilities.

The existing sewage allocation for this site has not been determined. Historic use data was not available from the previous owner.

The proposed estimated employee count for the site is 50. 20 of those employees will be on site full time during the day in the proposed shop addition. Six (6) existing front load washing machines will continue to be present in the building for driver use. There were 5 showers in the existing building. 2 of those showers are proposed to be removed so only 3 showers will remain for use.

From PA Code Title 25, Section 73.17 Sewage Flows, the average daily flows for office is 10 GPD per employee. Front load washing machines utilize approximately 20 gallons per wash. We estimate half of the drivers (15) through the site may use the wash each day. The proposed truck wash is estimated to use 20 gallons per wash. An average of 5 trucks per day are anticipated to use the wash bay. An estimated sewage flow from the site is:

Office/shop employees - $20 * 10 = 200$ GPD

Transient employees - $30 * 15 = 450$ GPD

Washing machines - $15 * 20 = 300$ GPD

Truck wash - $5 * 20 = 100$ GPD

TOTAL ESTIMATED FLOW = 1050 GPD

EDUs in South Whitehall Township are 223 GPD/EDU.

For the purposes of the Planning Module request, we have rounded up the estimated flow to 1,115 GPD or 5 EDUs.



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

Code No.

2-39919178-3

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked ☒.

A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Building Addition for 4815 Crackersport Road

2. Brief Project Description The applicant proposes a 13,500 square foot building addition to be located on the north end of the existing 9,882 SF building. The addition will contain a maintenance shop, associated offices for the shop, parts storage area, truck wash bay and driver support areas. The addition is located on existing impervious surfaces. Approximately 940 SF of impervious area is proposed.

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
South Whitehall	Lehigh	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Elias	Mike			Utilities & MS4 Program Coordinator
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1	Mailing Address Line 2			
4444 Walbert Avenue				
Address Last Line -- City	State	ZIP+4		
Allentown	PA	18104-1619		
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
610-398-0401				

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

Building Addition for 4815 Crackersport Road

Site Location Line 1

4815 Crackersport Road

Site Location Line 2

Site Location Last Line -- City

Allentown

State

PA

ZIP+4

18104-9261

Latitude

40.60027

Longitude

-75.56742

Detailed Written Directions to Site

From US 22 go north on Route 309 to Ridgeview Drive. Turn left on Ridgeview then immediately left onto Hausman Road. Follow Hausman Road south to Crackersport Road. Turn right on Crackersport and proceed 0.2 miles to the site on the right.

Description of Site

approximately 11 acre previously developed truck maintenance and trailer parking area

Site Contact (Developer/Owner)

Last Name

Baker

First Name

Dominick

MI

Suffix

Phone

Ext.

Site Contact Title

Project Manager

Site Contact Firm (if none, leave blank)

Triple Net Investments LXIV, LLC

FAX

Email

dbaker@jgpetrucci.com

Mailing Address Line 1

171 Route 173, Suite 201

Mailing Address Line 2

Mailing Address Last Line -- City

Asbury

State

NJ

ZIP+4

08802-1327

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name

Pany

First Name

Stephen

MI

Suffix

A.

Title

Partner

Consulting Firm Name

Pany & Lentz Engineering Co.

Mailing Address Line 1

609 Hamilton Street

Mailing Address Line 2

Address Last Line -- City

Allentown

State

PA

ZIP+4

18101-2103

Country

USA

Email

sapany@plec.us

Area Code + Phone

610-433-1634

Ext.

Area Code + FAX

610-433-1636

E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

☐ Individual wells or cisterns.

☐ A proposed public water supply.

☒ An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: South Whitehall Township

F. PROJECT NARRATIVE (See Section F of instructions)

☒ A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

- a. Check appropriate box concerning collection system No change to collection system proposed
- ☐ New collection system ☐ Pump Station ☐ Force Main
- ☐ Grinder pump(s) ☒ Extension to existing collection system ☐ Expansion of existing facility

Clean Streams Law Permit Number N/A

- b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 5

Connections 1 (existing)

Name of:

existing collection or conveyance system SWT

owner South Whitehall Township

existing interceptor Jordan Creek Interceptor

owner City of Allentown, LCA - Lessee

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

- a. Check appropriate box and provide requested information concerning the treatment facility

☐ New facility ☒ Existing facility ☐ Upgrade of existing facility ☐ Expansion of existing facility

Name of existing facility Kline's Island WWTP - City of Allentown

NPDES Permit Number for existing facility PA-26000

Clean Streams Law Permit Number N/A

Location of discharge point for a new facility. Latitude _____ Longitude _____

- b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the Kline's Island WWTP
(Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality City of Allentown, LCA - Agent

Name of Responsible Agent Liesel M. Gross

Agent Signature Liesel M. Gross Date 11/24/2021

(Also see Section I. 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- | | |
|---|--|
| a. Existing and proposed buildings. | j. Any designated recreational or open space area. |
| b. Lot lines and lot sizes. | k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping. |
| c. Adjacent lots. | l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping) |
| d. Remainder of tract. | m. Prime Agricultural Land. |
| e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed. | n. Any other facilities (pipelines, power lines, etc.) |
| f. Show tap-in or extension to the point of connection to existing collection system (if applicable). | o. Orientation to north. |
| g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.) | p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable). |
| h. Existing and proposed rights-of-way. | q. Soils types and boundaries when a land based system is proposed. |
| i. Existing and proposed buildings, streets, roadways, access roads, etc. | r. Topographic lines with elevations when a land based system is proposed |

4. WETLAND PROTECTION

YES NO

- a. ☒ ☐ Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. ☐ ☒ Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- ☐ ☒ Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- ☐ ☒ Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- ☐ ☒ Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at www.dep.state.pa.us, select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice (CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- ☒ The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- ☐ A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials _____

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- ☒ An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.
- The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection

- ☐ The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- ☐ The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- ☐ The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- ☐ The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

☐ **J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 1,115 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd) MGD		b. Present Flows (gpd) MGD		c. Projected Flows in 5 years (gpd) MGD (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	SWT	-	-	-	-	-
Conveyance	58	81	30	78 ⁽¹⁾	31	80 ⁽¹⁾
Treatment	40	40	32.3	40	33.4	42

3. Collection and Conveyance Facilities

⁽¹⁾ Peak Hourly Flow - Estimated

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. ☐ ☒ This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

- b. Collection System

Name of Agency, Authority, Municipality SWT

Name of Responsible Agent _____

Agent Signature _____ Date _____

☐ **J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 6115 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd) ^{MGD}		b. Present Flows ^{MGD} (gpd)		c. Projected Flows in 5 years (gpd) ^{MGD} (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	20.8	27.57	5.57	18.410	.85	16.0
Conveyance						
Treatment						

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. ☐ ☒ This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality South Whitchell Township
 Name of Responsible Agent Michael Elias
 Agent Signature [Signature] Date 12/7/21

☐ **J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality City of Allentown, LCA - Agent

Name of Responsible Agent Liesel M. Gross

Agent Signature *Liesel M. Gross*

Date 11/24/2021

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a. ☒ ☒ This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality Lehigh County Authority - Agent, City of Allentown

Name of Responsible Agent Liesel M. Gross

Agent Signature *Liesel M. Gross*

Date 11/24/2021

☐ **K. TREATMENT AND DISPOSAL OPTIONS** (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may NOT receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- ☐ 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- ☐ 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- ☐ 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- ☐ 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

☐ **L. PERMEABILITY TESTING** (See Section L of instructions)

- ☐ The information required in Section L of the instructions is attached.

☐ **M. PRELIMINARY HYDROGEOLOGIC STUDY** (See Section M of instructions)

- ☐ The information required in Section M of the instructions is attached.

☐ **N. DETAILED HYDROGEOLOGIC STUDY** (See Section N of instructions)

☐ The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. ☐ ☒ Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows _____ gpd

Yes No

3. ☐ ☐ Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. ☐ ☐ If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

- c. Conveyance System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. ☐ ☐ If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

(For completion by the municipality)

6. ☐ The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1. ☐ ☒ Does the project propose the construction of a sewage treatment facility ?
2. ☐ ☒ Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. ☐ ☒ Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. ☐ ☒ Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. ☐ ☒ Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. ☐ ☒ Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7. ☐ ☒ Does the project involve a major change in established growth projections?
8. ☐ ☒ Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

9. ☐ ☒ Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
10. ☐ ☒ Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
11. ☐ ☒ Will sewage facilities discharge into high quality or exceptional value waters?
- ☐ Attached is a copy of:
- ☐ the public notice,
 - ☐ all comments received as a result of the notice,
 - ☐ the municipal response to these comments.
- ☐ No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Martin F. Smith, Jr., PE

Name (Print)

Civil Project Manager

Title

Signature

12/10/21

Date

Pany & Lentz Engineering, 609 Hamilton St., Allentown, PA 18101

Address

610-433-1634

Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- ☐ I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- ☒ I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$ 250.00 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- ☐ I request to be exempt from the DEP planning module review fee because this planning module creates **only one** new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____

Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\# \underline{5} \text{ Lots (or EDUs) X } \$50.00 = \$ \underline{250.00}$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \underline{\hspace{2cm}} \text{ Lots (or EDUs) X } \$35.00 = \$ \underline{\hspace{2cm}}$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

Building Addition for 4815 Crackersport Road – Alternative Sewage Facilities Analysis:

Triple Net Investments LXIV, LLC is proposing a 13,500 square foot building addition to be located on the north end of the existing 9,882 SF building located on the currently developed site located at 4815 Crackersport Road.

The proposed building addition will be connected to the public sewer system via a connection to the existing onsite lateral that serves the existing building. The lateral connects to the existing South Whitehall Township sanitary sewer system located in Crackersport Road.

The sewer flows from this project are to be treated at the existing Lehigh County Authority Kline's Island WWTP. This is the permanent disposal method. This method meets effluent limitations as it directs the proposed sewer flows to the WWTP for proper treatment. Estimated sewer flow for the site after construction of the building addition is 1,115 GPD (5 EDUs). This estimation is based on past similar projects. A calculation of estimated flows was reviewed and accepted by Township utility engineer.

The project area is bounded by industrial zoned property. The south end of the property is Crackersport Road. The north and west sides are bounded by undeveloped land owned by others. A commercial development exists on the property to the east. Surrounding properties are served by public sewer with connections to the South Whitehall Township.

To the best of our knowledge, the WWTP has capacity for this project. The area of the project is within the area designated for public sewer.

Soil testing on site found infiltration was not feasible. No infiltration rates were able to be obtained due to subsurface conditions. As a result of the soil test results and the township planning for this area, there are no potential alternative sewage disposal methods for this project.

The proposed method of sewage disposal, connecting to the existing South Whitehall Township system and WWTP, was chosen because the plant is permitted and the permit requires the LCA to comply with water quality standards and effluent limitations. The WWTP is owned by the LCA and they will be responsible for the compliance with applicable water quality standards and effluent limitations.



1053 SPRUCE ROAD * P.O. BOX 3348 * ALLENTOWN, PA 18106-0348
610-398-2503 * FAX 610-398-8413 * www.lehighcountyauthority.org
email: service@lehighcountyauthority.org

November 24, 2021

Randy Cope
South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104

RE: Building Addition, 4815 Crackersport Road, South Whitehall Township
Sewer Module - Chapter 94 Consistency Determination – Appendix A

Dear Mr. Cope:


This letter and approval for the attached Sewage Facilities Planning Module is based on the current estimate of available wastewater capacity. This letter does not promise, guarantee or assure any future conveyance or treatment allocation without compliance with all applicable rules and regulations, payment of all necessary fees and availability of the respective allocation at that time.

In accordance with the Interim Act 537 Plan submitted by the Kline's Island Sewer System (KISS) municipalities to the Pa. Department of Environmental Protection and approved on June 25, 2021, an amount equal to the property or development's wastewater flow will be allocated from the Connection Management Plan at the time of approval of the Sewage Facilities Planning Module. This property or development's wastewater flow need, as represented in the attached Sewage Planning Module, is 1,115 gallons per day. Therefore, the Connection Management Plan balance will be adjusted as follows:

2020 Connection Management Plan Allocation (all numbers in gallons per day)	1,500,000
2021-2025 Connection Management Plan Allocation	3,117,129
Previously allocated from prior planning module submissions (since 1/17/20)	-1,539,870
This submission	-1,115
Remaining Allocation in KISS Connection Management Plan (as of 11/24/2021)	3,076,144

Please contact me if you have any questions about this information.

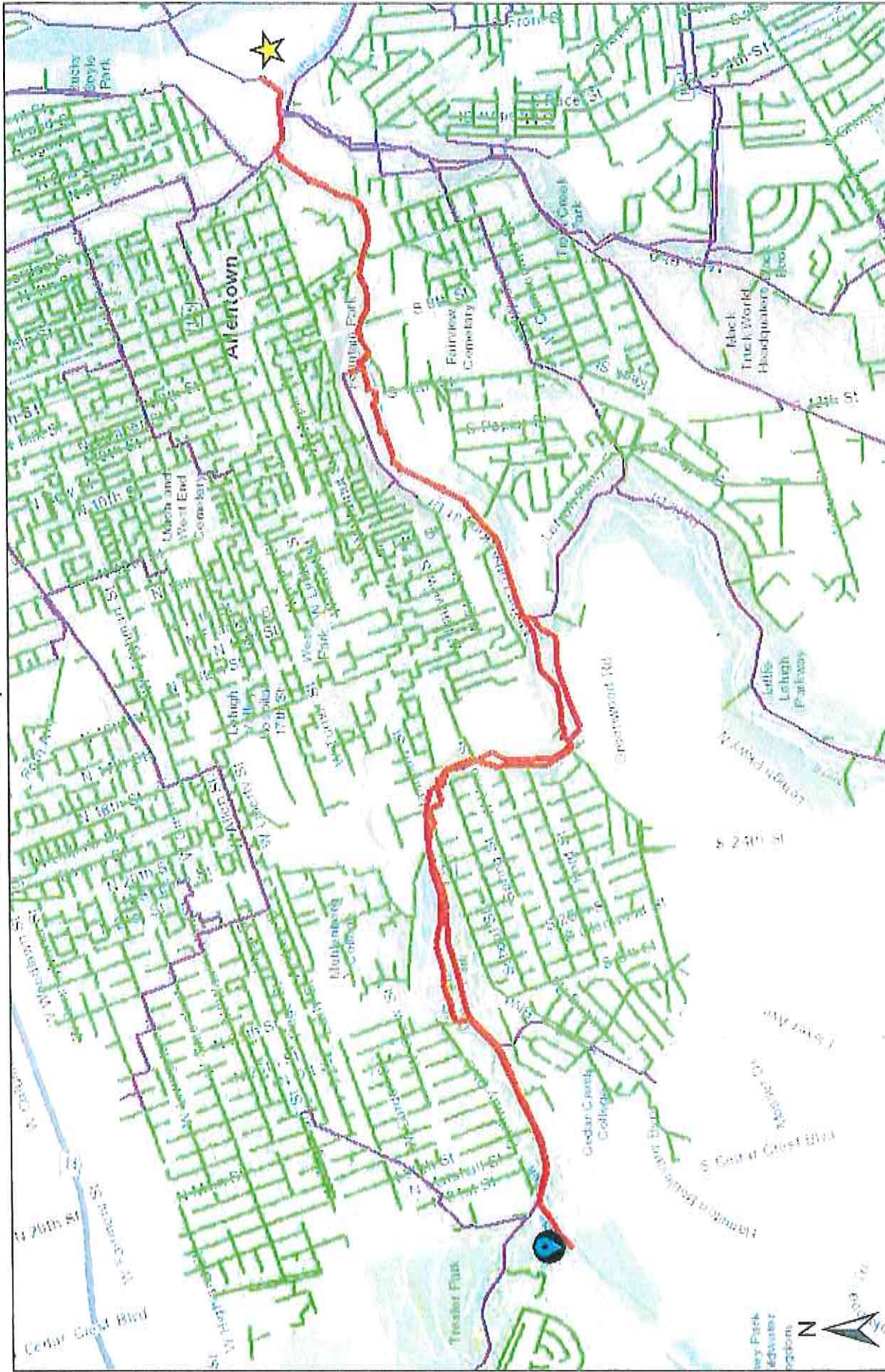
Sincerely,


Liesel M. Gross
Chief Executive Officer

cc: Scott Novatnak, DEP
Robert Corby, DEP
Jason Newhard, SSM Group
Phil Depoe, LCA
Martin Smith, Pany & Lenz Engineering Co

053.21

LCA Flow Map from SWT



1 inch = 3,000 feet



Legend

- Kline's Island WWTP
- Sanitary Mains
- Collector Sanitary Main
- Interceptor Sanitary Main



Lehigh County PA, State of New Jersey, Est. HERE, Garmin, INCREMENT P, USGS, METINASA, EPA, USDA

2/26/2020, 11:22:12 AM



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

DEP Code #:
2-39919178-3

SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Building Addition 4815 Crackersport Road

SECTION B. REVIEW SCHEDULE (See Section B of instructions)


1. Date plan received by municipal planning agency 12/10/2021

2. Date review completed by agency 12/10/2021

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?

SECTION C. AGENCY REVIEW (continued)

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	13. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	14. Is this plan consistent with the municipal Official Sewage Facilities Plan? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances? If no, describe the inconsistencies _____
17. Name, title and signature of planning agency staff member completing this section: Name: <u>Gregg R. Adams</u> Title: <u>Planner</u> Signature: <u></u> Date: <u>12/10/2021</u> Name of Municipal Planning Agency: <u>South Whitehall Twp Community Development Dept</u> Address <u>4444 Walbert Avenue, Allentown, PA 18104-1699</u> Telephone Number: <u>610-398-0401</u>		

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.



GREG ZEBROWSKI
Chair

STEVEN GLICKMAN
Vice Chair

PAMELA PEARSON
Treasurer

BECKY A. BRADLEY, AICP
Executive Director

December 17, 2021

Mr. Martin Smith, PE
Pany & Lentz Engineering Co.
609 Hamilton Street
Allentown, PA 18101

**Re: Act 537 Review - Sewage Facilities Planning Module
4815 Crackersport Road Building Addition
South Whitehall Township, Lehigh County
DEP Code No. 2-39919178-3**

Dear Mr. Smith:

The Lehigh Valley Planning Commission (LVPC) reviewed the above-referenced planning module according to the requirements of Act 537, the Pennsylvania Sewage Facilities Act. We offer the following comments.

This sewage facilities planning module is intended for the proposed construction of a 13,500 square foot building addition, which includes a maintenance shop and associated offices, parts storage area, truck wash bay and driver support areas, on approximately 11.9 acres. The development is proposed to be served by public sewage disposal by connecting to the existing Township sewer system, with ultimate treatment at the Kline's Island wastewater treatment plant. This sewage facilities planning module exhibits consistency with *FutureLV: The Regional Plan*. According to *FutureLV*, the proposed development is located in an area designated for Development in the General Land Use Plan and aligns with the *FutureLV* action to 'promote development in areas with public sewer and water capacity' (under Policy 3.2).

Enclosed please find an executed Module Component 4b. Please call me if you have any questions regarding this review.

Sincerely,

Susan L. Rockwell
Senior Environmental Planner

Enclosure

cc: Mike Elias, South Whitehall Township
Dominick Baker, Triple Net Investments LXIV, LLC
Robert Corby, PA Department of Environmental Protection

SEWAGE FACILITIES PLANNING MODULE COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW

(or Planning Agency with Areawide Jurisdiction)

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and one copy of this *Planning Agency Review Component* should be sent to the county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

4815 Crackersport Road Building Addition

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county planning agency ---
2. Date plan received by planning agency with areawide jurisdiction December 13, 2021
 Agency name Lehigh Valley Planning Commission
3. Date review completed by agency December 17, 2021

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes No

- | | | | |
|---|-------------------------------------|-----|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. | Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 <i>et seq.</i>)? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. | Is this proposal consistent with the comprehensive plan for land use? <i>See attached Act 247</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. | Does this proposal meet the goals and objectives of the plan? <i>review letter dated 8/12/21</i> |
| If no, describe goals and objectives that are not met --- | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. | Is this proposal consistent with the use, development, and protection of water resources? |
| If no, describe inconsistency --- | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. | Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation? |
| If no, describe inconsistencies: --- | | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. | Does this project propose encroachments, obstructions, or dams that will affect wetlands? |
| If yes, describe impact --- | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. | Will any known historical or archeological resources be impacted by this project? <i>PHMC determination</i> |
| If yes, describe impacts --- | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | 8. | Will any known endangered or threatened species of plant or animal be impacted by the development project? <i>See PNDI results</i> |
| If yes, describe impacts --- | | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. | Is there a county or areawide zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. | Does this proposal meet the zoning requirements of the ordinance? <i>N/A</i> |
| If no, describe inconsistencies --- | | | |

SECTION C. AGENCY REVIEW (continued)

Yes No

- ☐ ☐ 11. Have all applicable zoning approvals been obtained? *N/A*
- ☒ ☐ 12. Is there a county or areawide subdivision and land development ordinance? *Not applicable to South Whitehall Township*
- ☐ ☐ 13. Does this proposal meet the requirements of the ordinance? *N/A*
If no, describe which requirements are not met ---
- ☐ ☐ 14. Is this proposal consistent with the municipal Official Sewage Facilities Plan? *See municipal interpretation*
If no, describe inconsistency ---
- ☐ ☒ 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
If yes, describe ---
- ☐ ☐ 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? *N/A*
- ☐ ☐ If yes, is the proposed waiver consistent with applicable ordinances.
If no, describe the inconsistencies ---
- ☒ ☐ 17. Does the county have a stormwater management plan as required by the Stormwater Management Act?
- ☐ ☒ If yes, will this project plan require the implementation of storm water management measures?

18. Name, Title and signature of person completing this section:

Name: Susan L. RockwellTitle: Senior Environmental PlannerSignature: *S. L. Rockwell*Date: December 17, 2021Name of County or Areawide Planning Agency: Lehigh Valley Planning CommissionAddress: 961 Marcon Blvd., Suite 310Telephone Number: 610-264-4544**SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)**

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.



GREG ZEBROWSKI
Chair

STEVEN GLICKMAN
Vice Chair

PAMELA PEARSON
Treasurer

BECKY A. BRADLEY, AICP
Executive Director

August 12, 2021

Mr. David Manhardt, Director
Community Development Department
South Whitehall Township
4444 Walbert Avenue
Allentown, Pennsylvania 18104

**RE: 4815 Crackersport Road Addition
South Whitehall Township
Lehigh County**

Dear Mr. Manhardt:

The Lehigh Valley Planning Commission (LVPC) has reviewed the proposed 13,500 square foot building addition at 4815 Crackersport Road.

This proposal exhibits consistency with *FutureLV: The Regional Plan* because it is located within a Development area of the General Land Use Plan and supports the continued use of developed areas as efficiently as possible (Policy 1.1).

The LVPC does support the Township in encouraging the occupant of the industrial site to allow truck staging, cueing and overnight parking. This is critically important to the management of truck traffic by supporting safe locations for drivers/operators to park and reducing impacts to the neighborhood (Policy 2.4).

As this general area of the Township has seen significant growth in freight-based business and this existing industrial property is now considered for expansion, we continue to encourage the Township to formally develop a plan for freight movement in the Crackersport Road, Hausman Road, Eck Road, Chapmans Road, Church Road to Route 309 area. As freight (tractor trailer, delivery and other commercial vehicle) and business-related vehicle (employee and customer) traffic grows, the infrastructure in this general location will need to be refined in the long-term. LVPC further encourages the Township to complete the development of and adopt a new Township Comprehensive Plan, and as an after-action item create a Transportation Capital Improvements Plan as outlined the Pennsylvania Municipalities Planning Code. This will ensure that the investment by the 4815 Crackersport Road property owner and that of other approved and operating businesses in this area continue to remain viable, and that the needs of residents and the community be balanced in this high growth area of South Whitehall.

Municipalities, when considering subdivision/land developments, should reasonably attempt to be consistent with *FutureLV: The Regional Plan*, as required by the Pennsylvania Municipalities Planning Code (MPC) [Article I§105, Article III§303, §304 & §306(a), Article VI§603(j)]. The

LVPC review does not include an in-depth examination of plans relative to subdivision design standards or ordinance requirements since these items are covered in the municipal review.

If this proposal moves forward for approval, please call or email Jill Seitz, Senior Community Planner (jseitz@lvpc.org, 610-264-4544), for information on how to obtain LVPC signatures on the final plans.

Sincerely,

A handwritten signature in black ink, appearing to read "Becky A. Bradley", with a stylized flourish at the end.

Becky A. Bradley, AICP
Executive Director

cc: Renee C. Bickel, SPHR, South Whitehall Township Manager; Gregg Adams, South Whitehall Township Planner; Scott Pidcock, PE, South Whitehall Township Engineer; Anthony Tallarida, PE, South Whitehall Township Engineer; Dave Baker, JG Petrucci/Triple Net Investments; MF Smith, Pany & Lentz Engineering



Pennsylvania State Historic Preservation Office
PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION

November 4, 2021

Martin Smith
PANY & LENTZ ENGINEERING COMPANY - ALLENTOWN, PA
609 Hamilton Street Suite 300
Allentown PA 181082111

RE: ER Project # 2021PR06916.001, Building Addition Land Development 4815 Crackersport Road, PIN #547649535183-1 South Whitehall Township, Lehigh County, Department of Environmental Protection, South Whitehall Township, Lehigh County

Dear Martin Smith:

Thank you for submitting information concerning the above referenced project. The Pennsylvania State Historic Preservation Office (PA SHPO) reviews projects in accordance with state and federal laws. Section 106 of the National Historic Preservation Act of 1966, and the implementing regulations (36 CFR Part 800) of the Advisory Council on Historic Preservation, is the primary federal legislation. The Environmental Rights amendment, Article 1, Section 27 of the Pennsylvania Constitution and the Pennsylvania History Code, 37 Pa. Cons. Stat. Section 500 et seq. (1988) is the primary state legislation. These laws include consideration of the project's potential effects on both historic and archaeological resources.

Above Ground Resources

No Above Ground Concerns - Environmental Review - No Effect - Above Ground

Thank you for submitting information concerning the above-referenced project. There may be above ground historic properties within the project area of potential effect. However, in our opinion the proposed project will have no effect on historic properties, should they exist. Should the scope of the project change and/or should you be made aware of historic property concerns, you will need to notify the PA SHPO at pashare@pa.gov and provide the revised designs for review and comment.

For questions concerning above ground resources, please contact John Gardosik at jgardosik@pa.gov.

Archaeological Resources


No Archaeological Concerns - Environmental Review - No Effect - Archaeological

Thank you for submitting information concerning the above-referenced project. Based on the information received and available in our files, in our opinion, the activity described in your proposal should have no effect on archaeological resources. Our analysis indicates that archaeological resources are potentially located in this project area. Should the scope of the project be amended to include additional ground disturbing activity and/or should

you be made aware of historic property concerns, you will need to notify the PA SHPO at pashare@pa.gov. A Phase I Archaeological Survey may be necessary to locate all potentially significant archaeological resources.

For questions concerning archaeological resources, please contact John Gardosik at jgardosik@pa.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "Andrea MacDonald".

Andrea MacDonald

Director, State Historic Preservation Office

1. PROJECT INFORMATION

Project Name: **4815 Crackersport Rd. Building Addition**

Date of Review: **9/22/2021 11:33:43 PM**

Project Category: **Development, Additions/maintenance to existing development facilities**

Project Area: **11.93 acres**

County(s): **Lehigh**

Township/Municipality(s): **SOUTH WHITEHALL TOWNSHIP**

ZIP Code:

Quadrangle Name(s): **ALLENTOWN WEST**

Watersheds HUC 8: **Lehigh**

Watersheds HUC 12: **Little Lehigh Creek-Lehigh River**

Decimal Degrees: **40.601055, -75.567243**

Degrees Minutes Seconds: **40° 36' 3.7990" N, 75° 34' 2.759" W**

2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	Potential Impact	FURTHER REVIEW IS REQUIRED, See Agency Response
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate there may be potential impacts to threatened and endangered and/or special concern species and resources within the project area. If the response above indicates "No Further Review Required" no additional communication with the respective agency is required. If the response is "Further Review Required" or "See Agency Response," refer to the appropriate agency comments below. Please see the DEP Information Section of this receipt if a PA Department of Environmental Protection Permit is required.

4815 Crackersport Rd. Building Addition

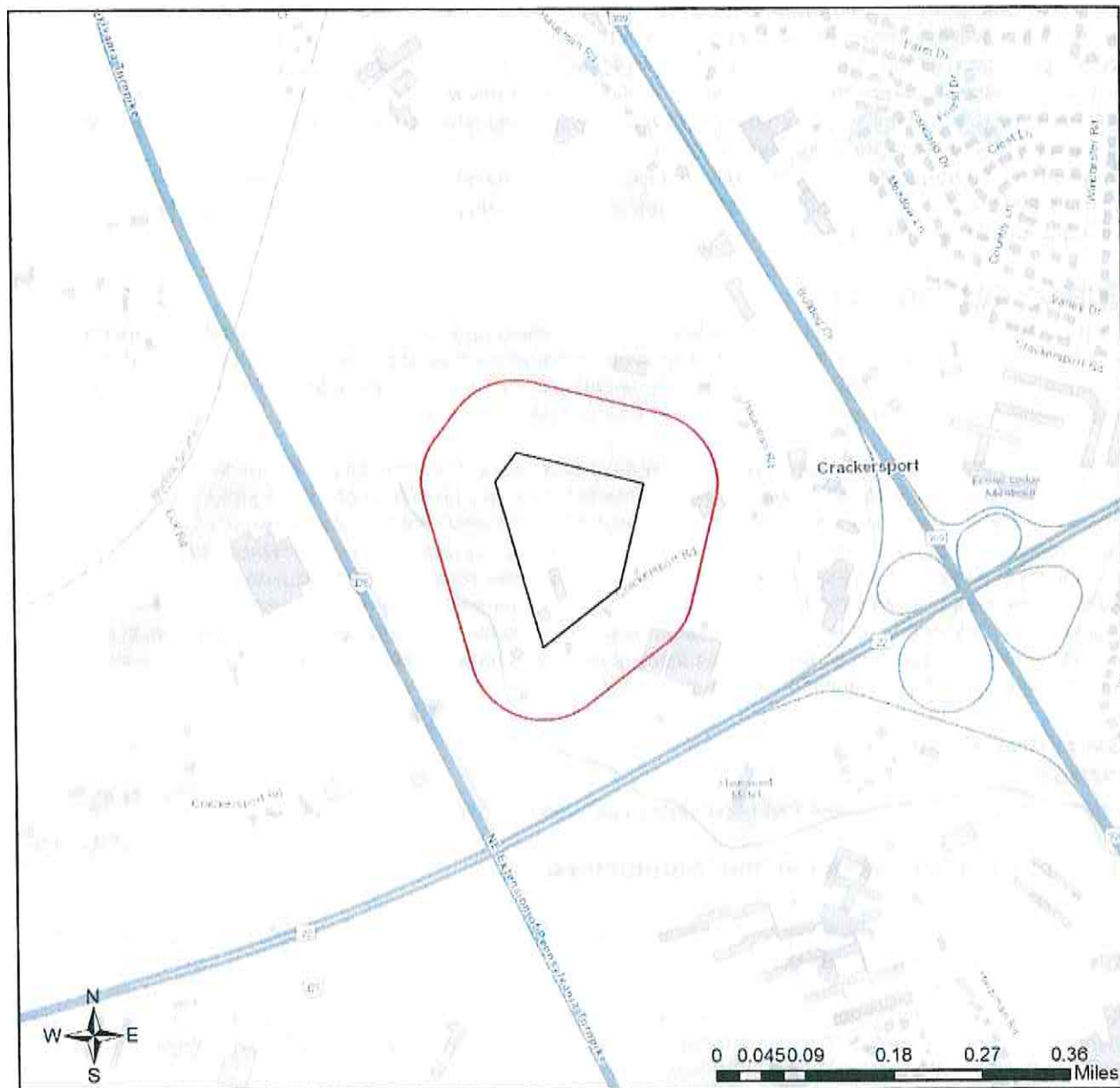


- ☐ Project Boundary
- ☐ Buffered Project Boundary

Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China

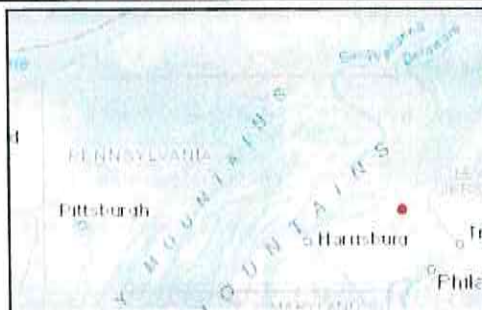


4815 Crackersport Rd. Building Addition



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



RESPONSE TO QUESTION(S) ASKED

Q1: Accurately describe what is known about wetland presence in the project area or on the land parcel by selecting ONE of the following. "Project" includes all features of the project (including buildings, roads, utility lines, outfall and intake structures, wells, stormwater retention/detention basins, parking lots, driveways, lawns, etc.), as well as all associated impacts (e.g., temporary staging areas, work areas, temporary road crossings, areas subject to grading or clearing, etc.). Include all areas that will be permanently or temporarily affected -- either directly or indirectly -- by any type of disturbance (e.g., land clearing, grading, tree removal, flooding, etc.). Land parcel = the lot(s) on which some type of project(s) or activity(s) are proposed to occur.

Your answer is: Someone qualified to identify and delineate wetlands has investigated the site, and determined that wetlands ARE located in or within 300 feet of the project area. (A written report from a wetland specialist, and detailed project maps should document this.)

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE:

Further review of this project is necessary to resolve the potential impact(s). Please send project information to this agency for review (see WHAT TO SEND).

DCNR Species: (Note: The Pennsylvania Conservation Explorer tool is a primary screening tool, and a desktop review may reveal more or fewer species than what is listed below. After desktop review, if a botanical survey is required by DCNR, we recommend the DCNR Botanical Survey Protocols, available here:

<https://conservationexplorer.dcnr.pa.gov/content/survey-protocols>)

Scientific Name	Common Name	Current Status	Proposed Status	Survey Window
Leucothoe racemosa	Swamp Dog-hobble	Special Concern Species*	Special Concern Species*	Flowers late May - early June
Lythrum alatum	Winged-loosestrife	Special Concern Species*	Endangered	Flowers June - early September

PA Fish and Boat Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

U.S. Fish and Wildlife Service

RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

* Special Concern Species or Resource - Plant or animal species classified as rare, tentatively undetermined or candidate as well as other taxa of conservation concern, significant natural communities, special concern populations (plants or animals) and unique geologic features.

** Sensitive Species - Species identified by the jurisdictional agency as collectible, having economic value, or being susceptible to decline as a result of visitation.

WHAT TO SEND TO JURISDICTIONAL AGENCIES

If project information was requested by one or more of the agencies above, upload* or email the following information to the agency(s) (see AGENCY CONTACT INFORMATION). Instructions for uploading project materials can be found [here](#). This option provides the applicant with the convenience of sending project materials to a single location accessible to all three state agencies (but not USFWS).

*If information was requested by USFWS, applicants must email, or mail, project information to IR1_ESPenn@fws.gov to initiate a review. USFWS will not accept uploaded project materials.

Check-list of Minimum Materials to be submitted:

____ Project narrative with a description of the overall project, the work to be performed, current physical characteristics of the site and acreage to be impacted.

____ A map with the project boundary and/or a basic site plan (particularly showing the relationship of the project to the physical features such as wetlands, streams, ponds, rock outcrops, etc.)

In addition to the materials listed above, USFWS REQUIRES the following

____ **SIGNED** copy of a Final Project Environmental Review Receipt

The inclusion of the following information may expedite the review process.

____ Color photos keyed to the basic site plan (i.e. showing on the site plan where and in what direction each photo was taken and the date of the photos)

____ Information about the presence and location of wetlands in the project area, and how this was determined (e.g., by a qualified wetlands biologist), if wetlands are present in the project area, provide project plans showing the location of all project features, as well as wetlands and streams.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.

5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
Email: IR1_ESPenn@fws.gov
NO Faxes Please

PA Game Commission

Bureau of Wildlife Habitat Management
Division of Environmental Planning and Habitat Protection
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: Jay Drasher
Company/Business Name: Aqua-Terra Environmental Ltd.
Address: PO Box 4099
City, State, Zip: Reading, PA 19606
Phone: () 610-374-7500 Fax: ()
Email: jdrasher@aqua-terraenv.com

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.



applicant/project proponent signature

2021-09-22

date

BUREAU OF FORESTRY

September 24, 2021

PNDI Number: 736824

Version: Final_1; 9/22/21

James Drasher
Aqua-Terra Environmental Ltd.
P.O. Box 4099
Reading, PA 19606
Email: JDrasher@Aqua-TerraEnv.com (hard copy will not follow)

Re: 4815 Crackersport Rd. Building Addition
South Whitehall Township, Lehigh County, PA

Dear Mr. Drasher,

Thank you for the submission of the Pennsylvania Natural Diversity Inventory (PNDI) Environmental Review Receipt Number **736824 (Final_1)**. PA Department of Conservation and Natural Resources screened this project for potential impacts to species and resources under DCNR's responsibility, which includes plants, terrestrial invertebrates, natural communities, and geologic features only.

No Impact Anticipated

PNDI records indicate species or resources under DCNR's jurisdiction are located in the vicinity of the project. However, based on the information you submitted concerning the nature of the project, the immediate location, and our detailed resource information, DCNR has determined that no impact is likely. No further coordination with our agency is needed for this project.

Recommended Voluntary Actions:

- Clean boot treads, tools, construction equipment, and vehicles thoroughly (especially the undercarriage and wheels) before they are brought on site. This will remove invasive plant seeds and invasive earthworms/cocoons that may have been picked up at other worksites.
- Revegetate or cover disturbed soil and stockpiles quickly to discourage the germination of invasive plants. Implement proper erosion control practices to stabilize soil and reduce runoff.
- Do not use seed mixes that include invasive species. More information about invasive plants in Pennsylvania can be found at the following link: <http://www.dcnr.pa.gov/Conservation/WildPlants/InvasivePlants/Pages/default.aspx>
- Use native plants for landscaping, revegetation, and stormwater management. Do not use nonnative invasive species. Reduce the area of lawn and impermeable surfaces to the fullest extent practicable in favor of native gardens or habitat restoration (e.g., forest, meadow, wetland, etc.). More information about lawn conversion can be found at the following link: <https://www.dcnr.pa.gov/Conservation/Water/LawnConversion/Pages/default.aspx>

This response represents the most up-to-date review of the PNDI data files and is valid for two (2) years only. If project plans change or more information on listed or proposed species becomes available, our determination may be reconsidered. Should the proposed work continue beyond the period covered by this letter and a permit has not

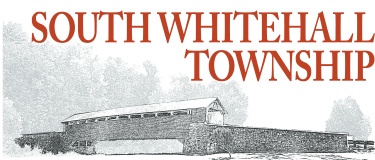
been acquired, please resubmit the project to this agency as an "Update" (including an updated PNDI receipt, project narrative, description of project changes and accurate map). As a reminder, this finding applies to potential impacts under DCNR's jurisdiction only. Visit the PNHP website for directions on contacting the Commonwealth's other resource agencies for environmental review.

Should you have any questions or concerns, please contact Stephanie Seymour, Ecological Information Specialist, by phone (717-705-2819) or via email (c-steseymo@pa.gov).

Sincerely



Greg Podnieszinski, Section Chief
Natural Heritage Section



Agenda Item Details

Meeting	Jan 19, 2022 - Board of Commissioners
Category	8. MOTIONS
Subject	E. Motion to Proceed with Vehicle Purchases for Public Works, Police Department, & Fire Departments
Access	Public
Type	Action (Consent)
Recommended Action	Explanation by Interim Township Manager, Randy Cope, followed by Motion to Approve

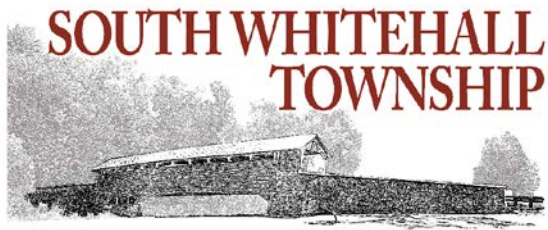
Public Content

- Motion to Proceed with the following Purchases:
- 1. PW - 2023 Freightliner Single Axle Dump Truck; Cost \$192,526.00
 - 2. PW - 2022 Ford F-550 Dump Truck; Cost \$87,377.00
 - 3. PW - Super Products Camel Dump 1200 Series Jet and Vac Truck; Cost \$443,664.82
 - 4. PW - 2022 Ford F-250 Utility Truck; Cost \$47,362.00
 - 5. PD - 2022 Ford F-150 Police Responder (marked/outfitted w/emergency equipment; Cost \$53,811.36
 - 6. PD - (2) 2022 Police Interceptor Utility SUVs \$48,071.42 each. All units require radios, Mobile Data Terminals, speed timing devices, and In-Car Camera systems installed. Total for this project \$217,112.20
 - 7. FD - 2022 Ford 150; Cost \$43,975.46

 [Packet - Vehicle Purchases for PW, PD, FD.pdf \(48,655 KB\)](#)

Administrative Content

Executive Content



MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Herb Bender
DATE:	January 11, 2022
SUBJECT:	Single Axle Dump Truck
COPY TO:	R. Cope, M. Elias, S. Boehret

- **Background Information and/or Justification of Expense:**

Public Works is respectfully asking permission to move forward with the purchase of a 2023 Freightliner Dump Truck. This Truck will be used for multiple functions from hauling blacktop to salting and plowing snow. This truck will be replacing 2003 International Dump Truck. The price for this piece of equipment is \$192,526.00 this was budgeted for \$192,427.30. The International Truck we currently own will be put on Municibid once receive the new truck.

- **Action Requested:**

Public Works is respectfully requesting a motion to approve the purchase of 2023 Freightliner Dump Truck.

- **Budget Line Item (if applicable):**

35430003/40760 (State Highway Aid)

**TRIAD TRUCK EQUIPMENT, INC.**

3380 West Ridge Pike
 Pottstown, PA 19464
 TEL (610) 495-1600 FAX (610) 495-7611
 www.triadtruck.com

QUOTE NUMBER: 0111359
 ORDER DATE: 1/10/2022
 TERMS: NET 10 DAYS

QUOTED BY: CG
 CUSTOMER NO: SOU107
 CUSTOMER ORDER:
 TELEPHONE: (610) 398-0401
 ATTENTION: HERB

SHIP TO:
 SOUTH WHITEHALL TOWNSHIP
 4444 WALBERT ROAD
 ALLENTOWN, PA 18104

SOUTH WHITEHALL TOWNSHIP
 4444 WALBERT ROAD
 ALLENTOWN, PA 18104

***** Due to the current and volatile international trade environment, pricing on this quotation/ order is subject to change based on potential surcharges or increases from our suppliers, and regardless of product origin. We will take all reasonable steps not to invoke this. *****

QTY	ITEM NUMBER/DESCRIPTION	LIST PRICE	NET PRICE	TOTAL
0.00	COSTARS COSTARS # 025-060	\$0.00	\$0.00	\$0.00
0.00	### PLEASE NOTE: PRICING IS GOOD FOR TEN (10) DAYS. PRICING IS SUBJECT TO REVIEW AFTER AND ADJUSTMENT AFTER TEN (10) DAYS.	0.00	0.00	0.00
1.00	### SUPPLY AND INSTALL 10'6" BEAU-ROC SSM1 MUNICIPAL DUMP BODY PACKAGE STAINLESS STEEL, CROSS MEMBERLESS DESIGN. CONSTRUCTION: UNIBODY, LIGHT WEIGHT LONGSILLS: 7 GAUGE 201 STAINLESS STEEL WITH RUBBER MOUNT ISOLATION KIT FLOOR: .177" HARDOX 450 STEEL (82" FLAT FLOOR) CUSTOM 82" FLAT FLOOR FOR LEAF BOX APPLICATION FRONT: 7 GAUGE, 201 S.S., 2B, 45 DEGREE CORNERS CAB SHIELD: 24" 10 GAUGE, 201, 2B S.S. SIDES: 7 GAUGE, FOLDED TOP RAIL, 201, 2B S.S. SMOOTH TAILGATE: 7 GAUGE, 201 S.S., STRAIGHT SLOPE, BARN DOOR STYLE TAILGATE WITH MANUAL SIDE LATCH IN REAR	0.00	72,399.00	72,399.00
				Continued

TRIAD TRUCK EQUIPMENT, INC.

QUOTE NUMBER: 0111359
ORDER DATE: 1/10/2022

Page 2 of 4

QTY	ITEM NUMBER/DESCRIPTION	LIST PRICE	NET PRICE	TOTAL
1.00	42" SIDES WITH 42" TAILGATE LIFTING DEE RING INSIDE TAILGATE FULL LENGTH GRIP STRUT CS-100-4.5-3DA DOUBLE ACTING TELESCOPIC HOIST THREE OVER CENTER STYLE COAL DOORS AIR OPERATED TAILGATE 4 LED STROBE LIGHTS IN CAB SHIELD 1 LED OVAL STOP-TAIL-TURN LIGHT IN EACH REAR POST 1 LED OVAL BACK UP LIGHT IN EACH REAR POST 1 LED OVAL STROBE LIGHT IN REAR POST STATE AND D.O.T.LIGHTS, FLAPS, CONSPICUITY TAPE, AND REFLECTORS. STAINLESS STEEL FOLD DOWN LADDER ON DRIVERS SIDE INSIDE BODY STEP ANGLED FROM SIDE TO BULKHEAD STANDARD BODY PROP BODY RUBBER MOUNTED RUBBER MUD FLAPS FRONT WITH CROME ANTI SAIL BRACKET AND REAR FLAPS WITH HOOKS AERO 575 ELECTRIC TARP SYSTEM WITH ALUMINUM SIDE ARMS, ASPHALT RATED TARP WITH SIDE FLAPS, AND WIND DEFLECTOR (TARP SWITCH SHALL BE MOUNTED TO CENTER CONSOLE) DO NOT MOUNT NEXT TO SEAT LIKE PRIOR BUILDS 3/4" PINTLE HOOK PLATE WITH 25 TON PINTLE HOOK, DEE RINGS, AND CUSTOMER SPECIFIED TRAILER SOCKETS IN CAB ELECTRIC BRAKE CONTROLLER 2 LED SPREADER WORK LIGHTS (ONE EACH SIDE) LED HEATED FENDER MOUNT PLOW LIGHTS BODY UP LIGHT BACK UP ALARM STAINLESS STEEL SPRING LOADED SHOVEL HOLDER 24" X 24" X24" ALUMINUM TOOLBOX WITH FOLDING LATCH UNDERSIDE OF BODY AND HOIST SHALL BE PAINTED BLACK ### CENTRAL HYDRAULICS: SUPPLY AND INSTALL CENTRAL HYDRAULICS TO OPERATE DUMP BODY, SNOW PLOW AND MATERIAL SPREADER HYDRAULIC FUNCTIONS. HOT SHIFT, TRANSMISSION MOUNTED PTO LOAD SENSING DIRECT MOUNT PUMP 35 GALLON VT STAINLESS STEEL HYDRAULIC / VALVE ENCLOSURE (GENERATION II) RESERVOIR WITH INTERNAL RETURN FILTER, EXTERNAL MOUNTED SIGHT GAUGE, AND HIGH CAPACITY SUCTION STRAINER. SINGLE PNEUMATIC CONTROLLED BODY LEVER	0.00	0.00	0.00

Continued

TRIAD TRUCK EQUIPMENT, INC.

QUOTE NUMBER: 0111359
ORDER DATE: 1/10/2022

Page 3 of 4

QTY	ITEM NUMBER/DESCRIPTION	LIST PRICE	NET PRICE	TOTAL
1.00	<p>SINGLE PNEUMATIC CONTROLLED JOYSTICK PLOW LEVER PUMP SHUT DOWN OVER-RIDE SWITCH WITH LOW OIL AND OIL TEMP LIGHTS. FULL PORT 2" BRASS BALL VALVE DOUBLE ACTING HOIST, DOUBLE ACTING PLOW RAISE/ LOWER, DOUBLE ACTING PLOW ANGLE, AND FORCE AMERICA MODEL 5100EX ELECTRIC SPREADER CONTROLLER.</p> <p>###</p> <p>** STAINLESS STEEL UNDER TAILGATE SPREADER*** SUPPLY AND INSTALL BUYERS PRODUCTS MODEL #92420SSA STAINLESS STEEL UNDER TAILGATE SPREADER BOX TO INCLUDE: #304 STAINLESS STEEL - 96" WIDE. HYDRAULIC LOCKOUT SYSTEM (KEEPS AUGER STOPPED FOR MAINTENANCE). HINGED TOP LID AND CLEAN OUT TROUGH 6" REVERSE FLIGHT AUGER DIRECT DRIVE AUGER MOTOR MOUNTING BRACKETS BOLTED TO REAR CORNER TAILGATE CLOSURE SPILL PLATES SIDE GUSSETS ON SPREADER SUPPORTS. STAINLESS STEEL ADJUSTABLE SPINNER BRACKET POLY SPINNER DISC</p>	0.00	0.00	0.00
1.00	<p>###</p> <p>SUPPLY AND INSTALL BONNELL 29" HUSTING HITCH WITH 3" X 2" X 10" DOUBLE ACTING LIFT CYLINDER. HITCH SHALL BE MOUNTED APPROXIMATELY 14" FROM GROUND TO BOTTOM OF HITCH.</p>	0.00	0.00	0.00
0.00	<p>THANK YOU CG HERB, THANK YOU FOR YOUR INTEREST IN OUR COMPANY. WE HOPE YOU FIND THIS QUOTE FAVORABLE</p> <p>***** TERMS *****</p> <p>** TRIAD WILL REQUIRE CUSTOMER TO SIGN PROPOSAL WITH PLACEMENT OF ORDER. *****THIS PROPOSAL AND ITS PRICING IS GOOD FOR TEN (10) DAYS. *****ALL PROPOSALS ARE SUBJECT TO PRICING REVIEW PRIOR TO ORDERING AFTER TEN DAY TIME PERIOD!</p>	0.00	0.00	0.00
<p>Sales Receipt Only ** Invoice to Follow No Returns on Electrical or Special Order Parts SEE US FOR YOUR SNOWPLOW NEEDS</p>			<p>Net Order: \$72,399.00 Less Disc: 0.00 Freight: 0.00 Sales Tax: 0.00 Order Total: \$72,399.00</p>	

TRIAD TRUCK EQUIPMENT, INC.QUOTE NUMBER: 0111359
ORDER DATE: 1/10/2022

Page 4 of 4

QTY	ITEM NUMBER/DESCRIPTION	LIST PRICE	NET PRICE	TOTAL
	<p>NOTE: Due to the fact this proposal is furnished with truck / chassis unseen, it does not include any unforeseen additional modification, component relocation, parts, material or labor which may be necessary to properly perform above work as quoted. If necessary, any additions will be discussed with customer and quoted at that time.</p> <p>NOTE: THE IMPLIED WARRANTY DOES NOT COVER DAMAGE TO PAINT RESULTING IN CHIPPING, NICKS OR SCRATCHES THAT MAY OCCUR DUE TO THE TYPES OF MATERIALS THAT ARE BEING TRANSPORTED BY THE END USER.</p> <p>AFTER REVIEW, IF YOU HAVE ANY QUESTIONS PLEASE DON'T HESITATE TO CONTACT ME.</p> <p>CHRIS GROVE PHONE: 610-495-1600 FAX: 610-495-7611 CELL: 610-633-2626 EMAIL: CHRIS@TRIADTRUCK.COM</p> <p>_____ CUSTOMER SIGNATURE DATE</p> <p>_____ PURCHASE ORDER NUMBER</p> <p>_____ CHASSIS ARRIVAL DATE @ TTE</p>			
Sales Receipt Only ** Invoice to Follow No Returns on Electrical or Special Order Parts SEE US FOR YOUR SNOWPLOW NEEDS			Net Order: \$72,399.00 Less Disc: 0.00 Freight: 0.00 Sales Tax: 0.00 Order Total: \$72,399.00	

E. M. KUTZ, INC.

Main Office

2456 Morgantown Rd.
Reading, PA 19607
610-775-3528/610-775-4848-fax

Branch Office

801 Front St., Suite 1
Whitehall, PA 18052
610-264-9777/610-264-9797-fax

South Whitehall Twp
Attn: Mr. Herb Bender

Date: 01/10/2022

PROPOSAL

Sales Agent: Nickole Campbell/Roy Travis
Email: ncampbell@emkutz.com
Cell: 610-587-2537

DESCRIPTION

Furnish and install the following per COSTARS #025-053

Chassis to arrive with front frame extensions, Allison series 3000/+ transmission with PTO access, PTO switch and factory upfitter switches, plow light switch, 85" usable cab to axle.

Body

TBEI/Duraclass Model SLT316 Crossmemberless Stainless Steel Dump Body
10'6" x 84" inside width x 42" side height X 42" Tailgate height
7ga 201-2B stainless steel material to sides, front, and tailgate
1/4" AR450 hardened steel floor
7ga 201-2B stainless steel long sills
82" custom flat floor for leaf box application (90 degree bends instead of bevel plates)
Single horizontal side brace down each side of body
1/2 x 90" stainless steel cab shield with built in tarp deflector
4 oval light holes in cab shield (2 front lip, 1- each side)
3 oval light holes in each rear corner posts
Grip strut full length down both sides of body
6 panel, double acting, air tailgate with stainless tailgate hardware
2-way swing gate
3 coal doors with over center handles
Lifting Dring inside top center of tailgate
Step on inside left front of body
2-rung grip strut folding ladder
Full height grab handle front left
Standard body prop
42-98 double acting telescopic front mount hoist
Front and rear mudflaps with stainless steel hardware

Hydraulics

Hot Shot transmission mounted PTO
Direct mount gear pump
Bosch Rexroth 40-gallon VTM Stainless steel hydraulic valve/tank module with built in micron filter, low oil float and sight glass
Pump shut down for high heat/temperature override and low oil warning

(Continued)

Hydraulics, Continued

Body and plow systems to operate as double acting cylinders
Brass shut-off valve back to tank
Single pneumatic joystick lever for body up/down
Single pneumatic joystick lever for plow up/down and left/right movement
Aluminum console for controls
Bosch Rexroth CS-530 spreader controller
Quick couplers to spreader/plow end and all pressure hoses and fittings included
No live hydraulic lines in cab area.

Snowplow Hitch

Root 29" Hustings hitch
3" x 10" double acting lift cylinder

Spreader

Swenson SADS hydraulic under tailgate spreader assembly- Direct Drive
.201-2B stainless steel finish
6" left center discharge auger
Stainless steel spinner assembly with polymer spinner disk
Stainless steel dump body tailgate filler plates

Lights and Wiring- Use factory upfitter switches

LED heated snowplow lights fender mounted on aluminum and stainless-steel brackets
Four (4) Whelen LED amber strobe lights in cab shield
Two (2) Whelen LED amber strobes in each rear post
Two (2) LED back up light in each rear corner post
Two (2) LED stop/tail/turn lights in each rear post
Two (2) LED spreader work lights, one at each corner under the body of truck
Electric brake controller
Trailer light plug at rear (customer to verify pin type)
Back up alarm
Body up light

Miscellaneous

Aero 575 automatic tarp system with double arm kit. Aluminum arms with spring assemblies
Asphalt treated expandable tarp. (Tarp switch mounted to center console)
Pintle plate with 25-ton spring type pintle hook at rear with "D" rings
Stainless-steel spring-loaded shovel holder
Aluminum diamond tread toolbox, 24"x24"x24" (space permitting)
Reflective tape on bottom side rails and rear rail of tailgate

Welded/fabricated and plow hitch painted black
Exterior of body to be bare stainless-steel finish

Price Per Unit - \$77,757.00 As per COSTARS #025-053

Pricing reflects a cash or check discount. Credit card purchases will incur a 4% surcharge to be added to order total.

All prices quoted do not include applicable taxes unless otherwise noted.

Customer Approval By: _____
Name Title Date
Purchase Order Number: _____
F.O.B. E. M. Kutz, Inc.

Terms: Net 10

Delivery: Please allow 30 to 60 days to complete unit after equipment and chassis arrival.

Paint - Due to the variety of colors currently being provided by chassis manufacturers, E. M. Kutz, Inc. can no longer guarantee a 100% match.

All claims are contingent upon strikes, accidents and other caused beyond our control, including similar contingencies to our shippers or vendors and relative to the subject matter hereof. Clerical errors are subject to correction.

Note: All chassis to arrive with sufficient material to mount and install fuel tank or tank filler necks. Any additional material or labor needed for this there will be an upcharge. Also any rerouting of exhaust needed to mount P.T.O. or pumps there will be an upcharge.

Price Subject To Change at Any Time

Please Note: Should there be any supplier surcharges after your order has been placed, those increased charges will be documented and passed along and added to your final invoice.



TRIUS inc.

6475 Ruch Rd. Bethlehem, PA 18017
484-281-3450 Fax 484-281-3380
www.triusonline.com



QUOTATION: 01/07/2022
DATE: 01072022
SOUTH WHITEHALL TWP
HERB BENDER
PUBLIC WORKS MANAGER
4444 WALBERT AVE.
ALLENTOWN, PA 18104
PHONE: 610-794-3291
BENDERH@SOUTHWHITEHALL.COM

COSTARS CONTRACT # 025-231

RE: THE PURCHASE AND INSTALLATION OF THE FOLLOWING ON A 2020 SINGLE AXLE CHASSIS
(CA WILL HAVE TO BE DETERMINED WHEN FINAL PO IS APPROVED)

BOSCH REXROTH HYDRAULICS
60CC PUMP FOR PTO MOUNTING
CS520 CONSOLE PACKAGE
5 SECTION M4 STAINLESS COMBO TANK
BANK AIR JOYSTICK PEDESTAL
MUNCIE HOTSHIFT PTO

HENKE 29" HUSTINGS HITCH
29" HUSTING HITCH TRUCK PORTION
HITCH SET UP FOR A 13" GROUND TO BOTTOM OF HITCH MOUNTING HEIGHT AUTOMATIC SNAP
COUPLING TYPE STANDARD DUAL CAM ACTUATED SPRING LOADED LOCKING PINS HUSTING
HITCH ROLLER PADS
3" X 10" DOUBLE ACTING LIFT CYLINDER

SWENSON UNDER TAILGATE SPREADER
SEGS SPREADER NJ DOT STYLE
DROP PORT LOCATED 7" FROM LEFT
GEARBOX DRIVEN/NO PAINT ON STAINLESS STEEL
EXTENDED END PLATES



TRIUS inc.

6475 Ruch Rd. Bethlehem, PA 18017
484-281-3450 Fax 484-281-3380
www.triusonline.com



OTHER

18"X 18" TOOL BOX

PINTLE PLATE

25 TON BOLT ON

7 PIN RV PLUG

D-RINGS

MUD FLAPS

ELECTRIC BRAKE CONTROL

7 WAY TRAILER PLUG

GALION STAINLESS STEEL DUMP BODY W/ ABOVE IN BLUE

11' X 84"X 40"X 40"

LENGTH 132"

WIDTH 84"

SIDE HEIGHT 40"

REAR HEIGHT 40"

¼" AR450 FLOOR W/ REMAINDER 7 GA 201-2B STAINLESS

(1) FORMED OUTWARD "V" HORIZONTAL SIDE BRACE PER SIDE

GRIP STRUT FULL LENGTH BOTH SIDES AT BOTTOM W/ FLAT BAR OVER FACE

6-PANEL D/A TAILGATE, 3-1/2" X 8" D/A AIR RELEASE

STAINLESS TAILGATE HARDWARE W/ STEEL LIFTING RING TOP CENTER INSIDE

(3) COAL DOORS IN TAILGATE WITH CENTER DOOR HANDLE EXTENDED TO THE LEFT

½ X 90" CAB GUARD WITH 8" FRONT LIP

(4) OVAL STROBES IN CAB GUARD (2-FRT LIP & 1- EA SIDE)

4-STEP STAINLESS SLIDE OUT LADDER

FED 108 LED LIGHT KIT

(1) OVAL S/T/T IN EACH REAR CORNER POST

(2) EXTRA OVAL STROBES IN EACH REAR CORNER POST

MAILHOT CS100-4.5-3 DA HOIST, B1875 BLOCKS, AC4024 CRADLE, P200 HINGE

BACK UP ALARM AND BODY LIGHT

AERO MODEL 575 10-13' DUAL ARM TARP (MESH OR ASPHALT TARP)

REV: ZIEBART UNDERCOATING

COSTARS PRICING \$88,706.00



TRIOUS inc.

6475 Ruch Rd. Bethlehem, PA 18017
484-281-3450 Fax 484-281-3380
www.triushonline.com



SWENSON STAINLESS STEEL DUMP BODY W/ ABOVE IN BLUE

STAINLESS STEEL

SIDE BRACING FORMED HORIZONTAL

FLOOR STRUCTURE CROSS MEMBERLESS

CAB SHIELD STYLE (10 GAUGE) 1/2 (24")

BODY LENGTH 11 FT

BODY WIDTH INSIDE 84"

BODY WIDTH OUTSIDE 96"

SIDE HEIGHT 40"

HEADSHEET HEIGHT 46"

TAILGATE HEIGHT 40"

CAB SHIELD WIDTH 84"

CABSHIELD TO LONGSILL HEIGHT 70"

HOIST TYPE TELESCOPIC CLASS 50

ACTION STYLE DOUBLE ACTING

LONGSILLS I-BEAM 8"

TAILGATE PANEL STYLE SIX PANEL

TAILGATE CHAINS STAINLESS

TAILGATE RELEASE TYPE AIR CYLINDER

COAL CHUTE THREE

CENTER COAL CHUTE, EXTENDED HANDLE TO
DRIVER SIDE.

FLOOR MATERIAL 1/4" AR450

CAB SHIELD MATERIAL 10 GA 201 STAINLESS

LADDERS ONE

LADDER STYLE FOLD UP (STAINLESS)

WALK RAIL

(4) OVAL STROBES IN CAB GUARD (2-FRT LIP & 1- EA SIDE)

4-STEP STAINLESS SLIDE OUT LADDER

FED 108 LED LIGHT KIT

(1) OVAL S/T/T IN EACH REAR CORNER POST

(2) EXTRA OVAL STROBES IN EACH REAR CORNER POST

COSTARS PRICING \$82,827.00



TRIUS inc.

6475 Ruch Rd. Bethlehem, PA 18017
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www.triusonline.com



Thank you,

Nadine Lilly
Project Manager
nlilly@triusonline.com
484-281-3380 OFFICE
610-724-0518 MOBILE

DATE

8/23/2021

QUOTE INFORMATION

TRAN2021000323A371

GRANITE 42BR

Qty: 1

PREPARED BY

ALLENTOWN MACK SALES &
SERVICE, INC.

1407 BULLDOG DR

ALLENTOWN

PA 181041972

PREPARED FOR

SOUTH WHITEHALL TOWN
SHIP

4444 WALBERT AVE

ALLENTOWN

PA 181041699

PROPOSAL





TECHNICAL SPECIFICATION

GRANITE 42BR

APPLICATION PACKAGES		DESCRIPTION
CHASSIS CONFIGURATION PACKAGE		ONEBOX EATS, LH BATTERY BOX, 11.8 GALLON (45L) DEF, SINGLE 22" LH FUEL TANK
CUSTOMER/VEHICLE INFO		DESCRIPTION
S	CHASSIS (BASE MODEL)	GRANITE 42BR
S	ASSEMBLY PLANT	Made in Macungie, PA USA
	CUSTOMER FLEET SIZE	DEALER FLEET WITH LESS THAN 25 VEHICLES IN OWN FLEET OF ANY VEHICLE BRAND
	TYPE OF SERVICE	MUNICIPAL
S	WARRANTY REGISTRATION LOCATION	US - WARRANTY REGISTRATION LOCATION
	EMISSION WARRANTY CERTIFICATION	EPA (only) for Mack MP7 / MP8 Diesel
S	INITIAL REGISTRATION LOCATION	USA REGISTRATION
S	LANGUAGE-PUBS/DECAL/SIGNS	ENGLISH
S	ROAD CONDITION	WELL MAINTAINED SURFACED ROADS >95% DRIVING DISTANCE
	VEHICLE USE & BODY/TRAILER TYPE	SNOW PLOW FRONT MOUNTED
	TRAILER TYPE	FIXED DRAWBAR TRAILER AND CENTERED AXLES
	GROSS COMBINATION WEIGHT (CA in PC29 only)	65,000 LB (29.5 TONNES) GROSS COMBINATION WEIGHT
S	BRAKE REGULATION	BRAKE REGULATION, STOPPING DISTANCE 94M (310FT)
	TOPOGRAPHY	GRADES <3% GREATER THAN 98% OF DRIVING DISTANCE MAX GRADE 8%
S	AMBIENT TEMP UPPER LIMIT (GTA)	AMBIENT TEMPERATURE HOT. WARMER THAN 104 F (40 C) ALLOWED UP TO 25 HOURS PER YEAR
S	TERRAIN GRADE	ON-OFF HIGHWAY, STARTING GRADES<18%
S	LOADING SURFACE	CONCRETE LOADING AND / OR UNLOADING SURFACE
	VEHICLE VOCATION	CONSTRUCTION SERVICE
ENGINE/TRANSMISSIONS		DESCRIPTION
	ENGINE PACKAGE, COMBUSTION	MP7-365C MACK 365HP @ 1400-1700 RPM (PEAK) 1950 RPM (GOV) 1460 LB-FT, US'17
S	GHG APPLICATION, VEHICLE	GREEN HOUSE GAS VOCATIONAL APPLICATION
	TRANSMISSION	4000 RDS 6 SP-ALLISON RUGGED DUTY SERIES GEN 5 W/PROGNOSTICS
S	GEARBOX 12TH GEAR LOCK-OUT	WITHOUT 12TH GEARBOX GEAR LOCK-OUT

EXHAUST/EMISSIONS		DESCRIPTION
	CARB 2008 IDLE REGULATION	IDLE EMISSION CERTIFICATION, BASIC
S	DPF DIESEL PARTICULATE FILTER	CLEARTECH ONE BOX E.A.T.S. RH SIDE UNDER CAB US17 / US21
	CHASSIS MOUNTED EMISSIONS FINISH	PAINTED DEF & DPF COVER
	DEF TANK	11.8 GALLON (45 L) 22" LEFT SIDE FRAME MOUNTED
	EXHAUST	SINGLE VERTICAL RIGHT SIDE CAB MOUNTED, LOWER VENTURI DIFFUSER, TURNED END
	EXHAUST STACK HEIGHT	9' 6" FROM GROUND
	EXHAUST SYSTEM MATERIAL FINISH	SINGLE, BRIGHT FINISH HEAT SHIELD AND SCR COVER (IF EQUIPPED)
	EMISSION ON BOARD DIAG CONTROL	EMISSION OBD, DISPLAY ONLY, USA2022

ENGINE EQUIPMENT		DESCRIPTION
	AIR CLEANER	UNDER HOOD SINGLE ELEMENT DRY TYPE W/AIR CONTROLLED INSIDE-OUTSIDE AIR INTAKE&DASH MTD AIR RESTRICTI
S	BUG SCREEN	BLACK ALUMINUM BUG SCREEN MOUNTED BEHIND GRILLE, WITHOUT WINTER FRONT COVER
	AIR COMPRESSOR/DRYER	BENDIX HEATED AD9 AIR DRYER W/ WABCO 318 (18.7 CFM) AIR COMPRESSOR
S	AIR DRYER POSITION (CA)	AIR DRYER POSITION STANDARD
	ALTERNATOR	LEECE NEVILLE 12V 160A BRUSHLESS
S	BATTERIES	(3) MACK 12V 650/1950 CCA THREADED STUD TYPE
	BATTERY BOX - MOUNTING	LH RAIL UNDER CAB FORWARD OF FUEL TANK (3 BATTERY MAX)
S	BATTERY BOX COVER	MOLDED PLASTIC
	BATTERY DISCONNECT SWITCH	FLAMING RIVER BIG SWITCH WIRED TO POSITIVE SIDE
S	STARTER MOTOR	12 VOLT DELCO 39MT-MXT
S	ENGINE BRAKE	MACK MP7 POWERLEASH
S	FAN DRIVE	BEHR FAN AND ELECTRONIC MODULATING VISCOUS FAN DRIVE
S	COOLANT PROTECTION	ETHYLENE GLYCOL FULLY FORMULATED COOLANT (50/50 MIX DYED PINK) TO -34DEG, W/ FILTER
	RADIATOR TYPE	RADIATOR, CORE AREA W/O FEPTO 1345sq in (86sq dm), CORE AREA W/ FEPTO 1296sq in (83sq dm)
S	HOSES - RADIATOR/HEATER	MACK EPDM RADIATOR & HEATER HOSES
	FUEL-WATER SEPARATOR	DAVCO 382, (FLUID HTD) FUEL HEATER/WATER SEPARATOR W/VENDOR PRIMARY
S	PRIMARY FUEL FILTER POSITION (CA)	STANDARD FUEL FILTER POSITION
	ENGINE HEATERS	120v 1500w BLOCK HEATER ONLY (120V-15A PLUG)
	OIL PAN	STAINLESS STEEL OIL PAN
S	ENGINE STOP, EMERGENCY (CA in PC29 only)	WITHOUT ENGINE STOP, EMERGENCY

W/O EMERGENCY
START STUDS

CLUTCH/TRANS EQUIPMENT		DESCRIPTION
	GEAR SHIFTER	ALLISON DASH MOUNTED SHIFTER W/NEUTRAL TO RANGE INHIBIT (HD SERIES)
S	CLUTCH ACTUATION SYSTEM & PEDAL PAD	WITHOUT CLUTCH CABLE SYSTEM
	DRIVELINE - MAIN	MERITOR 18 MXL "XTENDED LUBE" (PROPS-L)
	PROPELLR SHAFT MAIN, UNVSL JNT	UNIVERSAL JOINT HALF-ROUND TYPE
S	TRANSMISSION OUTPUT TORQUE	TRANSMISSION OUTPUT TORQUE BASIC
S	BELL HOUSING	ALUMINUM
	LUBRICANTS, TRANSMISSION	TRANSYND SYNTHETIC LUBE FOR ALLISON TRANS
	TRANSMISSION OIL COOLER	ALLISON TRANS. W/DIRECT MOUNT COOLER & SS COOLANT TUBES

FRONT AXLE EQUIPMENT		DESCRIPTION
	FRONT AXLE	20000# (9100 KG) MACK FXL20 WIDE PIVOT CENTER STRAIGHT SPINDLE/UNITIZED BEARINGS
	SPRINGS - FRONT	MACK TAPERLEAF HD 20000# (9100 KG) GROUND LOAD RATING, EQUAL BIAS
S	FRONT AXLE BRAKES	MERITOR "S" CAM TYPE 16.5" x 6" Q+
S	BRAKE, FRONT	CAST IRON
	FRONT AXLE BRAKE DUST SHIELD	DUST SHIELDS FOR FRONT AXLE
S	FRONT BRAKE ADJ. MANUFACTURE	HALDEX - AUTOMATIC
S	FRONT BRAKE CHAMBER MFG.	FRONT BRAKE CHAMBER MANUFACTURER, MGM
S	HUB MATERIAL, FRONT	FERROUS
S	SHOCK ABSORBER, FRONT	DOUBLE ACTING TYPE
S	STEERING	TRW TAS66+RCH60 POWER
S	LUBRICANTS, FRONT AXLE	PETROLEUM/SYNTHETIC (50/50) OIL FRONT AXLE

REAR AXLE EQUIPMENT		DESCRIPTION
	REAR AXLE - SINGLE	23000# (10400kg) MERITOR RS-23-160 SINGLE REDUCTION
S	REAR AXLE CASING WIDTH	W/O WIDE TRACK AXLE
	CARRIER - REAR AXLE	VENDOR CARRIER
	REAR AXLE RATIO	4.56 RATIO OTHER SPEC = 3.98
S	REAR SUSPENSION - SINGLE	23000# (10432kg) MULTILEAF
S	BRAKES - REAR	MERITOR "S" CAM 16.5"x7" Q+
S	BRAKE, DRIVE, REAR	CAST IRON
S	REAR BRAKE ADJ MANUFACTURE	HALDEX - AUTOMATIC
	DRIVE AXLE BRAKE DUST SHIELD	DUST SHIELDS FOR REAR AXLE
	REAR BRAKE CHAMBER SIZE	REAR SPRING BRAKE CHAMBERS 30/30 TYPE
	BRAKE ORI REAR-MOST DRIVE AXLE	DRUM BRAKE CHAMBER ORIENTATION: Middle Mount - Forward of Axle - Chamber Up
S	REAR BRAKE CHAMBER	MGM TR3030LP3THD BRAKE CHAMBERS
S	HUB MATERIAL, DRIVE	IRON PRESET REAR HUB W/INTEGRATED SPINDLE NUT
	LUBRICANTS, REAR AXLE(s)	SYNTHETIC OIL IN REAR AXLE COGNIS EMGARD FE 75W-90
	TRACTION DIFFERENTIAL	DRIVER CONTROLLED INTER WHEEL DIFFERENTIAL LOCK FRT RR AXLE, MANUAL AIR VALVE W/WARNING LIGHT.
S	ANTILOCK BRAKE SYSTEM	BENDIX WITH TRACTION CONTROL 4S4M
S	BRAKE VALVE VERSION	BENDIX SWITCHES AND VALVES WHERE POSSIBLE
S	TRACTION CONTROL DISABLE (CA in PC29 only)	AUTOMATIC TRACTION CONTROL (ATC) FULL DISABLE SWITCH

FRAME EQUIPMENT/FUEL TANKS		DESCRIPTION
	WHEELBASE	165"
	AF (OVERHANG)	67"
	FRAME RAILS & LINERS	9.5 x 90 x 300mm - (0.37" x 3.54" x 11.81"); RBM 2,470,000 LB-IN
CA	FRONT FRAME LENGTH	Bumper Position Extended 20" (snow)
S	CROSSMEMBERS	BOC AND INTERMEDIATE(S) STEEL HD BACK-TO-BACK CHANNEL
S	REAR CROSSMEMBER OPTIONS	STEEL CLOSING REAR CROSSMEMBER
S	REAR FRAME TREATMENT	WITHOUT TAPERED FRAME RAIL ENDS
S	FRONT BUMPER	EXTENDED-SWEPT BACK-STEEL
S	TOWING DEVICE, FRONT	HOOKS
S	FUEL LEVEL SENDER UNIT, LIQUID	BASIC FUEL LEVEL SENDER MOUNTED ON L.H TANK
	FUEL TANK - LH	66 GALLON (250 L) 22" ALUMINUM D-SHAPE

FRAME EQUIPMENT/FUEL TANKS		DESCRIPTION
S	FUEL TANK - RH	W/O RH FUEL TANK
S	FUEL HOSES, LIQUID	BRAIDED HOSE
S	FUEL FILLER NECK OPTIONS	WITHOUT FILLER NECK SCREEN, WITH NON-LOCKABLE FUEL TANK CAP
	FUEL LINE OPTIONS, LIQUID	W/O FUEL LINE OPTION
S	CAB INSTEP VERSION	STANDARD 2 STEP CAB ACCESS
Alum Tank Not Polished		
AIR/BRAKE		DESCRIPTION
	AIRTANK DRAIN VALVE	MANUAL DRAIN VALVES, WITH LANYARDS ON ALL TANKS
	AIRTANK MATERIAL	ALUMINUM AIR TANK PAINTED CHASSIS COLOR
S	RELOCATE AIR RESERVOIRS	W/O RELOCATED AIR TANKS
	PARKING BRAKE VALVE	TWO (2) VALVE DUAL BRAKE SYSTEM - TRAILER SUPPLY AND TRACTOR-TRAILER PARK
Alum Not Polished		
ELECTRICAL		DESCRIPTION
	BACK-UP ALARM	ECCO BACK-UP ALARM 575 CONSTANT SOUND LEVEL 107 dB
	DASH MOUNTED SWITCHES	SIX (6) ASSIGNABLE BODYBUILDER DASH SWITCHES (5 ON-OFF, 1 MOMENTARY)
S	ROOF & SIDE MARKER LIGHTS	(5) TRUCKLITE CHROME BULLET ROOF MARKER & STANDARD MARKER / DIRECTIONAL SIGNAL
	AUXILIARY LAMPS (CA in PC29 only)	DASH CTRL/PWR SUPPLY/LOCAL INST PLOW LAMPS W/LEAD FURN@ GRILL W/2W/3W WEATHER PACK CON
S	DAYTIME RUNNING LIGHTS	W/OVERRIDE SWITCH, PARK BRAKE & ENGINE RUNNING ACTIVATED
S	DRL OVERRIDE SPEED THRESHOLD	DRL OVERRIDE SPEED THRESHOLD 8 KMPH (5 MPH)
S	TAIL LAMPS	INCANDESCENT TAIL LAMPS
	WORK LIGHTS - CHASSIS MOUNTED	RH/LH LED WORK LIGHT (STEPS & GROUND) ON BOTH SIDES TRUCK
TRAILER CONNECTIONS		DESCRIPTION
	TRAILER BRAKE VALVE	HAND CONTROL VALVE FOR TRAILER OR REAR SERVICE BRAKES - DUAL FUNCTION
	TRAILER CONNECTION POSITION (CA in PC29 only)	TRAILER AIR BRAKE CONNECTIONS, END OF FRAME
	TRAILER ELECTRICAL RECEPT	SINGLE 7 PINS STD SAE TYPE, END OF FRAME
PTO		DESCRIPTION
	POWER TAKE OFF CONTROL	TRANSMISSION PTO SWITCH AND LIGHT WITH WIRING AND PIPING FOR LOCAL INSTALLATION
S	PTO TRANS NEUTRAL CONTRL CHECK	W/O NEUTRAL CONTROL
S	BODY BUILDER INTERFACE	BODY LINK III W/CAB PASS-THRU
SPECIALTY EQUIPMENT		DESCRIPTION
S	LANE SUPPORT SYSTEM (LSS)	WITHOUT LANE SUPPORT SYSTEM
S	DATA CAPTURE	WITHOUT DATA CAPTURE
S	CAMERA, SURVEILLANCE	WITHOUT CAMERA
CAB INTERIOR (A THRU G)		DESCRIPTION
S	GAUGES - UNIT OF MEASURE	U.S. UNITS (PREDOMINANT)
	GAUGE - PACKAGE, SECONDARY	2ND GA PKG W/ENG OIL TEMP, TRANS OIL TEMP, PYRO, AIR RESTRICT
	GAUGE - REAR AXLE OIL TEMP	REAR AXLE OIL TEMP GAUGE IN DID (DRIVER INFORMATION DISPLAY)
S	AIR CONDITIONING/HEATER	BLEND AIR HVAC W/"ATC" TEMP REGULATION
OMIT PNEUMATIC LINE CLEANOUT (AIR HOSE)		

CAB INTERIOR (A THRU G)		DESCRIPTION
S	DOM E LAMP, INTERIOR	(4) DOME LAMPS - DOOR AND SWITCH ACTIVATED
S	DASH INDICATOR - LAMP BODY OUT OF POS	DASH MTD, INDICATOR BODY/HOIST UP "BODYBUILDER LAMP"
	FIRE EXTINGUISHER	5LB (ABC RATED) MOUNTED BETWEEN DRIVER SEAT BASE AND DOOR VALVE AIMED REARWARD
S	CARBON MONOXIDE DETECTION SYS	WITHOUT CARBON MONOXIDE DETECTION SYSTEM
S	FLOOR COVERING	POLYURETHANE FLOOR MAT WITHOUT REMOVABLE INSERTS

CAB INTERIOR (H THRU R)		DESCRIPTION
S	INSTMNT CLUSTER LANGUAGE	DEFAULT: ENGLISH, SPANISH, FRENCH
S	KEY TYPES FOR DOORS	ALL CHASSIS KEYED AT RANDOM
S	DOOR OPENING OPTIONS	W/O ELECTRONIC KEYLESS ENTRY
S	FORWARD OVERHEAD STORAGE	(2) STORAGE COMPARTMENTS AND NET RETAINERS W/CENTER MOUNTING FOR CB PROVISIONS
S	AUDIO ACCOMMODATION	PREMIUM STEREO, AM/FM, MP3, WEATHER BAND, BLUETOOTH
S	ANTENNA - RADIO	RADIO ANTENNA, CAB MOUNTED BEHIND LH DOOR
S	AUDIO SHUTOFF	AUTO SHUTOFF FOR RADIO ENTERTAINMENT SYSTEM WHEN VEHICLE IS ENGAGED IN REVERSE
S	POWER LEADS	POWER LEADS (5-WAY BINDING POSTS FOR CB RADIO) IN HEADER CONSOLE
S	AUDIO SPEAKER LOCATION	SPEAKER LOCATION, IN DOORS, MIDDLE HIGH SIDE PANEL
S	COM.RADIO PREP KIT (CB)	CB RADIO MOUNTING REINFORCEMENT IN HEADER CONSOLE
S	AUXILIARY REAR WINDOW	REAR WINDOW (FIXED TYPE)
S	REAR WALL STORAGE COMPARTMENT	STORAGE POUCH REAR
	REFLECTOR KIT	EMERGENCY REFLECTOR KIT MOUNTED PARALLEL & CENTERED AGAINST BOC

CAB INTERIOR (S THRU Z)		DESCRIPTION
S	INTERIOR TRIM LEVELS	STANDARD PACKAGE, STEEL GRAY (Package 11A)
S	SEAT - DRIVER'S	MAC K-AIR, HIGH BACK, 1 CHAMBER AIR LUMBAR
S	SEAT COVERING - DRIVER'S	DRIVER'S SEAT - STEEL GREY VINYL
	SEAT - PASSENGER'S	MAC K-FIXED, HIGH BACK, W/ STORAGE BOX
S	SEAT COVERING - PASSENGER'S	PASSENGER'S SEAT - STEEL GREY VINYL <i>w/o STORAGE BOX</i>
	SEAT ARMREST	INBOARD MOUNTED ARM REST, DRIVER'S SEAT ONLY
	SEAT BELT(S)	LAP & SHOULDER HEIGHT ADJUSTMENT D-RING SEATBELT RH/LH ORANGE IN COLOR
	SEAT BELT REMINDER	SEAT BELT REMINDER IN INSTRUMENT, WITH AUDIO
S	IGNITION TYPE	KEY TYPE
	STEERING WHEEL	2 SPOKE URETHANE GRIP, SATIN ALUMINUM SPOKES, WITH SWITCHES
S	WINDSHIELD TYPE	TWO PIECE WINDSHIELD
	CAB GLASS	HEATED TINTED WINDSHIELD, TINTED SIDE AND REAR WINDOW
S	WASHER RESERVOIR POSITION	W/O WINDSHIELD WASHER OPTION
S	WINDSHIELD WIPERS	2 SPEED ELECTRIC MOTOR W/INTERMITTENT FEATURE

CAB EXTERIOR		DESCRIPTION
S	HOOD LATCH TYPE & FINISH	STRAP TYPE HOOD LATCH WITH BLACK FINISH
S	EXTERIOR TRIM FINISH AND PACKAGES	GRANITE GRAY AIR INTAKE
S	GRILLE	SILVER PAINTED W/O GRILLE SURROUND
S	PASSENGER SIDE VISIBILITY OPTIONS	AUXILIARY WINDOW IN RH DOOR

CAB EXTERIOR		DESCRIPTION
	GRAB HANDLES	BF EXTERIOR CAB GRAB HANDLES, BLACK GRAB HANDLE RH INTERIOR WINDSHIELD POST
S	HORN - AIR	(1) MACK RECTANGULAR SINGLE TRUMPET
S	HORN - ELECTRICAL	SINGLE TONE
	MIRRORS - EXTERIOR	AERODYNAMIC MOTO MIRROR PACKAGE: RH/LH MOTORIZED & HEATED
	MIRRORS - CONVEX TYPE CAB DOORS	BRIGHT FINISH, LH & RH, 8" DIAMETER HEATED CONVEX
	SUN VISOR - EXTERIOR	SUN VISOR, EXTERIOR, FIBERGLASS (PAINTED)

AERODYNAMIC DEVICES		DESCRIPTION
S	CAB AERODYNAMIC PACKAGES	WITHOUT CAB AERODYNAMIC DEVICES
S	FRONT CHASSIS AERODYNAMIC PACKAGE	WITHOUT FRONT AERODYNAMIC FAIRINGS

WHEELS & TIRES		DESCRIPTION
	TIRES BRAND/TYPE - FRONT	315/80R22.5 L BRIDGESTONE M870 (20000 lbs) (Total for QTY = 2)
S	WHEELS - FRONT	22.5x9.00 ACCURIDE WHITE POWDER COAT STEEL, 7.00" OFFSET, 5 HAND HOLE (Total for QTY = 2)
	TIRES BRAND/TYPE - REAR	11R22.5 H BRIDGESTONE M843 (24020 lbs) (ALL POSITION) (Total for QTY = 4)
	WHEELS - REAR	22.5x8.25 ACCURIDE HEAVY DUTY WHITE POWDER COAT STEEL, 6.62" OFFSET, 2 HAND HOLE (Total for QTY = 4)
	DRIVE WHEEL STUDS	DRIVE WHEEL STUDS BASIC LENGTH
S	TIRE INFLATION VALVE	STANDARD VALVE STEMS AND CAPS
S	FRONT HUB/WHEEL TRIM	WITHOUT FRONT HUB/WHEEL TRIM
S	REAR HUB/WHEEL TRIM	WITHOUT REAR HUB/WHEEL TRIM
	HUB/WHEEL ISOLATOR FRONT (CA in PC29 only)	PROTECTIVE NYLON SPACER BETWEEN DISCS WHEEL TO DRUM
	HUB/WHEEL ISOLATOR DRIVE (CA in PC29 only)	PROTECTIVE NYLON SPACER BETWEEN DISCS WHEEL TO DRUM
S	WHEEL NUT & FINISH, FRONT	WHEEL NUT BASIC FINISH, FRONT
S	WHEEL NUT FINISH, REAR (CA)	WHEEL NUT BASIC FINISH, REAR

COMMUNICATION SYSTEMS		DESCRIPTION
S	CO-PILOT - DISPLAY FEATURES ACCESS LEVEL	CO-PILOT DISPLAY, DRIVER ACCESS LEVEL 1
S	TELEMATIC GATEWAY	TELEMATICS GATEWAY, 4G/LTE AND WLAN SYSTEM WITH DIAGNOSTIC SERVICES
S	SOFTWARE DOWNLOAD NOTIFICATION	SOFTWARE DOWNLOAD NOTIFICATION TO DRIVER, POPUP & ICON

ENGINE ELECTRONICS		DESCRIPTION
S	OIL PRESSURE, ENGINE SHUTDOWN	OIL PRESSURE, ENGINE SHUTDOWN
S	COOLANT TEMP, ENGINE SHUTDOWN	COOLANT TEMP, ENGINE SHUTDOWN
S	ENGINE PROTECTION SYSTEM	ENGINE PROTECTION (SHUTDOWN)
	ENG FAN CNTL, A/C ON, TIME SET	ENG FAN CONTROL, A/C ON, TIME SETTING, 60 SEC
S	ENGINE IDLE CONTROL	IDLE CONTROL, 650 RPM
S	SMART IDLE ELEVATED IDLE RPM TIME	INCREASE 10 MINUTE MAXIMUM TIME
S	IDLE S/D ABS TAMPER CHECK	IDLE SHUTDOWN ABS TAMPER CHECK, ENABLED
S	IDLE S/D WARNING TIME	30 SEC IDLE S/D WARNING TIME
S	IDLE S/D IF WARM-UP TEMP	38C DEG (100F), WARM UP TEMP DELAY
S	IDLE S/D WARM-UP TIMER	5 MIN. WARM UP TIME DELAY
S	IDLE S/D IF PTO ACTIVE	ENGINE IDLE SHUTDOWN TIME OVERRIDDEN IF PTO ACTIVE

ENGINE ELECTRONICS		DESCRIPTION
S	IDLE SHUTDOWN IF POWER > LIMIT	ENG IDLE SHUTDOWN TIME OVERRIDDEN IF TORQUE > THAN LIMIT
S	IDLE S/D OVERRIDE %ENGINE LOAD	IDLE SHUTDOWN OVERRIDE UPTO 20% ENGINE LOAD THRESHOLD
S	AMBIENT TEMP MIN TRESHOLD	AMBIENT TEMP MIN TRESHOLD, 16 DEG C, (60 DEG F)
S	AMBIENT TEMP MAX TRESHOLD	AMBIENT TEMP MAX TRESHOLD, 27 DEG C, (80 DEG F)
S	EL HD THROTTLE,MAX ROAD SPEED	ELECTRONIC HAND THROTTLE, MAX ROAD SPEED, 16 KMH (10 MPH)
S	EL HAND THROTTLE,MAX ENG SPEED	ELECTRONIC HAND THROTTLE, MAX ENGINE SPEED, 1000 RPM
S	EL HAND THROTTLE,MIN ENG SPEED	ELECTRONIC HAND THROTTLE, MIN ENGINE SPEED, 700 RPM
S	EL HD THROTTLE,SPEED RAMP RATE	ELECTRONIC HAND THROTTLE, SPEED RAMP RATE, 100 RPM/SEC

TRANSMISSION ELECTRONICS		DESCRIPTION
	TRANSMISSION ELECTRONICS PACKAGE	DUMP/VOC/PLOW(223) - ALLOWS TRUCK TO BE PUT IN GEAR W/O SERVICE BRAKE (FOR PAVING) (4TH GEAR LIMIT S
	TRANSM AUTO NEUTRAL ON P-BRAKE	ALLISON PARK BRAKE AUTO NEUTRAL-REQUIRES PARK BRAKE TO BE DISENGAGED PRIOR TO SELECTING A GEAR TO DR
S	TRANSMISSION ELECTRONIC SHIFTING PROPERTIES	W/O ALLISON FUELSense 2.0 PROGRAMMING

VEHICLE ELECTRONICS		DESCRIPTION
S	ROAD SPEED LIMITER SETTING	105 KM/H ROAD SPEED LIMITER(65 MPH)
	PEDAL RSL SETTING	105 KM/H PEDAL ROAD SPEED LIMITER (65MPH)
S	CRUISE CONTROL	CRUISE CONTROL
S	CRUISE CONTROL, MAX SPEED	MAX CRUISE, 105 KPH (65 MPH)
S	CRUISE CONTROL MIN SPEED	MIN CRUISE, 32 KPH (20 MPH)
S	ENG BRK ENGAGE IN CRUISE	ENG BRK ENGAGE IN CRUISE, 3 MPH, ABOVE SET SPEED
S	MAXIMUM ENG SPEED AT 0 MPH	1000 MAXIMUM ENGINE SPEED AT 0 MPH
S	DETECTION SPEED SENSR TMPRNG	DETECTION OF SPEED SENSOR TAMPERING, ENABLE
S	ENG TORQUE LIMIT,SPEED SENSOR	ENG TORQUE LIMITED TO 50%, IF SPEED SENSOR TAMPER DETECTED
S	DRIVER ID FUNCTION	DRIVER ID FUNCTION, DISABLED
S	DR PERFORMANCE PARAMETERS	WITHOUT DRIVER PERFORMANCE PARAMETERS
S	ENGINE OVERSPEED,ALL COND, LOG	ENGINE OVERSPEED, ALL CONDITIONS, TIME LOG IF ABOVE 2200 RPM
S	ENGINE OVERSPEED,FUELED, LOG	ENGINE OVERSPEED, FUELED, TIME LOG IF ABOVE 2100 RPM
S	VEHICLE OVERSPEED,ALL COND,LOG	VEHICLE OVERSPEED,ALL COND, TIME LOG IF ABOVE 75MPH (121KMH)
S	VEHICLE OVERSPEED, FUELED, LOG	VEHICLE OVERSPEED, FUELED, TIME LOG IF ABOVE 70MPH (113KMH)
S	ENGINE IDLE DELAY TO LOG	ENGINE IDLE DELAY TO START LOG, 2 MIN
S	PERIODIC TRIP LOG DAY OF MONTH	PERIODIC TRIP LOG, DAY 1 OF THE MONTH

PTO ELECTRONICS		DESCRIPTION
S	PTO1 SINGLE SPEED CONTROL RPM.	PTO 1ST, SINGLE SPEED SETTING, 1000 RPM
S	PTO 1ST, MAX ROAD SPEED	1ST PTO, MAX ROAD SPEED, 10 MPH (16 KPH)
S	PTO 1ST, SPEED RAMP RATE	PTO 1ST, SPEED RAMP RATE 100 RPM/SEC
S	PTO 1ST, MAX ENGINE SPEED	PTO 1ST, MAX ENGINE SPEED, 2100 RPM
S	PTO 1ST, ROAD SPEED LIMIT	PTO 1ST, ROAD SPEED LIMIT, 97 KMH (60 MPH)
S	PTO 1ST, MINIMUM ENGINE SPEED	PTO 1ST, MINIMUM ENGINE SPEED, 600 RPM
S	PTO 2ND, SINGLE SPEED SETTING	PTO 2ND, SINGLE SPEED SETTING, 1000 RPM
S	PTO 2ND, MAX ROAD SPEED	2ND PTO, MAX ROAD SPEED, 10 MPH (16 KPH)
S	PTO 2ND, SPEED RAMP RATE	PTO 2ND, SPEED RAMP RATE 100 RPM/SEC
S	PTO 2ND, MAX ENGINE SPEED	PTO 2ND, MAX ENGINE SPEED, 2100 RPM

PTO ELECTRONICS		DESCRIPTION
S	PTO 2ND, ROAD SPEED LIMIT	PTO 2ND, ROAD SPEED LIMIT, 97 KMH (60 MPH)
S	PTO 2ND, MINIMUM ENGINE SPEED	PTO 2ND, MINIMUM ENGINE SPEED, 600 RPM

PAINT		DESCRIPTION
S	PAINT DESIGN	SINGLE COLOR
S	PAINT TYPE	SOLID PAINT
	PAINT COLOR - FIRST COLOR	YELLOW; L0824
S	PAINT COLOR - SECOND COLOR	NO SECOND TRUCK COLOR PROVIDED; NO COLOR
S	PAINT COLOR - THIRD COLOR	NO THIRD TRUCK COLOR PROVIDED; NO COLOR
S	PAINT - CAB PAINT SYSTEM	PAINT - CAB, URETHANE CLEAR COAT
S	CAB COLOR	SAME AS FIRST COLOR - CAB
S	HOOD COLOR	SAME AS FIRST COLOR - HOOD
	SUN VISOR COLOR	SAME AS FIRST COLOR - SUN VISOR
S	SLEEPER ROOF COLOR	WITHOUT SLEEPER ROOF COLOR
S	ROOF FAIRING COLOR	WITHOUT ROOF FAIRING
S	CHASSIS RUNNING GEAR	MACK BLACK (URETHANE)
S	BUMPER	PAINT BUMPER SAME COLOR AS CHASSIS RUNNING GEAR
S	FUEL TANK - ***NO INVENTED VARIANTS ALLOWED in the FUEL TANK PAINT FAMILY***	W/O OPTIONAL FUEL TANK PAINT
S	HUBS & DRUMS-FRONT	SAME AS CHASSIS RUNNING GEAR
S	HUBS & DRUMS-REAR	SAME AS CHASSIS RUNNING GEAR

CALCULATED CODES - KAX		DESCRIPTION
S	PROPCALC SELECTION	YES, THE ORDER MUST BE CALCULATED
	AUTO ROUTING & CLIPPING, CENTER	AUTOMATIC ROUTING & CLIPPING PLACEMENT, CENTER SECTION

BASE WARRANTY & PURCHASED COVERAGES		DESCRIPTION
S	VEHICLE WARRANTY TYPE	HEAVY DUTY WARRANTY CLASSIFICATION
	BASIC CHASSIS COVERAGE	CHASSIS PLAN 2 60/250K MI NORMAL/HEAVY DUTY, GRANITE/TERRAPRO/LR MODELS PROTECTION PLAN
	EMISSION - SURCHARGE	EPA (only) for Mack MP7 / MP8 Diesel
	ENGINE WARRANTY	ENG PLAN 2: 84 MO/250K MI-EXT ENGINE COVERAGE MP7/MP8 <460HP
S	EMISSION COMPONENT COVERAGE	US and CANADA EQUIPPED VEHICLE EMISSION COMPONENTS COVERAGE 60 MONTHS/100,000 MILES (161,000 KM)
	ENGINE AFTERTREATMENT SYSTEM	EATS: 84MO/250K MI-ENGINE AFTERTREATMENT <460
	TRANSMISSION WARRANTY	ALLISON TRANSMISSIONS (Contact Allison Transmission for standard warranty and extended coverage data)
	CARRIER & AXLE HOUSING WARRANTY	STANDARD VENDOR NORMAL / HEAVY DUTY COVERAGE 36 MONTHS/350,000 (563,00 KM)
S	AIR CONDITIONING WARRANTY	AIR CONDITIONING STANDARD COVERAGE (Sealed System Only) 12 MONTHS UNLIMITED MILEAGE
S	CHASSIS TOWING WARRANTY	STANDARD NORMAL / HEAVY DUTY CHASSIS TOWING 90 DAYS OR 5,000 MILES
S	ENGINE TOWING WARRANTY	STANDARD MACK ENGINE TOWING COVERAGE 24 MONTHS/250,000 MILES (402,000 KM)
	GUARDDOG CONNECT BUNDLE	60 MONTH - GUARDDOG CONNECT WITH MACK OTA (with ASIST and Mack OneCall)
S	PREPAID API	WITHOUT PREPAID API
S	PREMIUM MAINTENANCE - CHASSIS LUBE AND INSPECTION	W/O PREMIUM MAINTENANCE - CHASSIS LUBE AND INSPECTION COVERAGE

ADDITIONAL ENGINEERING (Included)	DESCRIPTION
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CA



PRICING SUMMARY

GRANITE 42BR

VEHICLE PRICE

\$123,739.98

SOFT OFFERS AND WARRANTY

CHASSIS PLAN 2 60/250K MI NORMAL/HEAVY DUTY, GRANITE/TERRAPRO/LR MODELS PROTECTION PLAN \$4,095.00

ENG PLAN 2: 84 MO/250K MI-EXT ENGINE COVERAGE MP7/MP8 <460HP \$4,625.00

EATS: 84MO/250K MI-ENGINE AFTERTREATMENT <460 \$1,092.00

TOTAL SOFT OFFERS AND WARRANTY \$9,812.00

TAX SUMMARY

AMT. SUBJECT TO TAX

FET \$123,739.98 \$0.00

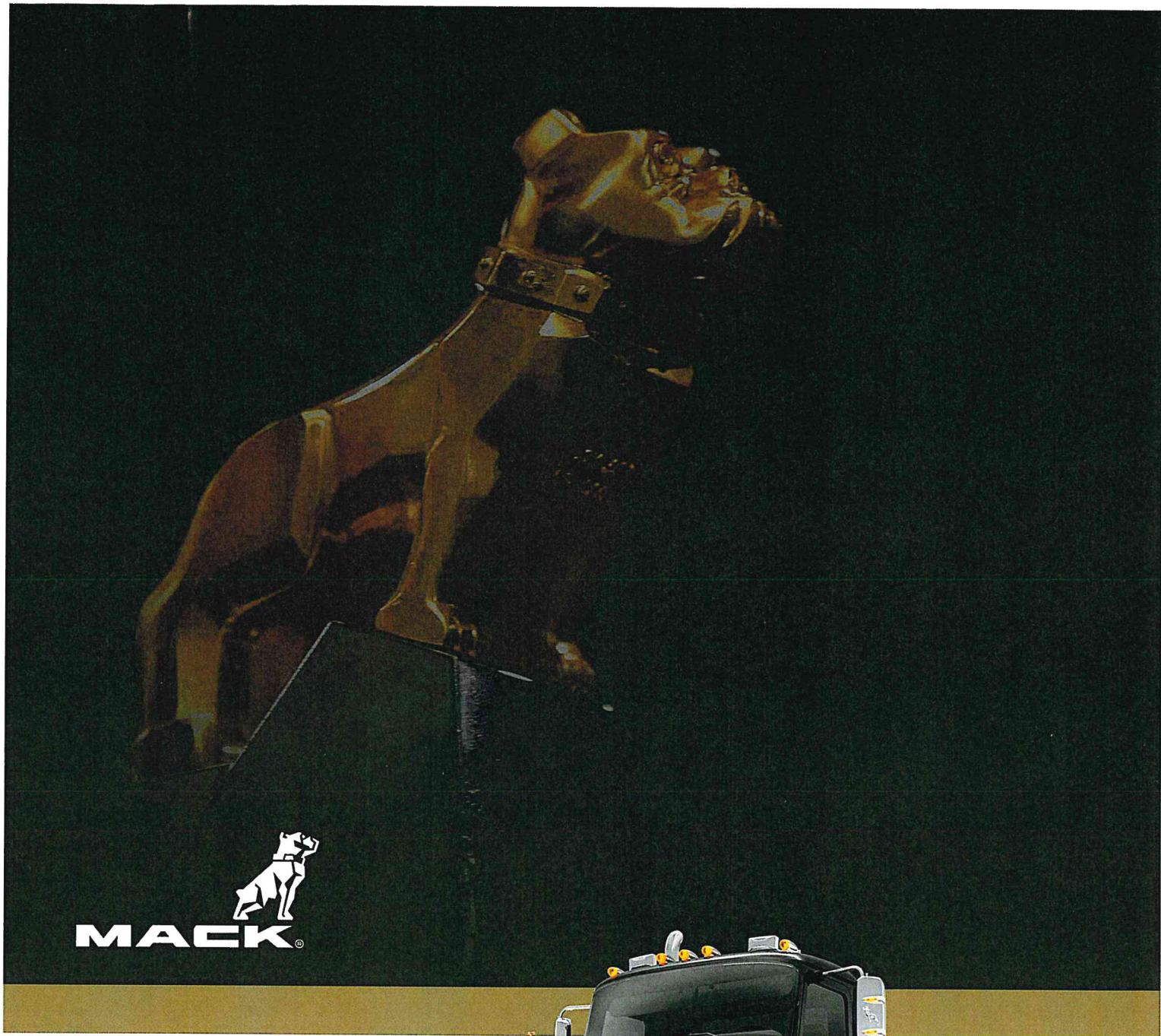
Tire Tax Credit N/A \$(240.42)

TOTAL TAX \$(240.42)

TOTAL SELLING PRICE (PER UNIT) \$133,311.56

SOUTH WHITEHALL TOWN SHIP DATE

ALLENTOWN MACK SALES & SERVICE, INC. DATE





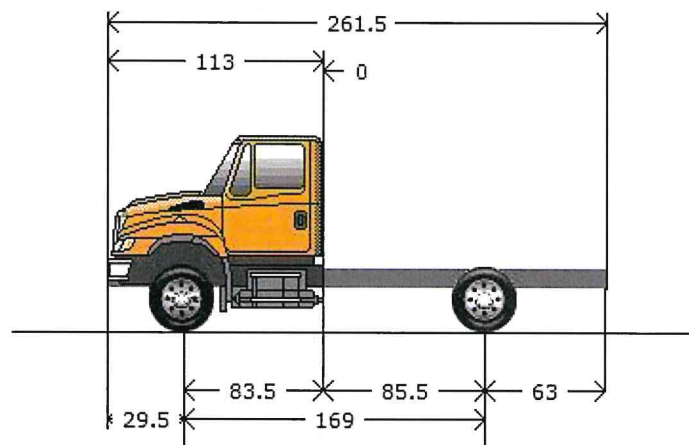
HV513 SFA

Sales Proposal For:
SOUTH WHITEHALL TOWNSHIP

Presented By:
Five Star International, LLC

Prepared For:
 SOUTH WHITEHALL TOWNSHIP
 Herb Bender
 4444 Walbert Ave.
 Allentown, PA 18104-1699
 (610)398 - 0407
 Reference ID: N/A

Presented By:
 Five Star International, LLC
 William Beck
 1810 South 19th Street
 Harrisburg PA 17104
 (717)614-4804



Model Profile
2023 HV513 SFA (HV513)

AXLE CONFIG:	4X2
MISSION:	Requested GVWR: 41000. Calc. GVWR: 43000. Calc. GCWR: 90000 Calc. Start / Grade Ability: 39.27% / 5.25% @ 55 MPH Calc. Geared Speed: 71.2 MPH
DIMENSION:	Wheelbase: 169.00, CA: 85.50, Axle to Frame: 63.00
ENGINE, DIESEL:	{International A26} EPA 2021, 450HP @ 1700 RPM, 1700 lb-ft Torque @ 900 RPM, 2100 RPM Governed Speed, 450 Peak HP (Max)
TRANSMISSION, AUTOMATIC:	{Allison 4500 RDS} 5th Generation Controls, Wide Ratio, 6-Speed with Double Overdrive, with PTO Provision, Less Retarder, Includes Oil Level Sensor, On/Off Highway
CLUTCH:	Omit Item (Clutch & Control)
AXLE, FRONT NON-DRIVING:	{Meritor MFS-20-133A} Wide Track, I-Beam Type, 20,000-lb Capacity
AXLE, REAR, SINGLE:	{Meritor RS-23-160} Single Reduction, 23,000-lb Capacity, Driver Controlled Locking Differential, 200 Wheel Ends Gear Ratio: 5.38
CAB:	Conventional, Day Cab
TIRE, FRONT:	(2) 315/80R22.5 Load Range L HSC 3 (CONTINENTAL), 481 rev/mile, 68 MPH, All-Position
TIRE, REAR:	(4) 11R22.5 Load Range H HDR2+ (CONTINENTAL), 491 rev/mile, 75 MPH, Drive
SUSPENSION, REAR, SINGLE:	31,000-lb Capacity, Vari-Rate Springs, with 4500-lb Capacity Auxiliary Rubber Springs
PAINT:	Cab schematic 100WM Location 1: 4421, School Bus Yellow (Std) Chassis schematic N/A

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
Base Chassis, Model HV513 SFA with 169.00 Wheelbase, 85.50 CA, and 63.00 Axle to Frame.	7361/4777	12138
AXLE CONFIGURATION {Navistar} 4x2	-319/-175	-494
<u>Notes</u> : Pricing may change if axle configuration is changed.		
FRAME RAILS Heat Treated Alloy Steel (120,000 PSI Yield); 10.866" x 3.622" x 0.437" (276.0mm x 92.0mm x 11.1mm); 456.0" (11582mm) Maximum OAL	81/292	373
BUMPER, FRONT Swept Back, Steel, Heavy Duty	0/0	0
FRAME EXTENSION, FRONT Integral; 20" In Front of Grille	149/-44	105
WHEELBASE RANGE 163" (415cm) Through and Including 209" (530cm)	100/-100	0
AXLE, FRONT NON-DRIVING {Meritor MFS-20-133A} Wide Track, I-Beam Type, 20,000-lb Capacity	186/0	186
SUSPENSION, FRONT, SPRING Parabolic Taper Leaf, Shackle Type, 20,000-lb Capacity, with Shock Absorbers	57/0	57
BRAKE SYSTEM, AIR Dual System for Straight Truck Applications	0/0	0
<u>Includes</u> : BRAKE LINES Color and Size Coded Nylon : DRAIN VALVE Twist-Type : GAUGE, AIR PRESSURE (2) Air 1 and Air 2 Gauges; Located in Instrument Cluster : PARKING BRAKE CONTROL Yellow Knob, Located on Instrument Panel : PARKING BRAKE VALVE For Truck : QUICK RELEASE VALVE On Rear Axle for Spring Brake Release: 1 for 4x2, 2 for 6x4 : SPRING BRAKE MODULATOR VALVE R-7 for 4x2, SR-7 with relay valve for 6x4/8x6		
TRAILER CONNECTIONS Four-Wheel, with Hand Control Valve and Tractor Protection Valve, for Straight Truck	0/0	0
<u>Notes</u> : When electronic stability control is ordered with trailer connections on a 4x2 truck, please check the operator manual for trailer weight restrictions.		
DRAIN VALVE {Berg} with Pull Chain, for Air Tank	0/0	0
AIR BRAKE ABS {Bendix AntiLock Brake System} 4-Channel (4 Sensor/4 Modulator) Full Vehicle Wheel Control System	0/0	0
AIR DRYER {Bendix AD-9} with Heater	21/6	27
BRAKE CHAMBERS, REAR AXLE {Bendix EverSure} 30/30 SqIn Spring Brake	0/7	7
BRAKE CHAMBERS, FRONT AXLE {Bendix} 24 SqIn	4/0	4
SLACK ADJUSTERS, FRONT {Gunitite} Automatic	14/0	14
SLACK ADJUSTERS, REAR {Gunitite} Automatic	0/14	14
AIR COMPRESSOR {Bendix BA-921 Head Unload} 15.9 CFM	0/0	0
AIR TANK Painted Aluminum, with Straight Thread O-Ring Ports	-18/-10	-28
AIR DRYER LOCATION Mounted Inside Left Rail, Back of Cab	0/0	0
AIR TANK LOCATION (2) Mounted Under Battery Box, Outside Right Rail, Back of Cab, Perpendicular to Rail	5/-5	0
DUST SHIELDS, FRONT BRAKE for Air Cam Brakes	10/0	10
DUST SHIELDS, REAR BRAKE for Air Cam Brakes	0/10	10

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
BRAKES, REAR {Meritor 16.5X7 Q-PLUS CAST} Air S-Cam Type, Cast Spider, Fabricated Shoe, Double Anchor Pin, Size 16.5" X 7", 23,000-lb Capacity per Axle	0/52	52
BRAKES, FRONT {Meritor 16.5X6 Q-PLUS CAST} Air S-Cam Type, Cast Spider, Fabricated Shoe, Double Anchor Pin, Size 16.5" X 6", 20,000-lb Capacity	33/0	33
STEERING COLUMN Tilting	8/7	15
STEERING WHEEL 4-Spoke; 18" Dia., Black	0/0	0
STEERING GEAR (2) {Sheppard M100/M80} Dual Power	104/-8	96
DRIVELINE SYSTEM {Dana Spicer} 1810HD, for 4x2/6x2	0/0	0
AFTERTREATMENT COVER Aluminum	5/4	9
EXHAUST SYSTEM Horizontal Aftertreatment System, Frame Mounted Right Side Under Cab, for Single Vertical Tail Pipe, Frame Mounted Right Side Back of Cab	19/58	77
ENGINE COMPRESSION BRAKE by Jacobs; for N13/A26 Engines, with Selector Switch and On/Off Switch	0/0	0
TAIL PIPE (1) Turnback Type	5/7	12
EXHAUST HEIGHT 10'	10/17	27
MUFFLER/TAIL PIPE GUARD (1) Aluminum	7/12	19
ELECTRICAL SYSTEM 12-Volt, Standard Equipment	0/0	0
<u>Includes</u>		
: DATA LINK CONNECTOR For Vehicle Programming and Diagnostics In Cab		
: HAZARD SWITCH Push On/Push Off, Located on Instrument Panel to Right of Steering Wheel		
: HEADLIGHT DIMMER SWITCH Integral with Turn Signal Lever		
: PARKING LIGHT Integral with Front Turn Signal and Rear Tail Light		
: STARTER SWITCH Electric, Key Operated		
: STOP, TURN, TAIL & B/U LIGHTS Dual, Rear, Combination with Reflector		
: TURN SIGNAL SWITCH Self-Cancelling for Trucks, Manual Cancelling for Tractors, with Lane Change Feature		
: WINDSHIELD WIPER SWITCH 2-Speed with Wash and Intermittent Feature (5 Pre-Set Delays), Integral with Turn Signal Lever		
: WINDSHIELD WIPERS Single Motor, Electric, Cowl Mounted		
: WIRING, CHASSIS Color Coded and Continuously Numbered		
CIGAR LIGHTER Includes Ash Cup	1/0	1
ALTERNATOR {Leece-Neville AV160P2013} Brush Type, 12 Volt, 160 Amp Capacity, Pad Mount	0/0	0
BODY BUILDER WIRING Back of Day Cab at Left Frame or Under Sleeper, Extended or Crew Cab at Left Frame; Includes Sealed Connectors for Tail/Amber Turn/Marker/ Backup/Accessory Power/Ground and Sealed Connector for Stop/Turn	2/0	2
ELECTRIC TRAILER BRAKE/LIGHTS Accommodation Package to Rear of Frame; for Combined Trailer Stop, Tail, Turn, Marker Light Circuits; Includes Electric Trailer Brake Accommodation Package with Cab Connections for Mounting Customer Installed Electric Brake Unit, Less Trailer Socket	0/2	2
BATTERY SYSTEM {Fleetrite} Maintenance-Free, (3) 12-Volt 1980CCA Total, Top Threaded Stud	0/0	0
SPEAKERS (2) 6.5" Dual Cone Mounted in Both Doors, (2) 5.25" Dual Cone Mounted in Both B-Pillars	6/2	8
ANTENNA for Increased Roof Clearance Applications	1/0	1
RADIO AM/FM/WB/Clock/Bluetooth/USB Input/Auxiliary Input	2/1	3
AUXILIARY HARNESS 3.0' for Auxiliary Front Head Lights and Turn Signals for Front Plow Applications	2/0	2

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
TRAILER AUXILIARY FEED CIRCUIT for Electric Trailer Brake Accommodation/Air Trailer ABS; with 30 Amp Fuse and Relay, Controlled by Ignition Switch	1/0	1
HORN, ELECTRIC Disc Style	0/0	0
BATTERY BOX Steel, with Plastic Cover, 18" Wide, 2-4 Battery Capacity, Mounted Right Side Back of Cab	0/0	0
CLEARANCE/MARKER LIGHTS (5) {Truck Lite} Amber LED Lights, Flush Mounted on Cab or Sunshade	0/0	0
TEST EXTERIOR LIGHTS Pre-Trip Inspection will Cycle all Exterior Lamps Except Back-up Lights	0/0	0
HEADLIGHTS ON W/WIPERS Headlights Will Automatically Turn on if Windshield Wipers are turned on	0/0	0
STARTING MOTOR {Mitsubishi Electric Automotive America 105P} 12-Volt, with Soft-Start	0/0	0
CIRCUIT BREAKERS Manual-Reset (Main Panel) SAE Type III with Trip Indicators, Replaces All Fuses	0/0	0
TURN SIGNALS, FRONT Includes LED Side Turn Lights Mounted on Fender	0/0	0
HORN, AIR Single Trumpet, Black, with Lanyard Pull Cord	3/0	3
HEADLIGHTS Halogen	0/0	0
ACCESSORY WIRING, SPECIAL for Body Builder Feeds & Road Speed Wire Coiled Behind Driver Seat for Customer Use, Includes 15 & 5 Amp Ignition, (2) 20 Amp Battery, (2) Ground and Road Speed	1/2	3
FENDER EXTENSIONS Rubber	0/0	0
LOGOS EXTERIOR Model Badges	0/0	0
LOGOS EXTERIOR, ENGINE Badges	0/0	0
GRILLE Stationary, Chrome	0/0	0
INSULATION, SPLASH PANELS for Sound Abatement	3/0	3
FRONT END Tilting, Fiberglass, with Three Piece Construction, Includes Long Hood	0/0	0
CHASSIS COATING Corrosion Resistant E-Coat Primer Coating for Single Frame Rails	0/0	0
PAINT SCHEMATIC, PT-1 Single Color, Design 100	0/0	0
<u>Includes</u> : PAINT SCHEMATIC ID LETTERS "WM"		
PAINT TYPE Base Coat/Clear Coat, 1-2 Tone	0/0	0
COMMUNICATIONS MODULE Telematics Device with Over the Air Programming; Includes Two Year Data Plan	1/0	1
COMMUNICATION MODULE DATA PLAN 3 Additional Years (Total of 5 Years)	0/0	0
PROMOTIONAL PACKAGE Government Silver Package	0/0	0
SAFETY TRIANGLES	10/2	12
FIRE EXTINGUISHER 5 lb Class A B C	6/4	10
FIRE EXTINGUISHER BRACKET Mounted Left Side Driver Seat	1/0	1
CLUTCH Omit Item (Clutch & Control)	0/0	0
ANTI-FREEZE Red, Extended Life Coolant; To -40 Degrees F/ -40 Degrees C, Freeze Protection	0/0	0
BLOCK HEATER, ENGINE {Phillips} 120V/1500W	4/0	4
<u>Includes</u> : BLOCK HEATER SOCKET Receptacle Type; Mounted below Drivers Door		

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
ENGINE, DIESEL {International A26} EPA 2021, 450HP @ 1700 RPM, 1700 lb-ft Torque @ 900 RPM, 2100 RPM Governed Speed, 450 Peak HP (Max)	0/0	0
FAN DRIVE {Horton Drivemaster} Two-Speed Type, Direct Drive, with Residual Torque Device for Disengaged Fan Speed	0/0	0
<u>Includes</u> : FAN Nylon		
AIR CLEANER Single Element, with Integral Snow Valve and In-Cab Control	2/0	2
EMISSION, CALENDAR YEAR {International A26} EPA, OBD and GHG Certified for Calendar Year 2022	0/0	0
FAN DRIVE SPECIAL EFFECTS Fan Cooling Ring with Fan Shroud Effects, Engine Mounted	0/0	0
CARB IDLE COMPLIANCE Low NOx Idle Engine, Complies with California Clean Air Regulations; Includes "Certified Clean Idle" Decal located on Driver Door	0/0	0
RADIATOR Aluminum, Welded, Cross Flow, Front to Back System, 1292 SqIn, with 1008 SqIn Charge Air Cooler	0/0	0
<u>Includes</u> : DEAERATION SYSTEM with Surge Tank : HOSE CLAMPS, RADIATOR HOSES Gates Shrink Band Type; Thermoplastic Coolant Hose Clamps : RADIATOR HOSES Premium, Rubber		
CARB EMISSION WARR COMPLIANCE for International A26 Engines	0/0	0
TRANSMISSION, AUTOMATIC {Allison 4500 RDS} 5th Generation Controls, Wide Ratio, 6-Speed with Double Overdrive, with PTO Provision, Less Retarder, Includes Oil Level Sensor, On/Off Highway	221/178	399
OIL COOLER, AUTO TRANSMISSION {Modine} Water to Oil Type	25/0	25
TRANSMISSION SHIFT CONTROL Column Mounted Stalk Shifter, Not for Use with Allison 1000 & 2000 Series Transmission	1/0	1
TRANSMISSION OIL Synthetic; 63 thru 76 Pints	0/0	0
ALLISON SPARE INPUT/OUTPUT for Rugged Duty Series (RDS) and Regional Haul Series (RHS), General Purpose Trucks, Construction, Package Number 223	0/0	0
NEUTRAL AT STOP Allison Transmission Shifts to Neutral When Service Brake is Depressed and Vehicle is at Stop; Remains in Neutral Until Service Brake is Released	0/0	0
TRANSMISSION TCM LOCATION Located Inside Cab	0/0	0
SHIFT CONTROL PARAMETERS {Allison} 3000 or 4000 Series Transmissions, Performance Programming	0/0	0
PTO LOCATION Customer Intends to Install PTO at Left Side of Transmission	0/0	0
AXLE, REAR, SINGLE {Meritor RS-23-160} Single Reduction, 23,000-lb Capacity, Driver Controlled Locking Differential, 200 Wheel Ends . Gear Ratio: 5.38	0/13	13
SUSPENSION, REAR, SINGLE 31,000-lb Capacity, Vari-Rate Springs, with 4500-lb Capacity Auxiliary Rubber Springs	0/97	97
AXLE, REAR, LUBE {EmGard FE-75W-90} Synthetic Oil; 30 thru 39.99 Pints	0/0	0
DEF TANK 9.5 US Gal (36L) Capacity, Frame Mounted Outside Left Rail, Under Cab	0/0	0
FUEL/WATER SEPARATOR {Racor} Fuel Pre-Filter and Filter Base, Includes Water-In-Fuel Sensor	0/0	0
LOCATION FUEL/WATER SEPARATOR Mounted Outside Left Rail, 8" Back of Cab	0/0	0
FUEL TANK Top Draw, Non-Polished Aluminum, D-Style, 19" Tank Depth, 50 US Gal (189L), Mounted Left Side, Under Cab	0/0	0

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
CAB Conventional, Day Cab	0/0	0
AIR CONDITIONER with Integral Heater and Defroster	50/6	56
GAUGE CLUSTER Base Level; English with English Electronic Speedometer	0/0	0
<u>Includes</u>		
: GAUGE CLUSTER DISPLAY: Base Level (3" Monochromatic Display), Premium Level (5" LCD Color Display); Odometer, Voltmeter, Diagnostic Messages, Gear Indicator, Trip Odometer, Total Engine Hours, Trip Hours, MPG, Distance to Empty/Refill for		
: GAUGE CLUSTER Speedometer, Tachometer, Engine Coolant Temp, Fuel Gauge, DEF Gauge, Oil Pressure Gauge, Primary and Secondary Air Pressure		
: WARNING SYSTEM Low Fuel, Low DEF, Low Oil Pressure, High Engine Coolant Temp, Low Battery Voltage (Visual and Audible), Low Air Pressure (Primary and Secondary)		
GAUGE, OIL TEMP, AUTO TRANS for Allison Transmission	1/0	1
IP CLUSTER DISPLAY On Board Diagnostics Display of Fault Codes in Gauge Cluster	0/0	0
SEAT, DRIVER {National 2000} Air Suspension, High Back with Integral Headrest, Vinyl, Isolator, 1 Chamber Lumbar, with 2 Position Front Cushion Adjust, -3 to +14 Degree Angle Back Adjust	0/0	0
GRAB HANDLE, EXTERIOR Chrome, Towel Bar Type, with Anti-Slip Rubber Inserts, for Cab Entry Mounted Left Side at B-Pillar	3/0	3
SEAT, PASSENGER {National} Non Suspension, High Back, Fixed Back, Integral Headrest, Vinyl	11/12	23
MIRRORS (2) C-Loop, Power Adjust, Heated, Black Heads and Arms, 7.5" x 14" Flat Glass, Includes 7.5" x 7" Convex Mirrors, for 102" Load Width	0/0	0
<u>Notes</u>		
: Mirror Dimensions are Rounded to the Nearest 0.5"		
SEAT BELT All Orange; 1 to 3	0/0	0
CAB INTERIOR TRIM Classic, for Day Cab	0/0	0
<u>Includes</u>		
: CONSOLE, OVERHEAD Molded Plastic with Dual Storage Pockets, Retainer Nets and CB Radio Pocket; Located Above Driver and Passenger		
: DOME LIGHT, CAB Door Activated and Push On-Off at Light Lens, Timed Theater Dimming, Integral to Overhead Console, Center Mounted		
: SUN VISOR (2) Padded Vinyl; 2 Moveable (Front-to-Side) Primary Visors, Driver Side with Toll Ticket Strap		
WINDSHIELD Heated, Single Piece	1/0	1
SEAT BELT COMFORT CLIP	0/0	0
ARM REST, RIGHT, DRIVER SEAT	3/0	3
WINDOW, POWER (2) and Power Door Locks, Left and Right Doors, Includes Express Down Feature	5/0	5
CAB REAR SUSPENSION Air Bag Type	0/0	0
INSTRUMENT PANEL Wing Panel	0/0	0
ACCESS, CAB Bright Aluminum, Driver & Passenger Sides, Two Steps per Door, for use with Day Cab or Extended Cab	-12/-4	-16
WINDSHIELD WIPER BLADES Snow Type	2/0	2
WHEELS, FRONT {Accuride 29039} DISC; 22.5x9.00 Rims, Powder Coat Steel, 5-Hand Hole, 10-Stud, 285.75mm BC, Hub-Piloted, Flanged Nut, with Steel Hubs, Non-Standard Offset, with .5" Thick Disc	72/0	72

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
WHEELS, REAR {Accuride 29169} DUAL DISC; 22.5x8.25 Rims, Powder Coat Steel, 5-Hand Hole, 10-Stud, 285.75mm BC, Hub-Piloted, Flanged Nut, with .472" Thick Increased Capacity Disc and Steel Hubs	0/44	44
BDY INTG, REMOTE POWER MODULE Mounted Inside Cab Behind Driver Seat, Up to 6 Outputs & 6 Inputs, Max 20 amp per Channel, Max 80 amp Total; Includes 1 Switch Pack with Latched Switches	0/0	0
BDY INTG, SWITCH MOMNTRY 3POS Rocker, Backlit, with "ON" Indicator Mounted on Dash, Latching Software, for 1; Auxiliary Load 20 amp. Maximum; Power Available Only in "Ignition" or "Accessory" Position, Output Also Controlled by a Customer Remote Mounted Switch (requires 1 Remote Power Module input & 1 output)	0/0	0
(4) TIRE, REAR 11R22.5 Load Range H HDR2+ (CONTINENTAL), 491 rev/mile, 75 MPH, Drive	0/60	60
(2) TIRE, FRONT 315/80R22.5 Load Range L HSC 3 (CONTINENTAL), 481 rev/mile, 68 MPH, All-Position	90/0	90
Cab schematic 100WM		
Location 1: 4421, School Bus Yellow (Std)		
Chassis schematic N/A		

Services Section:

WARRANTY Standard for HV513, HV613 Models, Effective with Vehicles Built July 1, 2017 or Later, CTS-2030A	0/0	0
SRV CONTRACT, EXT VEH COVERAGE {Navistar} To 84-Month/100,000 Miles (160,000 km), Bumper to Bumper Coverage for A26 Powered Unit, for Rear Axle Rating of 52,000 lbs or Less << For Use with CARB Emission Warranty >>	0/0	0
SRV CONTRACT, EXT ENGINE/AFTR {Navistar} To 84-Month/150,000 Miles (240,000 km), Includes Engine, Engine Electronics, Turbocharger, Water Pump and Fuel Injectors, Aftertreatment Coverage for International A26 Engines << For Use with CARB Emission Warranty >>	0/0	0
SRV CONTRACT, EXT ALLISON XMSN {Allison} To 84-Month/Unlimited Miles/km, for Allison 4500 RDS with Dump Truck or Mixer Vocations (ST01, ST06, ST07)	0/0	0

Total Component Weight:**8361/5340 13701****Body/Allied Equipment**

<u>Description</u>	<u>F/R Wt</u>	<u>Tot Wt</u>
Goods Purchased		
<u>Description</u>	<u>F/R Wt</u>	<u>Tot Wt</u>

The weight calculations included in this proposal are an estimate of future vehicle weight. The actual weight as manufactured may be different from the estimated weight. Navistar, Inc. shall not be liable for any consequences resulting from any differences between the estimated weight of a vehicle and the actual weight.

<u>Description</u>	(US DOLLAR)	<u>Price</u>
Total Factory List Price Including Options:		\$254,149.00
PDI and PA State Inspection	\$450.00	
Raw Material Surcharge	\$4,000.00	
Total Preparation And Delivery:		\$4,450.00
Total Freight:		\$2,600.00
Total Factory List Price Including Freight:		\$261,199.00
Less Customer Allowance:		(\$128,808.00)
Total Vehicle Price:		\$132,391.00
Total Sale Price:		\$132,391.00
Total Per Vehicle Sales Price:		\$132,391.00
Net Sales Price:		\$132,391.00

Truck chassis priced in accordance with costars contract 025-005.

Chassis payment due 30 days after delivery to specified body company, unless otherwise noted.

Purchaser acknowledges that pricing is based on vehicle(s) being produced as the Model Year identified in this proposal. If supply chain disruptions prevent vehicle(s) from being produced as the identified Model Year, pricing will be renegotiated, and Customer will have the option to pay renegotiated price or cancel this order. Purchaser also acknowledges that manufacturer and or subcontractors including body companies may pass price increases or surcharges to Seller which will be passed on to Purchaser.

Pricing is valid for 30 days from the date of this proposal unless accepted by Purchaser.

Please feel free to contact me should you have any questions or concerns.

Thanks,

Bill Beck
717.614.4804
bill.beck@fivestartucks.com

Approved by Seller:

Accepted by Purchaser:

Official Title and Date

Firm or Business Name

Authorized Signature

Authorized Signature and Date

This proposal is not binding upon the seller without
Seller's Authorized Signature

Official Title and Date

The TOPS FET calculation is an estimate for reference purposes only. The seller or retailer is responsible for calculating and reporting/paying appropriate FET to the IRS.

The limited warranties applicable to the vehicles described herein are Navistar, Inc.'s standard printed warranties which are incorporated herein by reference and to which you have been provided a copy and hereby agree to their terms and conditions.

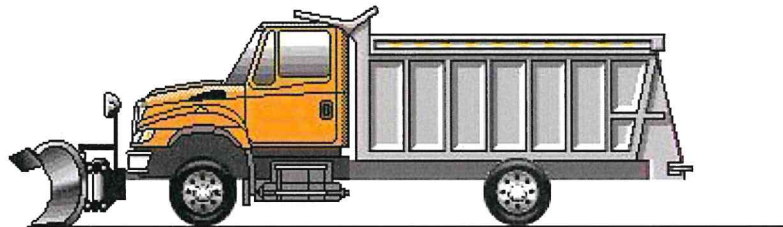
Prepared For:

SOUTH WHITEHALL TWP.
HERB BENDER
4444 WALBERT AVE.
ALLENTOWN, PA 18104-1699
(610)398 - 0401

Presented By:

LOWE & MOYER GARAGE INC
Lawrence S Moyer
731 CHURCH ST
FOGELSVILLE PA 18051 -
(610)395-2072

Thank you for the opportunity to provide you with the following quotation on a new International truck. I am sure the following detailed specification will meet your operational requirements, and I look forward to serving your business needs.



Model Profile
2023 HV513 SFA (HV513)

AXLE CONFIG:	4X2
APPLICATION:	Front Plow with spreader
MISSION:	Requested GVWR: 43000. Calc. GVWR: 43000. Calc. GCWR: 90000 Calc. Start / Grade Ability: 37.44% / 4.34% @ 55 MPH Calc. Geared Speed: 78.3 MPH
DIMENSION:	Wheelbase: 169.00, CA: 85.50, Axle to Frame: 65.00
ENGINE, DIESEL:	{International A26} EPA 2021, 410HP @ 1700 RPM, 1450 lb-ft Torque @ 900 RPM, 2100 RPM Governed Speed, 410 Peak HP (Max)
TRANSMISSION, AUTOMATIC:	{Allison 4500 RDS} 5th Generation Controls, Wide Ratio, 6-Speed with Double Overdrive, with PTO Provision, Less Retarder, Includes Oil Level Sensor, On/Off Highway
CLUTCH:	Omit Item (Clutch & Control)
AXLE, FRONT NON-DRIVING:	{Meritor MFS-20-133A} Wide Track, I-Beam Type, 20,000-lb Capacity
AXLE, REAR, SINGLE:	{Meritor RS-23-160} Single Reduction, 23,000-lb Capacity, Driver Controlled Locking Differential, 200 Wheel Ends Gear Ratio: 4.89
CAB:	Conventional, Day Cab
TIRE, FRONT:	(2) 315/80R22.5 Load Range L HSC 3 (CONTINENTAL), 481 rev/mile, 68 MPH, All-Position
TIRE, REAR:	(4) 11R22.5 Load Range H HDR2+ (CONTINENTAL), 491 rev/mile, 75 MPH, Drive
SUSPENSION, REAR, SINGLE:	31,000-lb Capacity, Vari-Rate Springs, with 4500-lb Capacity Auxiliary Rubber Springs
PAINT:	Cab schematic 100WM Location 1: 4421, School Bus Yellow (Std) Chassis schematic N/A

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
Base Chassis, Model HV513 SFA with 169.00 Wheelbase, 85.50 CA, and 65.00 Axle to Frame.	7361/4777	12138
TOW HOOK, FRONT (2) Frame Mounted	9/-1	8
AXLE CONFIGURATION {Navistar} 4x2	-319/-175	-494
<u>Notes</u>		
: Pricing may change if axle configuration is changed.		
FRAME RAILS Heat Treated Alloy Steel (120,000 PSI Yield); 10.866" x 3.622" x 0.437" (276.0mm x 92.0mm x 11.1mm); 456.0" (11582mm) Maximum OAL	78/304	382
BUMPER, FRONT Swept Back, Steel, Painted 0001 Canyon Black, Heavy Duty	0/0	0
FRAME, SPECIAL EFFECTS Dimple on Left and Right Top Flange of Frame Rail to Reference Rear Axle Centerline	0/0	0
FRAME EXTENSION, FRONT Integral; 20" In Front of Grille	149/-44	105
WHEELBASE RANGE 163" (415cm) Through and Including 209" (530cm)	100/-100	0
AXLE, FRONT NON-DRIVING {Meritor MFS-20-133A} Wide Track, I-Beam Type, 20,000-lb Capacity	186/0	186
SHOCK ABSORBERS, FRONT	47/0	47
SPRINGS, FRONT AUXILIARY Rubber	10/0	10
SUSPENSION, FRONT, SPRING Multileaf, Shackle Type, 20,000-lb Capacity, Less Shock Absorbers	223/0	223
BRAKE SYSTEM, AIR Dual System for Straight Truck Applications	0/0	0
<u>Includes</u>		
: BRAKE LINES Color and Size Coded Nylon		
: DRAIN VALVE Twist-Type		
: GAUGE, AIR PRESSURE (2) Air 1 and Air 2 Gauges; Located in Instrument Cluster		
: PARKING BRAKE CONTROL Yellow Knob, Located on Instrument Panel		
: PARKING BRAKE VALVE For Truck		
: QUICK RELEASE VALVE On Rear Axle for Spring Brake Release: 1 for 4x2, 2 for 6x4		
: SPRING BRAKE MODULATOR VALVE R-7 for 4x2, SR-7 with relay valve for 6x4/8x6		
TRAILER CONNECTIONS Four-Wheel, with Hand Control Valve and Tractor Protection Valve, for Straight Truck	0/0	0
<u>Notes</u>		
: When electronic stability control is ordered with trailer connections on a 4x2 truck, please check the operator manual for trailer weight restrictions.		
AIR BRAKE ABS {Bendix AntiLock Brake System} 4-Channel (4 Sensor/4 Modulator) Full Vehicle Wheel Control System	0/0	0
AIR DRYER {Bendix AD-IP} with Heater	5/22	27
BRAKE CHAMBERS, POSITION Relocated To Rear Of Rear Axle For Maximum Ground Clearance	0/0	0
BRAKE CHAMBERS, FRONT AXLE {Bendix} 24 SqIn	4/0	4
BRAKE CHAMBERS, REAR AXLE {Bendix EnduraSure Pro} 30/30 SqIn Spring Brake	0/7	7
SLACK ADJUSTERS, FRONT {Haldex} Automatic	14/0	14
SLACK ADJUSTERS, REAR {Haldex} Automatic	0/16	16
SLACK ADJUSTER PINS Stainless Steel Slack Adjuster Pins/Cotter Pins on Front and Rear	0/0	0
AIR COMPRESSOR {Bendix BA-921 Head Unload} 15.9 CFM	0/0	0

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
AIR DRYER LOCATION Mounted Inside Right Rail, Back of Cab	0/0	0
DUST SHIELDS, FRONT BRAKE for Air Cam Brakes	10/0	10
DUST SHIELDS, REAR BRAKE for Air Cam Brakes	0/10	10
DRAIN VALVE Automatic, with (3) Pull Chains, for Air Tanks	0/1	1
AIR TANK LOCATION (2) : One Mounted Under Each Rail, Front of Rear Suspension, Parallel to Rail	-29/41	12
BRAKES, REAR {Meritor 16.5X7 Q-PLUS CAST} Air S-Cam Type, Cast Spider, Fabricated Shoe, Double Anchor Pin, Size 16.5" X 7", 23,000-lb Capacity per Axle	0/52	52
BRAKES, FRONT {Meritor 16.5X6 Q-PLUS CAST} Air S-Cam Type, Cast Spider, Fabricated Shoe, Double Anchor Pin, Size 16.5" X 6", 20,000-lb Capacity	33/0	33
STEERING COLUMN Tilting and Telescoping	10/9	19
STEERING WHEEL 4-Spoke; 18" Dia., Black	0/0	0
STEERING GEAR (2) {Sheppard M100/M80} Dual Power	104/-8	96
DRIVELINE SYSTEM {Dana Spicer} SPL250, for 4x2/6x2	1/6	7
AFTERTREATMENT COVER Aluminum	5/4	9
EXHAUST SYSTEM Horizontal Aftertreatment System, Frame Mounted Right Side Under Cab, for Single Vertical Tail Pipe, Frame Mounted Right Side Back of Cab	19/58	77
ENGINE COMPRESSION BRAKE by Jacobs; for N13/A26 Engines, with Selector Switch and On/Off Switch	0/0	0
TAIL PIPE (1) Turnback Type	5/7	12
EXHAUST HEIGHT 10'	10/17	27
MUFFLER/TAIL PIPE GUARD (1) Aluminum	7/12	19
ELECTRICAL SYSTEM 12-Volt, Standard Equipment	0/0	0
<u>Includes</u>		
: DATA LINK CONNECTOR For Vehicle Programming and Diagnostics In Cab		
: HAZARD SWITCH Push On/Push Off, Located on Instrument Panel to Right of Steering Wheel		
: HEADLIGHT DIMMER SWITCH Integral with Turn Signal Lever		
: PARKING LIGHT Integral with Front Turn Signal and Rear Tail Light		
: STARTER SWITCH Electric, Key Operated		
: STOP, TURN, TAIL & B/U LIGHTS Dual, Rear, Combination with Reflector		
: TURN SIGNAL SWITCH Self-Cancelling for Trucks, Manual Cancelling for Tractors, with Lane Change Feature		
: WINDSHIELD WIPER SWITCH 2-Speed with Wash and Intermittent Feature (5 Pre-Set Delays), Integral with Turn Signal Lever		
: WINDSHIELD WIPERS Single Motor, Electric, Cowl Mounted		
: WIRING, CHASSIS Color Coded and Continuously Numbered		
HORN, ELECTRIC (2) Disc Style	0/0	0
JUMP START STUD (2) Remote Mounted	1/0	1
ALTERNATOR {Leece-Neville AVI160P2013} Brush Type, 12 Volt, 160 Amp Capacity, Pad Mount	0/0	0
ELECTRIC TRAILER BRAKE/LIGHTS Accommodation Package to Rear of Frame; for Combined Trailer Stop, Tail, Turn, Marker Light Circuits; Includes Electric Trailer Brake Accommodation Package with Cab Connections for Mounting Customer Installed Electric Brake Unit, Less Trailer Socket	0/2	2
BODY BUILDER WIRING INSIDE CAB; Includes Sealed Connectors for Tail/Amber, Turn/Marker/Backup/Accessory, Power/Ground, and Stop/Turn	1/0	1

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
BATTERY SYSTEM {Deka/EAST PENN 9A31 AGM} Maintenance-Free, (3) AGM 12-Volt 2775CCA Total, Top Threaded Stud	17/32	49
2-WAY RADIO Wiring Effects; Wiring with 20 Amp Fuse Protection, Includes Ignition Wire with 5 Amp Fuse, Wire Ends Heat Shrink and 10' Coil Taped to Base Harness	2/0	2
SPEAKERS (2) 6.5" Dual Cone Mounted in Doors	4/1	5
CB RADIO Accommodation Package, Header Mounted, Feeds from Accessory Side of Ignition Switch, Includes Power Source, Two Antennas and Antenna Bases with Wiring on Both Side Mirrors	31/8	39
ANTENNA Shark Fin, Roof Mounted	1/0	1
RADIO AM/FM/WB/Clock/USB Input/Auxiliary Input	2/1	3
AUXILIARY HARNESS 3.0' for Auxiliary Front Head Lights and Turn Signals for Front Plow Applications	2/0	2
TRAILER AUXILIARY FEED CIRCUIT for Electric Trailer Brake Accommodation/Air Trailer ABS; with 30 Amp Fuse and Relay, Controlled by Ignition Switch	1/0	1
BACK-UP ALARM {Preco 1059} Electronic; Solid State, Dual Function, 112 dBA	0/1	1
WINDSHIELD WIPER SPD CONTROL Force Wipers to Slowest Intermittent Speed When Park Brake Set and Wipers Left on for a Predetermined Time	0/0	0
CLEARANCE/MARKER LIGHTS (5) {Truck Lite} Amber LED Lights, Flush Mounted on Cab or Sunshade	0/0	0
TEST EXTERIOR LIGHTS Pre-Trip Inspection will Cycle all Exterior Lamps Except Back-up Lights	0/0	0
HEADLIGHTS ON W/WIPERS Headlights Will Automatically Turn on if Windshield Wipers are turned on	0/0	0
ALARM, PARKING BRAKE Electric Horn Sounds in Repetitive Manner When Vehicle Park Brake is "NOT" Set, with Ignition "OFF" and any Door Opened	0/0	0
STARTING MOTOR {Mitsubishi Electric Automotive America 105P} 12-Volt, with Soft-Start	0/0	0
CIRCUIT BREAKERS Manual-Reset (Main Panel) SAE Type III with Trip Indicators, Replaces All Fuses	0/0	0
BATTERY BOX Steel, 2-3 Battery Capacity, Mounted Inside the Cab, Under Passenger Seat	11/-4	7
TURN SIGNALS, FRONT Includes LED Side Turn Lights Mounted on Fender	0/0	0
HORN, AIR Single Trumpet, Black, with Lanyard Pull Cord	3/0	3
HEADLIGHTS Halogen	0/0	0
ACCESSORY WIRING, SPECIAL for Body Builder Feeds & Road Speed Wire Coiled Behind Driver Seat for Customer Use, Includes 15 & 5 Amp Ignition, (2) 20 Amp Battery, (2) Ground and Road Speed	1/2	3
FENDER EXTENSIONS Rubber	0/0	0
LOGOS EXTERIOR Model Badges	0/0	0
LOGOS EXTERIOR, ENGINE Badges	0/0	0
HOOD, HATCH (01) for Servicing	5/0	5
GRILLE Stationary, Chrome	0/0	0
INSULATION, SPLASH PANELS for Sound Abatement	3/0	3
FRONT END Tilting, Fiberglass, with Three Piece Construction, Includes Long Hood	0/0	0
PAINT SCHEMATIC, PT-1 Single Color, Design 100	0/0	0

Includes

: PAINT SCHEMATIC ID LETTERS "WM"

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
PAINT TYPE Base Coat/Clear Coat, 1-2 Tone	0/0	0
COMMUNICATIONS MODULE Telematics Device with Over the Air Programming; Includes Two Year Data Plan	1/0	1
PROMOTIONAL PACKAGE Government Silver Package	0/0	0
SAFETY TRIANGLES	10/2	12
FIRE EXTINGUISHER 5 lb Class A B C	6/4	10
FIRE EXTINGUISHER BRACKET Mounted Left Side Driver Seat	1/0	1
CLUTCH Omit Item (Clutch & Control)	0/0	0
ANTI-FREEZE Red, Extended Life Coolant; To -40 Degrees F/ -40 Degrees C, Freeze Protection	0/0	0
PTO EFFECTS, ENGINE FRONT for N13/A26 Engines, Less PTO, Unit, Includes Adapter Plate on Engine Front Mounted	0/0	0
ENGINE, DIESEL {International A26} EPA 2021, 410HP @ 1700 RPM, 1450 lb-ft Torque @ 900 RPM, 2100 RPM Governed Speed, 410 Peak HP (Max)	0/0	0
FAN DRIVE {Horton Drivemaster} Two-Speed Type, Direct Drive, with Residual Torque Device for Disengaged Fan Speed	0/0	0
<u>Includes</u> : FAN Nylon		
AIR CLEANER Single Element, with Integral Snow Valve and In-Cab Control	2/0	2
EMISSION, CALENDAR YEAR {International A26} EPA, OBD and GHG Certified for Calendar Year 2021, for EPA 2021 A26 Engines	0/0	0
COLD STARTING EQUIPMENT Automatic; with Engine ECM Control	0/0	0
HOSE CLAMPS, RADIATOR HOSES , Mechanical Type; with Constant-Tension Functionality	0/0	0
OIL PAN Stainless Steel, for N13/A26 Engines	51/5	56
FAN DRIVE SPECIAL EFFECTS Fan Cooling Ring with Fan Shroud Effects, Engine Mounted	0/0	0
CARB IDLE COMPLIANCE Low NOx Idle Engine, Complies with California Clean Air Regulations; Includes "Certified Clean Idle" Decal located on Driver Door	0/0	0
RADIATOR Aluminum, Welded, Cross Flow, Front to Back System, 1292 SqIn, with 1008 SqIn Charge Air Cooler	0/0	0
<u>Includes</u> : DEAERATION SYSTEM with Surge Tank : HOSE CLAMPS, RADIATOR HOSES Gates Shrink Band Type; Thermoplastic Coolant Hose Clamps : RADIATOR HOSES Premium, Rubber		
BLOCK HEATER, ENGINE {Phillips} 120V/1150W, Thermostatically Controlled, with LED Indicator on Plug Assembly	0/0	0
<u>Includes</u> : BLOCK HEATER SOCKET Receptacle Type; Mounted below Drivers Door		
CARB EMISSION WARR COMPLIANCE for International A26 Engines	0/0	0
TRANSMISSION, AUTOMATIC {Allison 4500 RDS} 5th Generation Controls, Wide Ratio, 6-Speed with Double Overdrive, with PTO Provision, Less Retarder, Includes Oil Level Sensor, On/Off Highway	221/178	399
OIL COOLER, AUTO TRANSMISSION {Modine} Water to Oil Type	25/0	25

Description	F/R Wt (lbs)	Tot Wt (lbs)
SHIFT CONTROL PARAMETERS (Allison) 3000 or 4000 Series Transmissions, S1 Performance in Primary and Fixed Programming in Secondary	0/0	0
AUTOMATIC NEUTRAL Allison Transmission Shifts to Neutral When Parking Brake is Engaged and Remains in Neutral When Parking Brake is Disengaged, without On/Off Switch	0/0	0
TRANSMISSION SHIFT CONTROL Column Mounted Stalk Shifter, Not for Use with Allison 1000 & 2000 Series Transmission	1/0	1
TRANSMISSION COOLER HOSES Stainless Steel	0/0	0
TRANSMISSION OIL Synthetic; 63 thru 76 Pints	0/0	0
ALLISON SPARE INPUT/OUTPUT for Rugged Duty Series (RDS) and Regional Haul Series (RHS), General Purpose Trucks, Package Number 223, Modified for Single Input Auto Neutral	0/0	0
NEUTRAL AT STOP Allison Transmission Shifts to Neutral When Service Brake is Depressed and Vehicle is at Stop; Remains in Neutral Until Service Brake is Released	0/0	0
TRANSMISSION TCM LOCATION Located Inside Cab	0/0	0
PTO LOCATION Customer Intends to Install PTO at Left Side of Transmission	0/0	0
AXLE, REAR, SINGLE {Meritor RS-23-160} Single Reduction, 23,000-lb Capacity, Driver Controlled Locking Differential, 200 Wheel Ends . Gear Ratio: 4.89	0/13	13
SUSPENSION, REAR, SINGLE 31,000-lb Capacity, Vari-Rate Springs, with 4500-lb Capacity Auxiliary Rubber Springs	0/97	97
FUEL TANK STRAPS Bright Finish Stainless Steel	0/0	0
DEF TANK 9.5 US Gal (36L) Capacity, Frame Mounted Outside Left Rail, Under Cab	0/0	0
LOCATION FUEL/WATER SEPARATOR Mounted Outside Left Rail, 20" Back of Cab	0/0	0
FUEL/WATER SEPARATOR {Racor 6600} 12 VDC Electric Heater, Includes Pre-Heater, Fuel Heated with Fuel Blender Valve, with Sight Bowl, Includes Water-In-Fuel Sensor	2/4	6
FUEL TANK Top Draw, Non-Polished Aluminum, D-Style, 19" Tank Depth, 70 US Gal (265L), Mounted Left Side, Under Cab	3/9	12
FUEL COOLER Less Thermostat; Mounted in Front of Cooling Module	14/1	15
CAB Conventional, Day Cab	0/0	0
AIR CONDITIONER with Integral Heater and Defroster	50/6	56
GAUGE CLUSTER Base Level; English with English Electronic Speedometer	0/0	0
Includes		
: GAUGE CLUSTER DISPLAY: Base Level (3" Monochromatic Display), Premium Level (5" LCD Color Display); Odometer, Voltmeter, Diagnostic Messages, Gear Indicator, Trip Odometer, Total Engine Hours, Trip Hours, MPG, Distance to Empty/Refill for		
: GAUGE CLUSTER Speedometer, Tachometer, Engine Coolant Temp, Fuel Gauge, DEF Gauge, Oil Pressure Gauge, Primary and Secondary Air Pressure		
: WARNING SYSTEM Low Fuel, Low DEF, Low Oil Pressure, High Engine Coolant Temp, Low Battery Voltage (Visual and Audible), Low Air Pressure (Primary and Secondary)		
GAUGE, OIL TEMP, AUTO TRANS for Allison Transmission	1/0	1
GAUGE, AIR CLEANER RESTRICTION {Filter-Minder} with Black Bezel, Mounted in Instrument Panel	2/0	2
IP CLUSTER DISPLAY On Board Diagnostics Display of Fault Codes in Gauge Cluster	0/0	0

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
GAUGE, VOLTMETER Auxiliary Gauge, Located in Center Panel. Standard Cluster Also Includes Digital Voltage Readout	0/0	0
SEAT, DRIVER {National 2000} Air Suspension, High Back with Integral Headrest, Vinyl, Isolator, 1 Chamber Lumbar, with 2 Position Front Cushion Adjust, -3 to +14 Degree Angle Back Adjust	0/0	0
GRAB HANDLE, EXTERIOR (2) Chrome, for Cab Entry, (1) Towel Bar Type, with Anti-Slip Rubber Inserts Mounted Left Side at B-Pillar, (1) Towel Bar Type Mounted Right Side on Vertical Exhaust	0/0	0
SEAT, PASSENGER {Seats, Inc.} Non Suspension, High Back, Fixed Back, Integral Headrest, Vinyl, for use with Batteries in Cab	0/0	0
MIRRORS (2) C-Loop, Power Adjust, Heated, Black Heads and Arms, 7.5" x 14" Flat Glass, Includes 7.5" x 7" Convex Mirrors, for 102" Load Width	0/0	0
<u>Notes</u>		
: Mirror Dimensions are Rounded to the Nearest 0.5"		
MIRROR, CONVEX, LOOK DOWN Right Side, Black, 6" x 10.5"	0/0	0
SEAT BELT All Orange; 1 to 3	0/0	0
CAB INTERIOR TRIM Classic, for Day Cab	0/0	0
<u>Includes</u>		
: CONSOLE, OVERHEAD Molded Plastic with Dual Storage Pockets, Retainer Nets and CB Radio Pocket; Located Above Driver and Passenger		
: DOME LIGHT, CAB Door Activated and Push On-Off at Light Lens, Timed Theater Dimming, Integral to Overhead Console, Center Mounted		
: SUN VISOR (2) Padded Vinyl; 2 Moveable (Front-to-Side) Primary Visors, Driver Side with Toll Ticket Strap		
WINDSHIELD Heated, Single Piece	1/0	1
ARM REST, RIGHT, DRIVER SEAT	3/0	3
HOSE CLAMPS, HEATER HOSE {Breeze} Belleville Washer Type	0/0	0
WINDOW, POWER (2) and Power Door Locks, Left and Right Doors, Includes Express Down Feature	5/0	5
CAB REAR SUSPENSION Air Bag Type	0/0	0
INSTRUMENT PANEL Wing Panel	0/0	0
MODESTY PANEL Painted	0/0	0
ACCESS, CAB Aluminum, Self-Cleaning, Open and Serrated Design, Driver & Passenger Sides, Two Steps per Door, for use with Day Cab, Extended Cab or Sleeper Cab	-8/-6	-14
WHEELS, FRONT {Accuride 41730} DISC; 22.5x9.00 Rims, Standard Polish Aluminum, 10-Stud, 285.75mm BC, Hub-Piloted, Flanged Nut, with Steel Hubs	-18/0	-18
WHEELS, REAR {Accuride 42644} DUAL DISC; 22.5x8.25 Rims, Standard Polish Aluminum, 10-Stud, 285.75mm BC, Hub-Piloted, Flanged Nut, with Steel Hubs	0/-108	-108
WHEEL GUARDS, FRONT {Accuride} for Metric Hub Piloted Wheels with Flanged Mounting Nuts Mounted Between Hub and Wheel	0/0	0
BDY INTG, REMOTE POWER MODULE Mounted Inside Cab Behind Driver Seat, Up to 6 Outputs & 6 Inputs, Max 20 amp per Channel, Max 80 amp Total; Includes 1 Switch Pack with Latched Switches	0/0	0
BDY INTG, PTO ACCOMMODATION for (3) Latched Rocker Switches, (1) PTO Switch, (2) Generic Switches to Control (3) 30 amp relays, with Programmable Interlocks, for Body Builder Hook up in the Engine Compartment Left Side, Recommended for Automatic Transmissions	0/0	0
(4) TIRE, REAR 11R22.5 Load Range H HDR2+ (CONTINENTAL), 491 rev/mile, 75 MPH, Drive	0/60	60

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
(2) TIRE, FRONT 315/80R22.5 Load Range L HSC 3 (CONTINENTAL), 481 rev/mile, 68 MPH, All-Position	90/0	90
Cab schematic 100WM		
Location 1: 4421, School Bus Yellow (Std)		
Chassis schematic N/A		
Services Section:		
WARRANTY Standard for HV513, HV613 Models, Effective with Vehicles Built July 1, 2017 or Later, CTS-2030A	0/0	0
SRV CONTRACT, EXT CAB {Navistar} To 120-Month/300,000 Miles (480,000 km); Covers Cab Structure, Perforation and Corrosion, with Rear Axle Capacity of 52,000-lb or Less	0/0	0
SRV CONTRACT, EXT FRAME To 120-Month/300,000 Miles (480,000 km); Covers Frame Rails, Cross Members and Brackets, with Rear Axle Capacity of 52,000-lb or Less	0/0	0
SRV CONTRACT, EXT MAJOR COMP {Navistar Prepackaged Components} To 60-Month/100,000 Miles (160,000 km), Includes Front Axle, Rear Axle, and Propshaft, for Rear Axle Rating of 52,000 lbs or less	0/0	0
SRV CONTRACT, EXT STARTER/ALT {Navistar Prepackaged Components} Covers Starter and Alternator Only, To 60-Month/100,000 Miles (160,000 km)	0/0	0
SRV CONTRACT, EXT COOLING SYS {Navistar} To 60-Month/100,000 Miles (160,000 km)	0/0	0
SRV CONTRACT, EXT HTR/AC SYS {Navistar Prepackaged Components} To 60-Month/100,000 Miles (160,000 km)	0/0	0
SRV CONTRACT, EXT ELECTRICAL {Navistar Prepackaged Components} Excludes Starter and Alternator, To 60-Month/100,000 Miles (160,000 km)	0/0	0
SRV CONTRACT, EXT ENGINE/AFTR {Navistar} To 84-Month/250,000 Miles (400,000 km), Includes Engine, Engine Electronics, Turbocharger, Water Pump and Fuel Injectors, Aftertreatment Coverage for International A26 Engines << For Use with CARB Emission Warranty >>	0/0	0
SERVICES, TOWING {Navistar} Service Call to 60-Month/Unlimited Mileage to the Nearest Navistar Dealer for Navistar Warrantable Failure as Contract Defined; Includes Engine Failure if Supplier Declines Tow Coverage & ESC Supplied thru Navistar; \$550 (USA) Maximum Benefit per Incident	0/0	0
SRV CONTRACT, EXT ALLISON XMSN {Allison} To 84-Month/Unlimited Miles/km, for Allison 4500 RDS with Dump Truck or Mixer Vocations (ST01, ST06, ST07)	0/0	0
Total Component Weight:	8590/5323	13913
2023 MODEL YEAR SURCHARGE MV AND HV/MD MODELS	0/0	0
FUEL DELIVERY	0/0	0
PA INSPECTION INCLUDED	0/0	0
TRIANGLE KIT	0/0	0
A26 ENGINE SURCHARGE	0/0	0
Total Goods Purchased:	0/0	0

The weight calculations included in this proposal are an estimate of future vehicle weight. The actual weight as manufactured may be different from the estimated weight. Navistar, Inc. shall not be liable for any consequences resulting from any differences between the estimated weight of a vehicle and the actual weight.

<u>Description</u>	(US DOLLAR)	<u>Price</u>
Factory List Prices:		
Product Items	\$238,790.00	
Service Items	\$20,144.00	
Total Factory List Price Including Options:		\$258,934.00
Total Goods Purchased:		\$1,871.43
PREP AND DELIVERY OF HVY CHASSIS	\$297.20	
Total Preparation And Delivery:		\$297.20
Freight	\$2,550.00	
Total Freight:		\$2,550.00
Total Factory List Price Including Freight:		\$263,652.63
Less Customer Allowance:		(\$132,779.61)
Total Vehicle Price:		\$130,873.02
Total Sale Price:		\$130,873.02
Total Per Vehicle Sales Price:		\$130,873.02
Net Sales Price:		\$130,873.02

Please feel free to contact me regarding these specifications should your interests or needs change. I am confident you will be pleased with the quality and service of an International vehicle.

Customers who have elected to purchase the chassis only will need to notify the body manufacturing company to make arrangements for completion of the unit. Payment to Lowe and Moyer International is due prior to delivery of new chassis to the body company. Thank you for this opportunity to quote your business a new International truck.

Penna. State sales tax, title and notary fee must also be added to this quote where applicable.

Approved by Seller:

Accepted by Purchaser:

Official Title and Date

Firm or Business Name

Authorized Signature

Authorized Signature and Date

This proposal is not binding upon the seller without
Seller's Authorized Signature

Official Title and Date

The TOPS FET calculation is an estimate for reference purposes only. The seller or retailer is responsible for calculating and reporting/paying appropriate FET to the IRS.

The limited warranties applicable to the vehicles described herein are Navistar, Inc.'s standard printed warranties which are incorporated herein by reference and to which you have been provided a copy and hereby agree to their terms and conditions.

Prepared for:
Herb Bender
SOUTH WHITEHALL TOWNSHIP
4444 WALBERT AVE

ALLENTOWN, PA 18104
Phone: (610) 398-0401

Prepared by:
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HORWITH FREIGHTLINER
1449 NOR BATH BLVD
NORTHAMPTON, PA 18067
Phone: 610-261-2220

S P E C I F I C A T I O N P R O P O S A L

Data Code	Description	Weight Front	Weight Rear	Retail Price
Price Level				
PRL-26D	SD PRL-26D (EFF:7/26/21)			STD
Data Version				
DRL-030	SPECPRO21 DATA RELEASE VER 030			N/C
Interior Convenience/Driver Retention Package				
055-004	INTERIOR CONVENIENCE PACKAGE WITH CB PROVISION			\$268.00
Vehicle Configuration				
001-177	114SD CONVENTIONAL CHASSIS	7,934	6,476	\$157,555.00
004-223	2023 MODEL YEAR SPECIFIED			STD
002-004	SET BACK AXLE - TRUCK	480	-480	(\$2,235.00)
019-001	TRAILER TOWING PROVISION AT END OF FRAME FOR TRUCK	10	10	\$1,025.00
003-001	LH PRIMARY STEERING LOCATION			STD
General Service				
AA1-003	TRUCK/TRAILER CONFIGURATION			N/C
AA6-001	DOMICILED, USA 50 STATES (INCLUDING CALIFORNIA AND CARB OPT-IN STATES)			STD
A85-011	CONSTRUCTION SERVICE			STD
A84-1GM	GOVERNMENT BUSINESS SEGMENT			N/C
AA4-003	DRY BULK COMMODITY			STD
AA5-002	TERRAIN/DUTY: 100% (ALL) OF THE TIME, IN TRANSIT, IS SPENT ON PAVED ROADS			STD
AB1-008	MAXIMUM 8% EXPECTED GRADE			STD
AB5-001	SMOOTH CONCRETE OR ASPHALT PAVEMENT - MOST SEVERE IN-TRANSIT (BETWEEN SITES) ROAD SURFACE			STD
995-1AE	FREIGHTLINER LEVEL II WARRANTY			N/C
A66-99D	EXPECTED FRONT AXLE(S) LOAD : 20000.0 lbs			



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A68-99D	EXPECTED REAR DRIVE AXLE(S) LOAD : 23000.0 lbs			
A63-99D	EXPECTED GROSS VEHICLE WEIGHT CAPACITY : 43000.0 lbs			
A70-99D	EXPECTED GROSS COMBINATION WEIGHT : 60000.0 lbs			
Truck Service				
AA3-018	FRONT PLOW/END DUMP BODY			N/C
A88-99D	EXPECTED TRUCK BODY LENGTH : 0.0 ft			
A89-99D	BRAKING-EXPECTED CAB TO BODY CLEARANCE : 15.0 in			
AF3-2FV	J&J TRUCK BODIES AND TRAILERS			N/C
Tractor Service				
AA2-005	FLATBED TRAILER			N/C
AH6-001	SINGLE (1) TRAILER			N/C
Engine				
101-2X7	DETROIT DD13 12.8L 410 HP @ 1625 RPM, 1900 GOV RPM, 1650 LB-FT @ 975 RPM			\$770.00
Electronic Parameters				
79A-057	57 MPH ROAD SPEED LIMIT			N/C
79B-000	CRUISE CONTROL SPEED LIMIT SAME AS ROAD SPEED LIMIT			N/C
79K-010	PTO MODE ENGINE RPM LIMIT - 1300 RPM			N/C
79M-002	PTO MODE BRAKE OVERRIDE - SERVICE BRAKE APPLIED OR PARK BRAKE NOT APPLIED			N/C
79P-003	PTO RPM WITH CRUISE SET SWITCH - 800 RPM			N/C
79Q-003	PTO RPM WITH CRUISE RESUME SWITCH - 800 RPM			N/C
79T-001	PTO MODE RPM INCREMENT - 25 RPM			N/C
79U-007	PTO GOVERNOR RAMP RATE - 250 RPM PER SECOND			N/C
79W-001	ONE REMOTE PTO SPEED			N/C
79X-005	PTO SPEED 1 SETTING - 900 RPM			N/C
80D-001	SOFT CRUISE CONTROL ENABLED			N/C
80G-001	PTO MINIMUM RPM - 600			N/C
Engine Equipment				
99C-017	2016-2019 ONBOARD DIAGNOSTICS/2010 EPA/CARB/FINAL GHG17 CONFIGURATION			N/C
99D-011	2008 CARB EMISSION CERTIFICATION - CLEAN IDLE (INCLUDES 6X4 INCH LABEL ON LOWER FORWARD CORNER OF DRIVER DOOR)			\$109.00

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Data Code	Description	Weight Front	Weight Rear	Retail Price
13E-006	ALUMINUM OIL PAN	17		\$557.00
105-001	ENGINE MOUNTED OIL CHECK AND FILL			STD
014-109	SIDE OF HOOD AIR INTAKE WITH FIREWALL MOUNTED DONALDSON AIR CLEANER WITH SAFETY ELEMENT, PASSIVE PRECLEANER AND INSIDE/OUTSIDE AIR WITH SNOW DOOR	10		\$1,020.00
124-1D7	DR 12V 160 AMP 28-SI QUADRAMOUNT PAD ALTERNATOR WITH REMOTE BATTERY VOLT SENSE			STD
292-236	(3) DTNA GENUINE, FLOODED STARTING, MIN 3000CCA, 555RC, THREADED STUD BATTERIES			STD
290-1CD	BATTERY BOX WITH ALUMINUM COVER MOUNTED SHORT SIDE TO RAIL	15		\$248.00
281-001	STANDARD BATTERY JUMPERS			STD
282-003	SINGLE BATTERY BOX FRAME MOUNTED LH SIDE BACK OF CAB			STD
291-017	WIRE GROUND RETURN FOR BATTERY CABLES WITH ADDITIONAL FRAME GROUND RETURN			STD
289-002	POLISHING OF BATTERY BOX COVER			\$52.00
87P-001	CAB AUXILIARY POWER CABLE	5		\$62.00
293-058	POSITIVE LOAD DISCONNECT WITH CAB MOUNTED CONTROL SWITCH MOUNTED OUTBOARD DRIVER SEAT	10		\$206.00
295-029	POSITIVE AND NEGATIVE POSTS FOR JUMPSTART LOCATED ON FRAME NEXT TO STARTER	2		\$88.00
107-044	BW MODEL BA-921 19.0 CFM SINGLE CYLINDER AIR COMPRESSOR WITH SAFETY VALVE			STD
152-041	ELECTRONIC ENGINE INTEGRAL SHUTDOWN PROTECTION SYSTEM			STD
128-002	JACOBS COMPRESSION BRAKE			STD
016-1C2	RH OUTBOARD UNDER STEP MOUNTED HORIZONTAL AFTERTREATMENT SYSTEM ASSEMBLY WITH RH B-PILLAR MOUNTED VERTICAL TAILPIPE	30	25	\$816.00
28F-002	ENGINE AFTERTREATMENT DEVICE, AUTOMATIC OVER THE ROAD REGENERATION AND DASH MOUNTED REGENERATION REQUEST SWITCH			N/C
239-038	11 FOOT 06 INCH (138 INCH+0/-5.9 INCH) EXHAUST SYSTEM HEIGHT			N/C
233-017	STANDARD CURVE BRIGHT UPPER STACK(S)			\$123.00
237-1CR	RH CURVED VERTICAL TAILPIPE B-PILLAR MOUNTED ROUTED FROM STEP			N/C
23U-002	13 GALLON DIESEL EXHAUST FLUID TANK			STD
30N-003	100 PERCENT DIESEL EXHAUST FLUID FILL			STD

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Data Code	Description	Weight Front	Weight Rear	Retail Price
23Y-001	STANDARD DIESEL EXHAUST FLUID PUMP MOUNTING			STD
23Z-001	POLISHED ALUMINUM DIAMOND PLATE DIESEL EXHAUST FLUID TANK COVER	15	5	\$199.00
43X-002	LH MEDIUM DUTY STANDARD DIESEL EXHAUST FLUID TANK LOCATION			STD
43Y-001	STANDARD DIESEL EXHAUST FLUID TANK CAP			STD
242-011	ALUMINUM AFTERTREATMENT DEVICE/MUFFLER/TAILOPIPE SHIELD(S)			N/C
273-036	BORG WARNER (KYSOR) REAR AIR ON/OFF ENGINE FAN CLUTCH			N/C
276-001	AUTOMATIC FAN CONTROL WITHOUT DASH SWITCH, NON ENGINE MOUNTED			STD
110-068	DDC SUPPLIED ENGINE MOUNTED FUEL FILTER/FUEL WATER SEPARATOR WITH WATER-IN-FUEL INDICATOR			STD
118-001	FULL FLOW OIL FILTER			STD
266-057	1500 SQUARE INCH ALUMINUM RADIATOR			STD
103-039	ANTIFREEZE TO -34F, OAT (NITRITE AND SILICATE FREE) EXTENDED LIFE COOLANT			STD
171-007	GATES BLUE STRIPE COOLANT HOSES OR EQUIVALENT			STD
172-001	CONSTANT TENSION HOSE CLAMPS FOR COOLANT HOSES			STD
270-023	HDEP FIXED RATIO COOLANT PUMP AND RADIATOR DRAIN VALVE			STD
138-005	PHILLIPS-TEMRO 1500 WATT/115 VOLT BLOCK HEATER	4		\$117.00
140-022	CHROME ENGINE HEATER RECEPTACLE MOUNTED UNDER LH DOOR			\$6.00
155-075	mitsubishi 12V MOD 3.175-DP60 STARTER WITH INTEGRATED MAGNETIC SWITCH			STD

Transmission

342-1M3	ALLISON 4500 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION	260	100	\$13,687.00
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Transmission Equipment

343-339	ALLISON VOCATIONAL PACKAGE 223 - AVAILABLE ON 3000/4000 PRODUCT FAMILIES WITH VOCATIONAL MODELS RDS, HS, MH AND TRV			STD
84B-012	ALLISON VOCATIONAL RATING FOR ON/OFF HIGHWAY APPLICATIONS AVAILABLE WITH ALL PRODUCT FAMILIES			N/C

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Data Code	Description	Weight Front	Weight Rear	Retail Price
84C-023	PRIMARY MODE GEARS, LOWEST GEAR 1, START GEAR 1, HIGHEST GEAR 6, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY			STD
84D-023	SECONDARY MODE GEARS, LOWEST GEAR 1, START GEAR 1, HIGHEST GEAR 6, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY			STD
84E-000	PRIMARY SHIFT SCHEDULE RECOMMENDED BY DTNA AND ALLISON, THIS DEFINED BY ENGINE AND VOCATIONAL USAGE			STD
84F-000	SECONDARY SHIFT SCHEDULE RECOMMENDED BY DTNA AND ALLISON, THIS DEFINED BY ENGINE AND VOCATIONAL USAGE			STD
84G-000	PRIMARY SHIFT SPEED RECOMMENDED BY DTNA AND ALLISON, THIS DEFINED BY ENGINE AND VOCATIONAL USAGE			STD
84H-000	SECONDARY SHIFT SPEED RECOMMENDED BY DTNA AND ALLISON, THIS DEFINED BY ENGINE AND VOCATIONAL USAGE			STD
84N-200	FUEL SENSE 2.0 DISABLED - PERFORMANCE - TABLE BASED			STD
84U-000	DRIVER SWITCH INPUT - DEFAULT - NO SWITCHES			STD
84V-001	DIRECTION CHANGE ENABLED WITH MULTIPLEXED SERVICE BRAKES - ALLISON 5TH GEN TRANSMISSIONS			STD
353-026	VEHICLE INTERFACE WIRING CONNECTOR WITH PDM AND NO BLUNT CUTS, AT BACK OF CAB			\$574.00
34C-001	ELECTRONIC TRANSMISSION CUSTOMER ACCESS CONNECTOR FIREWALL MOUNTED			\$23.00
362-823	CUSTOMER INSTALLED CHELSEA 280 SERIES PTO			N/C
363-001	PTO MOUNTING, LH SIDE OF MAIN TRANSMISSION ALLISON			N/C
341-018	MAGNETIC PLUGS, ENGINE DRAIN, TRANSMISSION DRAIN, AXLE(S) FILL AND DRAIN			STD
345-003	PUSH BUTTON ELECTRONIC SHIFT CONTROL, DASH MOUNTED			STD
97G-004	TRANSMISSION PROGNOSTICS - ENABLED 2013			STD
370-011	WATER TO OIL TRANSMISSION COOLER, FRAME MOUNTED			STD
346-003	TRANSMISSION OIL CHECK AND FILL WITH ELECTRONIC OIL LEVEL CHECK			STD
35T-001	SYNTHETIC TRANSMISSION FLUID (TES-295 COMPLIANT)			STD

Front Axle and Equipment

Application Version 11.6.707
Data Version PRL-26D.030
SOUTH WHITEHALL



01/11/2022 2:15 PM

Page 5 of 17

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Data Code	Description	Weight Front	Weight Rear	Retail Price
400-1BB	DETROIT DA-F-20.0-5 20,000# FL1 71.0 KPI/3.74 DROP SINGLE FRONT AXLE	190		\$3,436.00
402-013	MERITOR 16.5X6 Q+ CAST SPIDER HEAVY DUTY CAM FRONT BRAKES, DOUBLE ANCHOR, FABRICATED SHOES			\$68.00
403-002	NON-ASBESTOS FRONT BRAKE LINING			STD
419-023	CONMET CAST IRON FRONT BRAKE DRUMS			\$8.00
427-001	FRONT BRAKE DUST SHIELDS	5		\$102.00
409-006	FRONT OIL SEALS			STD
408-001	VENTED FRONT HUB CAPS WITH WINDOW, CENTER AND SIDE PLUGS - OIL			STD
416-022	STANDARD SPINDLE NUTS FOR ALL AXLES			STD
405-002	MERITOR AUTOMATIC FRONT SLACK ADJUSTERS			STD
406-001	STANDARD KING PIN BUSHINGS			STD
536-055	TRW THP-60 POWER STEERING WITH RCH45 AUXILIARY GEAR	130		N/C
539-003	POWER STEERING PUMP			STD
534-003	4 QUART POWER STEERING RESERVOIR			N/C
533-001	OIL/AIR POWER STEERING COOLER			N/C
40T-002	CURRENT AVAILABLE SYNTHETIC 75W-90 FRONT AXLE LUBE			\$17.00
Front Suspension				
620-006	20,000# FLAT LEAF FRONT SUSPENSION	310		\$815.00
619-004	GRAPHITE BRONZE BUSHINGS WITH SEALS - FRONT SUSPENSION			N/C
62G-998	NO FRONT SUSPENSION OPTIONS			STD
62H-014	LEFT AND RIGHT FRONT SUSPENSION REAR SHACKLE PINS WITH ZERK FITTINGS OUTBOARD			\$33.00
410-001	FRONT SHOCK ABSORBERS			\$121.00
Rear Axle and Equipment				
420-051	RS-23-160 23,000# R-SERIES SINGLE REAR AXLE		-2,270	(\$8,784.00)
421-489	4.89 REAR AXLE RATIO			N/C
424-001	IRON REAR AXLE CARRIER WITH STANDARD AXLE HOUSING			STD
386-074	MXL 176T MERITOR EXTENDED LUBE MAIN DRIVELINE WITH HALF ROUND YOKES	5	5	(\$432.00)
452-001	DRIVER CONTROLLED TRACTION DIFFERENTIAL - SINGLE REAR AXLE		20	\$734.00
878-018	(1) DRIVER CONTROLLED DIFFERENTIAL LOCK REAR VALVE FOR SINGLE DRIVE AXLE			N/C

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Data Code	Description	Weight Front	Weight Rear	Retail Price
87B-005	BUZZER AND BLINKING LAMP WITH EACH MODE SWITCH, DIFFERENTIAL UNLOCK WITH IGNITION OFF, ACTIVE <5 MPH			N/C
423-033	MERITOR 16.5X7 Q+ CAST SPIDER HEAVY DUTY CAM REAR BRAKES, DOUBLE ANCHOR, FABRICATED SHOES			\$140.00
433-002	NON-ASBESTOS REAR BRAKE LINING			STD
434-011	BRAKE CAMS AND CHAMBERS ON FORWARD SIDE OF DRIVE AXLE(S)			N/C
451-023	CONMET CAST IRON REAR BRAKE DRUMS		10	\$43.00
425-002	REAR BRAKE DUST SHIELDS		5	\$65.00
440-006	REAR OIL SEALS			STD
426-100	WABCO TRISTOP D LONGSTROKE 1-DRIVE AXLE SPRING PARKING CHAMBERS		-20	N/C
428-002	MERITOR AUTOMATIC REAR SLACK ADJUSTERS			STD
41T-002	CURRENT AVAILABLE SYNTHETIC 75W-90 REAR AXLE LUBE			N/C
42T-001	STANDARD REAR AXLE BREATHER(S)			STD
Rear Suspension				
622-003	23,000# FLAT LEAF SPRING REAR SUSPENSION WITH HELPER AND RADIUS ROD		80	(\$1,738.00)
621-004	SPRING SUSPENSION - 1.50" AXLE SPACER		10	\$110.00
431-001	STANDARD AXLE SEATS IN AXLE CLAMP GROUP			STD
623-005	FORE/AFT CONTROL RODS			N/C
Brake System				
490-100	WABCO 4S/4M ABS			STD
871-001	REINFORCED NYLON, FABRIC BRAID AND WIRE BRAID CHASSIS AIR LINES			STD
904-001	FIBER BRAID PARKING BRAKE HOSE			STD
412-001	STANDARD BRAKE SYSTEM VALVES			STD
46D-002	STANDARD AIR SYSTEM PRESSURE PROTECTION SYSTEM			STD
413-002	STD U.S. FRONT BRAKE VALVE			STD
432-003	RELAY VALVE WITH 5-8 PSI CRACK PRESSURE, NO REAR PROPORTIONING VALVE			STD
480-088	WABCO SYSTEM SAVER HP WITH INTEGRAL AIR GOVERNOR AND HEATER			STD
479-005	AIR DRYER MOUNTED INBOARD ON RH RAIL			N/C
* 460-084	ALUMINUM AIR TANKS MOUNTED AFT INSIDE AND/OR BELOW FRAME JUST FORWARD OF REAR SUSPENSION			\$224.00

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Data Code	Description	Weight Front	Weight Rear	Retail Price
607-001	CLEAR FRAME RAILS FROM BACK OF CAB TO FRONT REAR SUSPENSION BRACKET, BOTH RAILS OUTBOARD			\$218.00
477-036	PULL CABLES ON ALL AIR RESERVOIRS WITH KEY RING TYPE ATTACHMENT			\$3.00
Trailer Connections				
914-001	AIR CONNECTIONS TO END OF FRAME WITH GLAD HANDS FOR TRUCK AND NO DUST COVERS			N/C
296-028	SWITCH AND INDICATOR LIGHT FOR PRIMARY RECEPTACLE CENTER PIN, LABELED TRLR-AUX, WITH STOP SIGNAL PREWIRE PACKAGE			\$53.00
297-001	SAE J560 7-WAY PRIMARY TRAILER CABLE RECEPTACLE MOUNTED END OF FRAME			N/C
335-004	UPGRADED CHASSIS MULTIPLEXING UNIT			STD
331-001	SUPPLEMENTAL J560 7-WAY RECEPTACLE LOCATED WITH PRIMARY RECEPTACLE			\$91.00
Wheelbase & Frame				
545-412	4125MM (162 INCH) WHEELBASE			N/C
* 546-1B2	1/2X3.64X11-7/8 INCH STEEL FRAME (12.7MMX301.6MM/0.5X11.88 INCH) 120KSI	-80	430	\$1,540.00
547-034	PARTIAL INNER FRAME REINFORCEMENT AT FRONT SUSPENSION	180		\$800.00
548-803	BODY COMPANY INSTALLED ADDITIONAL FRONT FRAME REINFORCEMENT FOR SNOW PLOW			N/C
552-028	1525MM (60 INCH) REAR FRAME OVERHANG			N/C
55W-005	FRAME OVERHANG RANGE: 51 INCH TO 60 INCH	10	-60	N/C
549-036	12 INCH INTEGRAL FRONT FRAME EXTENSION	80	-10	\$639.00
AC8-99D	CALC'D BACK OF CAB TO REAR SUSP C/L (CA) : 96.85 in			
AE8-99D	CALCULATED EFFECTIVE BACK OF CAB TO REAR SUSPENSION C/L (CA) : 81.85 in			
AE4-99D	CALC'D FRAME LENGTH - OVERALL : 280.0 in			
FSS-0LH	CALCULATED FRAME SPACE LH SIDE : 16.67 in			N/C
FSS-0RH	CALCULATED FRAME SPACE RH SIDE : 125.2 in			N/C
553-001	SQUARE END OF FRAME			STD
550-001	FRONT CLOSING CROSSMEMBER			STD
559-001	STANDARD WEIGHT ENGINE CROSSMEMBER			STD
562-001	STANDARD MIDSHIP #1 CROSSMEMBER(S)			STD
572-001	STANDARD REARMOST CROSSMEMBER			STD
565-001	STANDARD SUSPENSION CROSSMEMBER			STD

Prepared for:
Herb Bender
SOUTH WHITEHALL TOWNSHIP
4444 WALBERT AVE

ALLENTOWN, PA 18104
Phone: (610) 398-0401

Prepared by:
Jeffrey Kokinda
HORWITH FREIGHTLINER
1449 NOR BATH BLVD
NORTHAMPTON, PA 18067
Phone: 610-261-2220

Data Code	Description	Weight Front	Weight Rear	Retail Price
Chassis Equipment				
556-1E5	14 INCH PAINTED STEEL BUMPER	20		\$228.00
558-001	FRONT TOW HOOKS - FRAME MOUNTED	15		\$80.00
574-001	BUMPER MOUNTING FOR SINGLE LICENSE PLATE			STD
551-007	GRADE 8 THREADED HEX HEADED FRAME FASTENERS			STD
Fuel Tanks				
204-152	70 GALLON/264 LITER ALUMINUM FUEL TANK - LH	5		\$72.00
218-006	25 INCH DIAMETER FUEL TANK(S)			STD
215-006	POLISHING OF FUEL/HYDRAULIC TANK(S) WITH POLISHED STAINLESS STEEL BANDS			\$437.00
212-007	FUEL TANK(S) FORWARD			STD
664-002	POLISHED STEP FINISH			\$109.00
205-002	CHROME FUEL TANK CAP(S)			\$7.00
122-1K4	DAVCO 487 FUEL/WATER SEPARATOR WITH ESOC AND 12 VOLT PREHEATER	15		\$890.00
216-020	EQUIFLO INBOARD FUEL SYSTEM			STD
202-016	HIGH TEMPERATURE REINFORCED NYLON FUEL LINE			STD
Tires				
093-1YU	CONTINENTAL HAU 3 WT 315/80R22.5 20 PLY RADIAL FRONT TIRES	100		\$482.00
094-12V	CONTINENTAL HDR2+ 11R22.5 16 PLY RADIAL REAR TIRES		92	(\$300.00)
Hubs				
418-060	CONMET PRESET PLUS PREMIUM IRON FRONT HUBS			STD
450-060	CONMET PRESET PLUS PREMIUM IRON REAR HUBS			STD
Wheels				
502-664	ALCOA ULTRA ONE 89U63X 22.5X9.00 10-HUB PILOT 3.12 INSET 10-HD ALUMINUM FRONT WHEELS	-44		\$386.00
505-693	ALCOA LVL ONE 88267X 22.5X8.25 10-HUB PILOT ALUMINUM DISC REAR WHEELS		-112	\$472.00
524-022	POLISHED DISC SIDE FRONT WHEELS WITH DURA-BRIGHT FINISH			\$170.00
525-023	POLISHED OUTER (DISHED SIDE) REAR WHEELS WITH OUTER ONLY DURA-BRIGHT FINISH			\$200.00

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Data Code	Description	Weight Front	Weight Rear	Retail Price
496-011	FRONT WHEEL MOUNTING NUTS			STD
497-011	REAR WHEEL MOUNTING NUTS			STD
495-998	NO PUSHER/TAG WHEEL MOUNTING NUTS			STD
Cab Exterior				
829-1A2	114 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB			STD
650-008	AIR CAB MOUNTING			STD
648-002	NONREMOVABLE BUGSCREEN MOUNTED BEHIND GRILLE			STD
667-037	SHORT FENDER WITH MUDFLAP			\$141.00
678-018	LH AND RH EXTERIOR GRAB HANDLES WITH SINGLE RUBBER INSERT			\$54.00
645-002	BRIGHT FINISH RADIATOR SHELL/HOOD BEZEL			\$253.00
646-042	STATIONARY BLACK GRILLE WITH BRIGHT ACCENTS			\$88.00
65X-003	CHROME HOOD MOUNTED AIR INTAKE GRILLE			\$15.00
644-004	FIBERGLASS HOOD			STD
727-066	DUAL 26 INCH RECTANGULAR POLISHED ALUMINUM AIR HORNS ROOF MOUNTED	4		\$79.00
726-001	SINGLE ELECTRIC HORN			STD
728-002	DUAL HORN SHIELDS			N/C
657-001	DOOR LOCKS AND IGNITION SWITCH KEYED THE SAME			STD
78G-002	KEY QUANTITY OF 2			STD
575-001	REAR LICENSE PLATE MOUNT END OF FRAME			STD
312-067	HALOGEN COMPOSITE HEADLAMPS WITH BRIGHT BEZELS			N/C
302-047	LED AERODYNAMIC MARKER LIGHTS			\$34.00
311-012	DAYTIME RUNNING LIGHTS - LOW BEAM ONLY			\$21.00
294-1AY	INTEGRAL LED STOP/TAIL/BACKUP LIGHTS			\$153.00
300-015	STANDARD FRONT TURN SIGNAL LAMPS			STD
744-103	DUAL WEST COAST BRIGHT FINISH HEATED MIRRORS WITH LED LIGHTS AND LH AND RH REMOTE			\$403.00
797-001	DOOR MOUNTED MIRRORS			STD
796-001	102 INCH EQUIPMENT WIDTH			STD
743-204	LH AND RH 8 INCH BRIGHT FINISH CONVEX MIRRORS MOUNTED UNDER PRIMARY MIRRORS			N/C
729-001	STANDARD SIDE/REAR REFLECTORS			STD
677-055	RH AFTERTREATMENT SYSTEM CAB ACCESS WITH POLISHED DIAMOND PLATE COVER			\$142.00

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Data Code	Description	Weight Front	Weight Rear	Retail Price
768-043	63X14 INCH TINTED REAR WINDOW			STD
661-004	TINTED DOOR GLASS LH AND RH WITH TINTED OPERATING WING WINDOWS			STD
654-027	RH AND LH ELECTRIC POWERED WINDOWS, PASSENGER SWITCHES ON DOOR(S)	4		\$218.00
663-029	1-PIECE BONDED HEATED WIPER PARK SOLAR GREEN GLASS WINDSHIELD			\$423.00
659-019	2 GALLON WINDSHIELD WASHER RESERVOIR WITHOUT FLUID LEVEL INDICATOR, FRAME MOUNTED			(\$80.00)
Cab Interior				
707-1AK	OPAL GRAY VINYL INTERIOR			STD
706-026	MOLDED PLASTIC DOOR PANEL WITHOUT VINYL INSERT WITH ALUMINUM KICKPLATE LOWER DOOR			\$27.00
708-026	MOLDED PLASTIC DOOR PANEL WITHOUT VINYL INSERT WITH ALUMINUM KICKPLATE LOWER DOOR			\$27.00
772-006	BLACK MATS WITH SINGLE INSULATION			STD
785-004	DASH MOUNTED ASH TRAY(S) WITHOUT LIGHTER			N/C
691-008	FORWARD ROOF MOUNTED CONSOLE WITH UPPER STORAGE COMPARTMENTS WITHOUT NETTING			N/C
693-023	LH DOOR MAP POCKET			\$101.00
742-007	(2) CUP HOLDERS LH AND RH DASH			STD
680-007	GRAY/CHARCOAL WING DASH			N/C
860-004	SMART SWITCH EXPANSION MODULE			\$196.00
720-002	2-1/2 LB. FIRE EXTINGUISHER	5		\$37.00
700-002	HEATER, DEFROSTER AND AIR CONDITIONER			STD
701-008	STANDARD HVAC DUCTING WITH SNOW SHIELD FOR FRESH AIR INTAKE			\$31.00
703-005	MAIN HVAC CONTROLS WITH RECIRCULATION SWITCH			STD
170-045	STANDARD HEATER PLUMBING WITH BALL SHUTOFF VALVES AT SUPPLY LINES ONLY			\$16.00
130-041	VALEO HEAVY DUTY A/C REFRIGERANT COMPRESSOR			STD
702-002	BINARY CONTROL, R-134A			STD
739-034	PREMIUM INSULATION			\$145.00
285-013	SOLID-STATE CIRCUIT PROTECTION AND FUSES			STD
280-007	12V NEGATIVE GROUND ELECTRICAL SYSTEM			STD

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Data Code	Description	Weight Front	Weight Rear	Retail Price
324-011	DOMED DOOR ACTIVATED LH AND RH, DUAL READING LIGHTS, FORWARD CAB ROOF			N/C
655-005	LH AND RH ELECTRIC DOOR LOCKS			\$36.00
284-023	(1) 12 VOLT POWER SUPPLY IN DASH			N/C
722-002	TRIANGULAR REFLECTORS WITHOUT FLARES	10		\$24.00
756-338	BASIC ISRINGHAUSEN HIGH BACK AIR SUSPENSION DRIVERS SEAT WITH MECHANICAL LUMBAR AND INTEGRATED CUSHION EXTENSION	30		\$167.00
760-1DC	BASIC HIGH BACK NON SUSPENSION PASSENGER SEAT			N/C
759-007	DUAL DRIVER SEAT ARMRESTS, NO PASSENGER SEAT ARMRESTS	4		\$69.00
711-004	LH AND RH INTEGRAL DOOR PANEL ARMRESTS			STD
758-036	VINYL WITH VINYL INSERT DRIVER SEAT			STD
761-036	VINYL WITH VINYL INSERT PASSENGER SEAT			STD
763-101	BLACK SEAT BELTS			STD
532-002	ADJUSTABLE TILT AND TELESCOPING STEERING COLUMN	10		\$478.00
540-015	4-SPOKE 18 INCH (450MM) STEERING WHEEL			N/C
765-002	DRIVER AND PASSENGER INTERIOR SUN VISORS			STD

Instruments & Controls

732-003	WOODGRAIN DRIVER INSTRUMENT PANEL			N/C
734-003	WOODGRAIN CENTER INSTRUMENT PANEL			N/C
870-001	BLACK GAUGE BEZELS			N/C
486-001	LOW AIR PRESSURE INDICATOR LIGHT AND AUDIBLE ALARM			STD
840-002	2 INCH PRIMARY AND SECONDARY AIR PRESSURE GAUGES			N/C
198-025	INTAKE MOUNTED AIR RESTRICTION INDICATOR WITHOUT GRADUATIONS			STD
721-001	97 DB BACKUP ALARM		3	\$47.00
149-017	ELECTRONIC CRUISE CONTROL WITH SWITCHES ON AUXILIARY GAUGE PANEL (B DASH PANEL)			N/C
156-007	KEY OPERATED IGNITION SWITCH AND INTEGRAL START POSITION; 4 POSITION OFF/RUN/START/ACCESSORY			STD
811-042	ICU3S, 132X48 DISPLAY WITH DIAGNOSTICS, 28 LED WARNING LAMPS AND DATA LINKED			N/C
160-038	HEAVY DUTY ONBOARD DIAGNOSTICS INTERFACE CONNECTOR LOCATED BELOW LH DASH			STD

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Data Code	Description	Weight Front	Weight Rear	Retail Price
844-001	2 INCH ELECTRIC FUEL GAUGE			STD
845-011	FUEL FILTER RESTRICTION INDICATOR			STD
148-085	EMISSIONS LIMITED IDLE ADJUST			STD
856-001	ELECTRICAL ENGINE COOLANT TEMPERATURE GAUGE			STD
864-001	2 INCH TRANSMISSION OIL TEMPERATURE GAUGE			STD
830-017	ENGINE AND TRIP HOUR METERS INTEGRAL WITHIN DRIVER DISPLAY			STD
372-035	(1) DASH MOUNTED PTO SWITCH WITH INDICATOR LAMP	10		\$69.00
852-002	ELECTRIC ENGINE OIL PRESSURE GAUGE			STD
679-001	OVERHEAD INSTRUMENT PANEL			STD
746-136	AM/FM/WB WORLD TUNER RADIO WITH AUXILIARY INPUT, J1939	10		\$290.00
747-001	DASH MOUNTED RADIO			N/C
750-002	(2) RADIO SPEAKERS IN CAB			N/C
753-001	AM/FM ANTENNA MOUNTED ON FORWARD LH ROOF			\$23.00
748-006	POWER AND GROUND WIRING PROVISION OVERHEAD			N/C
749-016	CB WIRING ONLY TO ROOF/OVERHEAD CONSOLE; NO MOUNTING PROVISION			N/C
810-027	ELECTRONIC MPH SPEEDOMETER WITH SECONDARY KPH SCALE, WITHOUT ODOMETER			STD
817-001	STANDARD VEHICLE SPEED SENSOR			STD
812-001	ELECTRONIC 3000 RPM TACHOMETER			STD
813-1B4	VT-HU CONNECTIVITY PLATFORM HARDWARE			N/C
8D1-002	2 YEARS DETROIT CONNECT BASE PACKAGE (VIRTUAL TECHNICIAN, DETROIT CONNECT PORTAL ACCESS) FOR VT-HU CONNECTIVITY PLATFORM			N/C
162-002	IGNITION SWITCH CONTROLLED ENGINE STOP			STD
329-010	TWO ON/OFF ROCKER SWITCHES IN THE DASH WITH INDICATOR LIGHTS AND WIRE ROUTED TO CHASSIS AT BACK OF CAB, LABEL OPT			\$59.00
81Y-001	PRE-TRIP LAMP INSPECTION, ALL OUTPUTS FLASH, WITH SMART SWITCH			\$12.00
482-001	BW TRACTOR PROTECTION VALVE			N/C
883-001	TRAILER HAND CONTROL BRAKE VALVE			N/C
836-015	DIGITAL VOLTAGE DISPLAY INTEGRAL WITH DRIVER DISPLAY			STD

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Data Code	Description	Weight Front	Weight Rear	Retail Price
660-001	SINGLE ELECTRIC WINDSHIELD WIPER MOTOR WITH DELAY AND ARCTIC TYPE BLADES			\$17.00
304-039	MARKER LIGHT SWITCH INTEGRAL WITH HEADLIGHT SWITCH AND DUAL CONNECTORS AND SWITCH FOR CUSTOMER FURNISHED SNOW PLOW LIGHTS, LOW BEAMS OFF WITH HIGH BEAMS			\$214.00
882-004	TWO VALVE PARKING BRAKE SYSTEM WITH WARNING INDICATOR			N/C
299-013	SELF CANCELING TURN SIGNAL SWITCH WITH DIMMER, WASHER/WIPER AND HAZARD IN HANDLE			N/C
298-039	INTEGRAL ELECTRONIC TURN SIGNAL FLASHER WITH HAZARD LAMPS OVERRIDING STOP LAMPS			STD

Design

065-000	PAINT: ONE SOLID COLOR			STD
---------	------------------------	--	--	-----

Color

980-5F2	CAB COLOR A: L0131EY YELLOW ELITE EY			N/C
986-020	BLACK, HIGH SOLIDS POLYURETHANE CHASSIS PAINT			STD
964-020	STANDARD BLACK BUMPER PAINT			STD
963-003	STANDARD E COAT/UNDERCOATING			STD

Certification / Compliance

996-001	U.S. FMVSS CERTIFICATION, EXCEPT SALES CABS AND GLIDER KITS			STD
---------	---	--	--	-----

Raw Performance Data

AE8-99D	CALCULATED EFFECTIVE BACK OF CAB TO REAR SUSPENSION C/L (CA) : 81.85 in			
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Sales Programs

NO SALES PROGRAMS HAVE BEEN SELECTED

TOTAL VEHICLE SUMMARY

Adjusted List Price

Adjusted List Price ** \$180,838.00

Weight Summary

Application Version 11.6.707
Data Version PRL-26D.030
SOUTH WHITEHALL



01/11/2022 2:15 PM

Page 14 of 17

Prepared for:
Herb Bender
SOUTH WHITEHALL TOWNSHIP
4444 WALBERT AVE

ALLENTOWN, PA 18104
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	Weight Front	Weight Rear	Total Weight
Factory Weight ⁺	9820 lbs	4319 lbs	14139 lbs
Total Weight ⁺	9820 lbs	4319 lbs	14139 lbs

ITEMS NOT INCLUDED IN ADJUSTED LIST PRICE

Other Factory Charges

PNZ-003	CARB22 BASE WARRANTY SURCHARGE DD13 / X12	\$1,350.00
PMV-998	NO ESCALATOR	STD
RD1-002	2 YEARS DETROIT CONNECT BASE PACKAGE (VIRTUAL TECHNICIAN, DETROIT CONNECT PORTAL ACCESS)	STD
RFY-022	FRONT TIRE SURCHARGE	\$60.00
RFU-022	REAR TIRE SURCHARGE	\$120.00
RFZ-023	MY23 PRODUCTION COST SURCHARGE	\$2,900.00
P73-2FT	STANDARD DESTINATION CHARGE	\$2,700.00

Extended Warranty

WAI-6VV	EW4: DD13 CARB22 VOC 7 YEARS/100,000 MILES/161,000 KM. EXTENDED ENGINE COVERAGE. FEX APPLIES	\$3,965.00
WBB-472	TC4: US HD STANDARD/MODERATE VOCATIONAL 7 YEARS/100,000 MILES/161,000 KM EXTENDED TRUCK COVERAGE	\$3,000.00
WAK-276	ALLISON 4500 RDS SERIES TRANSMISSION EXTENDED WARRANTY, 7 YEARS/UNLIMITED MILES FEX	\$1,582.00
	Currency Exchange Rate	1.0000
	Total Extended Warranty (Local Currency)	\$8,547.00

(+) Weights shown are estimates only.

If weight is critical, contact Customer Application Engineering.

(**) Prices shown do not include taxes, fees, etc... "Net Equipment Selling Price" is located on the Quotation Details Proposal Report.

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(***) All cost increases for major components (Engines, Transmissions, Axles, Front and Rear Tires) and government mandated requirements, tariffs, and raw material surcharges will be passed through and added to factory invoices.



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Q U O T A T I O N

114SD CONVENTIONAL CHASSIS

SET BACK AXLE - TRUCK	114 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB
DETROIT DD13 12.8L 410 HP @ 1625 RPM, 1900 GOV RPM, 1650 LB-FT @ 975 RPM	4125MM (162 INCH) WHEELBASE
ALLISON 4500 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION	1/2X3.64X11-7/8 INCH STEEL FRAME (12.7MMX301.6MM/0.5X11.88 INCH) 120KSI
RS-23-160 23,000# R-SERIES SINGLE REAR AXLE	1525MM (60 INCH) REAR FRAME OVERHANG
23,000# FLAT LEAF SPRING REAR SUSPENSION WITH HELPER AND RADIUS ROD	PARTIAL INNER FRAME REINFORCEMENT AT FRONT SUSPENSION
DETROIT DA-F-20.0-5 20,000# FL1 71.0 KPI/3.74 DROP SINGLE FRONT AXLE	BODY COMPANY INSTALLED ADDITIONAL FRONT FRAME REINFORCEMENT FOR SNOW PLOW
20,000# FLAT LEAF FRONT SUSPENSION	

		PER UNIT	TOTAL
VEHICLE PRICE	TOTAL # OF UNITS (1)	\$ 111,580	\$ 111,580
EXTENDED WARRANTY		\$ 8,547	\$ 8,547
DEALER INSTALLED OPTIONS		\$ 0	\$ 0
CUSTOMER PRICE BEFORE TAX		\$ 120,127	\$ 120,127

TAXES AND FEES

TAXES AND FEES	\$ 0	\$ 0
OTHER CHARGES	\$ 0	\$ 0

TRADE-IN

TRADE-IN ALLOWANCE	\$ (0)	\$ (0)
---------------------------	--------	--------

BALANCE DUE	(LOCAL CURRENCY)	\$ 120,127	\$ 120,127
--------------------	-------------------------	-------------------	-------------------

COMMENTS: Projected delivery on ___ / ___ / ___ provided the order is received before ___ / ___ / ___.

APPROVAL: Please indicate your acceptance of this quotation by signing below: Customer:

X _____ Date: ___ / ___ / ___.

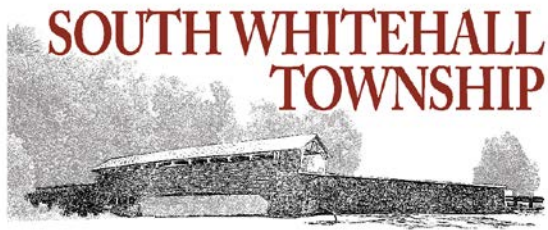
Daimler Truck Financial

Financing that works for you.

See your local dealer for a competitive quote from Daimler Truck Financial, or contact us at Information@dtfoffers.com.

Daimler Truck Financial offers a variety of finance, lease and insurance solutions to fit your business needs. For more information about our products and services, visit our website at www.daimler-truckfinancial.com.





MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Herb Bender
DATE:	January 11, 2022
SUBJECT:	Ford F-550 Dump Truck
COPY TO:	R. Cope, M. Elias, S. Boehret, D. Manhardt

- **Background Information and/or Justification of Expense:**

Public Works is respectfully asking permission to move forward with the purchase of a 2022 Ford F-550 Dump Truck. This Truck will be used by the Parks and Street departments. Some of the functions for this truck is to haul materials such as mulch, stone and topsoil this truck will also be equipped with a snowplow and spreader. This truck will be replacing 2006 Ford F-250 that has some mechanical issues and will not pass inspection. The price for this piece of equipment is \$87,377.00 this was budgeted for \$82,200.00. The Ford F-250 we currently own will be put on Municibid once receive the new truck.

- **Action Requested:**

Public Works is respectfully requesting a motion to approve the purchase of 2022 Ford F-550 Utility Truck.

- **Budget Line Item (if applicable):**

30430003/40720

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Heavy Duty
Truck Service

10-7-21

South Whitehall

Herb Bender

Quote 2022 F550 Dump-Plow

9/21/21, 10:20 AM

COSTARS 25-018
COSTARS 25-072

IMS2 screen capture

CNGP530

VEHICLE ORDER CONFIRMATION

09/21/21 10:20:38

==>

Dealer: F16221

Page: 1 of 2

2022 F-SERIES SD

Order No: 0001 Priority: E4 Ord FIN: QK990 Order Type: 5B Price Level: 240

Ord PEP: 660A Cust/Flt Name: SOUTH WHITEHA PO Number:

RETAIL

RETAIL

F5H F550 4X4 CHAS/C \$44770
145" WHEELBASE
Z1 OXFORD WHITE
A VNYL 40/20/40
S MEDIUM EARTH GR
660A PREF EQUIP PKG
.XL TRIM
572 .AIR CONDITIONER NC
.AMFM/MP3/CLK
99N .7.3L DEV V8 ENG
44G 10-SPD AUTOMATC NC
TGK 225 MAX TRAC 215
X8L 4.88 LTD SLIP 360
90L PWR EQUIP GROUP 915
TELE TT MIR-PWR
52B BRAKE CONTROLLER \$270
62R TRANS PTO PROV 280
63A UTLTY LIGHT SYS 160
65Z AFT AXLE TANK NC
67B 397 AMP ALTRNTR 115
68U PAYLOAD UPGRADE 815
86M DUAL BATTERY NC
SP FLT ACCT CR
FUEL CHARGE
DEST AND DELIV 1695

FRT LICENSE BKT NC
18B PLAT RUNNING BD 320
TPMS DELETE
19000# GVWR PKG
41P SKID PLATES 100
425 50 STATE EMISS NC
43C 110V/400W OUTLT 175
473 SNOW PLOW PREP 250

TOTAL BASE AND OPTIONS 50440
TOTAL 50440

COSTARS 17% - 8574.⁰⁰
Additional Discount - 1153.⁰⁰

chassis 40712

Leum Quote # 26402 45194

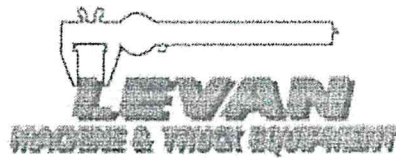
Total Pkg 85906.⁰⁰

Good to 11-5-21
Not Responsible for any Body Co surcharges
extended lead times

TOTAL BASE AND OPTIONS 50440
TOTAL 50440

Bob-Kenny

3417 Pricetown Road
Fleetwood, PA 19522
Phone: (610) 944-7455
Fax: (610) 944-0321



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Quotation

Quote Manderbach Ford
To: 301 South Front Street
Hamburg, PA 19526
United States

Quote Number:	26402	Contact:	Bob Keeney
Quote Date:	10/07/2021	Expires:	11/06/2021
Customer:	MA006	Inquiry:	
Salesman:	Frank Blatt	Terms:	Net 30 Days
Ship Via:	Customer will Pick-Up	Phone:	610-929-3683
FOB:	Fleetwood, PA	FAX:	610-921-1411
		Delivery:	Pick-Up

Proposal Prepared for: South Whitehall Township Costar Contract #025-072

Due to the current stainless steel market conditions, we are only able to hold pricing on the equipment quoted for (5) business days. Our manufacturers are working with us as best they can. As soon as the market becomes more stable, we will go back to the normal 30-day window. We must review any quotes past the expiration date to ensure pricing is still valid. We sincerely apologize for the inconvenience and thank you for your patience.

Item	<u>Part Number</u> <u>Description</u>	<u>Revision</u>	<u>Quantity</u>	<u>Price</u>
1	STAINLESS STEEL DUMP BODY To Supply & Install a Air-Flo PCS-9-3-SSU 9' Stainless steel dump body on a 2022 Ford F550 4x4 Regular cab chassis w/60" CA, gas engine, Transmission PTO provisions & factory switch panel. 9' Length x 94" Width x 17" Sides x 23" Tailgate Includes: * All 10 Gauge Stainless steel construction * 7 Gauge Stainless steel floor supported by 1/4" thick trapezoidal longitudinal * Crossmemberless design * Single handle tailgate latching system * Tarp friendly hardware at rear * 1/2 cab shield with window. Window will be covered. * Recessed LED marker lights * Recessed LED Stop/Turn signals in rear post * (2) Coal door in Tailgate, (1) on each side * Rear flaps w/anti sail devices * Body up light in cab * 11Ton class 20 Scissor hoist * 5" x 20" D/A cylinder * Power up/Power down		1	\$45,194.00000 /EA
2	HITCH Included: * Hitch plate w/(2) "D" Rings, 2 1/2" Receiver tube & 7 wire light plug		1	\$0.00000 /EA

Item	Part Number Description	Revision	Quantity	Price
3	HYDRAULIC SYSTEM Included: Force America Hydraulic system: Includes: * Chelsea Hot shot PTO w/switch in cab * 9GPM Direct mount pump * VT15, Stainless Steel tank enclosure * 16 Micron In tank filter element * 1 1/4" Brass ball valve * Force AAF2010 Valve Hoist & Electric Sander * Force SSC3100 in cab electric spreader control. (Auger & Spinner) * Pedestal base w/stem & plate * Switch in cab on dash to Raise/Lower dump body. (No handle) * Hydraulic system double acting dump body & tail gate spreader. * Hydraulic lines to rear w/Quick couplers, plugs & caps. * Chevron ISO46 Hydraulic oil * Controls convenient to driver.		1	\$0.00000 /EA
4	SPREADER Included: Smith Under tailgate, Stainless steel spreader, * .304 Stainless * Gearbox drive * Spill plates * Poly spinner disc. * Quick disconnect plates * Bottom clean out door		1	\$0.00000 /EA
5	LIGHTING Included: * (2) Whelen LED flashers on front of body * (2) Whelen LED flashers on side of cabshield, (1) per side * (2) Whelen LED Flashers on rear post * Lights activated from single switch * (1) Buyers 1492114, LED work light at rear * Lights activated from single switch		1	\$0.00000 /EA
6	TOOL BOX Included: Weather Guard 627-0-02, Aluminum under bed box on passenger side * 24"x18"x18" * Diamond plate finish * Natural finish * "D" Handle release * Door seal		1	\$0.00000 /EA
7	SNOW PLOW Included: Boss 9' Super Duty, power angle snow plow * Front mount electric hydraulics * 29" Powder coat, steel moldboard * 1/2"x6" Steel cutting edge * 1 1/2"x10" Angle cylinders * Cast plow shoes * Smart Hitch II * LED Plow lights * Plow guides * Choice of Hand held or Joystick control		1	\$0.00000 /EA

<u>Item</u>	<u>Part Number</u> <u>Description</u>	<u>Revision</u>	<u>Quantity</u>	<u>Price</u>
8	SNOW PLOW DEFLECTOR Included: Boss bolt on rubber deflector kit		1	\$0.00000 /EA
Total:				\$45,194.00
Tax				\$0.00
				\$45,194.00

 By Frank Blatt

 Accepted

 Date

Thank you for the opportunity to submit this quote! Please note that a 30% deposit will be required for all non-stock orders unless an account has been previously established. Special order or non-returnable parts will require full payment at time of order. All sales of special order items are final and returns will not be accepted.

Prepared for: Herb Bender, Superintendent of Public Works, South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104
Office: 610-398-0401
Email: benderh@southwhitehall.com

2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)
Price Level: 230



Client Proposal

Prepared by:
Cody Stewart
Office: 717-653-8183
Email: whitmoyerautogroup@live.com
Quote ID: 080921-1
Date: 08/10/2021



COSTARS™ ★ ★ ★ ★ ★ ★ ★ ★ ★ ★

Pennsylvania Department of General Services

Prepared for: Herb Bender

08/10/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

**Herb Bender, Superintendent of Public Works,
South Whitehall Township**
4444 Walbert Avenue
Allentown, PA 18104
Office: 610-398-0401
Email: benderh@southwhitehall.com

Re: Quote ID 080921-1 08/10/2021

Dear Herb,

Following is our proposal to furnish and deliver one (1) "new and unused" 2022 Ford F-550 Regular Cab Stainless Steel Dump. Please review and contact our office if you have any questions.

Your total cost to order, as per the COSTARS 25-162 Purchasing Agreement, is \$76,400. This price includes all new vehicle prep, initial PA state inspection, title, and registration fees. Vehicle will be filled with fuel, washed and delivered to your location.

****Plow Pricing is as follows**

9FT Fisher HD2 with Deflector - \$5,800

9.5 Fisher XV2 with Deflector - \$6,700

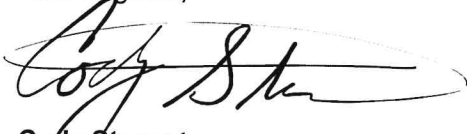
*** 9FT BOSS SuperDuty Plow with LED Lights - \$5,800**

9'2" BOSS Power V DXT Plow with LED Lights - \$6,700

*****Ford is currently reporting a 30 week lead time for delivery of new chassis orders and please allow additional time for upfit completion*****

Thank you for your time, and the opportunity to earn your business.

Best Regards,



Cody Stewart

Fleet Account Executive

717-653-8183

whitmoyerautogroup@live.com

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Table of Contents

Description	Page
Cover Page	1
Cover Letter	2
Table of Contents	3
Selected Equip & Specs	4
As Configured Vehicle	13
Pricing Summary - Single Vehicle	16

Prepared for: Herb Bender

08/10/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

Selected Equip & Specs

Dimensions

- Exterior length: 230.7" • Cab to axle: 60.0" • Exterior width: 80.0" • Exterior height: 81.5" • Wheelbase: 145.0" • Front track: 74.8" • Rear track: 74.0" • Turning radius: 21.2' • Rear tire outside width: 93.9" • Min ground clearance: 8.2" • Front legroom: 43.9" • Front headroom: 40.8" • Front hiproom: 62.5" • Front shoulder room: 66.7" • Passenger volume: 64.6cu.ft. • Cargo volume: 11.6cu.ft. • Maximum cargo volume: 11.6cu.ft.

Powertrain

- 350hp 7.3L OHV 16 valve V-8 engine with DEVCT variable valve control, SMPI • Recommended fuel : regular unleaded
- federal • TorqShift 10 speed automatic transmission with overdrive • Part-time * **Limited slip differential** • Fuel Economy Cty: N/A • Fuel Economy Highway: N/A • **Transmission PTO provision**

Suspension/Handling

- Front Mono-beam non-independent suspension with anti-roll bar, HD shocks • **Rear DANA 130 rigid axle leaf spring suspension with anti-roll bar, HD shocks** • Firm ride Suspension • Hydraulic power-assist re-circulating ball Steering • Front and rear 19.5 x 6 argent steel wheels • **LT225/70SR19.5 GBSW AT front and rear tires** • Dual rear wheels

Body Exterior

- 2 doors • **Driver and passenger power remote heated, manual folding door mirrors with turn signal indicator** • **Turn signal indicator in mirrors** • Black door mirrors • Black bumpers • **Side steps** • Trailer harness • Clearcoat paint • Front and rear 19.5 x 6 wheels • 2 front tow hook(s)

Convenience

- Manual air conditioning with air filter • **Power front windows** • **Driver and passenger 1-touch up** • **Driver and passenger 1-touch down** • **Remote power door locks with 2 stage unlock and illuminated entry** • Manual tilt steering wheel • Manual telescopic steering wheel • Day-night rearview mirror • FordPass Connect 4G internet access • 911 Assist emergency SOS • Wireless phone connectivity • AppLink smart device integration • 2 1st row LCD monitors • Front cupholders • Passenger visor mirror • **Driver and passenger door bins** • Upfitter switches

Seats and Trim

- Seating capacity of 3 • Front 40-20-40 split-bench seat • 4-way driver seat adjustment • Manual driver lumbar support • 4-way passenger seat adjustment • Centre front armrest with storage

Entertainment Features

- AM/FM stereo radio • SYNC external memory control • Steering wheel mounted radio controls • 4 speakers • Streaming audio • Fixed antenna

Lighting, Visibility and Instrumentation

- Halogen aero-composite headlights • Delay-off headlights • Auto on/off headlights • Variable intermittent front windshield wipers • Light tinted windows • Front reading lights • Tachometer • Oil pressure gauge • Compass • Outside temperature display • Trip computer • Trip odometer

Safety and Security

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08/10/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

Selected Equip & Specs (cont'd)

• 4-wheel ABS brakes • Brake assist • 4-wheel disc brakes • Driveline traction control • Dual front impact airbag supplemental restraint system with passenger cancel • Dual seat mounted side impact airbag supplemental restraint system • Safety Canopy System curtain 1st row overhead airbag supplemental restraint system * **Remote activated perimeter/approach lighting** * **Power remote door locks with 2 stage unlock and panic alarm** * **Security system with SecuriLock immobilizer** * **MyKey restricted driving mode** • Manually adjustable front head restraints

Dimensions

General Weights

* Curb	7,125 lbs.	* GVWR	19,000 lbs.
* Payload	12,000 lbs.		

Front Weights

* Front GAWR	7,000 lbs.	* Front curb weight	4,045 lbs.
Front axle capacity	7,000 lbs.	* Front spring rating	7,000 lbs.
Front tire/wheel capacity	7,500 lbs.		

Rear Weights

Rear GAWR	13,660 lbs.	* Rear curb weight	3,080 lbs.
* Rear axle capacity	14,706 lbs.	* Rear spring rating	15,000 lbs.
Rear tire/wheel capacity	15,000 lbs.		

Trailer Type

Harness	Yes	* Brake controller	Yes
Trailer sway control	Yes		

General Trailering

5th-wheel towing capacity	20100 lbs.	Gooseneck towing capacity	20100 lbs.
Towing capacity	18500 lbs.	GCWR	28000 lbs.

Fuel Tank type

Capacity	40 gal.
----------------	---------

Off Road

Min ground clearance	8 "
----------------------------	-----

Interior cargo

Cargo volume	11.6 cu.ft.	Maximum cargo volume	11.6 cu.ft.
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Rear Frame

Height loaded	29 "	Height unloaded	35 "
---------------------	------	-----------------------	------

Powertrain

Engine Type

Block material	Iron	Cylinders	V-8
----------------------	------	-----------------	-----

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08/10/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

Selected Equip & Specs (cont'd)

Head material.....	Aluminum	Ignition.....	Spark
Injection.....	Sequential MPI	Liters.....	7.3L
Orientation.....	Longitudinal	Recommended fuel.....	Regular unleaded
Valves per cylinder.....	2	Valvetrain.....	OHV
Variable valve control.....	DEVCT		

Engine Spec

Bore.....	4.21"	Compression ratio.....	10.5:1
Displacement.....	445 cu.in.	Stroke.....	3.98"

Engine Power

SAEJ1349 AUG2004 compliant.....	Yes	Output.....	350 HP @ 3,900 RPM
Torque.....	468 ft.-lb @ 3,900 RPM		

Alternator

* Type.....	Dual	* Amps.....	397
-------------	------	-------------	-----

Battery

Amp hours.....	78	Cold cranking amps.....	750
Run down protection.....	Yes	* Type.....	Dual

Transmission

Electronic control.....	Yes	Lock-up.....	Yes
Overdrive.....	Yes	Speed.....	10
Type.....	Automatic		

Transmission Gear Ratios

1st.....	4.696	2nd.....	2.985
3rd.....	2.146	4th.....	1.769
5th.....	1.52	6th.....	1.275
7th.....	1	8th.....	0.854
9th.....	0.689	10th.....	0.616
Reverse Gear ratios.....	4.866		

Transmission Extras

Driver selectable mode.....	Yes	Sequential shift control.....	SelectShift
Oil cooler.....	Regular duty	* PTO provision.....	Yes

Drive Type

4wd type.....	Part-time	Type.....	Four-wheel
---------------	-----------	-----------	------------

Drive Feature

* Limited slip differential.....	Mechanical	Traction control.....	Driveline
* Power take-off provision.....	Yes	Locking hub control.....	Auto
Transfer case shift.....	Electronic		

Drive Axle

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Prepared for: Herb Bender

08/10/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

Selected Equip & Specs (cont'd)

Ratio 4.88

Exhaust

Material Stainless steel System type Single

Emissions

CARB Federal

Fuel Economy

Fuel type Gasoline

Driveability

Brakes

ABS 4-wheel ABS channels 3
Type 4-wheel disc Vented discs Front and rear

Brake Assistance

Brake assist Yes

Suspension Control

Ride Firm

Front Suspension

Independence Mono-beam non-independent Anti-roll bar Regular

Front Spring

Type Coil * Grade HD

Front Shocks

Type HD

Rear Suspension

* Independence DANA 130 rigid axle Type Leaf

Anti-roll bar Regular

Rear Spring

Type Leaf Grade HD

Rear Shocks

Type HD

Steering

Activation Hydraulic power-assist Type Re-circulating ball

Steering Specs

of wheels 2

Exterior

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2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

Selected Equip & Specs (cont'd)

Front Wheels

Diameter	19.5"	Width	6.00"
----------	-------	-------	-------

Rear Wheels

Diameter	19.5"	Width	6.00"
Dual	Yes		

Front and Rear Wheels

Appearance	Argent	Material	Steel
------------	--------	----------	-------

Front Tires

Aspect	70	Diameter	19.5"
Sidewalls	BSW	Speed	S
* Tread	AT	Type	LT
Width	225mm	LT load rating	G
* RPM	645		

Rear Tires

Aspect	70	Diameter	19.5"
Sidewalls	BSW	Speed	S
* Tread	AT	Type	LT
Width	225mm	LT load rating	G
* RPM	645		

Wheels

Front track	74.8"	Rear track	74.0"
Turning radius	21.2'	Wheelbase	145.0"
Rear tire outside width	93.9"		

Body Features

* Front license plate bracket	Yes	Front splash guards	Yes
* Skid plate(s)	1	Body material	Aluminum
Side impact beams	Yes	* Side steps	Yes
Front tow hook(s)	2		

Body Doors

Door count	2
------------	---

Exterior Dimensions

Length	230.7"	Body width	80.0"
Body height	81.5"	Cab to axle	60.0"
Axle to end of frame	47.2"	Frame section modulus	12.7cu.in.
Frame yield strength (psi)	50000.0	Frame rail width	34.2"
Front bumper to Front axle	38.3"	Cab to end of frame	107.2"
Front bumper to back of cab	123.7"		

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Prepared for: Herb Bender

08/10/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

Selected Equip & Specs (cont'd)

Safety

Airbags

Driver front-impact	Yes	Driver side-impact	Seat mounted
Overhead	Safety Canopy System curtain 1st row	Passenger front-impact	Cancellable
Passenger side-impact	Seat mounted		

Seatbelt

Height adjustable

Front

Security

* Immobilizer	SecuriLock	* Panic alarm	Yes
* Restricted driving mode	MyKey		

Seating

Passenger Capacity

Capacity

3

Front Seats

Split	40-20-40	Type	Split-bench
-------------	----------	------------	-------------

Driver Seat

Fore/aft	Manual	Reclining	Manual
Way direction control	4	Lumbar support	Manual

Passenger seat

Fore/aft	Manual	Reclining	Manual
Way direction control	4		

Front Head Restraint

Control	Manual	Type	Adjustable
---------------	--------	------------	------------

Front Armrest

Centre	Yes	Storage	Yes
--------------	-----	---------------	-----

Front Seat Trim

Material	Vinyl	Back material	Vinyl
----------------	-------	---------------------	-------

Convenience

AC And Heat Type

Air conditioning	Manual	Air filter	Yes
------------------------	--------	------------------	-----

Audio System

Radio	AM/FM stereo	Radio grade	Regular
-------------	--------------	-------------------	---------

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08/10/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

Selected Equip & Specs (cont'd)

Seek-scan.....	Yes	External memory control.....	SYNC
<i>Audio Speakers</i>			
Speaker type.....	Regular	Speakers.....	4
<i>Audio Controls</i>			
Steering wheel controls.....	Yes	Voice activation.....	Yes
Streaming audio.....	Bluetooth yes		
<i>Audio Antenna</i>			
Type.....	Fixed		
<i>LCD Monitors</i>			
1st row.....	2	Primary monitor size (inches).....	4.2
<i>Convenience Features</i>			
* Retained accessory power.....	Yes	12V DC power outlet.....	3
Emergency SOS.....	911 Assist	Wireless phone connectivity.....	Bluetooth
* 120V AC power outlet.....	1	Smart device integration.....	App link
Upfitter switches.....	Yes		
<i>Door Lock Activation</i>			
* Type.....	Power with 2 stage unlock	* Remote.....	Keyfob (all doors)
* Integrated key/remote.....	Yes		
<i>Door Locks Extra FOB Controls</i>			
Remote engine start.....	Smart device only		
<i>Instrumentation Type</i>			
Appearance.....	Analog		
<i>Instrumentation Gauges</i>			
Tachometer.....	Yes	Oil pressure.....	Yes
Engine temperature.....	Yes	Transmission fluid temp.....	Yes
Engine hour meter.....	Yes		
<i>Instrumentation Warnings</i>			
Oil pressure.....	Yes	Engine temperature.....	Yes
Battery.....	Yes	Lights on.....	Yes
Key.....	Yes	Low fuel.....	Yes
Door ajar.....	Yes	Service interval.....	Yes
Brake fluid.....	Yes		
<i>Instrumentation Displays</i>			
Clock.....	In-radio display	Compass.....	Yes
Exterior temp.....	Yes	Systems monitor.....	Yes
<i>Instrumentation Feature</i>			

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08/10/2021

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2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

Selected Equip & Specs (cont'd)

Trip computer.....	Yes	Trip odometer.....	Yes
<i>Steering Wheel Type</i>			
Material.....	Urethane	Tilting.....	Manual
Telescoping.....	Manual		
<i>Front Side Windows</i>			
* Window 1st row activation.....	Power		
<i>Window Features</i>			
* 1-touch down.....	Driver and passenger	* 1-touch up.....	Driver and passenger
Tinted.....	Light		
<i>Front Windshield</i>			
Wiper.....	Variable intermittent		
<i>Rear Windshield</i>			
Window.....	Fixed		

Interior

<i>Passenger Visor</i>			
Mirror.....	Yes		
<i>Rear View Mirror</i>			
Day-night.....	Yes		
<i>Headliner</i>			
Coverage.....	Full	Material.....	Cloth
<i>Floor Trim</i>			
Coverage.....	Full	Covering.....	Vinyl/rubber
<i>Trim Feature</i>			
Gear shifter material.....	Urethane	Interior accents.....	Chrome
<i>Lighting</i>			
Dome light type.....	Fade	Front reading.....	Yes
* Illuminated entry.....	Yes	Variable IP lighting.....	Yes
<i>Storage</i>			
* Driver door bin.....	Yes	Front Beverage holder(s).....	Yes
Glove box.....	Locking	* Passenger door bin.....	Yes
Illuminated.....	Yes	Instrument panel.....	Covered bin
Dashboard.....	Yes		
<i>Legroom</i>			
Front.....	43.9"		

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08/10/2021

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2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

Selected Equip & Specs (cont'd)

Headroom

Front 40.8"

Hip Room

Front 62.5"

Shoulder Room

Front 66.7"

Interior Volume

Passenger volume 64.6 cu.ft.

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

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2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

As Configured Vehicle

Code	Description	MSRP
------	-------------	------

Base Vehicle

F5H	Base Vehicle Price (F5H)	\$44,520.00
-----	--------------------------	-------------

Packages

660A	Order Code 660A	N/C
------	-----------------	-----

Includes:

- Engine: 7.3L 2V DEVCT NA PFI V8 Gas
- Transmission: TorqShift 10-Speed Automatic
10R140 with neutral idle and selectable drive modes: normal, tow/haul, eco, deep sand/snow and slippery.
- Wheels: 19.5" x 6" Argent Painted Steel
Hub covers/center ornaments not included.
- HD Vinyl 40/20/40 Split Bench Seat
Includes center armrest, cupholder, storage and driver's side manual lumbar.
- Radio: AM/FM Stereo w/MP3 Player
Includes 4 speakers.
- SYNC Communications & Entertainment System
Includes enhanced voice recognition, 911 Assist, 4.2" LCD center stack screen, AppLink, 1 smart-charging USB port and steering wheel audio controls.

Powertrain

99N	Engine: 7.3L 2V DEVCT NA PFI V8 Gas	Included
44G	Transmission: TorqShift 10-Speed Automatic 10R140 with neutral idle and selectable drive modes: normal, tow/haul, eco, deep sand/snow and slippery.	Included
X8L	Limited Slip w/4.88 Axle Ratio	\$360.00
68U	GVWR: 19,000 lbs Payload Upgrade Package Includes upgraded frame and upgraded rear-axle. Note: See Order Guide Supplemental Reference for further details on GVWR and payload ranges.	\$815.00

Wheels & Tires

TGK	Tires: 225/70Rx19.5G BSW Traction (TGK) Includes 4 traction tires on the rear and 2 traction tires on the front. Not recommended for over the road applications; could incur irregular front tire wear and/or NVH.	\$215.00
64Z	Wheels: 19.5" x 6" Argent Painted Steel Hub covers/center ornaments not included.	Included

Seats & Seat Trim

A	HD Vinyl 40/20/40 Split Bench Seat	Included
---	------------------------------------	----------

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08/10/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

As Configured Vehicle (cont'd)

Code	Description	MSRP
	<i>Includes center armrest, cupholder, storage and driver's side manual lumbar.</i>	
Other Options		
PAINT	Monotone Paint Application	STD
145WB	145" Wheelbase	STD
STDRD	Radio: AM/FM Stereo w/MP3 Player	Included
	<i>Includes 4 speakers.</i>	
	<i>Includes:</i>	
	- SYNC Communications & Entertainment System	
	<i>Includes enhanced voice recognition, 911 Assist, 4.2" LCD center stack screen, AppLink, 1 smart-charging USB port and steering wheel audio controls.</i>	
90L	Power Equipment Group	\$915.00
	<i>Deletes passenger side lock cylinder. Includes upgraded door-trim panel.</i>	
	<i>Includes:</i>	
	- Accessory Delay	
	- Advanced Security Pack	
	<i>Includes SecuriLock Passive Anti-Theft System (PATS) and inclination/intrusion sensors.</i>	
	- Folding Trailer Tow Mirrors w/Power Heated Glass	
	<i>Includes manual telescoping, heated convex spotter mirror and integrated clearance lamps/turn signals.</i>	
	- MyKey	
	<i>Includes owner controls feature.</i>	
	- Power Front Side Windows	
	<i>Includes 1-touch up/down driver/passenger window.</i>	
	- Power Locks	
	- Remote Keyless Entry	
473	Snow Plow Prep Package	\$250.00
	<i>Includes pre-selected springs (see order guide supplemental reference for springs/FGAWR of specific vehicle configurations). Note 1: Restrictions apply; see supplemental reference or body builders layout book for details. Note 2: Also allows for the attachment of a winch. Note 3: Highly recommended to add (86M) dual battery on 7.3L gas engines. Adding (67B) 397 amp alternators for diesel engine is highly recommended for max output.</i>	
41P	Transfer Case Skid Plates	\$100.00
62R	Transmission Power Take-Off Provision	\$280.00
	<i>Includes mobile and stationary PTO modes.</i>	
86M	Dual 78 AH Battery	N/C
67B	397 Amp Alternators	\$115.00
63A	Utility Lighting System	\$160.00
	<i>Includes LED side-mirror spotlights.</i>	
52B	Trailer Brake Controller	\$270.00
	<i>Includes smart trailer tow connector. Verified to be compatible with electronic actuated drum brakes only.</i>	
18B	Platform Running Boards	\$320.00
153	Front License Plate Bracket	N/C

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

Prepared for: Herb Bender

08/10/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

As Configured Vehicle (cont'd)

Code	Description	MSRP
	Standard in states requiring 2 license plates and optional to all others.	
43C	110V/400W Outlet <i>Includes 1 in-dash mounted outlet.</i>	\$175.00
Emissions		
425	50-State Emissions System	STD
Interior Color		
AS_01	Medium Earth Gray	N/C
Exterior Color		
Z1_01	Oxford White	N/C
SUBTOTAL		\$48,495.00
Destination Charge		\$1,695.00
TOTAL		\$50,190.00

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

Prepared for: Herb Bender

08/10/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

2022 F-550 Chassis 4x4 SD Regular Cab 145" WB DRW XL (F5H)

Price Level: 230 | Quote ID: 080921-1

Pricing Summary - Single Vehicle

MSRP

Vehicle Pricing

Base Vehicle Price	\$44,520.00
Options	\$3,975.00
Colors	\$0.00
Upfitting	\$0.00
Fleet Discount	\$0.00
Destination Charge	\$1,695.00
Subtotal	\$50,190.00

Pre-Tax Adjustments

Description	MSRP
Levan Upfit (Invoice Attached)	\$35,657.00 46,634.00
Discount as per COSTARS-025-162	-\$9,447.00
Total	\$76,400.00

~~\$62,750.00~~
\$ 87,377.00

Customer Signature

 08/10/21
Dealer Signature



Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

3417 Pricetown Road
Fleetwood, PA 19522
Phone: (610) 944-7455
Fax: (610) 944-0321



Machining, Fabricating
& Truck Equipment
Specialists Since 1936

Quotation

Quote Whitmoyer Auto Group
To: 1001 E. Main Street
Mount Joy, PA 17552
United States

Quote Number:	25894	Contact:	Cody Stewart
Quote Date:	01/07/2021	Expires:	01/22/2021
Customer:	WH002	Inquiry:	
Salesman:	Adam Moyer	Terms:	Net 30 Days
Ship Via:	Installed	Phone:	(717) 653-7080
FOB:	Fleetwood, PA	FAX:	(717) 653-9277
		Delivery:	Pick-Up

Proposal Prepared for: South Whitehall Township Costar Contract #025-072, Revised.

Due to the current stainless steel market conditions, we are only able to hold pricing on the equipment quoted for (15) business days. Our manufacturers are working with us as best they can. As soon as the market becomes more stable, we will go back to the normal 30-day window. We must review any quotes past the expiration date to ensure pricing is still valid. We sincerely apologize for the inconvenience and thank you for your patience.

<u>Item</u>	<u>Part Number</u> <u>Description</u>	<u>Revision</u>	<u>Quantity</u>	<u>Price</u>
1	STAINLESS STEEL DUMP BODY To Supply & Install a Air-Flo PCS-9-3-SSU 9' Stainless steel dump body on a 2022 Ford F550 4x4 Regular cab chassis w/60" CA, gas engine, Transmission PTO provisions & factory switch panel. 9' Length x 94" Width x 17" Sides x 23" Tailgate Includes: * All 10 Gauge Stainless steel construction * 7 Gauge Stainless steel floor supported by 1/4" thick trapezoidal longitudinal * Crossmemberless design * Single handle tailgate latching system * Tarp friendly hardware at rear * 1/2 cab shield with window. Window will be covered. * Recessed LED marker lights * Recessed LED Stop/Turn signals in rear post * (2) Coal door in Tailgate, (1) on each side * Rear flaps w/anti sail devices * Body up light in cab * 11Ton class 20 Scissor hoist * 5" x 20" D/A cylinder * Power up/Power down		1	\$46,634.00000 /EA
2	HITCH Included: * Hitch plate w/(2) "D" Rings, 2 1/2" Receiver tube & 7 wire light plug		1	\$0.00000 /EA

<u>Item</u>	<u>Part Number</u> <u>Description</u>	<u>Revision</u>	<u>Quantity</u>	<u>Price</u>
3	HYDRAULIC SYSTEM Included: Force America Hydraulic system: Includes; * Chelsea Hot shot PTO w/switch in cab * 9GPM Direct mount pump * VT15, Stainless Steel tank enclosure * 16 Micron In tank filter element * 1 1/4" Brass ball valve * Force AAF2010 Valve Hoist & Electric Sander * Force SSC3100 in cab electric spreader control, (Auger & Spinner) * Pedestal base w/stem & plate * Switch in cab on dash to Raise/Lower dump body. (No handle) * Hydraulic system double acting dump body & tail gate spreader. * Hydraulic lines to rear w/Quick couplers, plugs & caps. * Chevron ISO46 Hydraulic oil * Controls convenient to driver.		1	\$0.00000 /EA
4	SPREADER Included: Smith Under tailgate, Stainless steel spreader, * .304 Stainless * Gearbox drive * Spill plates * Poly spinner disc. * Quick disconnect plates * Bottom clean out door		1	\$0.00000 /EA
5	LIGHTING Included: * (2) Whelen LED flashers on front of body * (2) Whelen LED flashers on side of cabshield, (1) per side * (2) Whelen LED Flashers on rear post * Lights activated from single switch * (1) Buyers 1492114, LED work light at rear * Lights activated from single switch		1	\$0.00000 /EA
6	TOOL BOX Included: Weather Guard 627-0-02, Aluminum under bed box on passenger side * 24"x18"x18" * Diamond plate finish * Natural finish * "D" Handle release * Door seal		1	\$0.00000 /EA
7	SNOW PLOW Included: Boss 9' Super Duty, power angle snow plow * Front mount electric hydraulics * 29" Powder coat, steel moldboard * 1/2"x6" Steel cutting edge * 1 1/2"x10" Angle cylinders * Cast plow shoes * Smart Hitch II * LED Plow lights * Plow guides * Choice of Hand held or Joystick control		1	\$0.00000 /EA

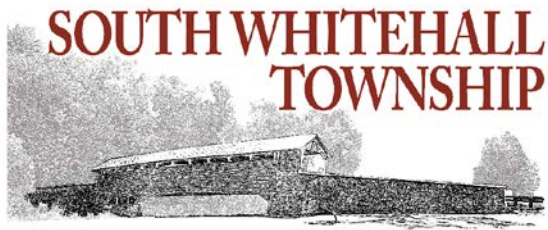
<u>Item</u>	<u>Part Number</u> <u>Description</u>	<u>Revision</u>	<u>Quantity</u>	<u>Price</u>
8	SNOW PLOW DEFLECTOR Included: Boss bolt on rubber deflector kit		1	\$0.00000 /EA
Total:				\$46,634.00
Tax				\$0.00
				\$46,634.00

 By Frank Blatt

 Accepted

 Date

Thank you for the opportunity to submit this quote! Please note that a 30% deposit will be required for all non-stock orders unless an account has been previously established. Special order or non-returnable parts will require full payment at time of order. All sales of special order items are final and returns will not be accepted.



MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Herb Bender
DATE:	January 9, 2022
SUBJECT:	Vac Truck
COPY TO:	R. Cope, M. Elias, S. Boehret, D. Manhardt

- **Background Information and/or Justification of Expense:**

Public Works Sewer division is respectfully asking permission to move forward with the purchase of a Super Products Camel Dump 1200 Series Jet and Vac Truck. This Truck will be used to flush and vac the sewer lines and manholes throughout the sanitary sewer system. The price for this piece of equipment is \$443,664.82 this was budgeted for \$488,664.82. The Vactor Truck we currently own will be moving over to Stormwater.

- **Action Requested:**

Public Works is respectfully requesting a motion to approve the purchase of the Camel Dump 1200 Series Jet and Vac Truck.

- **Budget Line Item (if applicable):**

08431003/40760

Since 1884
H.A. DeHart & Son
Transportation Equipment Specialists

Date: September 1, 2021
Sold To: South Whitehall Twp
4444 Walbert Ave South Whitehall PA 18102
Terms: N30

PO#
FOB: Thorofare, NJ
Attn: Ron Hass
Sales Rep: John Koschewitz

Quote

REF: State of PA Department of General Service Contract #4400019958
Furnish Only

Chassis Info: 2022 Freightliner 114SD, CML12, L9 370/1250, 3000RDS

Chassis is Supplied by Super Products

- (1) Super Products Camel Max Model 1200 EJ without Waste Water Recycling
- (1) 2022 Freightliner 114SD, CML12, L9 370/1250, 3000RDS
- (1) Chassis Mounting Charge
- (1) 8" Vacuum System, Roots Type PD Model 824, 18" hg and 4500CFM
- (1) Vacuum Booster Valve
- (1) Pleated Final Filter Assembly
- (1) Rear Splash Shield
- (1) Acculevel Debris Level Indicator
- (1) Cover 6", Front drain
- (1) Trash pump, 3" Manual 420gpm, front body with side discharge
- (1) Assy, Cover 3" Front Drain
- (1) Cover, 6" Tailgate
- (1) Cover, 3" Tailgate
- (1) 80/2 80 GPM @ 2500 PSI
- (1) Winter Recirculation
- (1) Retractable Hose Reel With Live Center with 50' x 1/2" Hose
- (1) Manual Accumulator Shut Off Valve (Standard)
- (1) Wireless Remote
- (1) 800' 1" Hose
- (1) Fully Automatic Power Level Wind
- (1) Hose Reel Tensioning System
- (1) Hose Reel Digital Counter (Automatic)
- (1) LED Boom Work Lights
- (1) LED Package 1- (1) Tailgate and (1) Boom Beacon Omni-Directional Strobes
- (1) LED Package (3) – Front, Mid Ship, and Rear Bumper Directional Strobes
- (1) Rear Arrowboard
- (1) Toolbox 48" Lower Curb
- (1) Toolbox, 48" Mid Curb
- (1) Toolbox, 52" Driver Side

311 Crown Point Road * Thorofare, NJ 08086-9999
Phone: 856-845-2800 * 800-222-0271
Fax: 856-845-2461

- (1) Back of Cab Vertical Tube Rack
- (1) Front / Rear Tow Hooks
- (1) Powder Coat Paint Finish, White (Standard)
- (1) Hydro – X Kit, Bandlock Style
- (1) 1" Standard Nozzle
- (1) 1" Standard Nozzle Extension
- (1) Hose, 25' Cotton, Single Jacket Filler Hose
- (1) Leader Hose 1" x 10'
- (1) Washdown Handgun
- (2) Tigertail Sewer Hose Guide
- (1) Hydrant Wrench
- (1) Puller Hook
- (1) Fluidizing Suction Tube Nozzle 8" x 24"
- (8) Supertube Lock Ring 8"
- (1) 8"x60" Supertube with Crown
- (2) 8"x60" Supertube – Aluminum
- (2) 8" x 84" Supertube – Aluminum
- (1) 8" x 96" Supertube - Aluminum

(1) Return Freight

Total Price on Camel Max Componentry \$356,203.00
 Less Discount as Per PA DGS Contract #4400019958 (\$21,372.18)
 Less Additional Dealer Discount (\$6,015.00)
 Net Cost \$328,815.82

Add: Factory Supplied Cost of Freightliner 114SD with Cummins Diesel Engine L9,
 370HP and Allison 3000 RDS Automatic Transmission
\$101,669.00

Add: Freight from New Berlin, WI to South Whitehall Twp, PA
\$3,250.00


Add: Dealer Prep/PDI/Training After Unit is Delivered
\$2,080.00

Add: Current Steel Surcharge
\$7,850.00

Total Sell Price: \$443,664.82

Delivery Time Approximately 120 to 150 Days After Receipt of Purchase Order. Thank
 You for the Opportunity to Submit Our Quote. Please Call Me with Any Questions.

Due to Recent Dramatic Increase in Steel Pricing this Quote will be Good for 30 Days.


 John Koschewitz
 Sales Representative
 856-689-1020

JK/rh

311 Crown Point Road * Thorofare, NJ 08086-9999
 Phone: 856-845-2800 * 800-222-0271
 Fax: 856-845-2461

267

Super Products®
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COMBINATION SEWER CLEANERS



THE 2021 EDITION
MAXIMUM SAFETY.
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1590 Dutch Road | Dixon, IL 61021

p 815.835.5566 | f 815.284.5600

www.SewerEquipment.com



September 21, 2021

COSTARS#: 25-039

**QUOTE MEETING/EXCEEDING MINIMUM
SPECIFICATIONS PROVIDED BY SOUTH WHITEHALL**

Payment Terms:

Distributor: Golden Equipment Company Inc.

Salesman: Ross Stafford

End User: South Whitehall Township, PA

Address: 4444 Walbert Avenue

City, State, Zip: Allentown, PA 18104

Phone:

Contact: Ron Haas

Email:

PO#

Product Class:

REV:

WO#



900-ECO 12 Yard Truck Mounted Combination Sewer Cleaner

Vacuum System:

4400 CFM Blower
8" Vacuum Hose system
18" Hg vacuum rating
Dual Cyclone Separator
Dual Element 10 Micron Final Filter
Remote Vacuum Relief
Analog Vacuum Display
(6) Tube / Tube Rack

Boom:

Telescoping Boom System
Telescoping Reach 17' 2" to 27' 2"
Hydraulic Powered Boom
180° Working Radius
Boom Joystick Control

Debris Tank:

12 Cubic Yard Capacity
Exten Steel Construction
Debris Level Indicator
Hydraulic Dump, 50° Dump Angle (LIFT
CLYINDER)
Dual Ported Rear Door w/ Knife Valve
Dump Height 60"
Hydraulic Open/Close/Lock Door

Water System:

1300 Gallon Capacity Water Tank
Giant plunger style triplex
65 gpm @ 2000 psi w/ 30 min run dry
Black Duraprolene™ Water Tank Construction
w/ 10 Year Warranty
Cold Weather Recirculation System
2.5" Hydrant Fill system
Air Purge Valve
Variable Volume Delivery
Low Water Warning Light
Analog Pressure Display
Front and Mid Ship Hand Gun Ports

Electrical:

NEMA 4 Control Panel
Hour Meter (Blower & Water Pump)
Military Spec. Sealed Switches

Truck:

Mounting to Approved Chassis
(1) Alum Toolbox 24"x42"x100" - Behind Cab
LED D.O.T. Approved Lighting
(2) Tow Hooks Front Bumper

Hose Reel & Hose:

Front Mounted Telescoping & Rotating
800' X 1" Hose Capacity
10' Leader Hose
Single Side Controls

Accessories:

(3) 8" x 6' Extension Tube
(1) 8" X 3' Extension Tube
(1) 8" x 6' Crowned Suction Nozzle
(1) 6" x 10' Flat Discharge Hose
(6) Quick Clamps
BB Hose Guide
Tri-Star (chisel point) nozzle
DD (high flow) nozzle
Finned Nozzle extension
Nozzle Rack (Mounted midship toolbox)
25' Fill Hose
Upstream Pulley Guide
Washdown gun
Cleaner, Tip, Torch, Small
(1) Hydrant Wrench
(1) Paper Owner's Manual

BASE UNIT AS OUTLINED ABOVE

1

NET PRICE OF UNIT: \$401,524.00

NEW FREIGHTLINER 114SD CHASSIS WITH 450HP DD13 DETROIT DIESEL ENGINE \$123,100.00

DELIVERY, FREIGHT, AND 1 DAY TRAINING FROM GOLDEN AND 1 DAY FROM SEWER EQUIPMENT INCLUDED

COSTARS TOTAL: \$524,625.00

COSTARS DISCOUNT: -\$21,599.00

FINAL TOTAL: \$503,026.00

FOR ALL NON STANDARD OPTIONS PLEASE CONTACT FACTORY FOR PRICING

STANDARD OPTIONS:

HOSE REEL ASSEMBLY:

AUTOMATIC LEVEL WIND WITH HYDRAULIC UP/DOWN ACTION

DIGITAL "SMART COUNTER" FOOTAGE METER

FOOTAGE METER (mounted on jet hose reel)

1

1

1



11/5/2021

PREPARED FOR:

SOUTH WHITEHALL TWP.
RON HAAS
4444 WALBERT AVE.
ALLENTOWN, PA 18104
619-398-0401

PREPARED BY:

BORTEK INDUSTRIES INC.
HUNTER GROW
4713 GETTYSBURG RD.
MECHANICSBURG, PA 17055
GROWH@SWEEPERLAND.COM
717-448-5258



COMPONENTS SHOWN MAY NOT REFLECT SPEC'D OPTIONS

AQUATECH F10-1450 COMBO TRUCK

\$

286,092.00**STANDARD EQUIPMENT INCLUDES**

10 YD DEBRIS TANK CAPACITY
8" VACUUM HOSE
1450 GALLON WATER CAPACITY
BOOM MOUNTED INTERNAL AIR/VAC VALVE
SIDE HAND GUN CONNECTION
80 GPM @ 2000 PSI WATER PUMP
WIRELESS REMOTE SYSTEM
LOW WATER LIGHT AND ALARM
1 - 8" X 6' INTAKE TUBE
12 MONTHS PARTS AND LABOR WARRANTY
LIFETIME WARRANTY ON WATER TANKS

HYDRAULIC POWERED REAR DOOR
HOSE REEL SPEED CONTROL
360 DEGREE TOP LOADING BOOM
2.5" HYDRANT FILL SYSTEM W/ WYE STRAINER
KEVLAR REINFORCED POLY CHAIN DRIVE
BOOM CLEANOUT PORT
12 VOLT ELECTRICAL OUTLET AT PANEL
MANUALLY ARTICULATED 180 DEGREE REEL ROTATION
1 - 8" X 6' EXTENSION TUBE
5 YEAR WARRANTY ON WATER PUMP
LIFETIME WARRANTY ON DEBRIS TANK

OPTIONS	DESCRIPTION	PRICE	QTY	EXTENDED
HVA383923-2	PNEUMATIC VACUUM BREAKER	\$ 5,096.00	1	\$ 5,096.00
HVA381565	HIBON MODEL TS-56 - 5000 CFM, 18" HG	\$ 10,400.00	1	\$ 10,400.00
HVA385700-SHORT	CYCLONE SEPERATOR W/ COLLECTION CHAMBER	\$ 6,448.00	1	\$ 6,448.00
HVA215523	80 GPM @ 2500 PSI PUMP ILO STANDARD	\$ 6,136.00	1	\$ 6,136.00
HV200070011	12V COLD WEATHER RECIRC SYSTEM	\$ 5,928.00	1	\$ 5,928.00
HV121002494	1/2" X 75' WASH DOWN GUN & HOSE ASSEMBLY	\$ 4,056.00	1	\$ 4,056.00
HV121002495	1/2" X 75' HIGH PRESSURE GUN & HOSE ASSEMBLY	\$ 4,056.00	1	\$ 4,056.00
HVA215555-23	UNLOADER CONTROL SYSTEM SIDE & REAR	\$ 6,240.00	1	\$ 6,240.00
HVA239902	WATER PURGE/BLOW OUT SYSTEM	\$ 228.80	1	\$ 228.80
HVA338837-1	DUAL FLOOR FLUSHERS & TANK FLUSH	\$ 5,486.00	1	\$ 5,486.00
HVA245901-4	DEBRIS TANK VIBRATOR	\$ 3,224.00	1	\$ 3,224.00
HVA381531-1	REMOTE LUBE MANIFOLD	\$ 1,560.00	1	\$ 1,560.00
NS0077	BOOM MOUNTED INTERNAL AIR/VAC VALVE	\$ 2,184.00	1	\$ 2,184.00
HVA338664	DIGITAL FOOTAGE COUNTER	\$ 4,264.00	1	\$ 4,264.00
HVA382703-2	AUTO LEVEL WIND WITH COUNTER	\$ 5,408.00	1	\$ 5,408.00
HVA175271-3000-COBRA	SEWER HOSE 1" X 800' 3000 PSI	\$ 4,262.70	1	\$ 4,262.70
HVA180757-S	48"WX24"DX24"H TOOLBOX W/ SHELF	\$ 1,248.00	1	\$ 1,248.00
HVA385801	ALUMINUM TOOL TRAYS ON BOTH SIDES WATER TANK	\$ 1,560.00	1	\$ 1,560.00
HVA382557-6	DUAL CAMERA SPLIT MONITOR REVERSING SYSTEM	\$ 2,080.00	1	\$ 2,080.00
HVA388569	LIGHTING PACKAGE: 3 DEBRIS TANK STROBES, 5 FLOOD LIGHTS, 1 ARROW BOARD, 1 HANDHELD SPOTLIGHT	\$ 5,928.00	1	\$ 5,928.00
HV200041020	8" X 23' RING LOCK EXTENDABLE BOOM	\$ 4,940.00	1	\$ 4,940.00
HVA249437-2	REMOTE GEAR BOX SIGHT GLASS	\$ 624.00	1	\$ 624.00
HVA249936-HYD-PATS	HYDRAULIC POWERED LATERAL KIT W/ 200' X 1/2" HOSE	\$ 6,240.00	1	\$ 6,240.00
HV121005609	REAR DOOR SLUDGE PUMP	\$ 7,020.00	1	\$ 7,020.00

HVA381504	DEBRIS LEVEL PROBE W/ AUDIBLE VISIBLE ALARM	\$ 2,392.00	1	\$ 2,392.00
HVA383990-2	REMOVEABLE DECANT HOSE W/ DISCONNECT & CAP	\$ 572.00	1	\$ 572.00
NS0030	6' REAR DRAIN VALVE	\$ 572.00	1	\$ 572.00
HVA238210-2-SEL	TANK INTER-CONNECT W/ BALL VALVE	\$ 1,820.00	1	\$ 1,820.00
HVA384092-2	WATER TANK SIGNAGE PACKAGE	\$ 3,640.00	1	\$ 3,640.00
NS0028	REAR DOOR SPLASH SHIELD	\$ 1,242.80	1	\$ 1,242.80
HVA120401-LED-7	TOP REAR FLOOD LIGHT SET	\$ 228.80	1	\$ 228.80
HVA380713-LED	LINEAR AMBER STROBE LIGHTS	\$ 754.00	1	\$ 754.00
HV10000480	EXTENSION TUBE 8" X 6' BAND LOCK	\$ 267.00	6	\$ 1,602.00
HV121003299	EXCAVATOR TUBE 8" X 6'	\$ 396.00	1	\$ 396.00
HVDGINJ	DEGREASER INJECTION SYSTEM	INCLUDED	1	INCLUDED
STD-0083	4-MANUAL REAR DOOR TUBE RACK	INCLUDED	1	INCLUDED
STD-0084	3 TUBE RACK ON EACH SIDE OF DEBRIS TANK	INCLUDED	1	INCLUDED
HVA000372	BLOWER HOUR METER	INCLUDED	1	INCLUDED
HVA120051	WATER PUMP HOUR METER	INCLUDED	1	INCLUDED
HVA176150	25' X 2 1/2" HYDRANT FILL HOSE	INCLUDED	1	INCLUDED
HV399045	8" BAND LOCK TUBE CLAMPS	INCLUDED	8	INCLUDED
HVA244263	8" TUBES HANDLE	INCLUDED	1	INCLUDED
HVJ2203	3" FLEXIBLE HOSE GUIDE TIGER TAILS	INCLUDED	2	INCLUDED
PS-1	9" CATCH BASIN SPOON	INCLUDED	1	INCLUDED
CRW-1	ROPE CLAW GRABBER	INCLUDED	1	INCLUDED
LC-9	6" CURVED CHOPPER	INCLUDED	1	INCLUDED
STD-6	QUICK CONNECT POLES	INCLUDED	4	INCLUDED
SHT-1	OPPOSITE HOSE GRABBER	INCLUDED	1	INCLUDED
SAMR-1	TOP MANHOLE ROLLER	INCLUDED	1	INCLUDED
POOK	HEAVY DUTY MANHOLE HOOK	INCLUDED	1	INCLUDED
HVA121002193	DIG WAND KIT (HANDGUN, 3 - SS LANCES, AND TELESCOPING WAND)	INCLUDED	1	INCLUDED
HVA255200-10	RIPSAW HYDRO-X NOZZLE	INCLUDED	1	INCLUDED
HVA255201-12.5	SWITCHBLADE DEUCE HYDRO-X NOZZLE	INCLUDED	1	INCLUDED
HVA255204-7.2	MACHETE HYDRO-X NOZZLE	INCLUDED	1	INCLUDED
NPN	HYDRO-X FACE SHIELDS	INCLUDED	2	INCLUDED

Chassis Option

Pricing based on current inventory and availability at the time of order. Subject to change. Customer may also supply chassis to manufacturer based on the Hi-Vac required specs.

FRT114AUTO	FREIGHTLINER 114 SD TANDEM AXLE CHASSIS	\$ 122,330.00	1	\$ 122,330.00
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PA COSTARS # 016-152

PRICE EXCLUDES ANY APPLICABLE TAXES

QUOTE EXPIRES: 12/30/2021

MACHINE BASE PRICE	\$ 286,092.00
OPTION PRICING	\$ 117,441.10
CHASSIS PRICE	\$ 122,330.00
PREP AND DELIVERY	\$ 1,650.00

PACKAGE TOTAL \$ 527,513.10**

PRINT NAME:		SIGNATURE:	
-------------	--	------------	--

COSTARS CONTRACT NUMBER 025-095

PREPARED BY

GapVax, Inc.

Eric Corella - ecorella@gapvax.com

PREPARED FOR

Mr. Ron Haas

South Whitehall Township
4444 Walbert Ave.
Allentown, PA 18104

QUOTE

GapVax



QUOTE ID
21297

UPDATED:
3/22/2021

2023 MC1510-3S3X COMBINATION JET/VAC

QUOTE ID: 21297

October 4, 2021



NOTE: THE GAPVAX MC UNIT MAY EXCEED FEDERAL BRIDGE ALLOWABLE WEIGHTS WHEN LOADED WITH WATER, OR DEBRIS, AND/OR BOTH WATER AND DEBRIS COMBINED. PLEASE CONSULT FACTORY.

OPTION DESCRIPTION		NOTES	QTY
CHASSIS OPTIONS			
CHA001	CUSTOMER SUPPLIED CHASSIS	MODEL YEAR 2023	1
	WHITE CAB COLOR		1
DEBRIS BODY OPTIONS			
STD	10 USABLE YARD DEBRIS TANK MADE OF 3/16" ASTM A-572 GRADE 50 EXTEN STEEL		STANDARD
STD	FULL-OPENING REAR TAILGATE		STANDARD
STD	STAINLESS STEEL TAILGATE SEALING ROD		STANDARD
STD	FOUR HYDRAULIC REAR DOOR LOCKS		STANDARD
STD	DUAL TAILGATE LIFT CYLINDERS		STANDARD
STD	FRONT MOUNTED HOIST CYLINDER, POWER UP AND DOWN, 55,000 LB CAPACITY		STANDARD
STD	THREE TIE-OFF ANCHORS ON TOP OF BODY		STANDARD
STD	FIVE YEAR WARRANTY ON DEBRIS TANK AGAINST RUST THROUGH, DISTORTION AND CRACKS		STANDARD
STD	THREE TIE-OFF ANCHORS ON TOP OF THE BODY 6' APART		STANDARD
A1	DEBRIS BODY FLUSH OUT SYSTEM		1
A2A	DRAIN AT BOTTOM OF TAILGATE - 6" BRASS LEVER VALVE WITH 15' OF LAYFLAT HOSE	VALVE IS NOT 100% LEAK PROOF	1
A24A	DECANT HALF WAY UP TAILGATE - 6" BRASS LEVER VALVE WITH HANDLE		1
A3-CS	FLOAT TYPE LIQUID LEVEL INDICATOR ON SIDE OF DEBRIS TANK		1
A6A	TRASH PUMP - STANLEY 4" 800 GPM WITH LAY-FLAT HOSE AND CAM-LOC FITTINGS	NOT RECOMMENDED FOR CONTINUOUS USE	1
A11A	FILTER SCREEN FOR DRAIN VALVE (SHORT BOX)	REQUIRES A2	1
A12B	FILTER SCREEN FOR PUMP OFF SYSTEM (LONG BOX)	REQUIRES A5 OR A6	1
A24E	FILTER SCREEN FOR 6" OR 4" DECANT VALVE HALF WAY UP THE TAILGATE	REQUIRES A24	1
A21	CURBSIDE LADDER TO PORT INSPECTION AREA		1
A21B	ADD FOLDING LADDER EXTENSION	REQUIRES A21	1
A22A	GALVANIZED BOLT ON TAILGATE SPLASH SHIELDS		1
A37A	UPGRADE BODY INLET CANNON TO 12" HX STYLE WITH 3" CLEANOUT		1
A39	LONG POLE HOLDER TO ACCOMMODATE (3) 12' CLAM DIGGERS		1
WATER TANK OPTIONS			
STD	1500 GALLON WATER TANK MADE OF 3/16" 304 STAINLESS STEEL		STANDARD
STD	4" HIGH ANTI-SIPHON RING WITH (4) 2-1/2" HOLES		STANDARD
STD	WATER TANK LEVEL SIGHT TUBE ON CURBSIDE		STANDARD
STD	DRAIN VALVE AT BOTTOM OF WATER TANK		STANDARD
STD	3" FILL LINE WITH 2-1/2" FIRE HOSE CONNECTION CURBSIDE		STANDARD

STD	3" WATER STRAINER WITH STAINLESS STEEL SCREEN ON WATER TANK FILL LINE	STANDARD
STD	3" SUPPLY LINE TO WATER PUMP MOUNTED AT REAR HINGE PIN	STANDARD
STD	FIVE YEAR WARRANTY ON WATER TANK AGAINST RUST THROUGH, DISTORTION AND CRACKS	STANDARD
B23A	GALVANIZED BAFFLES IN THE WATER TANK	1
B30	UPGRADE TO BUTTERFLY VALVE IN 3" SUPPLY LINE	STANDARD
VACUUM SYSTEM OPTIONS		
STD	DUAL STAINLESS STEEL SHUTOFF FLOAT BALLS	STANDARD
STD	NOISE & VIBRATION DAMPENING MOUNTS	STANDARD
STD	STAINLESS STEEL VEE-WIRE SAFETY SCREEN	STANDARD
STD	6" SAFETY VACUUM RELIEF	STANDARD
STD	PANIC SWITCH FUNCTION FOR VACUUM	STANDARD
C8	UPGRADE TO ROOTS TYPE VACUUM PUMP 4,500 CFM AND 18" HG	1
C19	UPGRADE TO XL TRANSFER CASE	9-LITER ENGINE = UP TO 5300 CFM, REQUIRES OPTION C8 1
WATER SYSTEM OPTIONS		
STD	TRI-PLEX WATER PUMP SYSTEM	STANDARD
STD	800 PSI WASHDOWN CIRCUIT WITH 50' X 1/2" HOSE	STANDARD
STD	AIR PURGE SYSTEM FOR PRIMARY CIRCUIT	STANDARD
STD	LOW POINT DRAIN VALVES ON WATER LINES	STANDARD
STD	SET WASHDOWN CIRCUIT TO FULL WORKING PRESSURE	OPTION D4 IS RECOMMENDED 1
D3A	GIANT GP8000 SERIES WATER PUMP RATED 80 GPM @ 2,500 PSI	1
D4	UPGRADE TO URACA MULTIFLOW VALVE - SET WASHDOWN CIRCUIT TO FULL PRESSURE FOR HANDGUN APPLICATIONS	1
D7A	50' X 1/2" HAND GUN REEL FOR WASHDOWN CIRCUIT	1
D8B	HX HANDGUN CONNECTION FROM JETTER CIRCUIT WITH ADJUSTABLE PRESSURE REGULATOR, PRESSURE GAUGE AND 50' X 1/2" HOSE	REQUIRES G2 AND D4 HOSE REEL NOT INCLUDED 1
D21	WATER RECIRCULATION VIA AUTOMATIC TRANSMISSION	1
D25B	100' X 1/2" HAND GUN REEL FOR HX SYSTEM	1
D28A	GLYCOL INJECTION SYSTEM - JETTER PUMP ONLY	REQUIRES G2 1
D35E	3/8" HX LANCE WITH 6' EXTENSION AND RIPS AW NOZZLE	1
D36C	3/8" X 3' LANCE EXTENSION WITH QUICK CONNECTS (CAT022387)	1
D36D	3/8" X 5' LANCE EXTENSION WITH QUICK CONNECTS (CAT022388)	1
BOOM OPTIONS		
STD	8" FRONT MOUNTED TELESCOPING BOOM WITH 26' REACH AND 180 DEG. ROTATION	STANDARD
STD	180 DEGREE POWER ROTATION VIA WORM DRIVE	STANDARD
STD	DUAL 4" LIFT CYLINDERS	STANDARD
STD	CAB PROTECTION RACK	STANDARD
E6	REMOTE LUBE FOR BOOM LIFT AND ROTATION	1
HOSE REEL OPTIONS		
STD	FRONT FRAME MOUNTED HOSE REEL WITH 180 DEGREE ARTICULATION	STANDARD
STD	HOSE REEL RATED FOR 800' OF HOSE AND 3,000 PSI	STANDARD
STD	EXTERIOR HOSE EXPANSION RIBS	STANDARD
F1C	DIGITAL FOOTAGE COUNTER - SHAFT-MOUNTED	1
F6	UPGRADE FRONT HOSE REEL TO POWER ARTICULATE VIA HYDRAULICS	1

F11	AUTOMATIC HOSE LEVEL WINDER (INCLUDES "J-HOOK" STLYE HOSE GUIDE)		1
F16A	DOUBLE ROLLER UPGRADE ON AUTO LEVEL WIND		1
	CONTROLS, GUAGES, ACCESSORIES OPTIONS		
STD	CAB-MOUNTED AIR SHIFT CONTROLS FOR BLOWER, HYDRAULICS, AND WATER PUMP		STANDARD
STD	CONTROL PANEL MOUNTED AT FRONT HOSE REEL		STANDARD
STD	OPERATOR CONTROL PANEL INCLUDES GUAGES FOR ENGINE, HYDRAULICS, VACUUM, AND WATER PUMP		STANDARD
STD	PANIC SWITCH TO RELIEVE WATER PRESSURE AND VACUUM		STANDARD
G2C	G2C CONTROL SYSTEM WITH DP700 DISPLAY INCLUDES:		1
	LOW WATER SHUTDOWN PROTECTION		1
	HIGH WATER TEMPERATURE SHUTDOWN PROTECTION		1
	ENGINE OVERSPEED PROTECTION		1
	ON-SCREEN DIAGNOSTICS FOR WATER, PTO AND ENGINE LEVELS		1
	TEMPERATURE AND PRESSURE LEVELS FOR VACUUM, WATER, HYDRAULICS		1
	PROVISION FOR INCLUDING DIGITAL FOOTAGE COUNTER ON SCREEN	F1C NOT INCLUDED	1
G16	BOOM UP LIGHT		1
G21E	WIRELESS REMOTE WITH BOOM, VACUUM WATER ON/OFF, HOSE REEL IN/OUT, HOSE REEL ROTATE (IF F6 IS SELECTED), AND BODY DUMP CONTROLS	REQUIRES G21-TD	1
G21-TD	UPGRADE TO AARCOMM TRIDENT REMOTE	REQUIRES G21	1
G21-ATD	ADDITIONAL AARCOMM TRIDENT TRANSMITTER IN LIEU OF STD. BOOM PENDANT	REQUIRES G21-TD	1
G30	ADDITIONAL ELECTRICAL SWITCH ON CONTROL PANEL		1
	LIGHTING		
STD	TRUCK-LITE LED RUNNING (MARKER) LIGHTS		STANDARD
STD	LED STOP/TAIL/TURN LIGHT WITH POLISHED STAINLESS STEEL BOXES		STANDARD
H1	ONE LED STROBE BEACON LIGHT - FRONT (SAE CLASS-1 (SAE J595) COMPLIANT)	(WHELEN L10 OR EQUAL)	1
H2	ONE LED STROBE BEACON LIGHT - REAR (SAE CLASS-1 (SAE J595) COMPLIANT)	(WHELEN L10 OR EQUAL)	1
H5B	(2) BOOM WORK LIGHTS - HELLA LED WORK LIGHTS (PN: LHT022429)		1
H6B	(2) REAR WORK LIGHTS - HELLA LED WORK LIGHTS (PN: LHT022429)		1
H7BA	(2) SIDE WORK LIGHTS - HELLA LED WORK LIGHTS (PN: LHT022429) (1 PER SIDE)		1
H15C	WHELEN ION SUPER LED FLASHERS - 8 LIGHT HEADS		1
	2 ON EACH SIDE FRONT @ 90 DEGREES, 2 ON EACH SIDE REAR		1
H22	REAR ARROW LIGHT - LOW PROFILE LED ARROW STICK (CLASS-1 (SAE J595))	WHELEN TAM85 OR EQUAL	1
H39B	TWO HIGH INTENSITY LED WORK LIGHTS (HELLA PB1500) ON FRONT HOSE REEL TO SHINE INTO MANHOLE		1
	STORAGE OPTIONS		
STD	25' FIRE HOSE BASKET		STANDARD
I6C-DS	ALUMINUM, 30" WIDE X 24" TALL X 24" DEEP, MOUNTED ON THE DRIVER'S SIDE		1
I27B	60" TOOL BOX - ALUMINUM, 60" WIDE X 24" TALL X 24" DEEP, MOUNTED ON THE CURBSIDE	CONSULT ENGINEERING	1
I14	TRAFFIC CONE HOLDER ON DRIVER'S SIDE		1
I16A	WHEEL CHOCK HOLDER (PER SIDE) - DRIVER'S SIDE		1
I16B	WHEEL CHOCK HOLDER (PER SIDE) - CURBSIDE		1
I17A	NOZZLE RACK - SIX (6) NOZZLES, 1"		1
I20A	REAR DRAIN HOSE RACK FOR 6" LAYFLAT HOSE X 15' LONG		1
I22	UPGRADE TUBE TRAYS TO POLISHED STAINLESS STEEL		1

I26B	TWO BUMPER TOOL BOXES - ALUMINUM, 16" HIGH X 12" WIDE X 18" DEEP WITH FOLD DOWN DOOR	1
CHASSIS OPTIONS		
STD	DOT LIGHTING / FENDERS / MUD FLAPS / TAILGATE SAFETY PROP, ICC LIGHTS	STANDARD
STD	REMOTE ACTUATED BODY SAFETY PROP	STANDARD
STD	70 GALLONS AW-46 HYDRAULIC OIL, LEVEL/TEMPERATURE GAUGE, SHUTOFF ON SUCTION	STANDARD
STD	REAR BUMPER, TRIANGLE KIT, FIRE EXTINGUISHER, BACKUP ALARM	STANDARD
STD	ALLISON 10-BOLT PTO UPGRADE	STANDARD
J0	FRONT BUMPER - MAY NOT BE REQUIRED IN ALL STATES	1
J2	TRANSFER CASE OIL LEVEL SIGHT GLASS / FILL, MOUNTED ON DRIVER'S SIDE FRAME RAIL (PN: GAU006456)	1
J3	TOW HOOKS FRONT	1
J4B	TOW HOOKS REAR - FRAME MOUNTED	1
J12	METAL MUD FLAPS IN FRONT OF REAR TIRES	1
PAINT OPTIONS		
STD	PAINTED WITH PPG URETHANE PAINT	STANDARD
STD	PAINT BODY WHITE	STANDARD
STD	PAINT FRAME AND PARTS BLACK	STANDARD
STD	PAINT HOSE REEL AND BOOM BLACK	STANDARD
STD	FLEET FINISH	STANDARD
MISCELLANEOUS OPTIONS		
STD	25 FEET OF VACUUM TUBING (5) AND CLAMPS	STANDARD
STD	TIGER TAIL HOSE GUIDE	STANDARD
STD	TWO BLUE STAR SEWER CLEANING NOZZLES	STANDARD
M3	FILL HOSE 25' X 2 1/2"	1
M5	LEADER HOSE 10' X 1"	1
M9	1" PREDATOR SEWER HOSE - 2,500 PSI X 800 FT PLASTIC (ORANGE) (HOS022343)	1
M12	MANHOLE LIFTING HOOK	1
M13	HYDRANT WRENCH	1
M26	1" SIX WIRE EXTENDER	1
M27	TIGER TAIL (TOTAL OF TWO)	1
M28	(5) TRAFFIC CONES - 28" LIME GREEN WITH REFLECTIVE STRIPE	1
M29B	TWO CAMERA - BACK-UP CAMERA SYSTEM WITH 7" COLOR MONITOR (RV-505A), INCLUDES DVR-916 REAR AND DVR-921 FRONT CAMERA	1
M35	ADDITIONAL 8" TUBE CLAMP, EACH	1
M36	HEAVY DUTY ALUMINUM HX TUBE, 8" X 6" X 0.090" WALL WITH PRESSED IN STEEL ENDS AND SOFT TIP END	1
CUSTOM OPTIONS		
**	G30 - MOUNT SWITCH IN CAB FOR POWER ROTATE	1
***	SEE ERIC FOR LOCATION OF FRONT CAMERA	1
****	OVERALL HEIGHT WILL VARY DEPENDING ON CHASSIS SELECTED	1

PRICING SUMMARY



PRICE OF BASE UNIT WITH OPTIONS:	\$ 377,517.20
DISCOUNT:	\$ 38,600.20
DELIVERY: (\$1,000.00 MINIMUM) @ \$3.00 PER MILE	\$ -
ESTIMATED SUBTOTAL:	\$ 338,917.00
SALES TAX:	\$ -
FEDERAL EXCISE TAX (BODY):	\$ -
FEDERAL EXCISE TAX (CHASSIS):	\$ -
TOTAL PRICE (PER UNIT):	\$ 338,917.00

ALL PRICES ARE IN US DOLLARS

DUE TO EXTREME MARKET VOLATILITY AND PENDING U.S. GOVERNMENT SECTION 232 TRADE CASES ALL PRICES AND AVAILABILITY ARE SUBJECT TO CHANGE WITHOUT NOTICE, ALL QUOTES TO BE CONFIRMED AT TIME OF ORDER

*** FOB FACTORY, JOHNSTOWN, PA ***

SIGNATURE

DATE

Please return a signed copy to ecorella@gapvax.com

GapVax Incorporated

Terms and Conditions of Sale

1. **ORDERS.** All orders are subject to acceptance by an officer of GapVax Inc. Orders for products not regularly carried in stock or requiring special engineering or manufacture are in every case subject to approval by an officer of GapVax.
2. **PERFORMANCE.** GapVax Inc. shall not be liable for failure to complete the contract in accordance with its terms if failure is due to wars, strikes, fires, floods, accidents, delays in transportation or other causes beyond its reasonable control.
3. **EXPERIMENTAL WORK.** Work performed at customer's request such as sketches, drawings, design, testing, fabrication and materials shall be charged at current rates.
4. **SKETCHES, ENGINEERING DRAWINGS, MODELS** and all preparatory work created or furnished by GapVax Inc. shall remain its exclusive property; and no use of same shall be made, nor may ideas obtained therefrom be used, except with the consent of and on terms acceptable to GapVax Inc.
5. **CANCELLATION.** Orders regularly entered cannot be canceled except upon terms that will compensate GapVax Inc. for any loss or damage sustained.
6. **SHIPMENT.** All proposals are based on continuous and uninterrupted delivery of the order upon completion, unless specifications distinctly state otherwise. In the event that agreement is reached for GapVax Inc. to store completed items, they will be immediately invoiced to the customer and become due and payable. Storage shall be at the risk of the customer and GapVax Inc. shall be liable only for ordinary care of the property.
7. **CUSTOMER'S PROPERTY.** GapVax Inc. shall charge the customer at current rates, for handling and storing customer's property (e.g. truck chassis) held for more than thirty (30) days after notification of availability for shipment. All customer's property, or third party's property, that is stored by GapVax Inc. is at the customer's or other party's risk. GapVax is not liable for any loss or damage thereto caused by fire, water, corrosion, theft, negligence, or any cause beyond its reasonable control.
8. **PRICES.** All orders are subject to current prices in effect at the time of order acknowledgment.
9. **F.O.B. POINT.** Unless otherwise stated, all prices listed are F.O.B. point of manufacture.
10. **TAXES.** Unless specifically stated, prices listed do not include Federal, State, City or other excise occupation, sales, use or similar taxes which are extra and are to be added at rates in effect at time of shipment. If federal Excise Taxes are included or listed on the reverse side of this paper, they are stated at the rates and regulations in effect at the time this order is written, and are subject to revision in accordance with rates and regulations in effect at time of shipment.
11. **PRODUCT IMPROVEMENT.** GapVax Inc. reserves the right to change manufacturing specifications and procedures without incurring any responsibility for modifying previously shipped products.
12. **MOUNTING PRICES.** Mounting prices assumes normal factory installation on a truck chassis suitable for the unit purchased. Relocation of batteries, gas tanks, mufflers, air tanks, etc. will be an additional charge, billed at the standard factory labor rate.
13. **WARRANTY.** GapVax Inc. warrants its products to be free from defects in material and workmanship, subject to the limitations and conditions set forth in its current published warranty but makes no warranty of merchantability or fitness for any particular purpose. GapVax Inc. does not assume liability for any loss of product, time or any direct, indirect, or consequential damage, losses or delay or any nature whatsoever. No warranty, express or implied, is made or authorized to be made and no obligation is assumed or authorized to be assumed with respect to products of GapVax Inc. other than that set forth in the current, published warranty. It is to be understood that the acceptance this order is expressly conditioned upon your acceptance of GapVax Inc. standard written warranty for the products sold hereunder GapVax Inc. hereby disclaims any responsibility or liability for any consequential losses delays or downtime resulting from orders hereunder the use of its products. GapVax does not and will not warranty any tank coating or tank lining. PTO damage is not covered when the PTO protection system or low water shut down system is not selected / installed / and operational.
14. This agreement shall be construed according to the laws of the State of Pennsylvania. Our failure at anytime to exercise any right we may have under the agreement shall not constitute a waiver thereof nor prejudice our right to enforce same thereafter.
15. This order, including the above terms and conditions contains the complete and final agreement between the parties hereto and no other agreement in any way modifying any of said terms and conditions will be binding on us unless in writing and agreed to by authorized representative of this company.



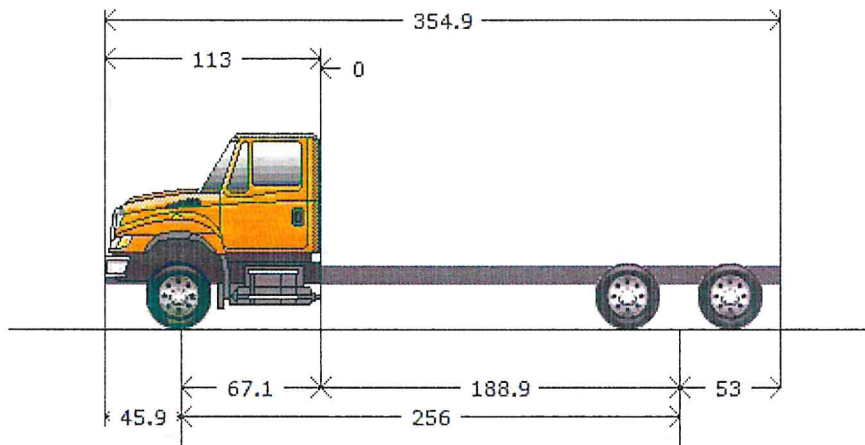
HV613 SBA

Sales Proposal For:
SOUTH WHITEHALL TOWNSHIP

Presented By:
Five Star International, LLC

Prepared For:
SOUTH WHITEHALL TOWNSHIP
Herb Bender
4444 Walbert Ave.
Allentown, PA 18104-1699
(610)398 - 0407
Reference ID: Camel

Presented By:
Five Star International, LLC
William Beck
1810 South 19th Street
Harrisburg PA 17104
(717)614-4804



Model Profile
2023 HV613 SBA (HV613)

AXLE CONFIG:	6X4
MISSION:	Requested GVWR: 60000. Calc. GVWR: 66000. Calc. GCWR: 130000 Calc. Start / Grade Ability: 25.44% / 2.86% @ 55 MPH Calc. Geared Speed: 74.5 MPH
DIMENSION:	Wheelbase: 256.00, CA: 188.90, Axle to Frame: 53.00
ENGINE, DIESEL:	{International A26} EPA 2021, 410HP @ 1700 RPM, 1450 lb-ft Torque @ 900 RPM, 2100 RPM Governed Speed, 410 Peak HP (Max)
TRANSMISSION, AUTOMATIC:	{Allison 4000 RDS} 5th Generation Controls, Close Ratio, 6-Speed with Double Overdrive, with PTO Provision, Less Retarder, Includes Oil Level Sensor, On/Off Highway
CLUTCH:	Omit Item (Clutch & Control)
AXLE, FRONT NON-DRIVING:	{Meritor MFS-20-133A} Wide Track, I-Beam Type, 20,000-lb Capacity
AXLE, REAR, TANDEM:	{Meritor RT-46-164EH} Single Reduction, Standard Width, 46,000-lb Capacity, Driver Controlled Locking Differential in Forward-Rear and Rear-Rear Axle, 200 Wheel Ends Gear Ratio: 5.38
CAB:	Conventional, Day Cab
TIRE, FRONT:	(2) 425/65R22.5 Load Range L HAC 3 (CONTINENTAL), 465 rev/mile, 68 MPH, All-Position
TIRE, REAR:	(8) 11R22.5 Load Range H HDR2+ (CONTINENTAL), 491 rev/mile, 75 MPH, Drive
SUSPENSION, REAR, TANDEM:	{Hendrickson RT-463} Walking Beam, 46,000-lb Capacity, 54" Axle Spacing, Multileaf Springs, with Bronze Center Bushings
FRAME REINFORCEMENT:	Full Outer C-Channel, Heat Treated Alloy Steel (120,000 PSI Yield), 10.813" x 3.892" x 0.312" (274.6mm x 98.8mm x 7.9mm), 480.0" (12192mm) OAL
PAINT:	Cab schematic 100WN Location 1: 4421, School Bus Yellow (Std) Chassis schematic N/A

Description	F/R Wt (lbs)	Tot Wt (lbs)
Base Chassis, Model HV613 SBA with 256.00 Wheelbase, 188.90 CA, and 53.00 Axle to Frame.	8102/4132	12234
TOW HOOK, FRONT (2) Frame Mounted	8/0	8
AXLE CONFIGURATION {Navistar} 6x4	-76/-135	-211
<u>Notes</u>		
: Pricing may change if axle configuration is changed.		
FRAME RAILS Heat Treated Alloy Steel (120,000 PSI Yield); 10.125" x 3.580" x 0.312" (257.2mm x 90.9mm x 8.0mm); 480.0" (12192) Maximum OAL	163/226	389
FRAME REINFORCEMENT Full Outer C-Channel, Heat Treated Alloy Steel (120,000 PSI Yield), 10.813" x 3.892" x 0.312" (274.6mm x 98.8mm x 7.9mm), 480.0" (12192mm) OAL	522/582	1104
BUMPER, FRONT Omit Item	-87/14	-73
SPECIAL FRAME PIERCING for Super Products	0/0	0
CROSSMEMBER, INTERMEDIATE LOC 1st Located 41" Back of Cab, 2nd Located 67" Back of Cab	38/42	80
FRAME EXTENSION, FRONT Integral; 20" In Front of Grille	131/-26	105
WHEELBASE RANGE 250" (635cm) Through and Including 311" (790cm)	502/-502	0
AXLE, FRONT NON-DRIVING {Meritor MFS-20-133A} Wide Track, I-Beam Type, 20,000-lb Capacity	186/0	186
SUSPENSION, FRONT, SPRING Parabolic Taper Leaf, Shackle Type, 20,000-lb Capacity, with Shock Absorbers	57/0	57
BRAKE SYSTEM, AIR Dual System for Straight Truck Applications	0/0	0
<u>Includes:</u>		
: BRAKE LINES Color and Size Coded Nylon		
: DRAIN VALVE Twist-Type		
: GAUGE, AIR PRESSURE (2) Air 1 and Air 2 Gauges; Located in Instrument Cluster		
: PARKING BRAKE CONTROL Yellow Knob, Located on Instrument Panel		
: PARKING BRAKE VALVE For Truck		
: QUICK RELEASE VALVE On Rear Axle for Spring Brake Release: 1 for 4x2, 2 for 6x4		
: SPRING BRAKE MODULATOR VALVE R-7 for 4x2, SR-7 with relay valve for 6x4/8x6		
DRAIN VALVE {Berg} with Pull Chain, for Air Tank	0/0	0
AIR BRAKE ABS {Bendix AntiLock Brake System} 4-Channel (4 Sensor/4 Modulator) Full Vehicle Wheel Control System, with Automatic Traction Control	0/0	0
AIR DRYER {Wabco System Saver 1200} with Heater	13/5	18
BRAKE CHAMBERS, REAR AXLE {Bendix EverSure} 30/30 SqIn Spring Brake	0/14	14
BRAKE CHAMBERS, FRONT AXLE {Bendix} 24 SqIn	4/0	4
SLACK ADJUSTERS, FRONT {Gunitex} Automatic	14/0	14
SLACK ADJUSTERS, REAR {Gunitex} Automatic	0/28	28
AIR COMPRESSOR {Bendix BA-921 Head Unload} 15.9 CFM	0/0	0
AIR TANK Painted Aluminum, with Straight Thread O-Ring Ports	-22/-6	-28
AIR DRYER LOCATION Mounted Inside Left Rail, Back of Cab	0/0	0
AIR TANK LOCATION (2) Mounted Under Battery Box, Outside Right Rail, Back of Cab, Perpendicular to Rail	3/-3	0
DUST SHIELDS, FRONT BRAKE for Air Cam Brakes	10/0	10

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
DUST SHIELDS, REAR BRAKE for Air Cam Brakes	0/20	20
BRAKES, REAR {Meritor 16.5X7 Q-PLUS CAST} Air S-Cam Type, Cast Spider, Fabricated Shoe, Double Anchor Pin, Size 16.5" X 7", 23,000-lb Capacity per Axle	0/104	104
BRAKES, FRONT {Meritor 16.5X6 Q-PLUS CAST} Air S-Cam Type, Cast Spider, Fabricated Shoe, Double Anchor Pin, Size 16.5" X 6", 20,000-lb Capacity	33/0	33
PARK BRAKE CHAMBERS, ADDITIONAL (2) Spring Brake Type	0/30	30
STEERING COLUMN Tilting	13/3	16
STEERING WHEEL 4-Spoke; 18" Dia., Black	0/0	0
STEERING GEAR (2) {Sheppard M100/M80} Dual Power	102/-6	96
DRIVELINE SYSTEM {Dana Spicer} 1810HD Main Driveline with 1710 Interaxle Shaft, for 6x4	0/0	0
AFTERTREATMENT COVER Aluminum	8/1	9
EXHAUST SYSTEM Horizontal Aftertreatment System, Frame Mounted Right Side Under Cab, for Single Vertical Tail Pipe, Frame Mounted Right Side Back of Cab	61/16	77
ENGINE COMPRESSION BRAKE by Jacobs; for N13/A26 Engines, with Selector Switch and On/Off Switch	0/0	0
TAIL PIPE (1) Turnback Type	9/3	12
EXHAUST HEIGHT 10'	0/0	0
MUFFLER/TAIL PIPE GUARD (1) Aluminum	13/6	19
ELECTRICAL SYSTEM 12-Volt, Standard Equipment	0/0	0
<u>Includes:</u>		
: DATA LINK CONNECTOR For Vehicle Programming and Diagnostics In Cab		
: HAZARD SWITCH Push On/Push Off, Located on Instrument Panel to Right of Steering Wheel		
: HEADLIGHT DIMMER SWITCH Integral with Turn Signal Lever		
: PARKING LIGHT Integral with Front Turn Signal and Rear Tail Light		
: STARTER SWITCH Electric, Key Operated		
: STOP, TURN, TAIL & B/U LIGHTS Dual, Rear, Combination with Reflector		
: TURN SIGNAL SWITCH Self-Cancelling for Trucks, Manual Cancelling for Tractors, with Lane Change Feature		
: WINDSHIELD WIPER SWITCH 2-Speed with Wash and Intermittent Feature (5 Pre-Set Delays), Integral with Turn Signal Lever		
: WINDSHIELD WIPERS Single Motor, Electric, Cowl Mounted		
: WIRING, CHASSIS Color Coded and Continuously Numbered		
CIGAR LIGHTER Includes Ash Cup	1/0	1
JUMP START STUD (2) Remote Mounted	1/0	1
ALTERNATOR {Leece-Neville AVI160P2013} Brush Type, 12 Volt, 160 Amp Capacity, Pad Mount	0/0	0
BODY BUILDER WIRING Rear of Frame; Includes Sealed Connectors for Tail/Amber Turn/Marker/ Backup/ Accessory Power/Ground and Sealed Connector for Stop/Turn	0/3	3
BATTERY SYSTEM {Fleetrite} Maintenance-Free, (3) 12-Volt 1980CCA Total, Top Threaded Stud	0/0	0
TAIL LIGHT WIRING MODIFIED Includes: Wiring for Standard Lt & Rt Tail Lights; Separate 8.0' of Extra Cable Wiring for Lt & Rt Body Mounted Tail Lights	0/2	2
SPEAKERS (2) 6.5" Dual Cone Mounted in Both Doors, (2) 5.25" Dual Cone Mounted in Both B-Pillars	7/1	8
ANTENNA for Increased Roof Clearance Applications	1/0	1

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
RADIO AM/FM/WB/Clock/Bluetooth/USB Input/Auxiliary Input	3/0	3
HORN, ELECTRIC Disc Style	0/0	0
BATTERY BOX Steel, with Plastic Cover, 18" Wide, 2-4 Battery Capacity, Mounted Right Side Back of Cab	0/0	0
POWER SOURCE, TERMINAL TYPE 2-Post	1/0	1
SWITCH, TOGGLE, FOR WORK LIGHT Lighted; on Instrument Panel and Wiring Effects for Customer Furnished Back of Cab Light	2/1	3
CLEARANCE/MARKER LIGHTS (5) {Truck Lite} Amber LED Lights, Flush Mounted on Cab or Sunshade	0/0	0
TEST EXTERIOR LIGHTS Pre-Trip Inspection will Cycle all Exterior Lamps Except Back-up Lights	0/0	0
HEADLIGHTS ON W/WIPERS Headlights Will Automatically Turn on if Windshield Wipers are turned on	0/0	0
STARTING MOTOR {Mitsubishi Electric Automotive America 105P} 12-Volt, with Soft-Start	0/0	0
CIRCUIT BREAKERS Manual-Reset (Main Panel) SAE Type III with Trip Indicators, Replaces All Fuses	0/0	0
SWITCH, AUXILIARY Switch 40 amp Circuit for Customer Use; Includes Wiring Connection at Power Distribution Center (PDC) and Control in Cab	2/0	2
TURN SIGNALS, FRONT Includes LED Side Turn Lights Mounted on Fender	0/0	0
HORN, AIR Single Trumpet, Black, with Lanyard Pull Cord	3/0	3
POWER SOURCE, ADDITIONAL Auxiliary Power Outlet (APO) with USB Port, Located in the Instrument Panel	1/0	1
HEADLIGHTS Halogen, with Daytime Running Lights	0/0	0
FENDER EXTENSIONS Rubber	0/0	0
LOGOS EXTERIOR Model Badges	0/0	0
LOGOS EXTERIOR, ENGINE Badges	0/0	0
GRILLE Stationary, Chrome	0/0	0
INSULATION, SPLASH PANELS for Sound Abatement	3/0	3
FRONT END Tilting, Fiberglass, with Three Piece Construction, Includes Long Hood	0/0	0
CHASSIS COATING Corrosion Resistant E-Coat Primer Coating for Reinforced Frame Rails	0/0	0
PAINT SCHEMATIC, PT-1 Single Color, Design 100	0/0	0
<u>Includes</u>		
PAINT SCHEMATIC ID LETTERS "WN"		
PAINT TYPE Base Coat/Clear Coat, 1-2 Tone	0/0	0
COMMUNICATIONS MODULE Telematics Device with Over the Air Programming; Includes Two Year Data Plan	1/0	1
COMMUNICATION MODULE DATA PLAN 3 Additional Years (Total of 5 Years)	0/0	0
LABEL, DEF "DEF ONLY"	0/0	0
PROMOTIONAL PACKAGE Government Silver Package	0/0	0
KEYS - ALL ALIKE, ADDITIONAL 2 Keys	0/0	0
SAFETY TRIANGLES	8/4	12
KEYS - ALL ALIKE, ID I-1624 Compatible with Z-250	0/0	0

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
MUD FLAPS, FRONT WHEELS (2) Rubber, Mounted on Fender Extension, for Tire Size 425/445	0/0	0
FIRE EXTINGUISHER 5 lb Class A B C	9/1	10
FIRE EXTINGUISHER BRACKET Mounted Left Side Driver Seat	1/0	1
CLUTCH Omit Item (Clutch & Control)	0/0	0
ANTI-FREEZE Red, Extended Life Coolant; To -40 Degrees F/ -40 Degrees C, Freeze Protection	0/0	0
PTO EFFECTS, ENGINE FRONT for N13/A26 Engines, Less PTO, Unit, Includes Adapter Plate on Engine Front Mounted	0/0	0
BLOCK HEATER, ENGINE {Phillips} 120V/1500W	4/0	4
<u>Includes</u>		
: BLOCK HEATER SOCKET Receptacle Type; Mounted below Drivers Door		
ENGINE, DIESEL {International A26} EPA 2021, 410HP @ 1700 RPM, 1450 lb-ft Torque @ 900 RPM, 2100 RPM Governed Speed, 410 Peak HP (Max)	0/0	0
FAN DRIVE {Horton Drivemaster} Two-Speed Type, Direct Drive, with Residual Torque Device for Disengaged Fan Speed	0/0	0
<u>Includes</u>		
: FAN Nylon		
AIR CLEANER Dual Element	4/0	4
ENGINE CONTROL, REMOTE MOUNTED for PTO, for N13/A26 Engines	0/0	0
EMISSION, CALENDAR YEAR {International A26} EPA, OBD and GHG Certified for Calendar Year 2022	0/0	0
FAN DRIVE SPECIAL EFFECTS Fan Cooling Ring with Fan Shroud Effects, Engine Mounted	0/0	0
CARB IDLE COMPLIANCE Low NOx Idle Engine, Complies with California Clean Air Regulations; Includes "Certified Clean Idle" Decal located on Driver Door	0/0	0
RADIATOR Aluminum, Welded, Cross Flow, Front to Back System, 1292 SqIn, with 1008 SqIn Charge Air Cooler	0/0	0
<u>Includes</u>		
: DEAERATION SYSTEM with Surge Tank		
: HOSE CLAMPS, RADIATOR HOSES Gates Shrink Band Type; Thermoplastic Coolant Hose Clamps		
: RADIATOR HOSES Premium, Rubber		
CARB EMISSION WARR COMPLIANCE for International A26 Engines	0/0	0
TRANSMISSION, AUTOMATIC {Allison 4000 RDS} 5th Generation Controls, Close Ratio, 6-Speed with Double Overdrive, with PTO Provision, Less Retarder, Includes Oil Level Sensor, On/Off Highway	308/91	399
OIL COOLER, AUTO TRANSMISSION {Modine} Water to Oil Type	25/0	25
TRANSMISSION SHIFT CONTROL Column Mounted Stalk Shifter, Not for Use with Allison 1000 & 2000 Series Transmission	1/0	1
TRANSMISSION OIL Synthetic; 63 thru 76 Pints	0/0	0
ALLISON SPARE INPUT/OUTPUT for Rugged Duty Series (RDS), Airport Refueler, Sewer Evac, Package Number 150	0/0	0
NEUTRAL AT STOP Allison Transmission Shifts to Neutral When Service Brake is Depressed and Vehicle is at Stop; Remains in Neutral Until Service Brake is Released	0/0	0
TRANSMISSION TCM LOCATION Located Inside Cab	0/0	0

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
SHIFT CONTROL PARAMETERS {Allison} 3000 or 4000 Series Transmissions, Performance Programming	0/0	0
PTO LOCATION Customer Intends to Install PTO at Left Side of Transmission	0/0	0
AXLE, REAR, TANDEM {Meritor RT-46-164EH} Single Reduction, Standard Width, 46,000-lb Capacity, Driver Controlled Locking Differential in Forward-Rear and Rear-Rear Axle, 200 Wheel Ends . Gear Ratio: 5.38	0/2383	2383
<u>Notes</u>		
: Axle Lead Time is 45 Days		
SUSPENSION, REAR, TANDEM {Hendrickson RT-463} Walking Beam, 46,000-lb Capacity, 54" Axle Spacing, Multileaf Springs, with Bronze Center Bushings	0/1006	1006
AXLE, REAR, LUBE {EmGard FE-75W-90} Synthetic Oil; 65 thru 89.99 Pints	0/0	0
DEF TANK 9.5 US Gal (36L) Capacity, Frame Mounted Outside Left Rail, Under Cab	0/0	0
FUEL/WATER SEPARATOR {Racor} Fuel Pre-Filter and Filter Base, Includes Water-In-Fuel Sensor	0/0	0
LOCATION FUEL/WATER SEPARATOR Mounted Outside Left Rail, 8" Back of Cab	0/0	0
FUEL TANK Top Draw, Non-Polished Aluminum, D-Style, 19" Tank Depth, 50 US Gal (189L), Mounted Left Side, Under Cab	0/0	0
FUEL COOLER Less Thermostat; Mounted in Front of Cooling Module	15/0	15
CAB Conventional, Day Cab	0/0	0
AIR CONDITIONER with Integral Heater and Defroster	0/0	0
GAUGE CLUSTER Base Level; English with English Electronic Speedometer	0/0	0
<u>Includes:</u>		
: GAUGE CLUSTER DISPLAY: Base Level (3" Monochromatic Display), Premium Level (5" LCD Color Display); Odometer, Voltmeter, Diagnostic Messages, Gear Indicator, Trip Odometer, Total Engine Hours, Trip Hours, MPG, Distance to Empty/Refill for		
: GAUGE CLUSTER Speedometer, Tachometer, Engine Coolant Temp, Fuel Gauge, DEF Gauge, Oil Pressure Gauge, Primary and Secondary Air Pressure		
: WARNING SYSTEM Low Fuel, Low DEF, Low Oil Pressure, High Engine Coolant Temp, Low Battery Voltage (Visual and Audible), Low Air Pressure (Primary and Secondary)		
GAUGE, OIL TEMP, AUTO TRANS for Allison Transmission	1/0	1
IP CLUSTER DISPLAY On Board Diagnostics Display of Fault Codes in Gauge Cluster	0/0	0
SEAT, DRIVER {National 2000} Air Suspension, High Back with Integral Headrest, Vinyl, Isolator, 1 Chamber Lumbar, with 2 Position Front Cushion Adjust, -3 to +14 Degree Angle Back Adjust	0/0	0
GRAB HANDLE, EXTERIOR Chrome, Towel Bar Type, with Anti-Slip Rubber Inserts, for Cab Entry Mounted Left Side at B-Pillar	3/0	3
SEAT, PASSENGER {National} Non Suspension, High Back, Fixed Back, Integral Headrest, Vinyl	17/6	23
MIRRORS (2) C-Loop, Power Adjust, Heated, Black Heads and Arms, 7.5" x 14" Flat Glass, Includes 7.5" x 7" Convex Mirrors, for 102" Load Width	0/0	0
<u>Notes</u>		
: Mirror Dimensions are Rounded to the Nearest 0.5"		
SEAT BELT All Orange; 1 to 3	0/0	0
CAB INTERIOR TRIM Classic, for Day Cab	0/0	0

Includes

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
: CONSOLE, OVERHEAD Molded Plastic with Dual Storage Pockets, Retainer Nets and CB Radio Pocket; Located Above Driver and Passenger		
: DOME LIGHT, CAB Door Activated and Push On-Off at Light Lens, Tinted Theater Dimming, Integral to Overhead Console, Center Mounted		
: SUN VISOR (2) Padded Vinyl; 2 Moveable (Front-to-Side) Primary Visors, Driver Side with Toll Ticket Strap		
SEAT BELT COMFORT CLIP	0/0	0
ARM REST, RIGHT, DRIVER SEAT	3/0	3
WINDOW, POWER (2) and Power Door Locks, Left and Right Doors, Includes Express Down Feature	5/0	5
CAB REAR SUSPENSION Air Bag Type	0/0	0
INSTRUMENT PANEL Wing Panel	0/0	0
ACCESS, CAB Bright Aluminum, Driver & Passenger Sides, Two Steps per Door, for use with Day Cab or Extended Cab	-14/-2	-16
WINDSHIELD WIPER BLADES Snow Type	2/0	2
WHEELS, FRONT {Accuride 29807} DISC; 22.5x12.25 Rims, Powder Coat Steel, 5-Hand Hole, 10-Stud, 285.75mm BC, Hub-Piloted, Flanged Nut, with Steel Hubs, Offset 5.37"	104/0	104
WHEELS, REAR {Accuride 29169} DUAL DISC; 22.5x8.25 Rims, Powder Coat Steel, 5-Hand Hole, 10-Stud, 235.75mm BC, Hub-Piloted, Flanged Nut, with .472" Thick Increased Capacity Disc and Steel Hubs	0/88	88
BDY INTG, REMOTE POWER MODULE Mounted Inside Cab Behind Driver Seat, Up to 6 Outputs & 6 Inputs, Max 20 amp per Channel, Max 80 amp Total; Includes 1 Switch Pack with Latched Switches	0/0	0
BDY INTG, SWITCH MOMNTRY 3POS Rocker, Backlit, with "ON" Indicator Mounted on Dash, Latching Software, for 1; Auxiliary Load 20 amp. Maximum; Power Available Only in "Ignition" or "Accessory" Position, Output Also Controlled by a Customer Remote Mounted Switch (requires 1 Remote Power Module input & 1 output)	0/0	0
(8) TIRE, REAR 11R22.5 Load Range H HDR2+ (CONTINENTAL), 491 rev/mile, 75 MPH, Drive	0/120	120
(2) TIRE, FRONT 425/65R22.5 Load Range L HAC 3 (CONTINENTAL), 465 rev/mile, 68 MPH, All-Position	132/0	132
Cab schematic 100WN		
Location 1: 4421, School Bus Yellow (Std)		
Chassis schematic N/A		
Services Section:		
WARRANTY Standard for HV513, HV613 Models, Effective with Vehicles Built July 1, 2017 or Later, CTS-2030A	0/0	0
SRV CONTRACT, EXT ENGINE/AFTR {Navistar} To 84-Month/150,000 Miles (240,000 km), Includes Engine, Engine Electronics, Turbocharger, Water Pump and Fuel Injectors, Aftertreatment Coverage for International A26 Engines << For Use with CARB Emission Warranty >>	0/0	0
SRV CONTRACT, EXT ALLISON XMSN {Allison} To 84-Month/Unlimited Miles/km, for Allison 4000 RDS with Dump Truck or Mixer Vocations (ST01, ST06, ST07)	0/0	0
Total Component Weight:	10461/8252	18713
surcharges	0/0	0
Total Goods Purchased:	0/0	0

The weight calculations included in this proposal are an estimate of future vehicle weight. The actual weight as manufactured may be different from the estimated weight. Navistar, Inc. shall not be liable for any consequences resulting from any differences between the estimated weight of a vehicle and the actual weight.

(US DOLLAR)		
Description		Price
Total Factory List Price Including Options:		\$254,353.00
Total Goods Purchased:		\$2,500.00
PDI and PA State Inspection	\$450.00	
Raw Material Surcharge	\$2,500.00	
Total Preparation And Delivery:		\$2,950.00
Total Freight:		\$2,600.00
Total Factory List Price Including Freight:		\$262,403.00
Less Customer Allowance:		(\$133,198.00)
Total Vehicle Price:		\$129,205.00
Total Sale Price:		\$129,205.00
Total Per Vehicle Sales Price:		\$129,205.00
Net Sales Price:		\$129,205.00

Truck chassis priced in accordance with costars contract 025-005.

Chassis payment due 30 days after delivery to specified body company, unless otherwise noted.

Proposal valid for 10 days.

Five Star International LLC is not responsible for changes in government mandates (ex: CARB) and applicable taxes or associated items, specification changes, freight, vendor price increases and availability, product discontinuation and surcharges.

Please feel free to contact me should you have any questions or concerns.

Thanks,

Bill Beck
717.614.4604
bill.beck@fivestartrucks.com

Approved by Seller:

Accepted by Purchaser:

Official Title and Date

Firm or Business Name

Authorized Signature

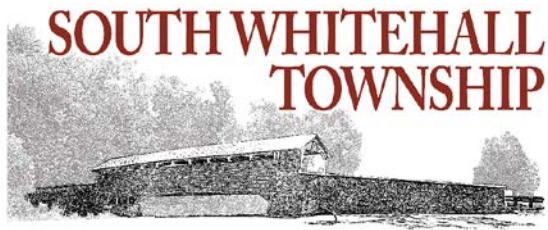
Authorized Signature and Date

This proposal is not binding upon the seller without
Seller's Authorized Signature

Official Title and Date

The TOPS FET calculation is an estimate for reference purposes only. The seller or retailer is responsible for calculating and reporting/paying appropriate FET to the IRS.

The limited warranties applicable to the vehicles described herein are Navistar, Inc.'s standard printed warranties which are incorporated herein by reference and to which you have been provided a copy and hereby agree to their terms and conditions.



MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Herb Bender
DATE:	January 11, 2022
SUBJECT:	Ford F-250 Utility Truck
COPY TO:	R. Cope, M. Elias, S. Boehret, D. Manhardt

- **Background Information and/or Justification of Expense:**

Public Works is respectfully asking permission to move forward with the purchase of a 2022 Ford F-250 Utility Truck. This Truck will be used by the water department and set up for our weekly water testing and water flushing. This truck will be replacing 2005 Ford F-250 that has very bad rusting issues and will not pass inspection. The price for this piece of equipment is \$47,362.00 this was budgeted for \$47,257.00. The Ford F-250 we currently own will be put on Municibid once receive the new truck.

- **Action Requested:**

Public Works is respectfully requesting a motion to approve the purchase of 2022 Ford F-250 Utility Truck.

- **Budget Line Item (if applicable):**

06431002/40760

\$ 48,357

44,964

under \$2,293.00

\$ 41,257.00

Prepared for: Herb Bender, Superintendent of Public Works, South Whitehall Township

4444 Walbert Avenue

Allentown, PA 18104

Office: 610-398-0401

Email: benderh@southwhitehall.com

2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)

Price Level: 230



Client Proposal

Prepared by:

Cody Stewart

Office: 717-653-8183

Email: whitmoyerautogroup@live.com

Quote ID: 081221-1

Date: 08/16/2021



Whitmoyer Ford, Inc. | 1001 East Main Street, Mount Joy, Pennsylvania, 175529333

Office: 717-653-7080 | Fax: 717-653-7090

293

Prepared for: Herb Bender

Superintendent of Public Works, South Whitehall Township

Prepared by: Cody Stewart

08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333



2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)

Price Level: 230 | Quote ID: 081221-1

**Herb Bender, Superintendent of Public Works,
South Whitehall Township**

4444 Walbert Avenue

Allentown, PA 18104

Office: 610-398-0401

Email: benderh@southwhitehall.com

Re: Quote ID 081221-1 08/16/2021

Dear Herb,

Following is our proposal to furnish and deliver one (1) "new and unused" 2022 Ford F-250 Regular Cab Utility Body Quotation. Please review and contact our office if you have any questions.

Your total cost to order, as per the COSTARS 25-162 Purchasing Agreement, is \$42,700. This price includes all new vehicle prep, initial PA state inspection, title, and registration fees. Vehicle will be filled with fuel, washed and delivered to your location.

****PLOW PRICING IS AS FOLLOWS:**

8.5' FISHER HD2 WITH DEFLECTOR - \$5,650

8.5 BOSS SUPERDUTY WITH DEFLECTOR - \$5,657**

*****LEAD TIMES ARE UP IN THE AIR AT THIS CURRENT TIME. ONCE MORE CLEAR DATES BECOME AVAILABLE, I WILL PASS THEM ALONG*****

Thank you for your time, and the opportunity to earn your business.

Best Regards,

Cody Stewart

Fleet Account Executive

717-653-8183

whitmoyerautogroup@live.com

Prepared for: Herb Bender

Superintendent of Public Works, South Whitehall Township

Prepared by: Cody Stewart

08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333



2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)

Price Level: 230 | Quote ID: 081221-1

Table of Contents

Description	Page
Cover Page	1
Cover Letter	2
Table of Contents	3
Selected Equip & Specs	4
As Configured Vehicle	14
Pricing Summary - Single Vehicle	17

Prepared for: Herb Bender

Superintendent of Public Works, South Whitehall Township

Prepared by: Cody Stewart

08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333



2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)

Price Level: 230 | Quote ID: 081221-1

Selected Equip & Specs

Dimensions

• Exterior length: 231.8" • Cab to axle: 56.1" • Exterior width: 80.0" • Exterior height: 81.1" • Wheelbase: 142.0" • Front track: 68.3" • Rear track: 67.2" • Turning radius: 23.8' • Min ground clearance: 8.3" • Front legroom: 43.9" • Front headroom: 40.8" • Front hiproom: 62.5" • Front shoulder room: 66.7" • Passenger volume: 64.6cu.ft. • Approach angle: 18.1 deg • Departure angle: 22.7 deg • Cargo volume: 11.6cu.ft. • Maximum cargo volume: 11.6cu.ft. • Box length: 98.1"

Powertrain

• 385hp 6.2L SOHC 16 valve V-8 engine with variable valve control, SMPI • Recommended fuel : regular unleaded • federal • TorqShift-G 6 speed automatic transmission with overdrive • Part-time • Fuel Economy Cty: N/A • Fuel Economy Highway: N/A

Suspension/Handling

• Front Mono-beam non-independent suspension with anti-roll bar, HD shocks • Rear rigid axle leaf spring suspension with HD shocks • Firm ride Suspension • Hydraulic power-assist re-circulating ball Steering • Front and rear 17 x 7.5 argent steel wheels * **LT265/70SR17 EOWL AT front and rear tires**

Body Exterior

• 2 doors * **Driver and passenger power remote heated, manual folding door mirrors with turn signal indicator * Turn signal indicator in mirrors** • Black door mirrors • Black bumpers * **Running boards * Class V trailer hitch with with brake controller and trailer sway control** • Bed-rail protectors • Trailer harness • Box style: regular • Clearcoat paint • Front and rear 17 x 7.5 wheels • 2 front tow hook(s)

Convenience

• Manual air conditioning with air filter * **Power front windows * Driver and passenger 1-touch up * Driver and passenger 1-touch down * Remote power door locks with 2 stage unlock and illuminated entry** • Manual tilt steering wheel • Manual telescopic steering wheel • Day-night rearview mirror • FordPass Connect 4G internet access * **SYNC 3 911 Assist emergency SOS** • Wireless phone connectivity • 2 1st row LCD monitors • Front cupholders • Passenger visor mirror * **Driver and passenger door bins * Upfitter switches**

Seats and Trim

• Seating capacity of 3 • Front 40-20-40 split-bench seat • 4-way driver seat adjustment • Manual driver lumbar support • 4-way passenger seat adjustment • Centre front armrest with storage

Entertainment Features

• AM/FM stereo radio * **SYNC 3 external memory control** • Steering wheel mounted radio controls • 4 speakers • Streaming audio • Fixed antenna

Lighting, Visibility and Instrumentation

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

Prepared for: Herb Bender

Superintendent of Public Works, South Whitehall Township

Prepared by: Cody Stewart

08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

**2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)**

Price Level: 230 | Quote ID: 081221-1

Selected Equip & Specs (cont'd)

• Halogen aero-composite headlights • Delay-off headlights • Auto on/off headlights • Variable intermittent front windshield wipers • Light tinted windows • Front reading lights • Tachometer • Oil pressure gauge • Compass • Outside temperature display • Camera(s) - rear • Low tire pressure warning • Trip computer • Trip odometer • **Configurable digital/analog gauges**

Safety and Security

• 4-wheel ABS brakes • Brake assist with hill hold control • 4-wheel disc brakes • AdvanceTrac w/Roll Stability Control Electronic stability control • ABS and driveline traction control • Dual front impact airbag supplemental restraint system with passenger cancel • Dual seat mounted side impact airbag supplemental restraint system • Safety Canopy System curtain 1st row overhead airbag supplemental restraint system • **Remote activated perimeter/approach lighting** • **Power remote door locks with 2 stage unlock and panic alarm** • **Security system with SecuriLock immobilizer** • MyKey restricted driving mode • Manually adjustable front head restraints

Dimensions*General Weights*

* Curb	6,252 lbs.	GVWR	10,000 lbs.
Payload	3,820 lbs.		

Front Weights

* Front GAWR	5,600 lbs.	* Front curb weight	3,703 lbs.
Front axle capacity	6,000 lbs.	* Front spring rating	5,600 lbs.
Front tire/wheel capacity	6,390 lbs.		

Rear Weights

Rear GAWR	6,340 lbs.	* Rear curb weight	2,550 lbs.
Rear axle capacity	6,200 lbs.	Rear spring rating	6,340 lbs.
Rear tire/wheel capacity	6,390 lbs.		

Trailer Type

Type	Regular	Harness	Yes
Class	V	Hitch	Yes
* Brake controller	Yes	Trailer sway control	Yes

General Trailering

5th-wheel towing capacity	12800 lbs.	Gooseneck towing capacity	12800 lbs.
Towing capacity	12900 lbs.	GCWR	19500 lbs.

Fuel Tank type

Capacity	34 gal.
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Off Road

Approach angle	18 deg	Departure angle	23 deg
Ramp breakover angle	25 deg	Min ground clearance	8 "

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Prepared for: Herb Bender

Superintendent of Public Works, South Whitehall Township

Prepared by: Cody Stewart

08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

**2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)**

Price Level: 230 | Quote ID: 081221-1

Selected Equip & Specs (cont'd)

Load floor height 39 "

Exterior cargo

Length 98.1 "

Volume 78.5 cu.ft.

Maximum width 66.9 "

Minimum width 50.5 "

Pickup box depth 21.1 "

Tailgate width 60.5 "

Interior cargo

Cargo volume 11.6 cu.ft.

Maximum cargo volume 11.6 cu.ft.

Powertrain**Engine Type**

Block material Iron

Head material Aluminum

Injection Sequential MPI

Orientation Longitudinal

Valves per cylinder 2

Variable valve control Yes

Cylinders V-8

Ignition Spark

Liters 6.2L

Recommended fuel Regular unleaded

Valvetrain SOHC

Engine Spec

Bore 4.02"

Displacement 379 cu.in.

Compression ratio 9.8:1

Stroke 3.74"

Engine Power

SAEJ1349 AUG2004 compliant Yes

Torque 430 ft.-lb @ 3,800 RPM

Output 385 HP @ 5,750 RPM

Alternator

* Type HD

* Amps 240

Battery

* Amp hours 78

* Cold cranking amps 750

Run down protection Yes

* Type Dual

Transmission

Electronic control Yes

Overdrive Yes

Type Automatic

Lock-up Yes

Speed 6

Transmission Gear Ratios

1st 4.17

2nd 2.34

3rd 1.52

4th 1.14

5th 0.87

6th 0.69

Reverse Gear ratios 3.4

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Prepared for: Herb Bender

Superintendent of Public Works, South Whitehall Township

Prepared by: Cody Stewart

08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

**2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)**

Price Level: 230 | Quote ID: 081221-1

Selected Equip & Specs (cont'd)*Transmission Torque Converter*

Stall ratio 2.01

Transmission Extras

Driver selectable mode Yes

Oil cooler Regular duty

Sequential shift control SelectShift

Drive Type

4wd type Part-time

Type Four-wheel

Drive Feature

Traction control ABS and driveline

Transfer case shift Electronic

Locking hub control Auto

*** Rear locking differential Driver selectable***Drive Axle*

Ratio 3.73

Exhaust

Material Stainless steel

System type Single

Emissions

CARB Federal

Fuel Economy

Fuel type Gasoline

Fuel Economy (Alternate 1)

Fuel type E85

Acceleration

0-60 mph (s) 6.53

1/4 Mile

Seconds 15.0

Speed 93 mph

Skid Pad

Lateral acceleration (g) 0.7

Slalom

Speed 51 mph

Driveability*Brakes*

ABS 4-wheel

Type 4-wheel disc

ABS channels 4

Vented discs Front and rear

Brake Assistance

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Prepared for: Herb Bender

Superintendent of Public Works, South Whitehall Township

Prepared by: Cody Stewart

08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

**2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)**

Price Level: 230 | Quote ID: 081221-1

Selected Equip & Specs (cont'd)

Brake assist	Yes	Hill hold control	Yes
<i>Suspension Control</i>			
Ride	Firm	Electronic stability control	Stability control with anti-roll
<i>Front Suspension</i>			
Independence	Mono-beam non-independent	Anti-roll bar	Regular
<i>Front Spring</i>			
Type	Coil	* Grade	HD
<i>Front Shocks</i>			
Type	HD		
<i>Rear Suspension</i>			
Independence	Rigid axle	Type	Leaf
<i>Rear Spring</i>			
Type	Leaf	Grade	HD
<i>Rear Shocks</i>			
Type	HD		
<i>Steering</i>			
Activation	Hydraulic power-assist	Type	Re-circulating ball
<i>Steering Specs</i>			
# of wheels	2		

Exterior

<i>Front Wheels</i>			
Diameter	17"	Width	7.50"
<i>Rear Wheels</i>			
Diameter	17"	Width	7.50"
<i>Spare Wheels</i>			
Wheel material	Steel		
<i>Front and Rear Wheels</i>			
Appearance	Argent	Material	Steel
Covers	Hub		
<i>Front Tires</i>			
* Aspect	70	Diameter	17"
* Sidewalls	OWL	Speed	S

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Prepared for: Herb Bender

Superintendent of Public Works, South Whitehall Township

Prepared by: Cody Stewart

08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

**2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)**

Price Level: 230 | Quote ID: 081221-1

Selected Equip & Specs (cont'd)

* Tread	AT	Type	LT
* Width	265mm	LT load rating	E
* RPM	640		

Rear Tires

* Aspect	70	Diameter	17"
* Sidewalls	OWL	Speed	S
* Tread	AT	Type	LT
* Width	265mm	LT load rating	E
* RPM	640		

Spare Tire

Mount	Underbody w/crankdown	Type	Full-size
-------------	-----------------------	------------	-----------

Wheels

Front track	68.3"	Rear track	67.2"
Turning radius	23.8'	Wheelbase	142.0"

Body Features

* Front license plate bracket	Yes	* Running boards	Yes
* Skid plate(s)	2	Body material	Aluminum
Side impact beams	Yes	Front tow hook(s)	2

Body Doors

Door count	2	Cargo	Tailgate
------------------	---	-------------	----------

Pickup

Box style	Regular	Bed-rail protectors	Yes
-----------------	---------	---------------------------	-----

Exterior Dimensions

Length	231.8"	Body width	80.0"
Body height	81.1"	Cab to axle	56.1"
Frame section modulus	10.7cu.in.	Frame yield strength (psi)	50000.0
Front bumper to Front axle	38.2"	Front bumper to back of cab	123.7"

Safety*Airbags*

Driver front-impact	Yes	Driver side-impact	Seat mounted
Overhead ... Safety Canopy System curtain 1st row		Passenger front-impact	Cancellable
Passenger side-impact	Seat mounted		

Seatbelt

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Superintendent of Public Works, South Whitehall Township

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08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333



2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)

Price Level: 230 | Quote ID: 081221-1

Selected Equip & Specs (cont'd)

Height adjustable..... Front

Security

Immobilizer..... SecuriLock

Restricted driving mode..... MyKey

* Panic alarm..... **Yes****Seating****Passenger Capacity**

Capacity..... 3

Front Seats

Split..... 40-20-40

Type..... Split-bench

Driver Seat

Fore/aft..... Manual

Reclining..... Manual

Way direction control..... 4

Lumbar support..... Manual

Passenger seat

Fore/aft..... Manual

Reclining..... Manual

Way direction control..... 4

Front Head Restraint

Control..... Manual

Type..... Adjustable

Front Armrest

Centre..... Yes

Storage..... Yes

Front Seat Trim

Material..... Vinyl

Back material..... Vinyl

Convenience**AC And Heat Type**

Air conditioning..... Manual

Air filter..... Yes

Audio System

Radio..... AM/FM stereo

Radio grade..... Regular

Seek-scan..... Yes

* External memory control..... **SYNC 3****Audio Speakers**

Speaker type..... Regular

Speakers..... 4

Audio Controls

Steering wheel controls..... Yes

Voice activation..... Yes

Streaming audio..... Bluetooth yes

Audio Antenna

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Superintendent of Public Works, South Whitehall Township

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08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

**2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)**

Price Level: 230 | Quote ID: 081221-1

Selected Equip & Specs (cont'd)

Type	Fixed		
<i>LCD Monitors</i>			
1st row	2	* Primary monitor size (inches)	8
<i>Convenience Features</i>			
* Retained accessory power	Yes	12V DC power outlet	2
* Emergency SOS	SYNC 3 911 Assist	Wireless phone connectivity	Bluetooth
* 120V AC power outlet	1	* Smart device integration	Mirroring
* Upfitter switches	Yes		
<i>Door Lock Activation</i>			
* Type	Power with 2 stage unlock	* Remote	Keyfob (all doors)
* Integrated key/remote	Yes		
<i>Door Lock Type</i>			
* Tailgate/rear door lock	Included with power door locks		
<i>Door Locks Extra FOB Controls</i>			
Remote engine start	Smart device only		
<i>Instrumentation Type</i>			
* Appearance	Digital/analog	* Configurable	Yes
<i>Instrumentation Gauges</i>			
Tachometer	Yes	Oil pressure	Yes
Engine temperature	Yes	Transmission fluid temp	Yes
Engine hour meter	Yes		
<i>Instrumentation Warnings</i>			
Oil pressure	Yes	Engine temperature	Yes
Battery	Yes	Lights on	Yes
Key	Yes	Low fuel	Yes
Door ajar	Yes	Service interval	Yes
Brake fluid	Yes	Low tire pressure	Tire specific
<i>Instrumentation Displays</i>			
Clock	In-radio display	Compass	Yes
Exterior temp	Yes	Systems monitor	Yes
Camera(s) - rear	Yes		
<i>Instrumentation Feature</i>			
Trip computer	Yes	Trip odometer	Yes

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08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333



2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)

Price Level: 230 | Quote ID: 081221-1

Selected Equip & Specs (cont'd)

Steering Wheel Type

Material.....Urethane Tilting.....Manual
Telescoping.....Manual

Front Side Windows

*Window 1st row activation.....Power

Window Features

*1-touch down.....Driver and passenger *1-touch up.....Driver and passenger
Tinted.....Light

Front Windshield

Wiper.....Variable intermittent

Rear Windshield

Window.....Fixed

Interior

Passenger Visor

Mirror.....Yes

Rear View Mirror

Day-night.....Yes

Headliner

Coverage.....Full Material.....Cloth

Floor Trim

Coverage.....Full Covering.....Vinyl/rubber

Trim Feature

Gear shifter material.....Urethane Interior accents.....Chrome

Lighting

Dome light type.....Fade Front reading.....Yes
*Illuminated entry.....Yes Variable IP lighting.....Yes

Overhead Console Storage

*Type.....Mini

Storage

*Driver door bin.....Yes Front Beverage holder(s).....Yes
Glove box.....Locking *Passenger door bin.....Yes
Illuminated.....Yes Instrument panel.....Covered bin
Dashboard.....Yes

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08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333



2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)

Price Level: 230 | Quote ID: 081221-1

Selected Equip & Specs (cont'd)

Legroom

Front..... 43.9"

Headroom

Front..... 40.8"

Hip Room

Front..... 62.5"

Shoulder Room

Front..... 66.7"

Interior Volume

Passenger volume..... 64.6 cu.ft.

Prepared for: Herb Bender

Superintendent of Public Works, South Whitehall Township

Prepared by: Cody Stewart

08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

**2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)**

Price Level: 230 | Quote ID: 081221-1

As Configured Vehicle

Code	Description	MSRP
Base Vehicle		
F2B	Base Vehicle Price (F2B)	\$37,740.00
Packages		
600A	Order Code 600A <i>Includes:</i> - Engine: 6.2L 2-Valve SOHC EFI NA V8 Flex-Fuel - Transmission: TorqShift-G 6-Spd Auto w/SelectShift - GVWR: 10,000 lb Payload Package - Wheels: 17" Argent Painted Steel Includes painted hub covers/center ornaments. - HD Vinyl 40/20/40 Split Bench Seat Includes center armrest, cupholder, storage and driver's side manual lumbar. - Radio: AM/FM Stereo w/MP3 Player Includes 4 speakers.	N/C
Powertrain		
996	Engine: 6.2L 2-Valve SOHC EFI NA V8 Flex-Fuel	Included
44S	Transmission: TorqShift-G 6-Spd Auto w/SelectShift	Included
X3E	Electronic-Locking w/3.73 Axle Ratio	\$390.00
STDGV	GVWR: 10,000 lb Payload Package	Included
Wheels & Tires		
TCD	Tires: LT265/70Rx17E OWL A/T <i>Spare may not be the same as road tire.</i>	\$455.00
64A	Wheels: 17" Argent Painted Steel <i>Includes painted hub covers/center ornaments.</i>	Included
Seats & Seat Trim		
A	HD Vinyl 40/20/40 Split Bench Seat <i>Includes center armrest, cupholder, storage and driver's side manual lumbar.</i>	Included
Other Options		
142WB	142" Wheelbase	STD
PAINT	Monotone Paint Application	STD
90L	Power Equipment Group	\$915.00

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08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

**2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)**

Price Level: 230 | Quote ID: 081221-1

As Configured Vehicle (cont'd)

Code	Description	MSRP
	<i>Deletes passenger-side lock cylinder. Includes upgraded door trim panel.</i> <i>Includes:</i> - Accessory Delay - Trailer Tow Mirrors w/Power Heated Glass <i>Includes manual folding, manually telescoping, heated convex spotter mirror and integrated clearance lamps and turn signals.</i> - Advanced Security Pack <i>Includes SecuriLock Passive Anti-Theft System (PATS) and inclination/intrusion sensors.</i> - Power Locks - Power Tailgate Lock - Power Front Seat Windows <i>Includes 1-touch up/down driver/passenger window.</i> - Remote Keyless Entry	
473	Snow Plow Prep Package	\$250.00
	Requires Extra Extra Heavy-Duty Alternator (67E) when ordered with Upfitter Switches (66S) and 110V/400W Outlet (43C). <i>Includes computer selected springs for snowplow application. Note restrictions apply; see supplemental reference or body builders layout book for details. May result in deterioration of ride quality when vehicle is not equipped with snowplow. Dual battery (86M) recommended with 6.2L or 7.3L gasoline engines; see body builders layout book for details.</i>	
41P	Transfer Case & Fuel Tank Skid Plates	\$100.00
86M	Dual 78 AH Battery	\$210.00
67E	240 Amp Alternator	\$85.00
52B	Trailer Brake Controller	\$270.00
	<i>Verified to be compatible with select electric over hydraulic brakes. Includes smart trailer tow connector.</i>	
18B	Platform Running Boards	\$320.00
153	Front License Plate Bracket	N/C
	<i>Standard in states requiring 2 license plates and optional to all others.</i>	
43C	110V/400W Outlet	Included
	Requires Extra Extra Heavy-Duty Alternator (67E) when ordered with Upfitter Switches (66S) and Snow Plow Pkg. (473) or Snow Plow/Camper Pkg. (47B). <i>Includes 1 in-dash mounted outlet.</i>	
66S	Upfitter Switches (6)	\$165.00
	Requires Extra Extra Heavy-Duty Alternator (67E) when ordered with 110V/400W Outlet (43C) and Snow Plow Pkg. (473) or Snow Plow/Camper Pkg. (47B) and 6.2L Gas engine (996); or Dual Alternators (67A) when ordered with 110V/400W Outlet (43C) and Snow Plow Pkg. (473) or Snow Plow/Camper Pkg. (47B) and Diesel engine (99T); or Dual Extra Heavy-Duty Alternator (67B) when ordered with 110V/400W Outlet (43C) and Snow Plow Pkg. (473) or Snow Plow/Camper Pkg. (47B) and 7.3L Gas engine (99N). <i>Located in overhead console.</i>	
587	Radio: AM/FM Stereo w/MP3 Player	Included
	<i>Includes 4 speakers.</i>	

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Prepared for: Herb Bender

Superintendent of Public Works, South Whitehall Township

Prepared by: Cody Stewart

08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

**2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)**

Price Level: 230 | Quote ID: 081221-1

As Configured Vehicle (cont'd)

Code	Description	MSRP
913	SYNC 3 Communications & Entertainment System <i>Includes enhanced voice recognition, 8" LCD capacitive touch screen in center stack with swipe capability, pinch-to-zoom capability included with available voice-activated touchscreen navigation system, 4.2" productivity screen in IP cluster, AppLink, 911 Assist, Apple CarPlay and Android Auto capability and 2 smart charging USB-C ports.</i> <i>Includes:</i> <i>- 110V/400W Outlet</i> <i>Includes 1 in-dash mounted outlet.</i>	\$450.00
Emissions		
425	50-State Emissions System	STD
Interior Color		
AS_01	Medium Earth Gray	N/C
Exterior Color		
Z1_01	Oxford White	N/C
SUBTOTAL		\$41,350.00
Destination Charge		\$1,695.00
TOTAL		\$43,045.00

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Prepared for: Herb Bender

Superintendent of Public Works, South Whitehall Township

Prepared by: Cody Stewart

08/16/2021

Whitmoyer Ford, Inc. | 1001 East Main Street Mount Joy Pennsylvania | 175529333

**2022 F-250 4x4 SD Regular Cab 8' box 142" WB SRW XL (F2B)**

Price Level: 230 | Quote ID: 081221-1

Pricing Summary - Single Vehicle

MSRP*Vehicle Pricing*

Base Vehicle Price	\$37,740.00
Options	\$3,610.00
Colors	\$0.00
Upfitting	\$0.00
Fleet Discount	\$0.00
Destination Charge	\$1,695.00
Subtotal	\$43,045.00

Pre-Tax Adjustments

Description	MSRP
Discount as per COSTARS-025-162	-\$12,565.00
Levan Upfit (Invoice Attached)	16,881.00 14,019.00 \$12,220.00
Total	\$42,700.00

47,362.00

Customer Signature


08/16/2021
Dealer Signature

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3417 Pricetown Road
Fleetwood, PA 19522
Phone: (610) 944-7455
Fax: (610) 944-0321



Machining, Fabricating
& Truck Equipment
Specialists Since 1936

Quotation

Quote Whitmoyer Auto Group
To: 1001 E. Main Street
Mount Joy, PA 17552
United States

Quote Number:	25886	Contact:	Cody Stewart
Quote Date:	01/07/2022	Expires:	02/06/2022
Customer:	WH002	Inquiry:	
Salesman:	Adam Moyer	Terms:	Net 30 Days
Ship Via:	Customer will Pick-Up	Phone:	(717) 653-7080
FOB:	Fleetwood, PA	FAX:	(717) 653-9277
		Delivery:	Pick-Up

Quoted for South Whitehall Township
Costar Contract #025-072, Revised.

<u>Item</u>	<u>Part Number</u> <u>Description</u>	<u>Revision</u>	<u>Quantity</u>	<u>Price</u>
1	<p>KNAPHEIDE 696 STEEL SERVICE BODY</p> <p>To furnish and install a Knapheide 696 steel service body on a 2022 Ford F-250 Regular Cab, 56" CA, SRW, 4X4, gas engine pickup truck with the OEM backup camera system and receiver hitch.</p> <p>97.25" long, 78" wide, 40" high, 14.5" compartments and 49" wide cargo area</p> <p>Includes:</p> <ul style="list-style-type: none"> * Removal of the pickup truck bed * Standard Knapheide 696 service body features * 78" Galva-Grip hitch recess bumper with Levan Spray-On liner * LED STT/BU light kit * Aluminum fuel fill cup * Knapheide modular cab guard 49" wide center section only * 7-way flat pin trailer plug socket * Backup alarm * Whelen Mini Century amber LED light bar mounted on the cab protector * (2) Whelen amber LED T-ION series lights installed on the chassis grill * Knapheide integrated rear amber strobes * All amber warning lights controlled from a single Ford factory up-fitter switch in the cab * Reinstall the OEM supplied backup camera * Factory painted Knap white on the interior and exterior of the body 		1	\$11,019.00000 /EA
2	<p>PICKUP TRUCK BED CREDIT</p> <p>Credit if Levan Machine and Truck Equipment is to keep the pickup truck bed and all related items.</p>		1	-\$400.00000 /EA

Quote Number: 25886 (continued from page 1)

<u>Item</u>	<u>Part Number</u> <u>Description</u>	<u>Revision</u>	<u>Quantity</u>	<u>Price</u>
3	BOSS 8'-6" SUPER-DUTY To install a Boss 8'-6" Super-Duty steel straight blade snow plow on the 2022 Ford F-250 gas engine service body truck. Includes: * Standard Boss Super-Duty features * Full trip moldboard * SmartLight 3 LED headlight system * Cast-Iron plow shoes * SmartHitch 2 * Hand held controller		1	\$5,935.00000 /EA
4	OPTIONAL SNOW DEFLECTOR To include on the Boss Super-Duty snow plow the optional Boss rubber snow deflector.		1	\$327.00000 /EA
Total:				\$16,881.00
Tax				\$0.00
				\$16,881.00

By Frank Blatt

Accepted

Date

Thank you for the opportunity to submit this quote! Please note that a 30% deposit will be required for all non-stock orders unless an account has been previously established. Special order or non-returnable parts will require full payment at time of order. All sales of special order items are final and returns will not be accepted.

Frank

old quote no plow

3417 Pricetown Road
Fleetwood, PA 19522
Phone: (610) 944-7455
Fax: (610) 944-0321



Machining, Fabricating
& Truck Equipment
Specialists Since 1936

Quotation

Quote Whitmoyer Auto Group
To: 1001 E. Main Street
Mount Joy, PA 17552
United States

Quote Number:	25886	Contact:	Cody Stewart
Quote Date:	08/04/2021	Expires:	09/03/2021
Customer:	WH002	Inquiry:	
Salesman:	Adam Moyer	Terms:	Net 30 Days
Ship Via:	Customer will Pick-Up	Phone:	(717) 653-7080
FOB:	Fleetwood, PA	FAX:	(717) 653-9277
		Delivery:	Customer will Pick-Up

Quoted for Whitehall Township
Costar Contract #025-072

Item	Part Number Description	Revision	Quantity	Price
1	KNAPHEIDE 696 STEEL SERVICE BODY To furnish and install a Knapheide 696 steel service body on a 2022 Ford F-250 Regular Cab, 56" CA, SRW, 4X4, gas engine pickup truck with the OEM backup camera system and receiver hitch. 97.25" long, 78" wide, 40" high, 14.5" compartments and 49" wide cargo area Includes: * Removal of the pickup truck bed * Standard Knapheide 696 service body features * 78" Galva-Grip hitch recess bumper with Levan Spray-On liner * LED STT/BU light kit * Aluminum fuel fill cup * Knapheide modular cab guard 49" wide center section only * 7-way flat pin trailer plug socket * Backup alarm * Whelen Mini Century amber LED light bar mounted on the cab protector * (2) Whelen amber LED T-ION series lights installed on the chassis grill * Knapheide integrated rear amber strobes * All amber warning lights controlled from a single Ford factory up-fitter switch in the cab * Reinstall the OEM supplied backup camera * Factory painted Knap white on the interior and exterior of the body		1	\$9,227.00 /EA
2	PICKUP TRUCK BED CREDIT Credit if Levan Machine and Truck Equipment is to keep the pickup truck bed and all related items.		1	(\$400.00) /EA
3	PIONEER POLE LIGHTS To install (2) Whelen Pioneer Plus flood lights on the rear of the service body, (1) per side. * 75 watts * 12 volt DC * On/off switch on the light * Pole mounting adapter with handle * 57" side mount pole * Side mount brackets * Bottom pole cradle		1	\$3,393.00 /EA

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301 South Front Street, P.O. Box 266, Hamburg, PA 19526

Phone 610-929-3683



Heavy Duty
Truck Service

10-7-21
South Whitehall
Herb Bender

Quote 2022 F250 SERVICE BODY

9/21/21, 10:25 AM

COSTARS 25-018
COSTARS 25-072

IMS2 screen capture

CNGP530

VEHICLE ORDER CONFIRMATION

09/21/21 10:25:05

==>

Dealer: F16221

Page: 1 of 2

2022 F-SERIES SD

Order No: 0001 Priority: E4 Ord FIN: QK990 Order Type: 5B Price Level: 240
Ord PEP: 600A Cust/Flt Name: SOUTH WHITEHA PO Number:

RETAIL

RETAIL

F2B F250 4X4 SD R/C \$37990
142" WHEELBASE
Z1 OXFORD WHITE
A VNYL 40/20/40
S MEDIUM EARTH GR
600A PREF EQUIP PKG
.XL TRIM
572 .AIR CONDITIONER NC
.AMFM/MP3/CLK
996 .6.2L EFI V8 ENG NC
44S 6-SPD AUTOMATIC NC
TCD LT265 OWL AT 17 455
X3E 3.73 ELOCKING 390
90L PWR EQUIP GROUP 915
JOB #1 BUILD
512 SPARE TIRE/WHL2 NC
52B BRAKE CONTRLLR 270
TELE TT MIR-PWR
JACK
66S UPFITTER SWCH 165
67E 240 AMP ALTRNTR 85
86M DUAL BATTERY 210
913 SYNC 3 450
SP FLT ACCT CR
FUEL CHARGE
DEST AND DELIV 1695

TRAILER TOW PKG
FRT LICENSE BKT NC
18B PLAT RUNNING BD 320
10000# GVWR PKG
41P SKID PLATES 100
425 50 STATE EMISS NC
43C 110V/400W OUTLT NC
473 SNOW PLOW PREP 250

TOTAL BASE AND OPTIONS 43295

COSTARS 2500 -10823.75
Additional Discount - 1580.25
CHASSIS 30891.00

LEUM Quote #26385 20222.00
COSTARS 25-072

TOTAL PKG 51113.00

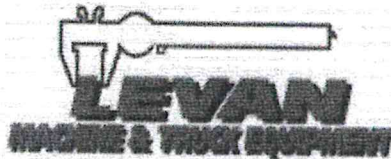
Quote good to 11-5-21
extended lead times

TOTAL BASE AND OPTIONS 43295
TOTAL 43295

Barb Keeney

313

3417 Pricetown Road
Fleetwood, PA 19522
Phone: (610) 944-7455
Fax: (610) 944-0321



Machining, Fabricating
& Truck Equipment
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Quotation

Quote Manderbach Ford
To: 301 South Front Street
Hamburg, PA 19526
United States

Quote Number:	26385	Contact:	Bob Keeney
Quote Date:	10/06/2021	Expires:	11/05/2021
Customer:	MA006	Inquiry:	
Salesman:	Frank Blatt	Terms:	Net 30 Days
Ship Via:	Customer will Pick-Up	Phone:	610-929-3683
FOB:	Fleetwood, PA	FAX:	610-921-1411
		Delivery:	Pick-Up

Quoted for South Whitehall Township
Costar Contract #025-072, Revised.

Item	Part Number Description	Revision	Quantity	Price
1	<p>KNAPHEIDE 696 STEEL SERVICE BODY</p> <p>To furnish and install a Knapheide 696 steel service body on a 2022 Ford F-250 Regular Cab, 56" CA, SRW, 4X4, gas engine pickup truck with the OEM backup camera system and receiver hitch.</p> <p>97.25" long, 78" wide, 40" high, 14.5" compartments and 49" wide cargo area</p> <p>Includes:</p> <ul style="list-style-type: none"> * Removal of the pickup truck bed * Standard Knapheide 696 service body features * 78" Galva-Grip hitch recess bumper with Levan Spray-On liner * LED STT/BU light kit * Aluminum fuel fill cup * Knapheide modular cab guard 49" wide center section only * 7-way flat pin trailer plug socket * Backup alarm * Whelen Mini Century amber LED light bar mounted on the cab protector * (2) Whelen amber LED T-ION series lights installed on the chassis grill * Knapheide integrated rear amber strobes * All amber warning lights controlled from a single Ford factory up-fitter switch in the cab * Reinstall the OEM supplied backup camera * Factory painted Knap white on the interior and exterior of the body 		1	\$10,576.00000 /EA
2	<p>PICKUP TRUCK BED CREDIT</p> <p>Credit if Levan Machine and Truck Equipment is to keep the pickup truck bed and all related items.</p>		1	-\$400.00000 /EA

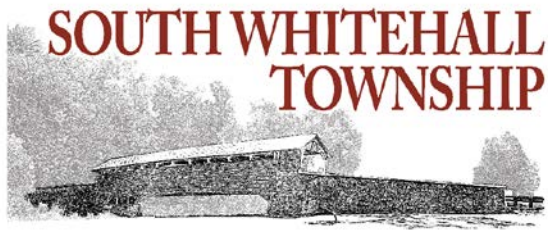
<u>Item</u>	<u>Part Number</u> <u>Description</u>	<u>Revision</u>	<u>Quantity</u>	<u>Price</u>
3	PIONEER POLE LIGHTS To install (2) Whelen Pioneer Plus flood lights on the rear of the service body, (1) per side. * 75 watts * 12 volt DC * On/off switch on the light * Pole mounting adapter with handle * 57" side mount pole * Side mount brackets * Bottom pole cradle		1	\$4,389.00000 /EA
4	BOSS 8'-6" SUPER-DUTY To install a Boss 8'-6" Super-Duty steel straight blade snow plow on the 2022 Ford F-250 gas engine service body truck. Includes: * Standard Boss Super-Duty features * Full trip moldboard * SmartLight 3 LED headlight system * Cast-Iron plow shoes * SmartHitch 2 * Hand held controller		1	\$5,352.00000 /EA
5	OPTIONAL SNOW DEFLECTOR To include on the Boss Super-Duty snow plow the optional Boss rubber snow deflector.		1	\$305.00000 /EA
Total:				\$20,222.00
Tax				\$0.00
				\$20,222.00

By Michael J. Schaeffer

Accepted

Date

Thank you for the opportunity to submit this quote! Please note that a 30% deposit will be required for all non-stock orders unless an account has been previously established. Special order or non-returnable parts will require full payment at time of order. All sales of special order items are final and returns will not be accepted.



MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Chief Glen Dorney
DATE:	13 January 2022
SUBJECT:	Request to proceed with the purchase of Police Vehicles
COPY TO:	Randy Cope, Interim Township Manager

- **Background Information and/or Justification of Expense:**

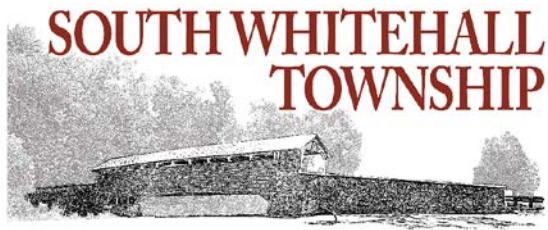
The Police Department requests the purchase of (3) new police vehicles to replace aging vehicles in the fleet. (1) of those vehicles will be a dedicated supervisor vehicle, which is a 2022 Ford F-150 Police Responder, marked and outfitted with emergency equipment. The CoStars price for this vehicle is \$53,811.36. The other (2) units requested are 2022 Police Interceptor Utility SUV's. The CoStars price for each of these marked units is \$48,071.42. All units will require additional radios, Mobile Data Terminals, speed timing devices, and In-Car Camera systems installed. The total cost for the project is \$217,112.20 which was budget for in the 2022 budget process.

- **Action Requested:**

Request a motion by the BOC to grant permission to proceed with the purchase of the listed vehicles and associated equipment to outfit each vehicle. Due to extended delivery times, the sooner we commit to the purchase of the vehicles and equipment, the shorter the wait time for delivery.

- **Budget Line Item (if applicable):** *Please indicate approved budget amount for specified project(s).*

30410003-40720



MEMORANDUM FOR AGENDA ITEMS

TO:	Board of Commissioners
FROM:	Chris Kiskeravage
DATE:	January 13, 2022
SUBJECT:	FM 50- Vehicle Replacement
COPY TO:	R. Cope, T. Fehnel

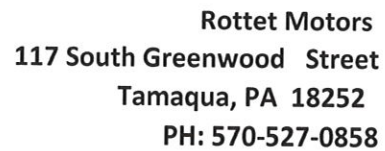
- **Background Information and/or Justification of Expense:**

We need to replace the Fire Marshals 2009 Ford Ranger that will not pass inspection this April with a 2022 Ford 150. The new truck will also provide more room for the equipment that is carried by the Fire Marshal (Quote attached \$43,975.46)

- **Action Requested:**

Approval to place the order for a 2022 Ford F-150 from Kovatch on the costar contract.

- **Budget Line Item (if applicable):**



To: South Whitehall Township (fire unit) 4444 Wilbert Ave. Allentown Pa. 18104	Date: 8/18/2021 Ro #
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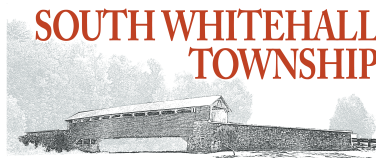
VIN#			
QTY	Description	Unit Price	Line Total
1	2022 F-150 4x4 Regular Cab Styleside 8' box 141" WB XL (F1E	\$31,718.71	\$31,718.71
	Rottets Costars Contract # 13 Vendor # 013-196		
1	Cenator Duo Package (include 54" DUO bar, HHS4206 Siren, SA315P Speaker/Mount)	\$2,142.50	\$2,142.50
1	Code 3 MicroDash Emitter	\$289.06	\$289.06
8	WHELEN ION T SERIES LOW PROFILE	\$137.63	\$1,101.04
4	Whelen Vertex LED Hideaway Flat Face front bumper and reverese lights	\$157.10	\$628.40
1	Havis #C-2410 24 inch Consolidator Console w/ Arm Rest & Cup Holder And Faceplates	\$898.75	\$898.75
1	Lettering	\$1,400.00	\$1,400.00
1	Auto Charger with auto eject.	\$1,335.00	\$1,335.00
1	cap with tool boxes lifting side panels Color matching	\$2,570.00	\$2,570.00
1	Set of three Led interior lights inside cap	\$390.00	\$390.00
1	1000 pound 70% Roll Out Tray	\$1,502.00	\$1,502.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
	Kovatch Costar Contract # 012-210 Vendor # 128287		\$0.00
			\$0.00
			\$0.00

Final Total	\$43,975.46
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Revision Date: 01/03/2020

Rottet Motors.
117 south Greenwood St.
Tamaqua, PA 18252 **Mail**
to Attn: Fleet Sales

320

**Agenda Item Details**

Meeting	Jan 19, 2022 - Board of Commissioners
Category	9. CORRESPONDENCE AND INFORMATION ITEMS
Subject	A. Boards and Commissions - Informational Items/Vacancies
Access	Public
Type	Information

Public Content**CURRENT VACANCIES ON BOARDS/COMMISSIONS:**

1. Civil Service Commission - 1 Alternate Vacancy
2. Landscape Shade Tree Commission - 2 Vacancies
3. Park & Recreation Board - 1 Vacancy
4. Planning Commission - 1 Vacancy
5. Zoning Hearing Board - 1 Alternate Vacancy

UPCOMING MEETINGS: Details posted on website.

Thursday, January 20th - Planning Commission Meeting, 7:30 p.m.

Monday, January 24th - Landscape and Shade Tree Commission, 10:00 a.m.

Monday, January 24th - Green Advisory Council, 6:00 p.m.

Wednesday, January 26th - Zoning Hearing Board, 7:00 p.m.

Administrative Content**Executive Content**

December	2021	2020	+/-	%	YTD 2021	YTD 2020	+/-	%
Reports	1101	998	103	10%	13690	11064	2626	24%
UCR	76	57	19	33%	879	858	21	2%
Arrests	26	26	0	0%	371	403	-32	-8%

Monthly	2021	2020	2019
Reports	1101	998	995
UCR	76	57	87
Arrests	26	26	26

+/- 2021 & 2019	%
106	11%
-11	-13%
0	0%

Year to Date	2021	2020	2019
Reports	13690	11064	12517
UCR	879	858	1232
Arrests	371	403	528

+/- 2021 & 2019	%
1173	9%
-353	-29%
-157	-30%

SOUTH WHITEHALL TOWNSHIP -- DEVELOPER PROJECTS SUMMARY January 13, 2022				
PROJECTS IN REVIEW STAGES (REVIEW INITIATED)				
PROJECT	OWNER/APPLICANT	LOCATION/ADDRESS	YEAR	REMARKS/STATUS
KRE – Spring View – Restaurant Land Development	KRE Group	Cetronia Road	2021	Waiver of Land Development
Nestle Purina Wastewater Treatment Upgrades	Nestle Purina PetCare Company	2050 Pope Road	2021	
Dorneyville Fast Casual Restaurant - Preliminary/Final Plan	Shree Mata 4365 LLC	3327 Hamilton Blvd	2021	
Dunkin' Allentown Drive-Thru	Allentown Towne Center	4793 Tilghman Street	2021	
Kratzer Elementary School	Parkland School District	2200 Huckleberry Road	2021	
Long's Water Technology	Carroll & Warrick, Inc.	1567 Hausman Road	2021	
Ridge Farms Final Phase 1A	Kay Builders	Cedar Crest Blvd. / Walbert Ave. / Huckleberry Rd	2021	January PC (1/20/2022)
1569 Blue Barn Road – Sketch Plan (36 Twins)	Posocco Properties	1569 Blue Barn Road	2020	
Blue Barn Road Subdivision	Jaindl Land Company	Blue Barn Road / Chapmans Road	2020	
Mosaic Campus – Sketch Plan	Joseph & Nouhad Moussa	2947 North Cedar Crest Blvd	2020	
4828 Huckleberry Rd – Rezoning Request (RR / NC to HC)	Theodore and Lynn Lopsonzski	4828 Huckleberry Road	2019	
Grandview Cemetery – Minor Subdivision and Rezoning	StoneMor PA LLC / PA Venture Capital, Inc.	2735 Walbert Ave.	2017	
St. George Orthodox Church Land Development – Sketch Plan	Applicant: St. George Church Owner: First Church of the Nazarene of Allentown	Cedar Crest Blvd. / Orefield Road	2016	
Ruhe Minor Subdivision – 3 SFD / 4 Lots	Robert H. Ruhe	2442 Huckleberry Road	2013	January PC (1/20/2022)

SOUTH WHITEHALL TOWNSHIP -- DEVELOPER PROJECTS SUMMARY January 13, 2022				
PROJECTS CONDITIONALLY APPROVED: CONSTRUCTION TO COMMENCE / PLANS TO BE RECORDED				
PROJECT	OWNER/APPLICANT	LOCATION/ADDRESS	YEAR	REMARKS/STATUS
3810 & 3830 Huckleberry	Michael Prokup	3810 & 3830 Huckleberry Road	2021	
4815 Crackersport Road - Building Addition	Triple Net Investments LXIV, LLC	4815 Crackersport Road	2021	
1420 North 22nd Street – Minor Subdivision	Nidal Karadsheh	1420 North 22nd Street	2020	
Cedarbrook Senior Care & Rehab – Skilled Nursing Addition	County of Lehigh	Cedarbrook Road / Dorney Park Road	2020	Preconstruction conference held 1/10/2022.
Luther Crest Retirement Community – Preliminary / Final Plan (76 Independent Living Apartments)	Luther Crest	800 Hausman Road	2020	
3926 Lime Kiln Road – Minor Subdivision	Anthony E. Hanna	3926 Lime Kiln Road	2020	
George Sam – Lot Line Adjustment	George Sam	2449 Walbert Avenue	2020	Mylars recorded.
Shia Ithna Asheri Jamaat of Pennsylvania – Major Plan	Shia Ithna Asheri Jamaat of Pennsylvania	1500 Ridgeview Avenue	2020	
1960 Harold Ave. – Preliminary / Final Plan (5 Townhouses)	Susan Pammer / Posocco Equities	1960 Harold Ave.	2019	Mylars recorded.
Parkland Manor Phase 4 Senior Living – Final Plan	PA Venture Capital, Inc.	4636 Crackersport Road	2019	
Village West Redevelopment (Panera Bread) – Waiver Request	Cedar Crest Associates, LP	3100 Tilghman Street	2019	Mylars recorded.
1215 Hausman Rd Proposed Flex Building – Preliminary / Final Plan	Forge Development Group	1215 Hausman Road	2018	
Dorney Park Project 2019 (Accessory Dwelling Unit)	Dorney Park & Wildwater Kingdom	3830 Dorney Park Road	2018	
Ridge Farms Preliminary Plan – 870 Units (Cumulative) + Retail / Comm. / MOB Dev.	Kay Builders	Cedar Crest Blvd. / Walbert Ave. / Huckleberry Rd	2017	Preliminary Plan Approved.
Hotel Hamilton (King George) – Preliminary / Final Plan	Hotel Hamilton LLC	Hamilton Blvd./Cedar Crest Blvd.	2015	
Pizzuto Minor Subdivision – 2 Lots	Jeffrey J. and Faith A. Pizzuto	2041 Church Road	2008	
Brickyard Road Minor Subdivision – 2 Lots	Glenn and Maribeth Stettler	1914 Brickyard Road	2007	Review on hold. Escrow to be re-established.

SOUTH WHITEHALL TOWNSHIP -- DEVELOPER PROJECTS SUMMARY January 13, 2022				
PROJECTS UNDER CONSTRUCTION				
PROJECT	OWNER/APPLICANT	LOCATION/ADDRESS	YEAR	REMARKS/STATUS
Parkway Manor Elementary School Student Drop-off Improvements	Parkland School District	768 Parkway Road	2021	Final Inspection held - 9/29/2021 - Outstanding Items
4741 Chapmans Road Flex Warehouse Facility – Revised Plan / Conditional Use	Griffin Industrial Realty	4741 Chapmans Road	2018	Under Construction.
AutoZone #6215	AutoZone / Phillip Pecord	4260 Tilghman St.	2018	Final inspection held 3/12/20 - start of Maintenance Period Pending Punchlist Completion.
Dollar General	Fonzone/Allentown (Walbert Ave.) DG, LLC	2032 / 2070 Walbert Ave.	2018	Under Construction.
Push and Pull Autobody Building Addition	Kevin and Donnie Holdings, LLC / Kevin Caffrey	4727 and 4749 Grammes Road	2018	Under Construction.
Blue Barn Estates – 4 SFD	Posocco Equities	1530 Blue Barn Road	2017	Under Construction.
Nestle Purina – Huckleberry Road – Drainage Improvements	Nestle Purina	Pope Road	2017	Final Inspection held 11/5/19 - start of Maintenance Period Pending Punchlist Completion.
Nestle Purina Permit 4 Expansion	Nestle Purina	Pope Road	2017	Final Inspection held 11/5/19 - start of Maintenance Period Pending Punchlist Completion.
Crackersport Road DC Warehouses (3)	Black Creek Group	5100 Crackersport Road	2017	Under Construction.
Hamilton Animal Care	Polaris Corner, LP	4570 West Tilghman St.	2016	Final Inspection held 10/5/18 - Maintenance Period starts 12/7/20 and ends 6/7/22.
Chabad Lubavitch Building Addition – Waiver Request	Chabad Lubavitch of the Lehigh Valley, Inc.	4457 Crackersport Road	2016	Pre-Construction Conference held 9/10/2021. Under Construction.
Liquor Control Board Building	Mariano Rentals	1027 Hausman Road	2016	Final Inspection held 12/8/17 - recommended start of Maintenance Period pending Twp/Sol approval.
KRE – Spring View – 450 Units, 3 Commercial Buildings	KRE Group	Cetronia Road	2013	Final Inspection held 10/7/20 - recommended start of Maintenance Period pending Twp/Sol approval.
Cetronia Ambulance Corps. – Joint Operations Facility	Owner: County of Lehigh Applicant: Cetronia Ambulance Corps.	Broadway / Parkway Road	2011	Final Maintenance Inspection held 1/17/20. Staff closing out project.
Rothrock Dealership Land Development	Bruce L. Rothrock	1610 & 1628 Plaza Lane	2011	Final Maintenance Inspection held 2/3/20. Staff closing out project.
Parkland Place – 15 SFD	Devonshire Properties, LLC.	Walnut St.	2006	Under Construction.
Ressler Acres Major Subdivision – 1 SFD / 14 Twins	Posocco Equities	5344 Chapmans Road	2006	Final inspection held 12/7/16 - start of Maintenance Period Pending Punchlist Completion.
Blue Barn Meadows – Stage 1 (91 of 207 Townhouses in SWT)	Posocco Properties	Blue Barn Road	2002	Under Construction.
Blue Barn Meadows – Stage 2 (47 of 207 Townhouses in SWT)	Posocco Equities	Blue Barn Road	2002	Under Construction.
Blue Barn Meadows – Stage 3 (Final Plan) (69 of 207 Townhouses in SWT)	Posocco Properties	Blue Barn Road	2002	Under Construction.

