

**TOWNSHIP OF SOUTH WHITEHALL
LEHIGH COUNTY, PENNSYLVANIA**

PLANNING COMMISSION

DECEMBER 16, 2021

SOUTH WHITEHALL MUNICIPAL BUILDING

A G E N D A

AGENDA ITEM #1 – CALL TO ORDER/PLEDGE OF ALLEGIANCE

AGENDA ITEM #2 - APPROVAL OF MINUTES

The minutes of the November 18, 2021 meetings (via email)

AGENDA ITEM #3 - COMPREHENSIVE PLAN UPDATE

AGENDA ITEM #4 – SUBDIVISION REVIEW

**A. DORNEYVILLE SHOPPING CENTER FAST CASUAL RESTAURANT
MAJOR PLAN 2021-107**

REQUEST FOR PRELIMINARY/FINAL PLAN REVIEW

1. Staff Presentation
2. Applicant Presentation
3. Courtesy of the Floor
4. Planning Commission Decision

B. LONG'S WATER TECHNOLOGY

MAJOR PLAN 2021-106

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**C. PROPOSED COMMERCIAL DEVELOPMENT 1810 PA ROUTE 309
MAJOR PLAN 2020-103**

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1. Staff Presentation
2. Applicant Presentation
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AGENDA ITEM #5 – TRANSPORTATION INFRASTRUCTURE UPDATE

AGENDA ITEM #6 – COMPREHENSIVE PLAN UPDATE

AGENDA ITEM #7 – ELECTION OF OFFICERS

AGENDA ITEM #8 – COURTESY OF THE FLOOR

AGENDA ITEM #9 – ADJOURNMENT

PROPOSED COMMERCIAL DEVELOPMENT 1810 PA ROUTE 309
MAJOR PLAN 2020-103
ATTACHMENTS

- 1. Memorandum**
- 2. Site Plan**
- 3. Township Engineer Review dated December 8, 2021**
- 4. Township Water and Sewer Engineer Review dated December 10, 2021**
- 5. Public Works Department Review dated December 8, 2021**
- 6. Community Development Department Review dated December 13, 2021**
- 7. Zoning Officer Review dated December 13, 2021**
- 8. Public Safety Commission Review dated December 7, 2021**
- 9. Landscape and Shade Tree Commission Review dated October 29, 2021**
- 10. Parks and Recreation Board Review dated September 15, 2020**
- 11. LANTA Review dated September 27, 2021**
- 12. Applicant's Correspondence:**
 - A. Project Narrative dated September 23, 2021**
 - B. Waiver Request Letter dated November 22, 2021**
 - C. Trip Generation Distribution Analysis Report dated November 22, 2021**

TO: PLANNING COMMISSION
FROM: GREGG ADAMS, PLANNER
**SUBJECT: PROPOSED COMMERCIAL DEVELOPMENT 1810 PA ROUTE 309
MAJOR PLAN 2020-103
REQUEST FOR PRELIMINARY/FINAL PLAN REVIEW**
DATE: DECEMBER 13, 2021
**COPIES: BOARD OF COMMISSIONERS, R. COPE, D. MANHARDT, L. HARRIER,
D. TETTEMER, L. PEREIRA, ESQ., APPLICANT, SUB. FILE 2020-103**

LOCATION AND INTENT:

An application to develop the property located at 1810 PA Route 309. The plan proposes the demolition of the existing structure and the construction of a 5,051 square foot convenience store with gas pumps (motor vehicle service facility) and a 60 space parking lot on the 4.056 acre parcel. The parcel is proposed to be served by public water and sewer and is zoned Highway Commercial HC. Landston Equities, LLC is the owner and applicant.

PREVIOUS TOWNSHIP CONSIDERATION:

At their November 22, 2021 hearing, the Zoning Hearing Board heard the Appeal of Landston Equities, LLC, seeking a Special Exception under Section 350-24(c)(13) the Zoning District Schedule for the HC District (Highway Commercial) which list Motor Vehicle Service Facilities as a Special Exception Use; and Section 350-48(m)(9) Motor Vehicle Service Facility Use Schedule for specific criteria for the Special Exception Use; and, Section 350-16(i)(1)-(12) the Special Exception criteria. The Applicant sought a Variance from Section 350-42(d)(4)(B)(i) for the driveway separation distance of 228 feet from PA Route 309, and 195 feet from Grammes Road, where a 300-foot separation distance is required from the intersection; and, the Applicant sought a Variance from Section 350-48(o)(2)(E)(iv)(a) to maintain a 25 feet paved area parking setback where a 50 feet paved parking area setback is required from the Ultimate Right-of-Way Line. The Special Exception approval was granted, the variance for the driveway separation was conditionally granted pending the final location as determined by PennDOT, and the variance for the parking setback was withdrawn. A written decision has not been issued at the time of this writing.

The Planning Commission, at their October 21, 2021 meeting, reviewed a Preliminary/Final Plan of Proposed Commercial Development 1810 PA Route 309 Major Plan 2020-103, proposing a Motor Vehicle Service Facility and a commercial building containing a Fast Food Restaurant and Retail space.

The Planning Commission, at their September 17, 2020 meeting, reviewed a Sketch Plan of 1810 PA Route 309 Convenience Store and Medical Office Major Plan 2020-103.

REVIEWING AGENCIES COMMENTS:

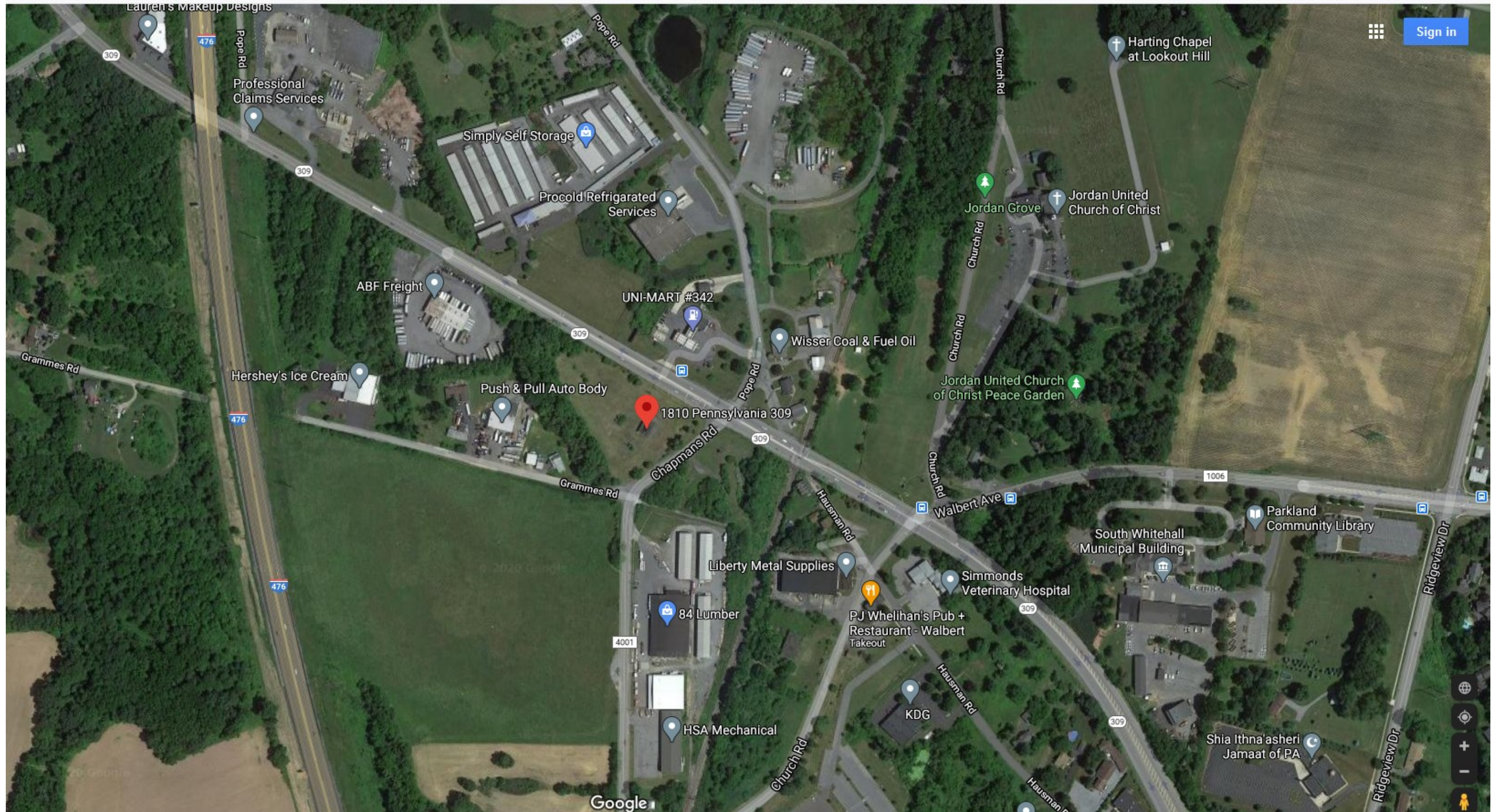
- A. **Township Engineer** – Mr. David Tetteimer’s comments are contained in his review dated December 8, 2021. Mr. Tetteimer is not recommending engineering approval at this time. His comments pertain to zoning issues, plan detail, right-of-way improvements, stormwater management, outside agency approvals, open space, stormwater management, and shade trees.
- B. **Township Water & Sewer Engineer** – Mr. Jason Newhard’s comments are contained in his review dated December 10, 2021. His comments pertain to extension of water and sewer service along Grammes Road, plan details and sewage facilities planning.
- C. **Public Works Department** – Public Works Manager Herb Bender’s comments are contained in his review dated December 8, 2021. His comments pertain to plan detail, stormwater management, and water utility issues.
- D. **Lehigh Valley Planning Commission** – The comments of the Lehigh Valley Planning Commission have not been received at the time of this writing.
- E. **Lehigh County Conservation District** – The comments of the Lehigh County Conservation District have not been received at the time of this writing.
- F. **Pennsylvania Department of Transportation** – The comments of the Pennsylvania Department of Transportation have not been received at the time of this writing.
- G. **Pennsylvania Department of Environmental Protection** - The applicant is to obtain approvals from the PA Department of Environmental Protection for wetland disturbance, NPDES Permits, and Sewage Facilities Planning Module Exemption.
- H. **Landscape and Shade Tree Commission** – The Landscape and Shade Commission reviewed the plan at their October 29, 2021 meeting and determined that shade trees shall be shown within the right-of-way of a public street or within a Shade Tree Easement.
- I. **Public Safety Committee** – The Public Safety Commission reviewed the plan at its December 6, 2021 meeting and recommended that the driveway separation distance comply with Township regulations.
- J. **Parks and Recreation Board** – At their September 14, 2020 meeting, the Parks and Recreation Board recommended that the developer pay fees in lieu of common open space land dedication to meet the open space and recreation requirements of Section 312-36(d)(4) of the Subdivision and Land Development Ordinance. For nonresidential developments a fee shall be Twenty-Five Cents (\$0.25) per square foot of additional impervious coverage (post-development impervious surface minus pre-development impervious surface) in lieu of the requirement for public dedication of land. The fee in lieu of Open Space dedication has been calculated to be \$16,800.00, based upon the Zoning Requirements block on Sheet C-301.

K. Community Development Department – The Department’s technical review is dated December 13, 2021 and provides comment pertaining to zoning issues, public safety, open space and recreation, water and sewer service, waiver and deferral commentary, legal and plan detail, and Official Map and Comprehensive Plan consistency.

COMMUNITY DEVELOPMENT DEPARTMENT RECOMMENDATION:

The Department recommends that the Planning Commission take the plan under advisement to afford the applicant the time necessary to address the reviewing agencies’ comments. Our recommendation is contingent upon the applicant granting the Township a waiver from the timeframe in which to act upon the plan, should the applicant not be able to present a plan before the Board of Commissioners at or before their February 2, 2022 meeting.

Planning Commission deadline date to act on the plan:	February 14, 2022
Board of Commissioners deadline date to act on the plan:	March 14, 2022



1810 PA ROUTE 309 CONVENIENCE STORE AND OFFICE MAJOR PLAN 2020-103

Location Map

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1810 PA ROUTE 309 CONVENIENCE STORE AND OFFICE MAJOR PLAN 2020-103



PENNSYLVANIA STATE HIGHWAY ROUTE 309
(VARIABLE WIDTH LEGAL R.O.W.)
(A.K.A. S.R. 0309; L.R. 39044)

EXISTING CONDITIONS & DEMOLITION NOTES

- REFER TO SHEET C-102 FOR GENERAL DEMOLITION NOTES
- REFER TO SHEET C-102 FOR SURVEY NOTES & REFERENCES, INCLUDING LIST OF TITLE EXCEPTIONS.
- REFER TO SHEET C-002 FOR SOIL LEGEND AND SOIL LIMITATIONS.

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	11/22/2021	PER TOWNSHIP COMMENT	WRS	JAB

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& 20211524524

FOR MUNICIPAL APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

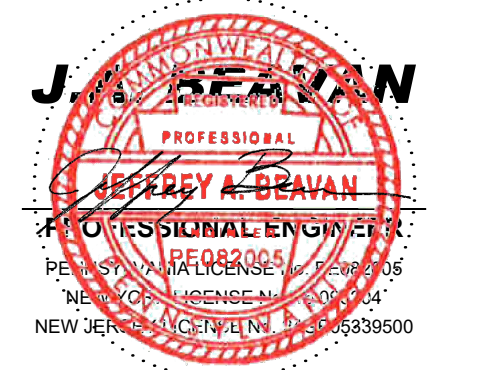
PROJECT No.: JAINDL LAND COMPANY
DRAWN BY: WRS
CHECKED BY: JAB
DATE: 09/23/2021
CAD ID: PY212092-LDVP-1A

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS FOR

JAINDL LAND COMPANY

PROPOSED COMMERCIAL DEVELOPMENT
1810 PA ROUTE 309
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY, PA

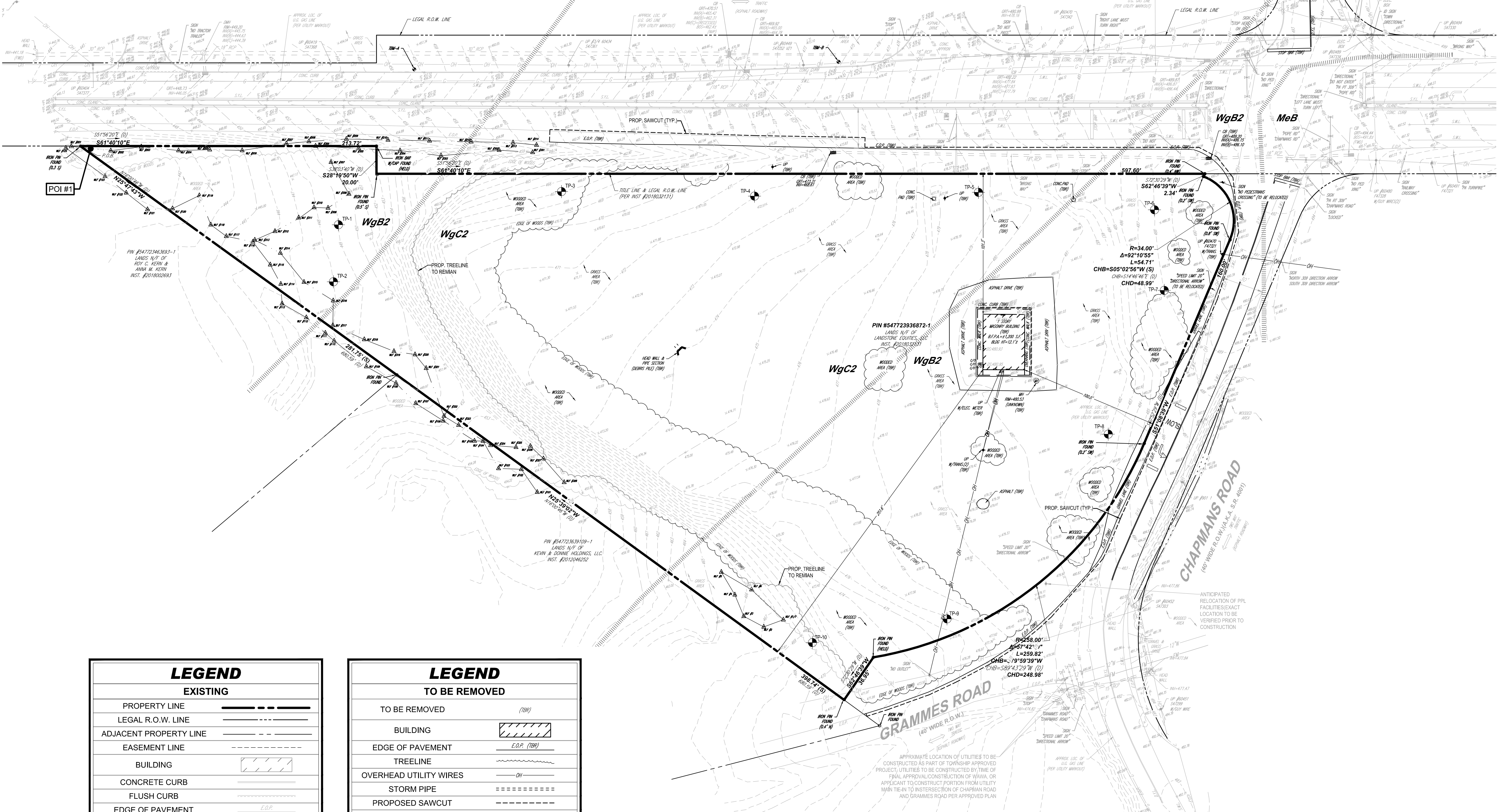
BOHLER
74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com



EXISTING CONDITIONS/ DEMOLITION PLAN

SHEET NUMBER:
C-201

REVISION 1 - 11/22/2021



LEGEND

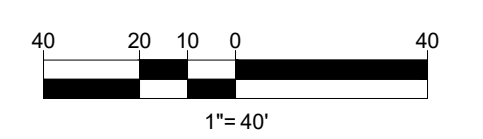
EXISTING

PROPERTY LINE	---
LEGAL R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
BUILDING	[Hatched Box]
CONCRETE CURB	[Dashed Line]
FLUSH CURB	[Dashed Line]
EDGE OF PAVEMENT	E.O.P. (TYP)
TREELINE	[Wavy Line]
PROP. TREELINE (AFTER CLEARING)	[Wavy Line]
PROPERTY PIN/MONUMENT	o
SIGN	-
DRAINAGE INLET	[Square]
STORM/SANITARY MANHOLE	[Circle]
WATER/GAS VALVES	[Square]
CLEANOUT	[Circle]
GAS METER, ELECTRIC METER	[Square]
UTILITY POLE	[Circle]
OVERHEAD UTILITY WIRES	[Line]
GAS LINE	[Line]
WATER LINE	[Line]
SANITARY SEWER	[Line]
STORM PIPE	[Line]
FLAGGED WETLANDS	[Wavy Line]
SOIL BOUNDARY & NAME	[Hatched Box] WgC2
CONTOUR ELEVATION MAJOR	- 540 -
SPOT ELEVATION	+ 512.27
TEST PIT LOCATION	TP-1

LEGEND

TO BE REMOVED

TO BE REMOVED	(TYP)
BUILDING	[Hatched Box]
EDGE OF PAVEMENT	E.O.P. (TYP)
TREELINE	[Wavy Line]
OVERHEAD UTILITY WIRES	[Line]
STORM PIPE	[Line]
PROPOSED SAWCUT	---
SIGN	-
DRAINAGE INLET	[Square]
STORM/SANITARY MANHOLE	[Circle]
UNKNOWN MANHOLE	[Circle]
WATER/GAS VALVES	[Square]
CLEANOUT	[Circle]
ELECTRIC METER	[Square]
UTILITY POLE	[Circle]
OVERHEAD UTILITY WIRES	[Line]

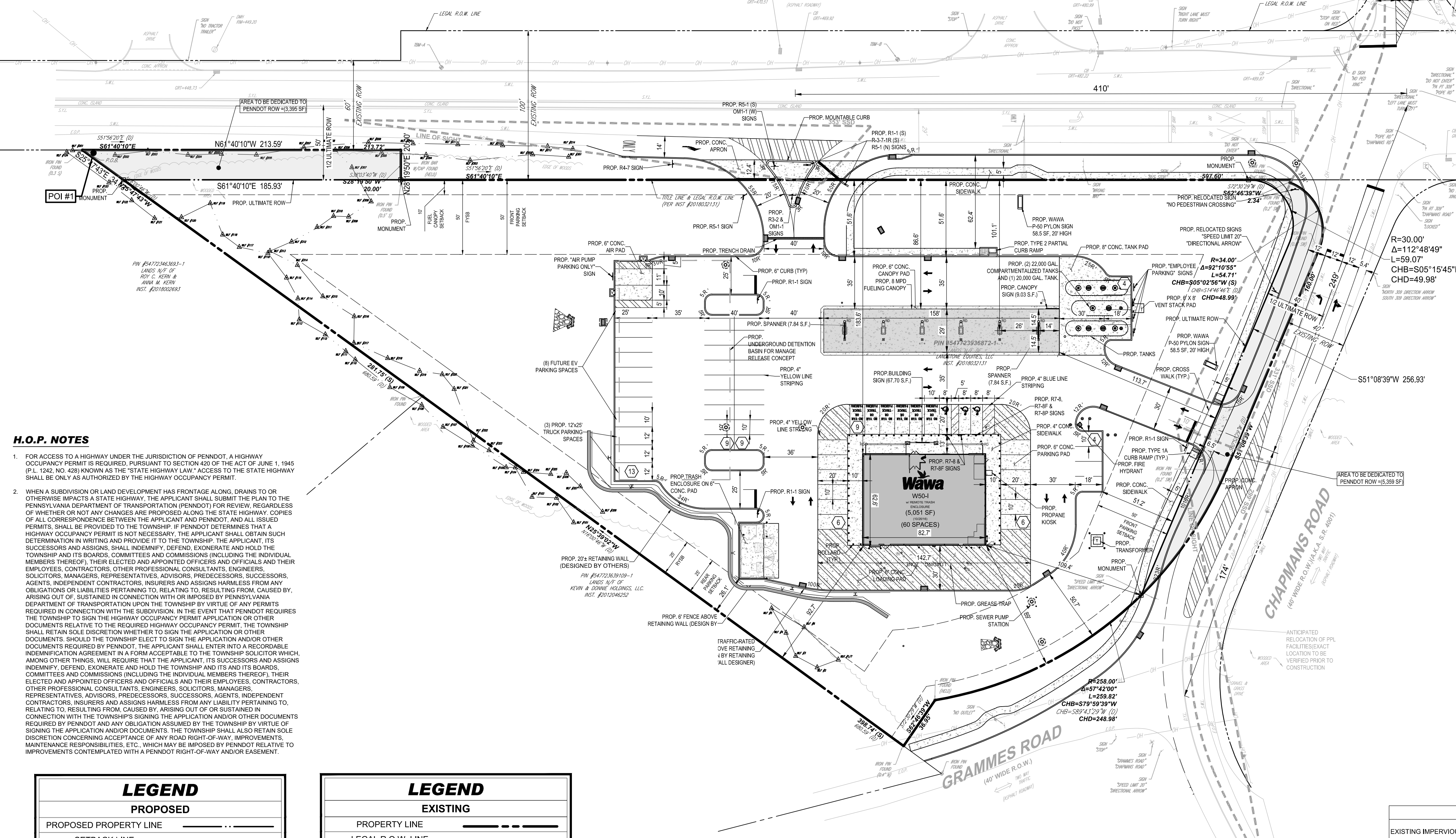


R:\21\1925\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\1925-1292-LDVP-1A-LAYOUT: C-201.DWG



PENNSYLVANIA STATE HIGHWAY ROUTE 309

(VARIABLE WIDTH LEGAL R.O.W.)
(A.K.A. S.R. 0309, L.R. 39044)



SITE SPECIFIC NOTES

- PROPERTY KNOWN AS PIN 54772393672-1, AS IDENTIFIED ON THE TAX MAPS OF SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, COMMONWEALTH OF PENNSYLVANIA.
- APPLICANT: JAINDL LAND COMPANY, 3150 COFFEETOWN RD, OREFIELD, PA, 18069-2511
- OWNER: LANDSTON EQUITIES, LLC, 3150 COFFEETOWN RD, OREFIELD, PA, 18069-2511
- EXISTING LOT AREA = 176,641 S.F. OR 4.06 AC. PROPOSED LOT AREA (AFTER RIGHT-OF-WAY DEDICATION) = 167,887 S.F. OR 3.85 AC.
- HORIZONTAL DATUM IS BASED ON PENNSYLVANIA STATE PLANE SOUTH COORDINATES, NAD 83. VERTICAL DATUM IS NAVD 1988, BENCHMARK: (REFER TO SURVEY NOTES & REFERENCES FOR BENCHMARK INFORMATION).
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN).
- SITE TO BE SERVED BY PUBLIC WATER AND SEWER.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- REFER TO SHEET C-102 FOR ADDITIONAL NOTES.

ZONING REQUIREMENTS

REQUIREMENTS TAKEN FROM: SOUTH WHITEHALL TOWNSHIP ZONING ORDINANCE, ADOPTED ON APRIL 5, 2017, LAST REVISED ON SEPTEMBER 1, 2020

ZONING: HC, HIGHWAY COMMERCIAL DISTRICT
EXISTING USE: VACANT (PRIOR FAST-FOOD RESTAURANT) - (PERMITTED BY RIGHT)
PROPOSED USE: MOTOR VEHICLE SERVICE FACILITY - (PERMITTED BY SPECIAL EXCEPTION)

SOUTH WHITEHALL TOWNSHIP BULK REQUIREMENTS			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	1.00 AC. (43,560 SF)	4.06 AC. (176,641 SF)	3.85 AC. (167,887 SF)
MINIMUM LOT FRONTAGE	200 FT.	511.5 FT.	NO CHANGE
MINIMUM BUILDING SETBACKS			
FRONT YARD (SR-309)	50 FT.	101.3 FT.	183.6 FT.
FRONT YARD (CHAPMANS RD.)	50 FT.	100.0 FT.	74.4 FT.
FRONT YARD (GRAMMES RD.)	50 FT.	251.6 FT.	108.4 FT.
REAR YARD	25 FT.	251.6 FT.	92.7 FT.
FUEL CANOPY SETBACK	10.0 FT.	N/A	86.6 FT.
MINIMUM PARKING SETBACKS			
FRONT YARD (SR-309) (> 8,000 SF PARKING AREA)	50 FT.	N/A	51.6 FT.
FRONT YARD (CHAPMANS RD) (> 8,000 SF PARKING AREA)	50 FT.	N/A	51.2 FT.
FRONT YARD (GRAMMES RD) (> 8,000 SF PARKING AREA)	50 FT.	N/A	50.7 FT.
REAR YARD (> 8,000 SF PARKING AREA)	25 FT.	N/A	26.1 FT.
MAXIMUM LOT COVERAGE	75%	5,932 SF. (3.4%)	73,132 SF. (43.6%)
MAXIMUM BUILDING COVERAGE	NONE	1,200 SF. (0.7%)	5,051 SF. (3.0%) (1-STORY, NO BASEMENT)
MAXIMUM HEIGHT OF STRUCTURE	35 FT.	12.1 FT. BUILDING	PROPOSED BUILDING = < 35.0 FT. PROPOSED CANOPY = < 35.0 FT.

PARKING REQUIREMENTS

PARKING REQUIREMENTS:
MOTOR VEHICLE SERVICE FACILITY: 1 SPACE PER 100 S.F. GFA AND 1 SPACE PER EMPLOYEE ON THE LARGEST SHIF.
TOTAL REQUIRED = 60 PARKING SPACES

TOTAL PROPOSED = 60 PARKING SPACES

LOADING REQUIREMENTS

LOADING REQUIREMENTS:
MOTOR VEHICLE SERVICE FACILITY: 1 LARGE OFF-STREET LOADING ZONE
REQUIRED = 1 MOTOR VEHICLE SERVICE FACILITY: 1 LARGE OFF-STREET LOADING ZONE

PROPOSED = 1 MOTOR VEHICLE SERVICE FACILITY: 1 LARGE OFF-STREET LOADING ZONE

EXISTING IMPERVIOUS AREA	PROPOSED IMPERVIOUS AREA	NET CHANGE IN IMPERVIOUS AREA	FEE RATE	TOTAL FEE
5,932 SF	73,132 SF	73,132 SF	\$0.25/SF	\$18,283.00

RECORD NOTES

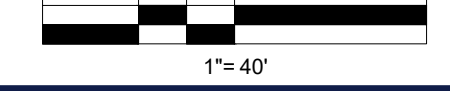
- THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP ENGINEER. THE TOWNSHIP ENGINEER AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS. COMMISSIONS BY THE APPLICANT (AND/OR LAND OWNERS) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE, DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEFINITION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR.
- NOTWITHSTANDING ANY PROVISIONS OF THE TOWNSHIP STORMWATER MANAGEMENT PLAN, INCLUDING EXEMPTION AND WAIVER PROVISIONS, ANY LANDOWNER AND ANY PERSON ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND WHICH MAY AFFECT STORMWATER RUNOFF CHARACTERISTICS SHALL IMPLEMENT SUCH MEASURES AS ARE REASONABLY NECESSARY TO PREVENT INJURY TO HEALTH, SAFETY OR OTHER PROPERTY. SUCH MEASURES SHALL INCLUDE SUCH ACTIONS AS ARE REQUIRED TO MANAGE THE RATE, VOLUME, DIRECTION AND QUALITY OF RESULTING STORMWATER RUNOFF IN A MANNER WHICH OTHERWISE ADEQUATELY PROTECTS HEALTH AND PROPERTY FROM INJURY AND DAMAGE.
- MUNICIPALITY REVIEW AND APPROVAL OF THE DRAINAGE PLAN, OR THE SUBSEQUENT OBSERVATION AND APPROVAL OF STORMWATER MANAGEMENT FACILITIES, SHALL NOT CONSTITUTE LAND DEVELOPMENT ON BEHALF OF OR BY THE MUNICIPALITY OR OTHERWISE CAUSE THE MUNICIPALITY TO BE ENGAGED IN THE ALTERATION OR DEVELOPMENT OF LAND, BY SUBMITTING AN APPLICATION UNDER THE TOWNSHIP STORMWATER MANAGEMENT PLAN, THE DEVELOPER HEREBY AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE MUNICIPALITY AND ALL ITS REPRESENTATIVES, SERVANTS, EMPLOYEES, OFFICIALS AND CONSULTANTS OF AND FROM ANY AND ALL CLAIMS, DEMANDS, CAUSES OF ACTION OR SUITS WHICH ARISE OUT OF OR RELATE TO THE REVIEW, APPROVAL, CONSTRUCTION OR OBSERVATION OF THE DEVELOPER'S DRAINAGE PLAN AND STORMWATER MANAGEMENT FACILITIES.

ONE-CALL NOTE

- THE APPLICANT IS RESPONSIBLE FOR JOINING THE PA ONE CALL SYSTEM AND IS RESPONSIBLE FOR THE MARKING OF ALL UNDERGROUND UTILITIES PRIOR TO THE UTILITIES BEING FORMALLY ACCEPTED BY AND DEDICATED TO THE TOWNSHIP.

SIGNAGE NOTE

- ALL PROPOSED SIGNAGE SHALL BE SUBMITTED UNDER SEPARATE COVER



H.O.P. NOTES

- FOR ACCESS TO A HIGHWAY UNDER THE JURISDICTION OF PENNDOT, A HIGHWAY OCCUPANCY PERMIT IS REQUIRED. PURSUANT TO SECTION 402 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428) KNOWN AS THE "STATE HIGHWAY LAW", ACCESS TO THE STATE HIGHWAY SHALL BE ONLY AS AUTHORIZED BY THE HIGHWAY OCCUPANCY PERMIT.
- WHEN A SUBDIVISION OR LAND DEVELOPMENT HAS FRONTAGE ALONG DRAINS TO OR OTHERWISE IMPACTS A STATE HIGHWAY, THE APPLICANT SHALL SUBMIT THE PLAN TO THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) FOR REVIEW, REGARDLESS OF WHETHER OR NOT ANY CHANGES ARE PROPOSED ALONG THE STATE HIGHWAY. COPIES OF ALL CORRESPONDENCE BETWEEN THE APPLICANT AND PENNDOT, AND ALL ISSUED PERMITS, SHALL BE PROVIDED TO THE TOWNSHIP. IF PENNDOT DETERMINES THAT A HIGHWAY OCCUPANCY PERMIT IS NOT NECESSARY, THE APPLICANT SHALL OBTAIN SUCH DETERMINATION IN WRITING AND PROVIDE IT TO THE TOWNSHIP. THE APPLICANT, ITS SUCCESSORS AND ASSIGNS, SHALL INDEMNIFY, DEFEND, EXONERATE AND HOLD THE TOWNSHIP AND ITS BOARDS, COMMITTEES AND COMMISSIONS (INCLUDING THE INDIVIDUAL MEMBERS THEREOF), THEIR ELECTED AND APPOINTED OFFICERS AND OFFICIALS AND THEIR EMPLOYEES, CONTRACTORS, OTHER PROFESSIONAL CONSULTANTS, ENGINEERS, SOLICITORS, MANAGERS, REPRESENTATIVES, ADVISORS, PREDECESSORS, SUCCESSORS, AGENTS, INDEPENDENT CONTRACTORS, INSURERS AND ASSIGNS HARMLESS FROM ANY OBLIGATIONS OR LIABILITIES PERTAINING TO, RELATING TO, RESULTING FROM, CAUSED BY, ARISING OUT OF, SUSTAINED IN CONNECTION WITH OR IMPOSED BY PENNSYLVANIA DEPARTMENT OF TRANSPORTATION UPON THE TOWNSHIP BY VIRTUE OF ANY PERMITS REQUIRED IN CONNECTION WITH THE SUBDIVISION. IN THE EVENT THAT PENNDOT REQUIRES THE TOWNSHIP TO SIGN THE HIGHWAY OCCUPANCY PERMIT APPLICATION OR OTHER DOCUMENTS RELATIVE TO THE REQUIRED HIGHWAY OCCUPANCY PERMIT, THE TOWNSHIP SHALL RETAIN SOLE DISCRETION WHETHER TO SIGN THE APPLICATION OR OTHER DOCUMENTS. SHOULD THE TOWNSHIP ELECT TO SIGN THE APPLICATION AND/OR OTHER DOCUMENTS REQUIRED BY PENNDOT, THE APPLICANT SHALL ENTER INTO A RECORDABLE INDEMNIFICATION AGREEMENT IN A FORM ACCEPTABLE TO THE TOWNSHIP SOLICITOR WHICH, AMONG OTHER THINGS, WILL REQUIRE THAT THE APPLICANT, ITS SUCCESSORS AND ASSIGNS INDEMNIFY, DEFEND, EXONERATE AND HOLD THE TOWNSHIP AND ITS BOARDS, COMMITTEES AND COMMISSIONS (INCLUDING THE INDIVIDUAL MEMBERS THEREOF), THEIR ELECTED AND APPOINTED OFFICERS AND OFFICIALS AND THEIR EMPLOYEES, CONTRACTORS, OTHER PROFESSIONAL CONSULTANTS, ENGINEERS, SOLICITORS, MANAGERS, REPRESENTATIVES, ADVISORS, PREDECESSORS, SUCCESSORS, AGENTS, INDEPENDENT CONTRACTORS, INSURERS AND ASSIGNS HARMLESS FROM ANY OBLIGATIONS OR LIABILITIES PERTAINING TO, RELATING TO, RESULTING FROM, CAUSED BY, ARISING OUT OF, SUSTAINED IN CONNECTION WITH THE TOWNSHIP'S SIGNING THE APPLICATION AND/OR OTHER DOCUMENTS REQUIRED BY PENNDOT AND ANY OBLIGATION ASSUMED BY THE TOWNSHIP BY VIRTUE OF SIGNING THE APPLICATION AND/OR DOCUMENTS. THE TOWNSHIP SHALL ALSO RETAIN SOLE DISCRETION CONCERNING ACCEPTANCE OF ANY ROAD RIGHT-OF-WAY, IMPROVEMENTS, MAINTENANCE RESPONSIBILITIES, ETC., WHICH MAY BE IMPOSED BY PENNDOT RELATIVE TO IMPROVEMENTS CONTEMPLATED WITH A PENNDOT RIGHT-OF-WAY AND/OR EASEMENT.

PROPOSED PROPERTY LINE	---
SETBACK LINE	---
BUILDING	[Solid Grey Box]
RETAINING WALL	[Hatched Box]
CONCRETE CURB	[Dashed Line]
FLUSH CURB	[Dotted Line]
TREE LINE	[Wavy Line]
CROSSWALK	[Dashed Line]
SIDEWALK	[Dotted Line]
RAMP	[Trapezoid]
SIGN	[Triangle]
BOLLARD	[Circle]
PARKING COUNT	[Circle with 10]
AREA LIGHT	[Square]
DRAINAGE INLET	[Square]
MANHOLE	[Circle]
FENCE	[X]
GUIDERAIL	[Line]
WATER VALVE	[Circle]
CLEANOUT	[Circle]
ROOF DRAIN	[Circle]
PROPERTY MONUMENT	[Square]

PROPERTY LINE	---
LEGAL R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
BUILDING	[Solid Grey Box]
CONCRETE CURB	[Dashed Line]
FLUSH CURB	[Dotted Line]
EDGE OF PAVEMENT	[Dotted Line]
TREELINE	[Wavy Line]
PROPERTY PIN/MONUMENT	[Circle]
SIGN	[Triangle]
DRAINAGE INLET	[Square]
STORMS/SANITARY MANHOLE	[Circle]
WATER/GAS VALVES	[Circle]
CLEANOUT	[Circle]
GAS METER, ELECTRIC METER	[Square]
UTILITY POLE	[Circle]
OVERHEAD UTILITY WIRES	[Line]
FLAGGED WETLANDS	[Wavy Line]

SPECIAL EXCEPTION REQUIREMENTS

A SPECIAL EXCEPTION UNDER SECTION 350-48.9 E FOR A MOTOR VEHICLE SERVICE STATION. THE SPECIFIC REQUIREMENTS FOR A MOTOR VEHICLE SERVICE STATION ARE SET FORTH IN SECTION 350-48.9 E. NOT ALL OF THOSE REQUIREMENTS ARE MET. NO GASOLINE OR PUMP OR DISPENSING FACILITIES ARE WITHIN 50' OF A PROPERTY LINE. NO VEHICULAR ENTRANCE IS CLOSER THAN 500' FROM A SCHOOL, LIBRARY, OR HOSPITAL. THE NEAREST OPERATING GASOLINE SERVICE STATION IS APPROXIMATELY 100' FROM THIS LOCATION. FINALLY, WAWA WILL HAVE AN ATTENDANT OR SUPERVISOR ON DUTY WHEN ITS GASOLINE SERVICES ARE OPEN FOR BUSINESS, AND IT WILL RECEIVE THE APPROPRIATE PERMIT UNDER THE COMBUSTIBLE AND FLAMMABLE LIQUIDS ACT.

- § 350-48 USE SCHEDULES
- (b) 350-48.9(M) MOTOR VEHICLE SERVICE FACILITY:
- (E) ADDITIONAL REGULATIONS: WHERE SO NOTED IN SUBSECTION (m)(9)(C) ABOVE, A MOTOR VEHICLE SERVICE FACILITY SHALL BE PERMITTED BY SPECIAL EXCEPTION SUBJECT TO THE FOLLOWING MINIMUM STANDARDS AND CRITERIA, IN ADDITION TO THOSE SET FORTH IN § 350-41(D):
- ADDITIONAL PARKING. IN ADDITION, THE SITE FOR MECHANIZED COMMERCIAL CAR WASHES SHALL PROVIDE FOR STACKING OF AT LEAST SIX VEHICLES PER BAY, PLUS REQUIRED EMPLOYEE PARKING, AND AN ADDITIONAL THREE DRYING SPACES PER BAY. (NOT APPLICABLE)
 - FUEL DISPENSING EQUIPMENT SHALL BE LOCATED NO CLOSER THAN 25 FEET TO THE REQUIRED ULTIMATE RIGHT-OF-WAY LINE. (SETBACK OF 101.1 FEET PROVIDED FOR FUEL DISPENSING EQUIPMENT)
 - OVERHEAD CANOPIES PROVIDING PROTECTION FOR THE FUEL DISPENSING EQUIPMENT AND MOTORISTS SHALL BE LOCATED NO CLOSER THAN 10 FEET TO THE REQUIRED ULTIMATE RIGHT-OF-WAY LINE. (SETBACK OF 86.6 FEET PROVIDED FOR FUEL SERVICE CANOPIES)
 - THE ENTIRE AREA OF THE SITE FOR THE TRAVEL OR PARKING OF MOTOR VEHICLES SHALL BE PAVED. (TRAVEL/PARKING AREAS OF MOTOR VEHICLES WILL BE PAVED)
 - SERVICING OF MOTOR VEHICLES, EXCEPT FOR THOSE SERVICES PERFORMED BY CUSTOMERS, SHALL BE PERFORMED IN A FULLY ENCLOSED BUILDING. NO MOTOR VEHICLE PARTS SHALL BE STORED OUTDOORS. (NOT APPLICABLE)
 - NO MOTOR VEHICLE SERVICE FACILITIES SHALL BE LOCATED WITHIN FIVE HUNDRED (500) FEET OF ANY ELEMENTARY OR SECONDARY SCHOOL, LIBRARY, HOSPITAL (COLLECTIVELY, "PUBLIC USE"). NO MOTOR VEHICLE SERVICE FACILITY THAT ENGAGES IN THE SALE OR DISPENSING OF LIQUID OR GASEOUS MOTOR VEHICLE FUEL TO THE GENERAL PUBLIC SHALL BE LOCATED WITHIN FIFTY HUNDRED FEET (1,500) OF ANOTHER FACILITY THAT ENGAGES IN THE SALE OR DISPENSING OF LIQUID OR GASEOUS MOTOR VEHICLE FUEL TO THE GENERAL PUBLIC. SAID DISTANCE SHALL BE MEASURED IN A STRAIGHT LINE BETWEEN THE CLOSEST LOT LINES OF THE PROPOSED USE AND, AS APPLICABLE, THE PUBLIC USE OR OTHER FACILITY THAT ENGAGES IN THE SALE OR DISPENSING OF LIQUID OR GASEOUS MOTOR VEHICLE FUEL TO THE GENERAL PUBLIC. EXCEPTION: ONE MOTOR VEHICLE SERVICE FACILITY MAY BE LOCATED WITHIN 1,500 FEET OF NO MORE THAN ONE OTHER SUCH FACILITY UNDER THE FOLLOWING CONDITIONS:
 - THAT THE TWO SUCH FACILITIES ARE SEPARATED BY A PUBLIC ROAD; AND
 - WHEN LOCATED AT THE INTERSECTION OF TWO PUBLIC ROADS, ARE SEPARATED BY THE PUBLIC ROAD OF THE HIGHER STREET CLASSIFICATION.
 - RENTAL OR SALE OF ANY KIND OF VEHICLE IS PROHIBITED. (NOT APPLICABLE)
 - NO VEHICLES SHALL BE PERMITTED TO BE STANDING OR PARKED ON THE PREMISES FOR MORE THAN 15 DAYS OTHER THAN THOSE USED BY THE EMPLOYEES IN DIRECT OR INDIRECT OPERATION OF THE ESTABLISHMENT AND VEHICLES FOR RENTAL, SALE OR BEING REPAIRED WHEN PERMITTED BY OTHER SECTIONS OF THIS CHAPTER. ANY OUTDOOR STORAGE AREA SHALL BE WHOLLY SCREENED FROM THE STREET AND FROM ADJOINING LOTS IN ACCORDANCE WITH § 350-42(B). (NOT APPLICABLE)



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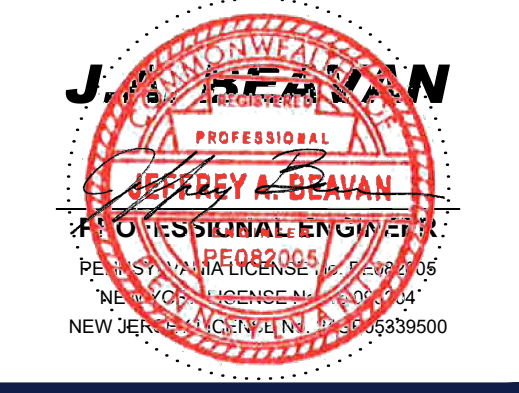
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CAD ID.: PY21092-LDVP-1A

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JAINDL LAND COMPANY

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LEHIGH COUNTY, PA

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SHEET TITLE:

SITE PLAN

SHEET NUMBER:
C-301

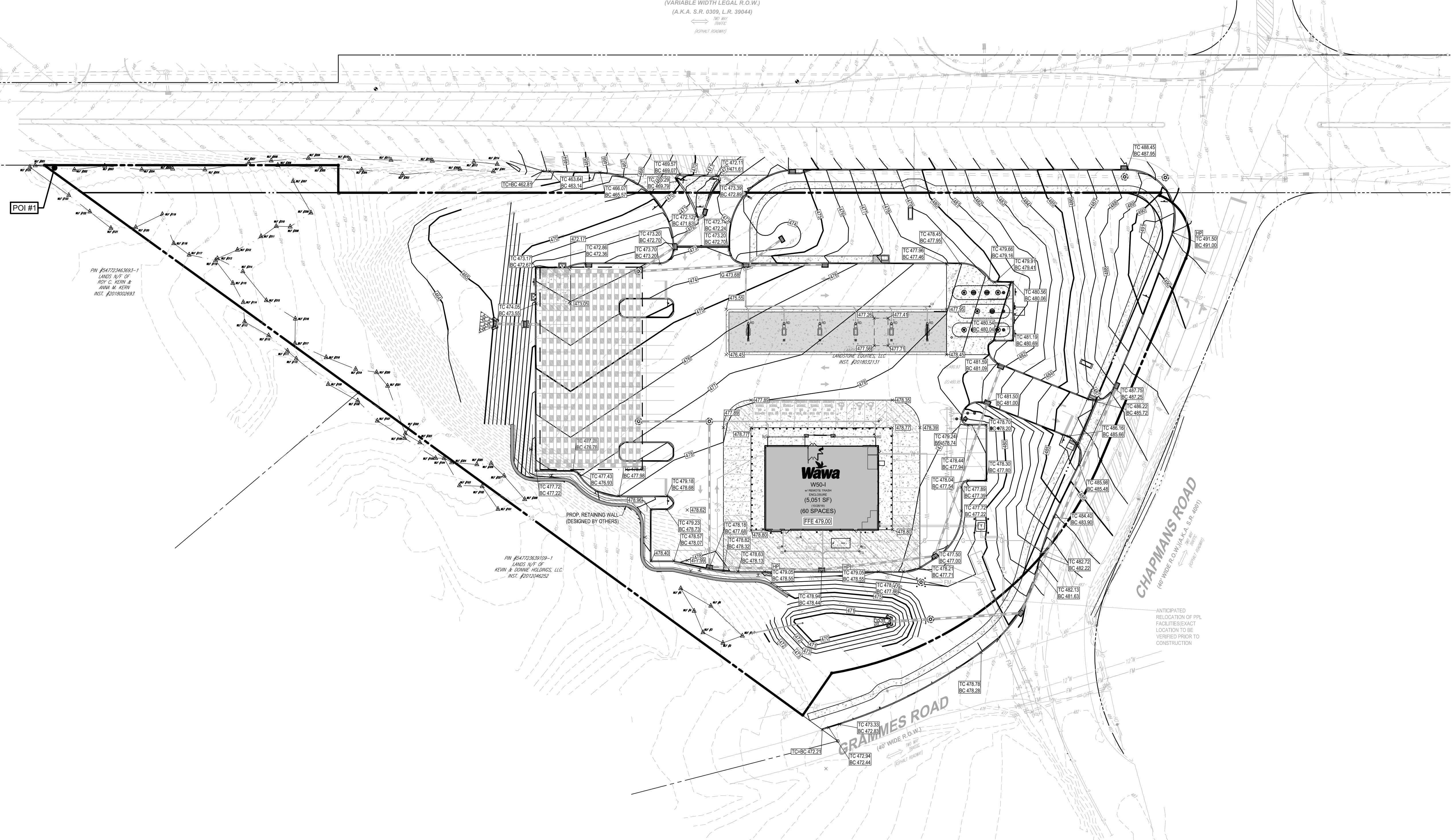
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PENNSYLVANIA STATE HIGHWAY ROUTE 309

(VARIABLE WIDTH LEGAL R.O.W.)
(A.K.A. S.R. 0309, L.R. 39044)
(R.O.W. 100 FT)
(R.O.W. 100 FT)

POI #1



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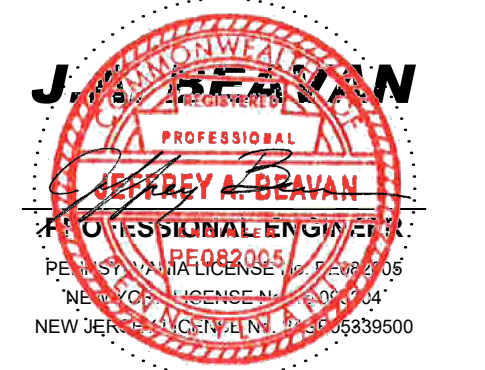
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LEHIGH COUNTY, PA

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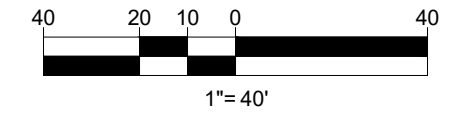
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GRADING PLAN

SHEET NUMBER:

C-401

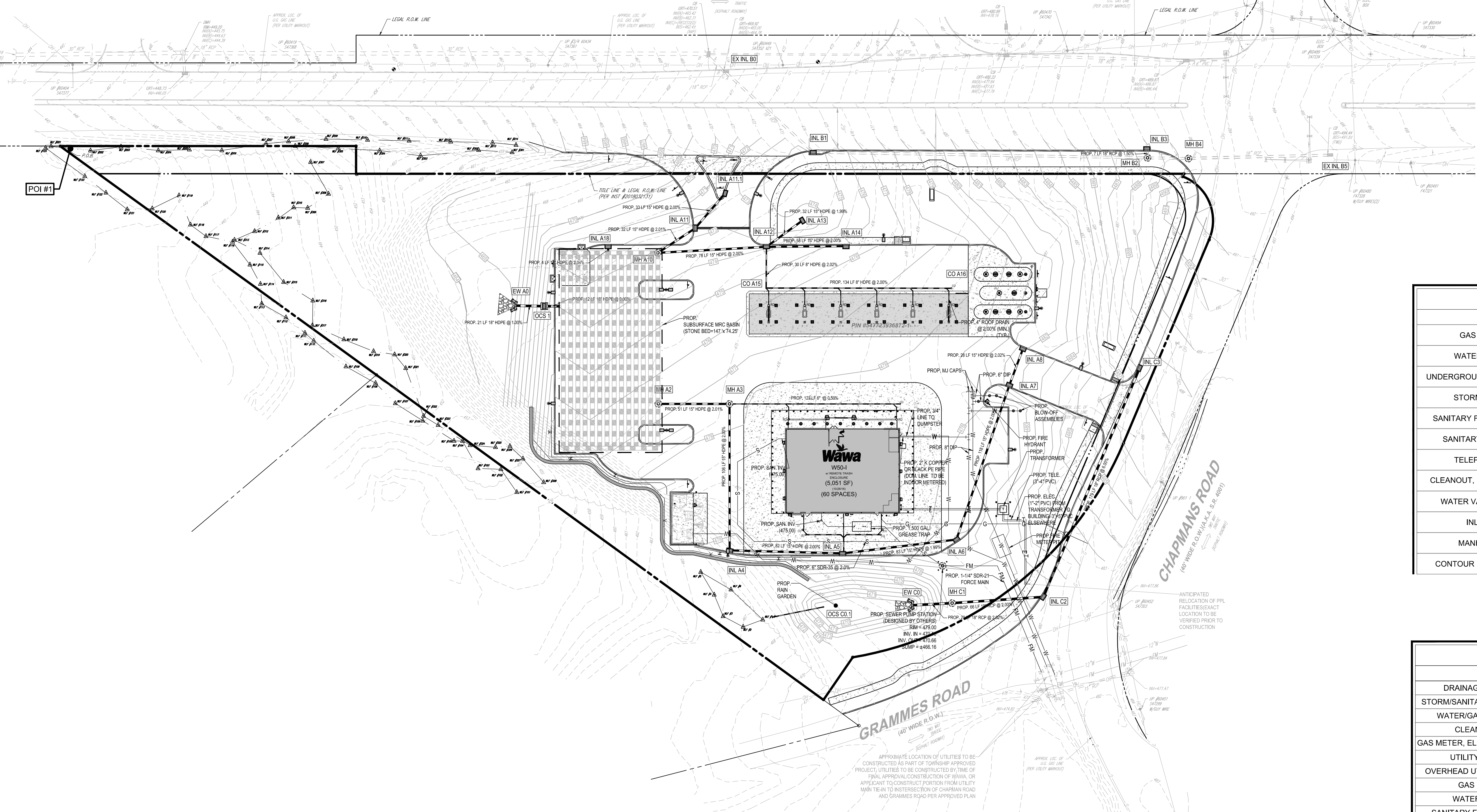
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PENNSYLVANIA STATE HIGHWAY ROUTE 309
(VARIABLE WIDTH LEGAL R.O.W.)
(A.K.A. S.R. 0309, L.R. 39044)



LEGEND		
PROPOSED		
GAS LINE	G	G
WATER LINE	W	W
UNDERGROUND ELECTRIC	E	E
STORM PIPE	---	---
SANITARY FORCE MAIN	FM	FM
SANITARY SEWER	S	S
TELEPHONE	T	T
CLEANOUT, ROOF DRAIN	⊕	⊕
WATER VALVE BOX	•	•
INLET	■	■
MANHOLE	⊙	⊙
CONTOUR ELEVATION	---	---

LEGEND		
EXISTING		
DRAINAGE INLET	■	■
STORM/SANITARY MANHOLE	⊙	⊙
WATER/GAS VALVES	⊕	⊕
CLEANOUT	⊕	⊕
GAS METER, ELECTRIC METER	⊕	⊕
UTILITY POLE	⊕	⊕
OVERHEAD UTILITY WIRES	---	---
GAS LINE	G	G
WATER LINE	W	W
SANITARY FORCE MAIN	FM	FM
STORM PIPE	---	---
FLAGGED WETLANDS	~	~
CONTOUR ELEVATION	---	---
TEST PIT LOCATION	⊕	⊕

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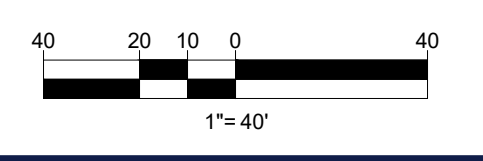
SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

C-501

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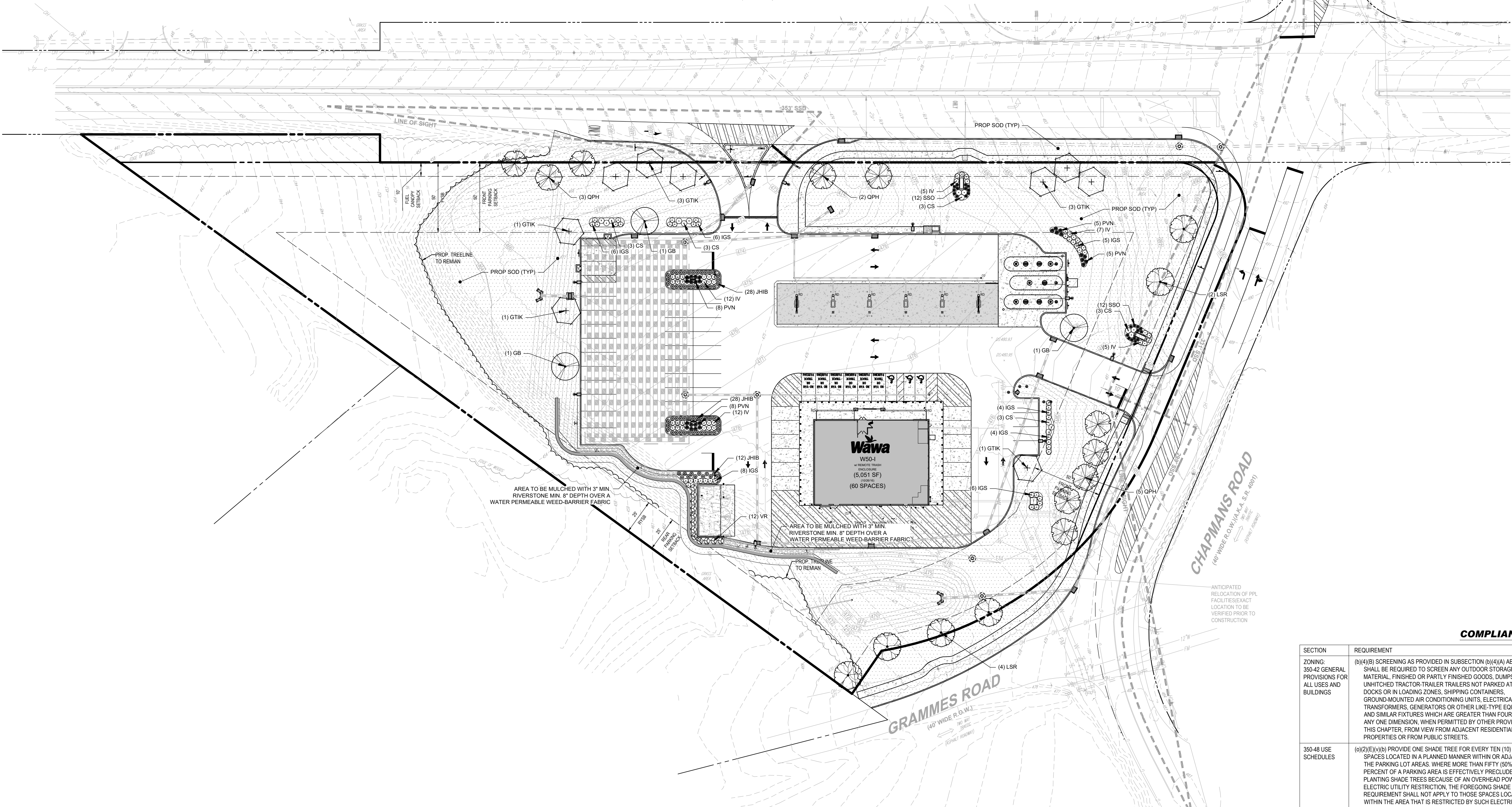


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PENNSYLVANIA STATE HIGHWAY ROUTE 309

(VARIABLE WIDTH LEGAL R.O.W.)
(A.K.A. S.R. 0309, L.R. 39044)
40' 35' 30'



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PROJECT:
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FOR

JAINDL LAND COMPANY

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SHEET TITLE:
LANDSCAPE PLAN

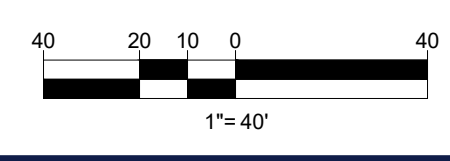
SHEET NUMBER:
C-701

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- ### GENERAL NOTES:
- THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
 - ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS SOODED LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2.C, UNLESS OTHERWISE STATED ON THIS PLAN.
 - CONTRACTOR TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN AND BED AREAS. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT.
 - ALL LANDSCAPE BEDS THAT ARE NOT ASSOCIATED WITH A STORMWATER FACILITY ARE TO BE INSTALLED WITH WEED BARRIER FABRIC (SEE DETAIL).
 - WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE USED AT THE BOTTOM OR SIDE SLOPES OF STORMWATER BMP FACILITIES.
 - SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF FIVE FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
 - WHEN APPLICABLE, CENTER OF PROPOSED ORNAMENTAL OR EVERGREEN TREE SHALL BE OFFSET 6' FROM THE BACK OF RETAINING WALLS (11' FOR SHADE TREES) TO PREVENT WALL FAILURE. FINAL PLANTING LOCATIONS SHALL BE COORDINATED WITH THE WALL DESIGNER.

SECTION	REQUIREMENT	CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANCE
ZONING PROVISIONS FOR ALL USES AND BUILDINGS	(B)(4)(B) SCREENING AS PROVIDED IN SUBSECTION (B)(4)(A) ABOVE SHALL BE REQUIRED TO SCREEN ANY OUTDOOR STORAGE OF MATERIAL, FINISHED OR PARTLY FINISHED GOODS, DUMPSTERS, UNLIT TRACTOR-TRAILER TRAILERS NOT PARKED AT LOADING DOCKS OR UNLOADING ZONES, SHIPPING CONTAINERS, GROUND-MOUNTED AIR CONDITIONING UNITS, ELECTRICAL TRANSFORMERS, GENERATORS OR OTHER LIKE-TYPE EQUIPMENT AND SIMILAR FIXTURES WHICH ARE GREATER THAN FOUR FEET IN ANY ONE DIMENSION, WHEN PERMITTED BY OTHER PROVISIONS OF THIS CHAPTER, FROM VIEW FROM ADJACENT RESIDENTIAL PROPERTIES OR FROM PUBLIC STREETS.	EVERGREEN SHRUBS HAVE BEEN PROVIDED AROUND DUMPSTERS AND ELECTRICAL TRANSFORMERS	COMPLIES
350-48 USE SCHEDULES	(0)(2)(E)(V)(b) PROVIDE ONE SHADE TREE FOR EVERY TEN (10) PARKING SPACES LOCATED IN A PLANNED MANNER WITHIN OR ADJACENT TO THE PARKING LOT AREAS, WHERE MORE THAN FIFTY (50%) PERCENT OF A PARKING AREA IS EFFECTIVELY PRECLUDED FROM PLANTING SHADE TREES BECAUSE OF AN OVERHEAD POWER LINE ELECTRIC UTILITY RESTRICTION. THE FOREGOING SHADE TREE REQUIREMENT SHALL NOT APPLY TO THOSE SPACES LOCATED WITHIN THE AREA THAT IS RESTRICTED BY SUCH ELECTRIC UTILITY REQUIREMENT. PROVIDED HOWEVER, THAT SUBSTITUTE PLANTINGS AS MAY BE DEEMED TO BE APPROPRIATE BY THE TOWNSHIP MAY BE REQUIRED TO THE EXTENT THEY ARE NOT IN CONFLICT WITH THE UTILITY RESTRICTION. THE TOWNSHIP SHALL HAVE THE RIGHT TO CONFIRM SPECIFIC LANDSCAPING RESTRICTIONS WITH THE UTILITY COMPANY.	TOTAL PARKING SPACES = 60 REQUIRED: 60 / 10 = 6 SHADE TREES PROVIDED: 3 GB, 3 GTK @ (6 SHADE TREES)	COMPLIES
	(0)(2)(E)(V)(G) THE AREA BETWEEN THE PARKING AREA AND A PUBLIC STREET SHALL BE LANDSCAPED TO INCLUDE PLANTINGS AT LEAST THIRTY (30) INCHES IN HEIGHT. SAID PLANTINGS SHALL BE AT LEAST FIFTY PERCENT (50%) EVERGREEN SHRUBBERY AND SHALL AVERAGE AT LEAST ONE (1) FOR EVERY TEN (10) FEET OF FRONTAGE.	TOTAL PARKING FRONTAGE ALONG ROUTE 309 = 131± LF REQUIRED: 131 / 10 = 13.1 OR 13 SHRUBS PROVIDED: 6 CS, 12 IGS (18 SHRUBS)	COMPLIES
		TOTAL PARKING FRONTAGE ALONG CHAPMANS ROAD = 83± LF REQUIRED: 85 / 10 = 8.5 OR 9 SHRUBS PROVIDED: 3 CS, 8 IGS (11 SHRUBS)	COMPLIES
SALDO 312-40 SHADE TREES	C (1) IN ALL SUBDIVISIONS, TREES SHALL BE PLANTED WITHIN THE STREET RIGHTS-OF-WAY OR STREET TREE EASEMENTS AT UNIFORM INTERVALS BETWEEN 30 AND 40 FEET. THE LOCATION OF SHADE TREES WILL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE AND SHADE TREE COMMISSION AND THE BOARD OF COMMISSIONERS, IF ACCEPTABLE TO THE ABOVE TWO BOARDS, TREES MAY BE PLANTED MIDWAY BETWEEN THE CURB AND SIDEWALK PROVIDING THE PLANTING STRIP IS A MINIMUM OF FIVE FEET IN WIDTH, OR BETWEEN THE SIDEWALK AND BUILDING LINE, THREE FEET FROM THE SIDEWALK. SHOULD THE LATTER LOCATION BE CHOSEN, ADDITIONAL STREET RIGHT-OF-WAY SHALL BE DEDICATED TO THE TOWNSHIP OR A STREET TREE EASEMENT ESTABLISHED IN LIEU OF THE SIZE OF THE ADDITIONAL RIGHT-OF-WAY OR STREET TREE EASEMENT SHALL BE DETERMINED BY THE SHADE TREE COMMISSION.	TOTAL LENGTH ALONG ROUTE 309 = 480± LF (EXCLUDING LENGTH ALONG EXISTING VEGETATION TO REMAIN AND DRIVEWAY WIDTH) REQUIRED: 440 / 40 = 11 STREET TREES PROVIDED: 6 GTK, 5 QPH (11 STREET TREES)	COMPLIES
		TOTAL LENGTH ALONG CHAPMANS ROAD = 330± LF (EXCLUDING DRIVEWAY WIDTH) REQUIRED: 330 / 40 = 8.3 OR 8 STREET TREES PROVIDED: 3 LSR, 5 QPH (8 STREET TREES)	COMPLIES
		TOTAL LENGTH ALONG GRAMMES ROAD = 116± LF REQUIRED: 116 / 40 = 2.9 OR 3 STREET TREES PROVIDED: 3 LSR (3 STREET TREES)	COMPLIES

PLANT SCHEDULE				
CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE CONTAINER
GB	3	GINKGO BILOBA (MALE ONLY)	MAIDENHAIR TREE	2.5' CAL. B&B
GTK	9	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE THORNLESS HONEY LOCUST	2.5' CAL. B&B
LSR	6	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	ROUND-LOBED SEEDLESS SWEET GUM	2.5' CAL. B&B
QPH	10	QUERCUS PHELLOS	WILLOW OAK	2.5' CAL. B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE CONTAINER
CS	15	CORNUS SERICEA	RED TWIG DOGWOOD	2-3' B&B
IGS	39	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24-30" CONTAINER
IV	41	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	24-30" CONTAINER
JHB	68	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPRD CONTAINER
VR	12	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4' B&B
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE CONTAINER
PVN	26	PANICUM VIRGATUM 'NORTH WIND'	NORTHWIND SWITCH GRASS	1 GAL. CONTAINER
SSO	24	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	STANDING OVATION LITTLE BLUESTEM GRASS	1 GAL. CONTAINER



R:\11\21\2102\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PY212092-LSCP-1A...LAYOUT: C-701.LSCP



December 8, 2021

Mr. Gregg Adams, Planner
South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104

RE: 1810 PA Rte 309 Convenience Store Land Development Plan
SWT Major Plan # 2020-103

Dear Gregg:

Materials submitted for the Applicant by Bohler Engineering for the above referenced project include the following:

- A. Cover sheet, sheet C-101, dated 11/22/2021;
- B. Notes sheet, sheet C-102, dated 11/22/2021;
- C. Existing Conditions Plan, C-201, dated 11/22/2021;
- D. Site Plan, sheet C-301, dated 11/22/2021;
- E. Truck turning and paving plans, sheets 302 – 306, dated 11/22/2021;
- F. Paving Plan, sheet 307, dated 11/22/2021;
- G. Grading Plan, sheet 401, dated 11/22/2021;
- H. Utility Plan, sheet 501, dated 11/22/2021;
- I. Soil Erosion Control Plans, 601 – 605, dated 11/22/2021;
- J. PCSM Plan, sheets 606 – 609, dated 11/22/2021;
- K. Landscape Plan and Details, sheets 701 and 702, dated 11/22/2021;
- L. Lighting Plans and Details, sheets 703 – 705, dated 11/22/2021;
- M. Construction Details, sheets 901 – 908, dated 11/22/2021;
- N. Drainage Area Plan, sheets 1001 – 1004, dated 11/22/2021;
- O. Waiver Request Letter, dated 11/22/2021;
- P. Trip Generation Report, dated November, 2021;
- Q. Stormwater Management Report, dated 11/22/2021;
- R. Comment Response letter, dated 11/22/2021;

PROPOSAL: This submission proposes the development of a 4.06 acre tract of land with the construction of a Convenience Store and Fueling Station and associated parking. Other improvements include construction of two detention basins to manage rate and volume runoff from the site. The development will be served by public water and sewer. The property is located in the HC – Highway Commercial Zoning District. The proposed Convenience Store and Fueling Station is a Special Exception Use.

Our zoning and engineering comments are based on the Zoning Ordinance dated September 1, 2020 and the Subdivision and Land Development Regulations, last revised April 1, 2019 and are as follows:

SALDO COMMENTS:

1. **SALDO 312-12(21)** - Field location of the existing improvement at the adjoining property along Grammes Road shall be shown on the plan. Also, the location of the existing utility poles along Grammes Road shall be field verified.
2. **SALDO 312-12(24)** – The plans show the required safe sight distance (clear sight triangles) on the plans. Penn DOT approval and permits for each driveway, verifying the sight distances is required. Clear sight triangle notes as detailed in SALDO 312.35(a)(6)(F) shall be added to the plans. We note that a portion of the clear sight triangle for the sight line south along Chapmans Road is on private property outside the street right-of-way. A clear sight easement shall be obtained to guarantee the clear sight line for the driveway.
3. **SALDO 312-12-41** – The note referring to the Special Exception Use request on the plans to be recorded shall be updated to note the Ordinance section and date of approval of all zoning variances granted.
4. **SALDO 312-26** – A Construction Improvements Agreement meeting this section will be required for all work within the proposed ultimate street right-of-way. The Developer should provide an Engineering estimate of construction costs for the work within the Township right-of-way for review and inclusion in the Construction Improvements Agreement.
5. **SALDO 312-35(b)(3)(A)(i)(1)** – Curb is required along all public streets or a deferral to this section is required. Curb is shown along Grammes Road and Chapmans Road and partly along Route 309. Curb is not shown along the section of Route 309 from the proposed driveway westerly to the property line, for which a deferral to this section is required. A waiver to this requirement has been requested in writing. We would recommend a deferral and that, since this is a Penn DOT roadway, any action taken on the curb deferral request be conditioned on Penn DOT requirements. Additionally, a curb construction plan and profile shall be provided for all proposed curb within the public road right-of-ways.
6. **SALDO 312-35(b)(3)(A)(ii)(1)(A)** – Sidewalk shall be provided along all public streets. Sidewalk shall be shown along the frontage of PA Rte 309, west of the proposed driveway. A waiver to this requirement has been requested in writing. We would recommend a deferral and that, since this is a Penn DOT roadway, any action taken on the sidewalk deferral request be conditioned on Penn DOT requirements.
7. **SALDO 312-35(b)(3)(B), (C) and (D)** – Street cross sections shall be in accordance with the Township Standard Construction Documents (latest edition). The Grammes Road improvements shall be designed to connect to the adjoining Push and Pull Auto Body property improvements and meet the local street

cross-section (36 feet wide cartway). The Chapmans Road improvements shall be designed to meet the collector street cross-section (40 feet wide cartway). The Route 309 improvements shall be designed to meet the arterial street cross-section (50 feet wide cartway). Since Chapmans Road and Route 309 are State roads, the cartway width and construction details for these roads will be determined by Penn DOT requirements and, therefore, a waiver to the cartway and construction requirements for these roads should be requested. Additionally, a 15 feet wide sidewalk/landscaping area between the curb and the right-of-way is required for both Chapmans Road and Route 309. The plan shows a sidewalk/landscaping area of between 5 feet and 8 feet along Chapmans Road. Either the plans should be revised to show the right of way 15 feet from the curb, or a waiver to this section is required. The Township Planner may want to comment on this item.

- 8. SALDO 312-36(c)(1)** – Driveways shall not be permitted to have direct access to State roads or highways unless authorized by the PA DOT through the issuance of a Highway Occupancy Permit. Penn DOT review and permitting of the proposed driveway along PA Rte 309 and alterations to the intersection of PA Rte 309 and Chapmans/Pope Road is required. A note to this extent has been added to the plans. Our specific comments on the driveway improvements are as follows:
1. The plan should be updated to depict the proposed roadway widening improvements associated with the Chapmans Road Warehouse project in the vicinity of the Chapmans Road / Grammes Road intersection.
 2. The following comments pertain to the proposed roadway improvements and are subject to the completion of a Traffic Impact Study and PennDOT's review of Highway Occupancy Permit plans:
 - a. The depicted southbound right turn lane on Route 309 and the eastbound left turn lane on Chapmans road appear to be significantly undersized and should be verified by the required Traffic Impact Study. Further, the presence of two tractor-trailers or a single tractor-trailer and 2-3 cars at the eastbound left turn lane on Chapmans Road would completely block access to/from the full access site driveway.
 - b. ADA access along Route 309 should be provided across and to the north of the proposed right in/out driveway. At a minimum, access (i.e. sidewalk or shoulder) should be extended to the east of the proposed southbound right turn lane and tie into the existing roadway shoulder.
 4. Tractor-trailer turning templates have been provided however, they should be extended further onto Grammes Lane for the inbound WB-67 design vehicle to confirm that the width of Grammes Road intersection is sufficient.
 5. The plans should be amended to provide complete design information (i.e. tractor trailer turning templates, dimensions, striping/signage details, etc.) for the "shadow" improvements to Pope Road for further Township review.

6. The Grading Plan indicates grading that would direct storm water runoff onto the cartway of Route 309 at the proposed right-in/right-out driveway. The grading in this area should be revised to direct the runoff to flow along the curb channelizing island.
7. The Site Plan proposes internal access drives and fueling pumps located immediately adjacent to the proposed right in/out driveway along the site's Route 309 frontage. This condition could result in several negative consequences including but not limited to the blocking of the SR 309 inbound traffic due to vehicles attempting/waiting to access the fuel pumps and/or due to the potential for the inbound lane to be blocked by the outbound queue of vehicles waiting to turn right onto southbound SR 309 (especially during peak traffic conditions when the southbound queue at the SR 309 & Chapmans Road intersection could block the right-out driveway). In light of this, consideration should be given to reorientation of the site layout to preclude or alleviate these conditions. The Developer should consider providing an internal clear sight triangle at the proposed stop sign adjacent to the right turn in driveway and along the right turn in driveway meeting Penn DOT to guarantee safe sight stopping distance.
8. Traffic distribution percentages for this development should be based proportionally upon the forthcoming vehicular turning movement counts.
9. **SALDO 312-36(c)(4)(B)(i)** - PA Rte 309 is listed as a Principal Arterial Road, Chapmans Road is listed as a Minor Arterial Road, and Grammes Road is listed as a Local Road on the Township Functional Classification Map. This section requires a 300 foot driveway offset from the intersection centerline if either street is an arterial street. The proposed driveway along Chapmans Road is shown as being approximately 249 feet from the centerline intersection with PA Rte 309 and approximately 195 feet from the centerline intersection with Grammes Road. A waiver to this section has been requested in writing. A traffic impact study should be provided for the proposed driveway, for both Township and Penn DOT review, to determine the traffic impact the development would have on the Route 309 intersection and the Grammes Road intersection with Chapmans Road. Any action on this waiver request should be conditioned on Township and Penn DOT approval of the traffic impact study.
10. **SALDO 312-36(d)(4)(G)(iv)** – A recreation fee in lieu of land dedication meeting the requirements of this section will be required. A determination of the final amount will be made when the Final Plans are submitted. The Site Plan notes a total fee of \$18,283.00 based on new impervious surfaces. The Township Planner should comment on this item.
11. **SALDO 312-36(e)(2)** - Lehigh County Conservation District and PA Department of Environmental Protection approval of a Soil Erosion and Sedimentation Control Plans and PA NPDES permit plans for this project will be required. Proof of LCCD and PA DEP approval of the plans and documents shall be provided to the Township when obtained.
20. **SALDO 312-39(a)** – This project is located within the Little Lehigh Creek Act 167 Plan and creates more than 10,000 square feet of new impervious surfaces and therefore will review and approval by both the

Township and the Lehigh Valley Planning Commission for Act 167 release rates. Our comments on the Drainage Report and plans are as follows:

Predevelopment:

1. The time of concentration used for the Pre-Development to Offsite Channel should be the SCS minimum of 6 minutes. § 296-15.N
2. Per the drainage plan requirements, the location of all public wells within 100 feet of the property line should be shown on the plans noting the properties to the southwest of the site have private water. § 296-18.B.14

Post Development

3. Verify the 0.96 acres of woods in the post development bypass subarea. Independent area takeoff of the delineated wooded area was only around 0.75 acres.
4. Total flow calculations at the downstream most study point indicate runoff volumes are greater than predevelopment volumes for all design storms (about double in the 2-year storm). Although DEP recognizes an MRC basin as an acceptable infiltration BMP, since both rate and volume are not met, per Act 167, release rates must be applied to all impact areas. We note the 2 year allowable release rate is not met.
5. The minimum time of concentration used for any subarea should be the SCS minimum of 0.1 hours or 6 minutes. § 296-15.N
6. Based on the contours, both the predevelopment areas to the offsite channel and the wetland flow off the property prior to reaching point of interest POI#1. For the post development condition, both the rain garden outflow and a portion of the bypass area should be combined to verify rate and volume are not increased where runoff leaves the site. A summary table should be provided in the narrative.
7. A copy of the wetland sustainability report should be included with future submissions.

Managed Release Basin (UG-1)

8. Infiltration test pit 4 was performed near the location of the proposed Underground Managed Release Basin. The testing log indicates there is a seasonal high-water table and perched water table at elevation 470. The bottom of the basin is proposed at elevation 465. Provide documentation the basin and liner will not be susceptible to movement due to the forces from a fluctuating water table.
9. The minimum circular orifice diameter for controlling discharge rates from detention facilities shall be three inches. § 296-15.I The lowest orifice in the outlet control structure for the managed release basin has a diameter of only 0.8".

10. The underground stormwater basin shall be constructed with inspection ports and a cleanout hatch (no less than thirty-six-inch diameter). Location of these facilities should be labeled on the plans.
11. Curbing is proposed in the area of both underground basins. Provide supporting information the footer for the curbing will not impact the underground basin and there is sufficient clearance

Rain Garden (RG)

12. Verify the weir crest elevation between the report and the detail.
13. Per the 2-year rain garden routing provided in the narrative, the maximum water surface elevation is 421.27 while the detail on the plans indicate a 2-year pond elevation of 1.24'.
14. Infiltration test pit 9 was performed near the location of the proposed rain garden. The testing log indicates there is a seasonal high-water table at 4 feet below the surface. The bottom of the rain garden has a proposed cut of 7 feet for final grade plus an additional 1.5 feet of cut for the placement of the planting soil. Provide documentation the liner will not be susceptible to movement due to the forces from a fluctuating water table.
15. § 312-39(d)(2) – A minimum bottom slope of 2 percent shall be provided on the rain garden or a waiver to this section is required. Considering that this is a rain garden and is intended to filter storm water runoff, we would have no engineering objection to granting this waiver, if requested.
16. § 312-39(d)(3)(A) – The maximum water depth of the rain garden is 3 feet, the side slopes are 3 feet horizontal to 1 foot vertical, and the time to empty exceeds 3 hours, all requiring fencing in accordance with this section, or a waiver to this section is required. We note that the rain garden is about 40 feet from the proposed sidewalk along Grammes Road. The Township should determine whether fencing around the rain garden is required.
17. § 312-39(d)(8) – A minimum 12 feet wide ramp at a maximum of 10 percent slope shall be constructed to permit access to the bottom of the basin for maintenance, or a waiver to this section is required. Considering the size of the rain garden, we would have no engineering objection to granting this waiver, if requested.

Storm Sewer Conveyance

18. The proposed trench drain connected to inlet A11 should be labeled on the plans and information provided on the structure chart. Also, provide a detail of the proposed structure.
19. There are numerous inlets that have bypass flows. Provide documentation where the bypass flow is added to the bypass lines where applicable.

20. The inlet report lists the bypass line number as 14 for inlet A11.1 with a 100-year bypass flow of 1.11 cfs. Based on the contours the stormwater could instead flow out towards Route 309. Also, line 14 has bypass flow that will discharge towards Route 309.
21. Verify all rim and invert elevations between the storm sewer tabulation chart and the structure tables on the plans as there are numerous inconsistencies.

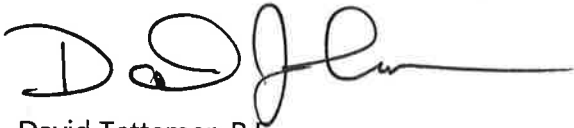
12. SALDO 312-40 – Street and shade trees meeting this section will be required and are shown on the plan. the Township Shade Tree Commission should comment on the number and type of street trees.

In conclusion, until all the above items are satisfied, we would not recommend engineering approval of this Land Development Plan.

If there are any questions regarding this review, please contact the this office.

Sincerely,

KEYSTONE CONSULTING ENGINEERS, INC.



David Tettermer, P.E.

pc: Mr. Randy Cope, Interim Township Manager, South Whitehall Township
Mr. George B. Kinney, AICP, Director of Community Planning, South Whitehall Township
Mr. David Manhardt, AICP, Director of Community Development Dept., South Whitehall Township
Mr. Herb Bender, Public Works Manager, South Whitehall Township
Ms. Tracy Fehnel, Executive Assistant, South Whitehall Township
Ms. Laura Harrier, Zoning Officer, South Whitehall Township
Ms. Lisa Pereira, Esq., Alternate Solicitor, South Whitehall Township, Broughal and Devito Law
Mr. Jeffrey Beaven, P.E., Bohler Engineering
Mr. David Jaendl, Landston Equities, LLC.

All via email.

December 10, 2021

Mr. Gregg Adams
South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104

Re: Proposed Commercial Development 1810 PA Route 309
Land Development #2020-103
Review of Preliminary Plan 11/22/2021.
SSM File: 103400.0070

Dear Mr. Adams:

This correspondence is provided as a review of the Preliminary Land Development Plan submitted for the above referenced project Revision 1-11/22/2021 submission.

We have the following comments regarding the water and sanitary sewer utilities:

General Comments:

1. We are requesting the applicant extend the water and low pressure sanitary along the frontage of Grammes Rd. in order to continue service along Grammes Rd.
2. SSM can provide a “will serve” letter upon request.
3. We request a meeting with the applicant’s engineer to discuss the low pressure sewer design and grinder pump requirements.

Water Comments:

1. NOTES Sheet/Sheet Number C-102 Drainage and Utility Notes –General Water #33 not required on this plan.
2. Sheet Title Utility Plan/Sheet Number C-501
A. Water meter pit with Fire line and domestic water line is not required on this plan.
3. Sheet title: Details: Sheet number C-905: SWT Construction Standard SWT-W-7 not required on this plan.
4. Sheet Title Utility Plan/Sheet Number C-501
A. Domestic water line should not exceed 4” DIP size.

Sanitary Sewer Comments:

1. Sheet Title : Details: Sheet Number C-903:
Add SWT Low Pressure Detail sheets: SWT-S-6 / SWT-S-7 / SWT-S-8 / SWT-S-9 / SWT-S-10 /
SWT-S-11 / SWT-S-12 / SWT-S-13 / SWT-S-14 / SWT-S-15 / SWT-S-16 / SWT-S-17.
2. A sewer planning module will be required.

Please contact us should you have any questions, or require any additional information regarding our comments.

December 10, 2021
Mr. Gregg Adams
South Whitehall Township
Page 2 of 2

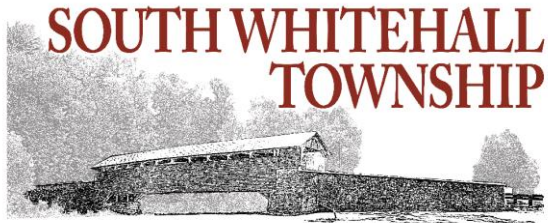


Sincerely,
Spotts, Stevens and McCoy

A handwritten signature in blue ink that reads "Jason M. Newhard".

Jason M. Newhard, CMIT, LO
Construction Manger
Environmental Engineering
jason.newhard@ssmgroup.com

cc: Herb Bender, PW



INTEROFFICE MEMORANDUM

TO: DAVE MANHARDT, DIRECTOR OF COMMUNITY DEVELOPMENT

FROM: HERB BENDER, PUBLIC WORKS MANAGER

DATE: DEC 8, 2021

**SUBJECT: PROPOSED COMMERCIAL DEVELOPMENT 1810 PA ROUTE 309
MAJOR PLAN 2020-103**

The Public Works Dept. reviewed the above project and has the following comments:

1. Please explain the water line connected to the garbage area.
2. Fire and domestic water lines should be placed with separate meters within the same meter pit.
3. All water lines will be owned by the developer from the tapping sleeve and valve to the building.
4. All Storm Water BMP maintenance and inspection records shall be submitted to the Township annually.
5. Please show downstream impact of storm sewer drainage.

SOUTH WHITEHALL TOWNSHIP

4444 Walbert Avenue, Allentown, PA 18104-1699
www.southwhitehall.com • (610) 398-0401

December 13, 2021

Landston Equities, LLC
Attn: Luke Jandl
3150 Coffeetown Road
Orefield, PA 18069

**RE: *Proposed Commercial Development 1810 PA Route 309
Major Plan 2020-103
Request For Preliminary/Final Plan Review***

Dear Mr. Jandl:

The purpose of this letter is to report zoning and non-engineering related comments that are to be addressed. My comments follow:

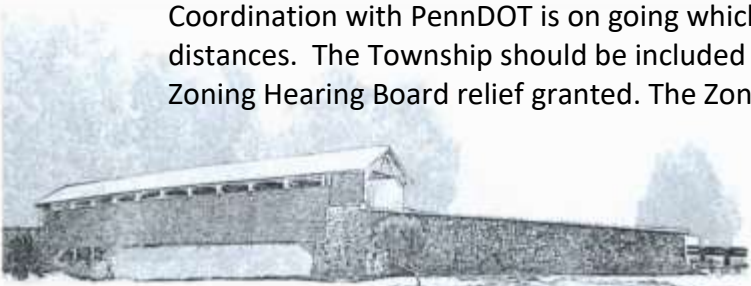
Zoning

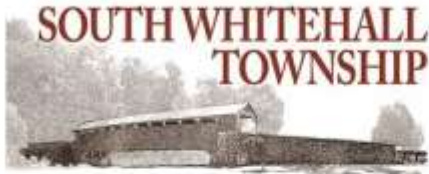
The revised plan proposes one building for a fueling station/convenience store use known as Wawa. The tract is located along State Highway PA Route 309 and is within the Highway Commercial (HC) Zoning District. The proposal has been reviewed under the criteria for a Motor Vehicle Service Facility. The Motor Vehicle Service Facility (Wawa) is permitted by Special Exception subject to conditions set forth in Section 350-48(m)(9). The Applicant was present at a Hearing before the Zoning Hearing Board in which the following relief was granted conditioned upon PennDOT's review and comments of the project. The formal Decision and Order has not yet been released.

Requested Relief that was conditionally granted November 22, 2021:

1. A Special Exception under Sections 350-24(c)(13) 350-48(m)(9) for Motor Vehicle Services Facility.
2. A variance from Section 350-42(d)(4)(B)(i) to maintain driveway separations of 249' and 174'. The driveway is 249' from the intersection of Chapman Road/Route 309 and 174' from the intersection of Chapmans Road/Grammes Road.

Coordination with PennDOT is on going which will ultimately determine the exact separation distances. The Township should be included and apprised of any scoping meetings due the Zoning Hearing Board relief granted. The Zoning Hearing Board Decision and Order is valid for





one (1) year from date of signature in which to commence the project. Should outside agency approvals still be required, and prior to the expiration date, an Extension of Time for the relief granted may be requested before the Zoning Hearing Board to extend the original relief granted.

350-48(o)(2) Off-Street Parking

1. Section 350-48(o)(2)(E)(iii)(8) Parking Areas. Parking Areas exceeding thirty thousand (30,000) square feet in commercial districts shall be provided with curbing, and planter strips to control traffic flow, and to provide walkways for pedestrian safety in the Parking Areas to the satisfaction of the Township. The Planning and Safety Commissions should comment on the proposed walkway in the center of the site.

Fire Inspector

1. The Fire Inspector reported no comments. The Fire Inspector reports that the Public Safety Commission in conjunction with the Fire Chief recommended that the driveway separation distance comply with Township regulations.

Open Space and Recreation

1. At their September 14, 2020 meeting, the Parks and Recreation Board recommended that the developer pay fees in lieu of common open space land dedication to meet the open space and recreation requirements of Section 312-36(d)(4) of the Subdivision and Land Development Ordinance. For nonresidential developments a fee shall be Twenty-Five Cents (\$0.25) per square foot of additional impervious coverage (post-development impervious surface minus pre-development impervious surface) in lieu of the requirement for public dedication of land. According to the Zoning Requirements block on Sheet C-301, 67,200 square feet of additional impervious surface is proposed (73,132 sq ft proposed minus 5,932 sq ft existing). The fee in lieu of common open space land dedication would be \$16,800.00. The applicant should check the calculation within the South Whitehall Township Open Space Fee Calculation Table on Sheet C-301.

Water & Sewer

1. The applicant is to request allocations for water and sewer from the South Whitehall Township Board of Commissioners. Please be aware that the Board of Commissioners now charges both allocation fees and tapping (connection) fees. The applicant must address all water and sewer service issues, and obtain all approvals deemed necessary by the South Whitehall Township Board of Commissioners. You are advised to contact the Public Works Manager, as soon as practicable, to learn of, or confirm any or all of:



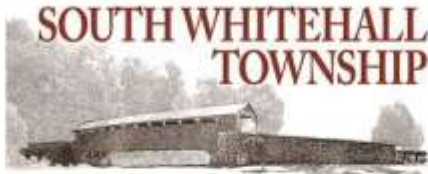
- a. The amount of any water and/or sewer **allocation fees**. The application is available on the Township website under Water/Sewer Forms/FAQs/Links. The fee for the allocation(s) will be due with the submission of the application;
 - b. The amount of any water and/or sewer **connection fees**. The fees are due at or before the building permit is to be issued. Application is also available on the Township website under Water/Sewer Forms/FAQs/Links;
 - c. The amount of any **contributions** that would cover the cost of extending the water and/or sewer system so that it can serve your development.
2. The applicant is to contact the PA Department of Environmental Protection to determine what Sewage Facility Planning requirements are to be met for this development.
 3. An Erosion and Sediment Control Plan is required for any earth disturbance activity of more than 5,000 square feet pursuant to Section 296-11(B) of the South Whitehall Township Codified Ordinance (Stormwater Management Plan).

Waiver and Deferral Request Commentary

1. Request to waive SALDO Section 315-36(c)(4)(B)(i) and (ii) regarding the non-residential driveway 300-foot off-set requirement from an intersection containing an arterial road – Staff will defer to the Township Engineer and PennDOT, but would suggest considering locating the driveway at the Grammes Road/Chapmans Road intersection.
2. Request to waive SALDO Section 312-35(b)(3)(A)(i) – requirement to install curbing along PA Route 309 northwest of the proposed driveway. Staff has no objection to this request.
3. Request to waive SALDO Section 312-35(b)(3)(A)(ii)(1)(A) – requirement to install sidewalk along PA Route 309 northwest of the proposed driveway. Staff has no objections to this request.

Legal and Other

1. Township policy with regard to the deferral of sidewalk and curbing has changed and deferrals shall no longer be granted. The applicant should be prepared to discuss compliance with SALDO Section 312-35(b)(3)(A)(ii).
2. The Township Solicitor and Township Engineer may want to comment upon the legal requirements of the MS4 program with regard to any private stormwater management facilities.



3. The Landscaping Plan shall be clarified with regard to whether any particular tree is a Parking lot Tree as required by the Zoning Ordinance or a Shade Tree as required by SALDO. Shade Trees are typically shown in the right-of-way of a public street, while Parking Lot Trees are typically located on private property within tree islands or near parking spaces. ***If Shade Trees are located on private property, they are required to be located within a Shade Tree easement.***
4. Please consider the following in placement locations for street trees:
 - a. Placement over inlets should be avoided;
 - b. Provide ample clearance from street lights and hydrants.
5. A note shall be added to the plan (on Sheet C-704) stating that a building permit is required for light pole foundations prior to installation.
6. Signature Blocks and Certifications to appear on each plan sheet to be recorded.

Official Map & Comprehensive Plan

1. The Official Map depicts the subject parcel as underlain by karst geology along the southern portion of the tract. PA Route 309 is a Principle Arterial and Chapmans Road is a Minor Arterial Road.
2. The Comprehensive Plan portrays the tract in a D-4 Industrial District, which envisions compact, mixed-use areas that are pedestrian-friendly and will support alternative transportation in the long term. The Comprehensive Plan also portrays the tract in a Growth Opportunity Area based on existing and expanded sewer systems and enhanced transportation systems.

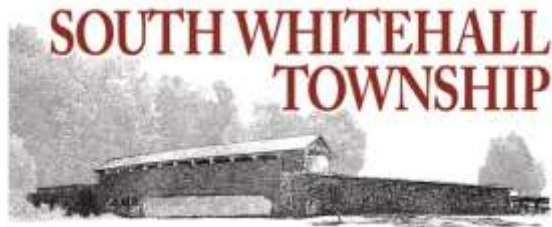
Your plan is scheduled to be reviewed by the Planning Commission at the Municipal Building located at 4444 Walbert Avenue on Thursday December 16, 2021 at 7:30 p.m.

If you have any questions, please call.

Sincerely,

Gregg R. Adams
Planner, Community Development Department

cc: R. Cope D. Manhardt L. Harrier D. Tettermer
L. Pereira, Esq. J. Beavan, Bohler Eng. Sub. File 2020-103



MEMORANDUM

TO: Planning Commission
FROM: Laura Harrier, Zoning Officer
DATE: December 13, 2021
SUBJECT: 1810 PA Route 309 Proposed Commercial Development
Plan Dated November 22, 2021. Major Plan #2020-103
COPIES: D. Manhardt, G. Adams, D. Tetteimer, L. Pereira, Applicant

The revised plan proposes one building for a fueling station/convenience store use known as Wawa. The tract is located along State Highway PA Route 309 and is within the Highway Commercial (HC) Zoning District. The proposal has been reviewed under the criteria for a Motor Vehicle Service Facility. The Motor Vehicle Service Facility (Wawa) is permitted by Special Exception subject to conditions set forth in Section 350-48(m)(9). The Applicant was present at a Hearing before the Zoning Hearing Board in which the following relief was granted conditioned upon PennDOT's review and comments of the project. The formal Decision and Order has not yet been released.

Requested Relief that was conditionally granted November 22, 2021:

1. A Special Exception under Sections 350-24(c)(13) 350-48(m)(9) for Motor Vehicle Services Facility.
2. A variance from Section 350-42(d)(4)(B)(i) to maintain driveway separations of 249' and 174'. The driveway is 249' from the intersection of Chapman Road/Route 309 and 174' from the intersection of Chapmans Road/Grammes Road.

Coordination with PennDOT is on going which will ultimately determine the exact separation distances. The Township should be included and apprised of any scoping meetings due the Zoning Hearing Board relief granted. The Zoning Hearing Board Decision and Order is valid for one (1) year from date of signature in which to commence the project. Should outside agency approvals still be required, and prior to the expiration date, an Extension of Time for the relief granted may be requested before the Zoning Hearing Board to extend the original relief granted.

350-48(o)(2) Off-Street Parking

1. Section 350-48(o)(2)(E)(iii)(8) Parking Areas. Parking Areas exceeding thirty thousand (30,000) square feet in commercial districts shall be provided with curbing, and planter strips to control traffic flow, and to provide walkways for pedestrian safety in the Parking Areas to the satisfaction of the Township. The Planning and Safety Commissions should comment on the proposed walkway in the center of the site.

Laura Harrier, Zoning Officer
Community Development

Gregg R. Adams

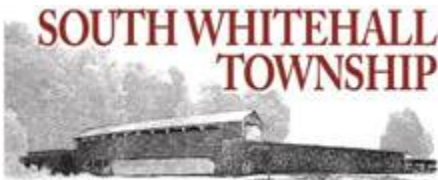
From: John G. Frantz
Sent: Tuesday, December 7, 2021 12:47 PM
To: Gregg R. Adams
Subject: Proposed Commercial Development 1810 PA Route 309, 2020-103

Gregg,

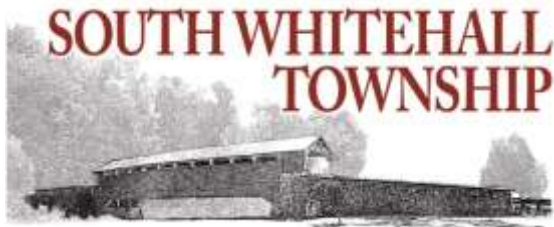
The Commission made the recommendation that the driveway separation distance requirements for both driveways comply with Township requirements.

John G. Frantz, CFEI, BCO

Fire Marshal, Building Code Official
South Whitehall Township
4444 Walbert Avenue
Allentown PA 18104-1699
610-398-0401 (office)
610-398-1068 (fax)
www.southwhitehall.com



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MEMORANDUM

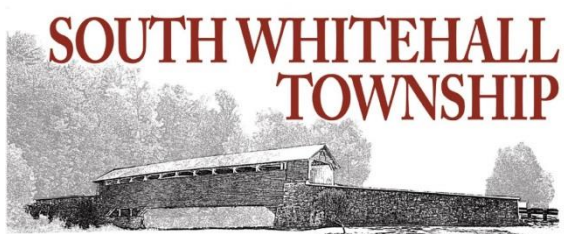
TO: Planning Commission
FROM: Gregg Adams, Planner
DATE: October 29, 2021
SUBJECT: Landscaping Plan Review
Proposed Commercial Development 1810 PA Route 309
Major Plan 2020-103
Plan dated September 23, 2021
COPIES: Landscape and Shade Tree Commission, D. Manhardt, J. Alderfer, S. Pidcock, Applicant

At their October 25, 2021 meeting, the Landscape and Shade Tree Commission reviewed the above-mentioned plan and recommended the following:

The Landscaping Plan shows no trees within the right-of-way of public streets. The applicant shall either: show SALDO-compliant street trees within the rights-of-way of fronting public streets, show street trees on private property along the frontage of public streets within a dedicated Street Tree Easement, or request a deferral of the requirement to plant street trees with written justification for the request to the Landscape and Shade Tree Commission for their recommendation.

Respectfully submitted,

Gregg Adams, Planner
Community Development Department



MEMORANDUM

TO: Planning Commission
FROM: Gregg Adams, Planner
DATE: September 15, 2020
SUBJECT: Subdivision Plan Review
1810 PA Route 309 Convenience Store and Medical Office
Major Plan 2020-103
Plan Dated April 22, 2020
COPIES: Parks and Recreation Board, R. Bickel, R. Cope, M. Kukitz, G. Kinney,
J. Alderfer, S. Pidcock, Applicant

At their September 14, 2020 meeting, the Parks and Recreation Board recommended that the developer pay fees in lieu of common open space land dedication to meet the open space and recreation requirements of Section 312-36(d)(4) of the Subdivision and Land Development Ordinance. For nonresidential developments a fee shall be Twenty-Five Cents (\$0.25) per square foot of additional impervious coverage (post-development impervious surface minus pre-development impervious surface) in lieu of the requirement for public dedication of land. A calculation of the **additional** impervious surface proposed on the site shall be included with the Preliminary Plan submission to assist in the Open Space fee calculations.

Respectfully submitted,

Gregg Adams, Planner
Community Development Department

Melissa Bean

From: Molly Wood <mwood@lantabus-pa.gov>
Sent: Monday, September 27, 2021 1:37 PM
To: Jeff Beavan
Cc: Melissa Bean; Don Peters; py212092@nf.bohlereng.com; AJ Jordan
Subject: LANTA Comments for 1810 PA Route 309, South Whitehall Township - 9.27.21

EXTERNAL: Use caution with attachments and links.

Jeff,

The Lehigh and Northampton Transportation Authority (LANTA) offers the following comments regarding the submitted Preliminary Land Development Plan for the proposed commercial development located at 1810 PA Route 309 at the intersection of Chapmans Road in South Whitehall, Lehigh County.

LANTA currently provides public transportation to the project site, with LANtaBus Route #209 serving southbound bus stop ID 6027 located along the property frontage, nearside of the Chapmans Road intersection. The preliminary plan proposes a new sidewalk from the existing bus stop location to a crosswalk network at the main driveway entrance/exit of the site, followed by a continuous pedestrian path into the site to access the main entrance of the proposed multi-tenant building on the site, as well as a proposed crosswalk from there to the proposed Wawa on the site. One of LANTA's goals is to ensure the transit rider has a safe pedestrian connection between the bus stop and the main entrance of the destination. Given this site is proposing different uses, LANTA appreciates all efforts made to consider and implement LANTA's comments to the Sketch Plan in June 2020 that recommended pedestrian connections from the existing bus stop location to the proposed uses on the site.

If you have any questions, please let me know and we can discuss further.

Thank you,
Molly



Molly S. Wood, AICP

Planner/Land Use Specialist
Lehigh and Northampton Transportation Authority
1060 Lehigh Street, Allentown, PA 18103
PH: 610-439-1376
mwood@lantabus-pa.gov
www.lantabus.com

Follow LANta on: [Facebook](#) | [Twitter](#) | [LinkedIn](#) | [YouTube](#)

From: Jeff Beavan <jbeavan@bohlereng.com>
Sent: Thursday, September 23, 2021 2:35 PM
To: Molly Wood <mwood@lantabus-pa.gov>
Cc: Melissa Bean <mbean@bohlereng.com>; Don Peters <dpeters@bohlereng.com>; py212092@nf.bohlereng.com
Subject: Proposed Commercial Development, 1810 PA Route 309, South Whitehall Township

Warning! This email has been received from an external domain. Do not click any links or open any attachments unless you are expecting such a message with an attachment from this sender. Original Message:

Good afternoon,

I am writing to inform you of a Proposed Commercial Development located at 1810 PA Route 309 in South Whitehall Township, Lehigh County, PA. The Site also has frontage on Chapmans Road (State Route 4001), and Grammes Road. The Applicant is to develop the site with a 5,585 SF Wawa and a 9,280 SF Multi-Tenant Commercial Building along with associated parking, driveways, landscaping, lighting, and stormwater facilities. The Site Plan is attached for your reference. The existing LANTA bus stop along SR 0309 is being maintained, and it is proposed to have a sidewalk connection from that stop to the on-site facilities. Due to existing grade along SR 0309, a larger level landing is not proposed.

Please provide any comments in relation to LANTA services.

Thank you,

Jeff Beavan, P.E., LEED AP BD+C

Associate

74 W. Broad Street Suite 500

Bethlehem, PA 18018

o 610-709-9971 x5120 / c 484-510-0327 / jbeavan@bohlereng.com

www.BohlerEngineering.com

BOHLER //

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September 23, 2021
Via Hand Delivery & Email
(adamsg@southwhitehall.com &
dtettermer@kceinc.com)

South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104

Attention: Gregg Adams, Planning Development

Re: Proposed Commercial Development
1810 PA Route 309
South Whitehall Township
Lehigh County, PA
PY212092

Dear Mr. Adams:

On behalf of Jaindl Land Company, Bohler Engineering PA, LLC is hereby submitting a Preliminary/Final Land Development Application for the above referenced project. The following items are enclosed:

- Two (2) copies of the Subdivision & Land Development Review Application (1 original to SWT and 1 copy to KCE).
- Two (2) copies of the completed Escrow Agreement (1 original to SWT and 1 copy to KCE).
- Check #12801 in the amount of \$1,000.00 made payable to South Whitehall Township for the Application Fee (to SWT).
- Check #12802 in the amount of \$25,000.00 made payable to South Whitehall Township for the Escrow Fee (to SWT).
- Two (2) copies of the Waiver Request Letter, dated 09/23/2021 (1 to SWT and 1 copy to KCE).
- Two (2) copies of a Letter confirming ownership and providing the vesting deed, Instrument # 2018032131, dated 11/07/2018 (1 to SWT and 1 copy to KCE).
- Two (2) copies of the Submission Letter to LVPC, dated 09/23/2021 (1 copy to SWT and 1 copy to KCE).
- Two (2) copies of the email to LANTA, dated 09/23/2021 (1 copy to SWT and 1 copy to KCE).
- Two (2) copies of the Stormwater Management Report, dated 09/23/2021 (1 copy to SWT and 1 copy to KCE).
- Ten (10) copies of the Preliminary/Final Land Development Plans, dated 09/23/2021, Sheets C-101 – C-1003 (7 copies to SWT and 3 copies to KCE).
- One (1) USB drive with PDFs of all submission materials.

Project Narrative

Jaindl Land Company is proposing to develop the site with a 5,585 SF Wawa and a 9,280 SF Multi-Tenant Commercial Building along with associated parking, driveways, landscaping, lighting, and stormwater facilities. The site is located within the HC Highway Commercial District and has frontage on PA Route 309, Chapmans Road (State Route 4001), and Grammes Road. The parcel is owned by Landston Equities, LLC and the Applicant is Jaindl Land Company. The site is currently occupied by a vacant building that was a prior Fast-Food Restaurant; a Motor Vehicle Service Facility, Retail Sales, and Fast-Food Restaurant Uses are proposed. The existing lot is 4.06 acres and will be 3.86 acres after ROW dedications are completed. The Site is currently 1 Lot and 1 Lot is proposed to remain. The proposal includes 114 parking spaces.

Public water and sewer connections are proposed through the Water Main and Sewer Force Main located at the Chapmans and Grammes Road intersection (previously approved as part of an off-site project). The Stormwater Management BMPs that are proposed include two (2) underground detention basins using Managed Release Concept. There are no known historic resources on the project site; Applicant will provide a PHMC clearance letter upon receipt.

It is the intent of this submission to be placed on the agenda for the **October 21, 2021 Planning Commission Meeting**. Should you have any questions, or require additional information, please do not hesitate to contact me at jbeavan@bohlereng.com or at 610-709-9971.

Sincerely,

BOHLER ENGINEERING PA, LLC



Jeffrey Beavan, PE

JB/mb

cc: Luke Jaindl, Jaindl Land Company (via email)
Erich Schock, Esq., Fitzpatrick Lentz & Bubba (via email)
Pete Terry, Benchmark (via email)
Dave Tetteimer, Keystone Consulting Engineers (w/enclosures)
Lehigh Valley Planning Commission (Letter Only)

R:\21\PY212092\Administrative\Correspondence\PY212092_2021-09-23_L (Twp-P-F).doc

November 22, 2021
Via Hand Delivery

South Whitehall Township
4444 Walbert Avenue
Allentown, PA 18104

Attention: Board of Commissioners

Re: Proposed Commercial Development
1810 PA Route 309
South Whitehall Township
Lehigh County, PA
PY212092

Dear Commissioners:

On behalf of Jaindl Land Company, Bohler Engineering PA, LLC is hereby requesting the below Waivers for the above referenced project:

1. A Waiver is requested from §312-36.c.(4)(b)[1] & [2], for the Chapman Road access driveway, located on a minor arterial street, to permit a distance from centerline of existing street intersection to centerline of driveway of 249 feet from an arterial road (SR 0309) and 174 feet from a local road (Grammes Road), due to existing proximity of Route 309 and Grammes Road intersections along Chapman Road, as well as sight distance limitations along Chapman Road due to existing roadway geometry.
2. A Waiver is requested from §312-35.b.(3)(A)[i], for curbing along Route 309 for the portion of roadway that is located northwest of the proposed driveway, due to conflict with existing exceptional value wetlands and conflict with existing drainage features.
3. A Waiver is requested from §312-35.b.(3)(A)[ii](1)(A), for sidewalk along Route 309 for the portion of roadway that is located northwest of the proposed driveway, due to conflict with existing exceptional value wetlands and no sidewalk connectivity within the area.

Should you have any questions, or require additional information, please do not hesitate to contact me at jbeavan@bohlereng.com or at 610-709-9971.

Sincerely,

BOHLER ENGINEERING PA, LLC



Jeffrey Beavan, PE

JB/dp/mb

cc: Luke Jaindl, Jaindl Land Company (via email)

R:\21\PY212092\Administrative\Correspondence\PY212092_2021-11-22_L (Waiver).doc

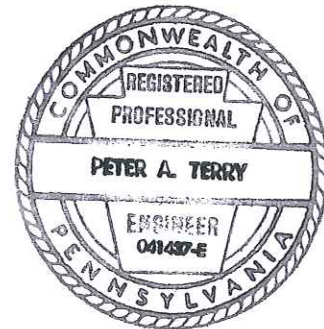
**CONVENIENCE MARKET
GENERATION/DISTRIBUTION ANALYSIS
ROUTE 309/CHAPMINS ROAD**

**South Whitehall Township
Lehigh County, PA**

November 2021

Prepared for:

Jaindl Land Company
3150 Coffeetown Road
Orefield, PA 18069
610-395-3333



Prepared by:

Benchmark Civil Engineering Services, Inc.
1727 Jonathan Street
Allentown, PA 18104
(610) 776-6700
fax: (610) 776-1190
www.bencivil.com

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I. INTRODUCTION

This report has been prepared for submission and review associated with the conditional use review associated with the proposed Convenience Market Center located on the northwest quadrant of the intersection of Route 309 and Chapmans Road in South Whitehall Township, Lehigh County. The report identifies the project trip generation from the site, the distribution of that traffic to the roadway network, and the intersections proposed to be included in the detailed transportation impact study which will be prepared as this project moves forward through the design and review/approval process. **Figure 1** indicates the site location.

II. TRIP GENERATION

The projected trip generation for the site has been calculated utilizing the Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Ed. The trips are based on the proposed 5,585 square foot Market/Gas Station (ITE Use # 945). **Table 1** indicates the calculation of the trip generation for the proposed site.

III. TRIP DISTRIBUTION

The trip distribution is how the site generated trips are assigned to the adjacent roadway network. The distribution used in this analysis is an assumed distribution based on *Benchmark's* knowledge of the existing roadway network. The site will have a "right-in, right-out" driveway onto Route 309 and a full access driveway onto Chapmans Road. Ten percent of the traffic will utilize Chapmans Road to the south(west) and forty-five percent of the traffic will travel to/from the site south on Route 309. The traffic which is oriented to the south on Route 309 will be further assigned to/from Walbert Avenue (15%) with the remaining traffic distributed each 10% to the east on Route 22, to the west on Route 22, and to the south on Route 309. This distribution may be refined based on the traffic volume data which will be collected at the proposed study intersections. The distribution assigns 45 percent of the trips to and from the north with trips further directed to Snowdrift Road, Huckleberry Road and further north on Route 309. **Figure 4a** indicates the site traffic distribution percentages. **Figure 4b** indicates the site generated traffic volumes.

IV. STUDY INTERSECTIONS

PennDOT's criteria for the inclusion of intersections in a transportation impact study is whether an additional 100 or more peak hour trips are assigned to pass through an adjacent intersection. Based on the trip generation and proposed trip distribution the study area intersections would include the following from north to south:

Route 309 / Huckleberry Road
Route 309/Snowdrift Road
Route 309/Site "right-in, right-out" driveway
Route 309/Chapmans Road
Chapmans Road/Site full access driveway
Route 309/Walbert Avenue

A scoping application will be submitted to PennDOT for their review and the Township's comments as this project moves forward in the review and design/approval process. The scoping application review is intended to quantify the scope of the transportation impact study.

The following improvements will also be presented as part of the scoping application for Township and PennDOT review.

1. Construct a "right-in, right-out" driveway on Route 309 along the site frontage.
2. Construct a southbound right turn deceleration lane on southbound Route 309 approaching the "right-in, right-out" driveway. Evaluate the required southbound deceleration lane length based on the PennDOT Pub. 46 Methodologies.
3. Widen Chapmans Road to accommodate an eastbound left turn lane including any required widening on the east side of Route 309 to create a shadow for the proposed eastbound left turn lane.
4. Construct a full access driveway from the site onto Chapmans Road.
5. Evaluate the projected traffic to determine the storage length for the existing left turn lanes at the study area intersections and adjust the storage lengths as feasible.

TABLES

TABLE 1

*Client - Jaindl Land Co. Route 309 S. Whitehall Mixed Use Development
Benchmark Project # 065007*

Trip Generation Calculations

Convenience Store/Gas Station

ITE # 945

Independent Variable 5,685 sf
Rate 1 per 1000 sf
X = 5.685

Equations				<u>Directional Distribution</u>			<u>Total Trip Ends</u>		
				Entering	Exiting		Entering	Exiting	Total
ADT	Rate	T=	1283.38 (X) +	50%	50%		3648	3648	7296
AM Peak	Rate	T=	91.35 (X) +	50%	50%		260	260	519
PM Peak	Rate	T=	78.95 (X) +	50%	50%		225	225	449
Sat Peak	Rate	T=	70.14 (X) +	50%	50%		200	200	399
Pass-by Rate				<u>Pass-by Trip Ends</u>			<u>Non Pass-by Trip Ends</u>		
				Entering	Exiting	Total	Entering	Exiting	Total
AM Peak			76%	197	197	394	63	63	125
PM Peak			76%	171	171	341	54	54	108
Sat Peak			66%	132	132	263	68	68	136

FIGURES

FIGURE 1
LOCATION MAP



TIS Sep 21, 2021 - 9:14am

FIGURE 4a
SITE TRAFFIC DISTRIBUTION PERCENTAGES

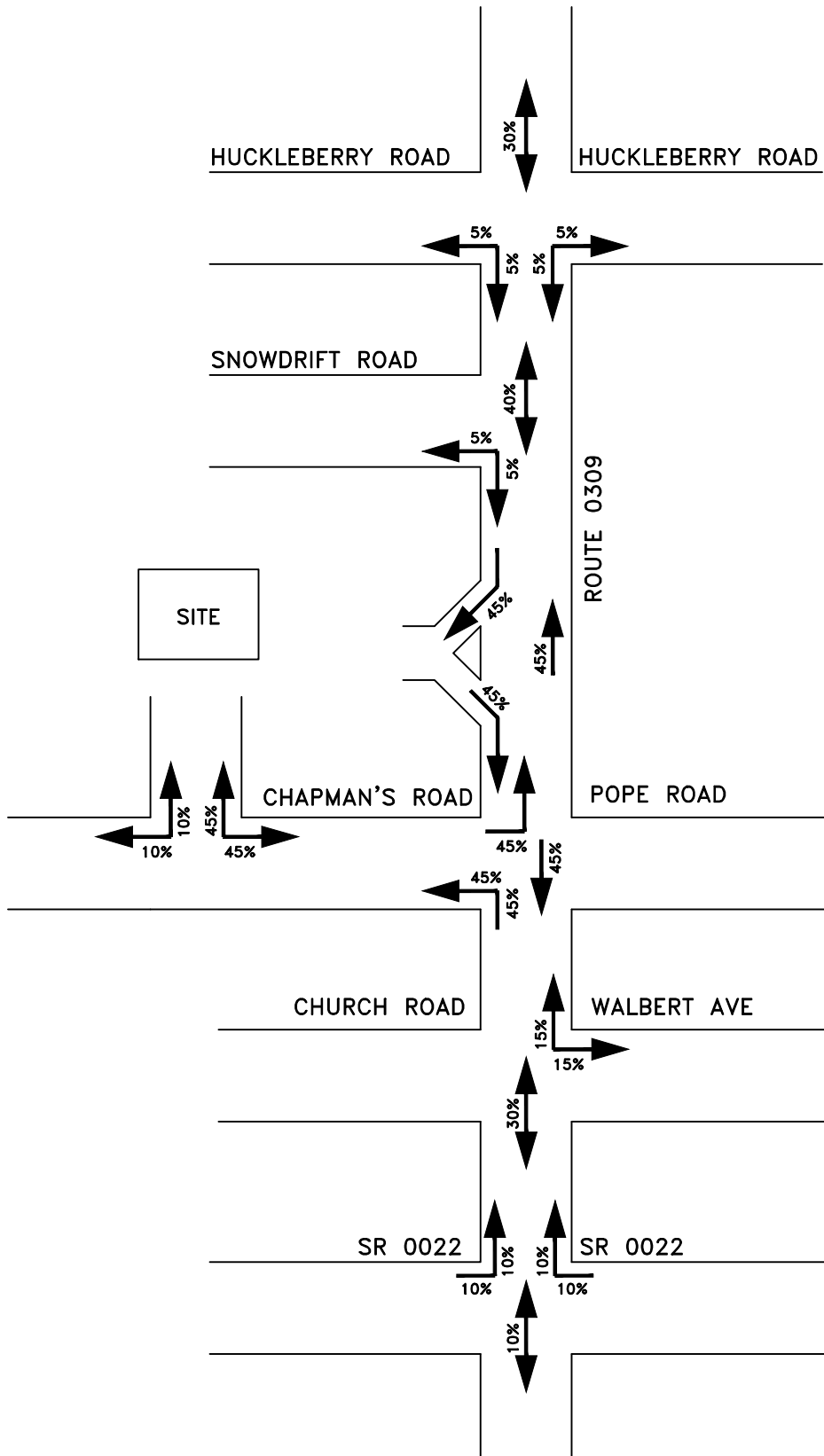


FIGURE 4b

SITE GENERATED TRAFFIC VOLUMES AM/PM/SATURDAY PEAK HOUR

